

BZA Application No. 21218

**3319 12th Street, NE
BORS Properties, LLC
February 5, 2025**

Board of Zoning Adjustment
District of Columbia
CASE NO.21218
EXHIBIT NO.23

Overview and Requested Relief

- MU-3A Zone
- The proposal is to construct a new residential building with 9 units. Building envelope is within the by-right limits.
- No alley access nor curb cut approval (must close existing curb cut).
- Seeking SE Relief for 1 parking space (C-703.2).
- The Office of Planning recommends approval.
- DDOT has no objection.
- Neighbors: directly adjacent sent three separate notices, all 22 neighbors within 200 ft. sent at least two notices soliciting feedback. None was given.
- Emailed previous SMD multiple times in 2024 with no response; met with new SMD.



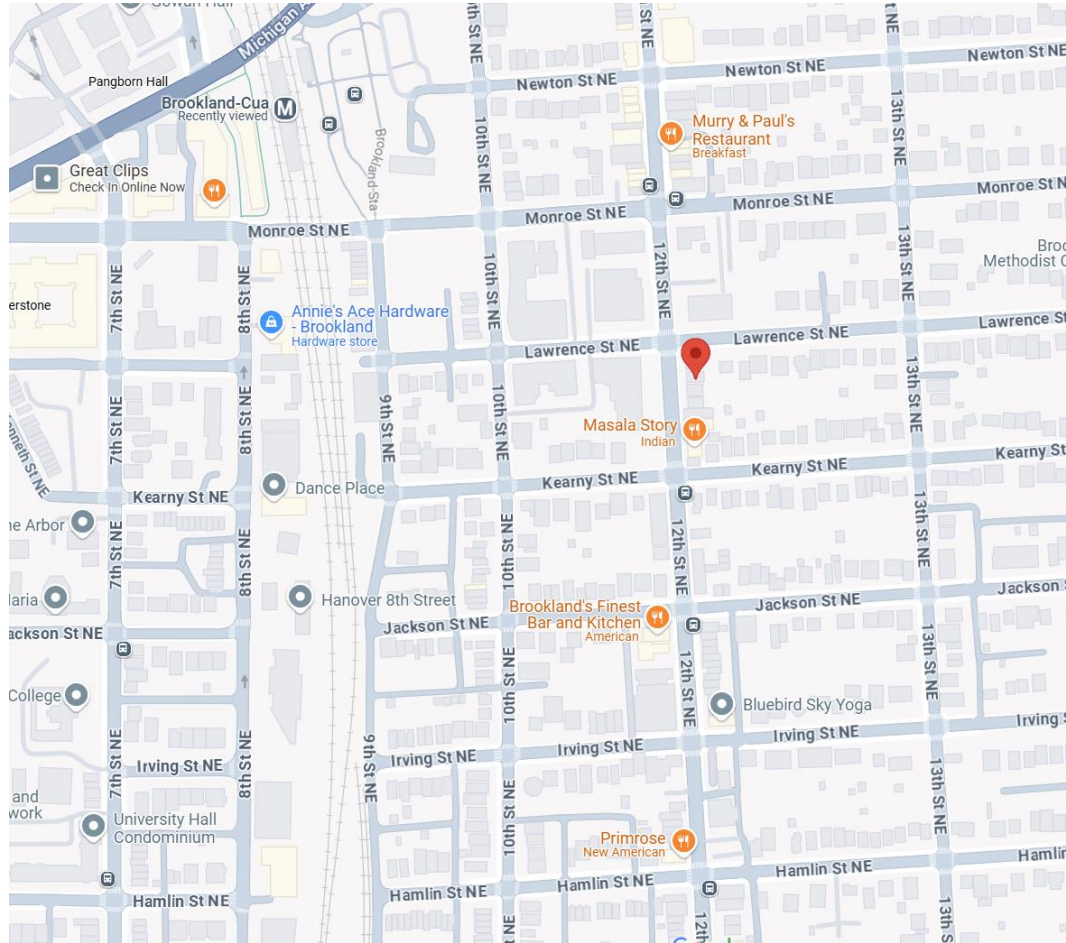


3321 12th St., NE

Subj. Property
3319 12th St., NE

S&B

Location



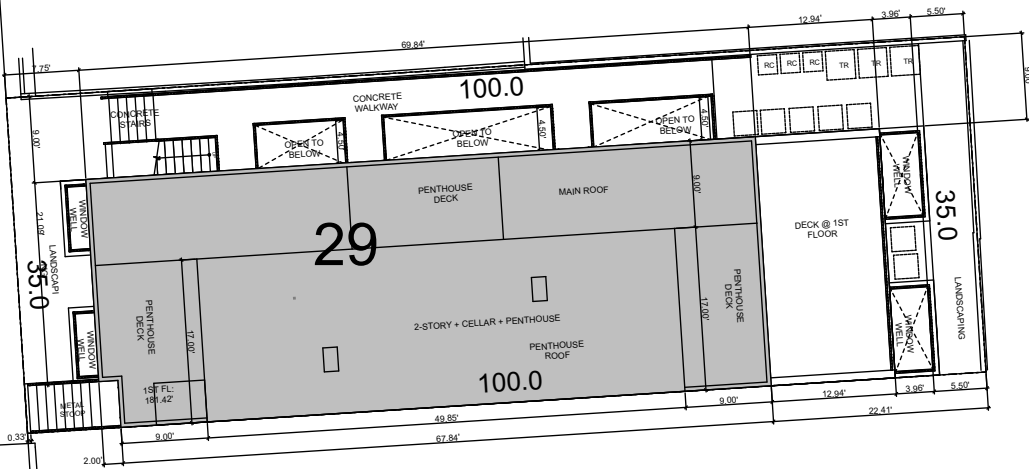
General Requirements of Subtitle X § 901.2

Criteria	Project
1) “Granting relief will be in harmony with the general purpose and intent of the Zoning Regulations, and Zoning Maps.”	<ul style="list-style-type: none">The use itself and the proposed Building bulk and density is permitted as a matter-of-right in the MU-3A zone.
2) “Granting relief will not tend to affect adversely, the Use of Neighboring Property in accordance with the Zoning Regulations and Zoning Maps.”	<ul style="list-style-type: none">As the Property has a Walk Score of 90 and is located close to amenities such as grocery stores, restaurants, shops, and the metro, and the building is made up of 1-2 bedroom units, it is anticipated that future residents are unlikely to have cars.

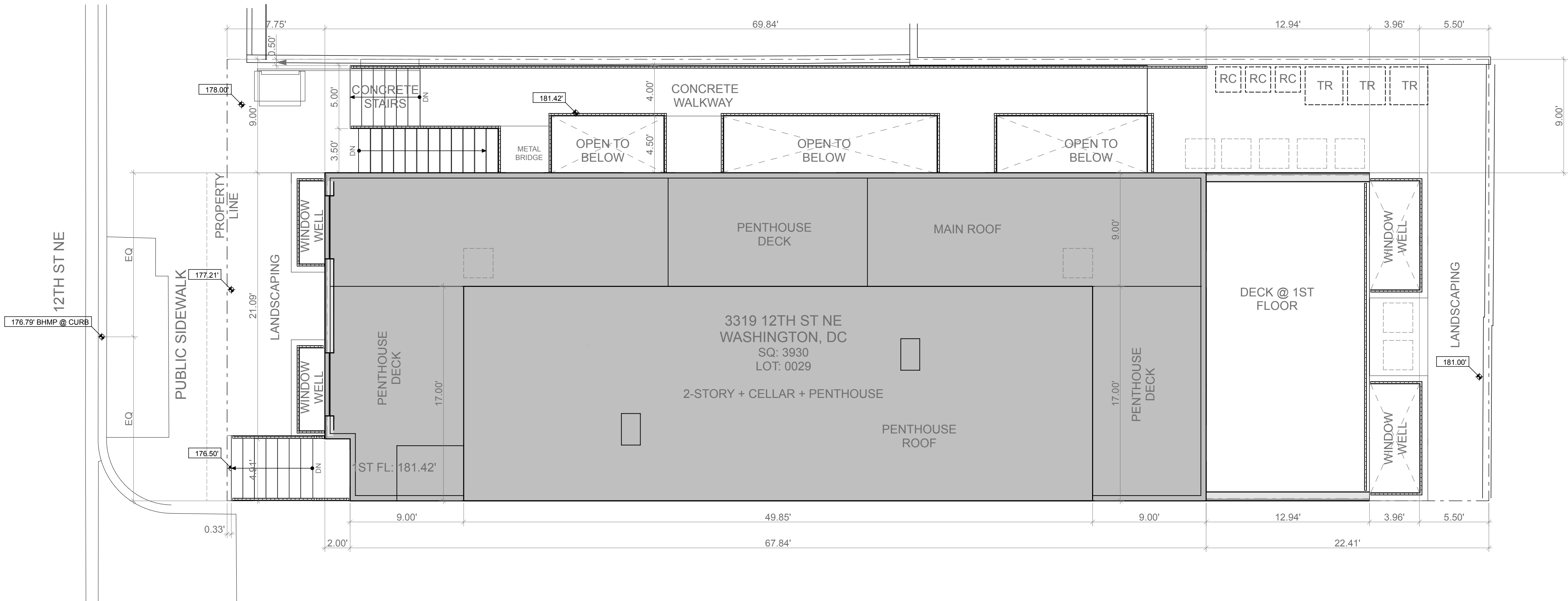
Specific Requirements of C § 703.2	Project
<p><u>Section 703.2</u> (a) Due to the physical constraints of the property, the required parking spaces cannot be provided either on the lot or within six hundred feet (600 ft.) of the lot in accordance with Subtitle C § 701.8;</p>	<p>The Property lacks alley access, DDOT will not permit a curb cut, and even if a curb cut were permitted, the lot is relatively narrow and a driveway and/or garage would impact the building envelope so severely that a project would not be feasible. All parking lots within 600 feet are dedicated to their own respective residential and commercial uses.</p>
<p>(b) The use or structure is particularly well served by mass transit, shared vehicle, or bicycle facilities;</p>	<p>The Property is well served by mass transit, including the Brookland-CUA Metro (0.3 mi.).</p>
<p>(c) Land use or transportation characteristics of the neighborhood minimize the need for required parking spaces;</p>	<p>The Property is well served by transportation and is walking distance to amenities such as grocery stores, restaurants, and shops. The Property has a Walk Score of 90 and is considered a “Walker’s Paradise.”</p>
<p>(h) The property does not have access to an open public alley, resulting in the only means by which a motor vehicle could access the lot is from an improved public street and either: (1) A curb cut permit for the property has been denied by the District Department of Transportation; or (2) Any driveway that could access an improved public street from the property would violate any regulation of this chapter, of the parking provisions of any other subtitle in the Zoning Regulations, or of Chapters 6 or 11 of Title 24 DCMR;</p>	<p>The Property does not have access to an open public alley, resulting in the only means by which a motor vehicle could access the lot is from an improved public street. DDOT is requiring the curb cut be closed because it only leads to one space. This policy is to prevent net parking loss because the curb cut occupies the space of ~2 on street parking spaces.</p>
<p><u>Section C-703.3</u> Any reduction in the required number of parking spaces shall be only for the amount that the applicant is physically unable to provide, and shall be proportionate to the reduction in parking demand demonstrated by the applicant.</p>	<p>The reduction in the required number of parking spaces (one space) is only for the amount the applicant is physically unable to provide. Regarding demand for parking, the Applicant anticipates that the transportation characteristics and amenities in the neighborhood will likely attract residents without cars.</p>

SQUARE 3930

12th STREET, N.E.

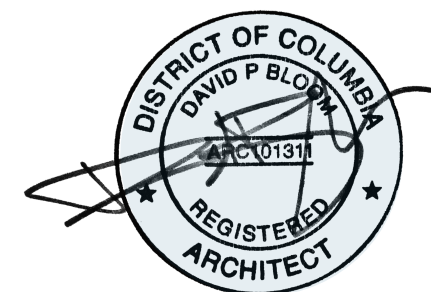


LOT AREA:	3,500 SF	
BLDG AREA:	1,806 SF	51.60%
GROSS FLOOR AREA:	3,500 SF	1.0 FAR

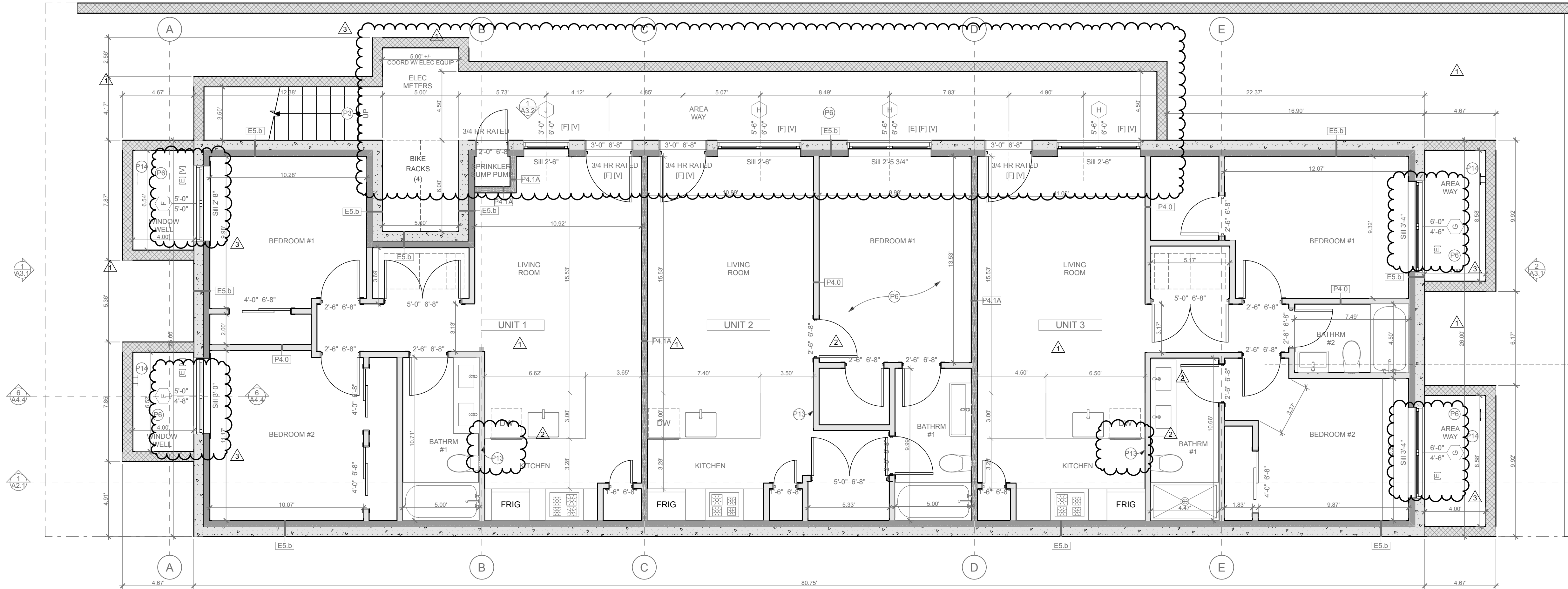


PROPOSED SITE PLAN

SCALE: 1" = 5'



I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED OR DIRECTLY SUPERVISED THE DEVELOPMENT OF THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.



WALL TAGS ADDED TO PLAN

CELLAR
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR
3. ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED
4. WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS
5. SHOWER COMPARTMENT SHALL NOT BE LESS THEN 30" X 30" CLEAR
6. COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES
7. ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN
8. VERIFY ALL DIMENSIONS IN THE FIELD
9. VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
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11. REFER TO A4 SERIES FOR WALL TYPE DETAILS
12. REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
13. REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES
14. ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO
15. STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE FRIT WOOD
16. INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP, CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
17. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C ON EACH FLOOR

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
- P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P4 OSHA COMPLIANT METAL LADDER
- P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
- P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
- P7 ROOFING MEMBRANE
- P8 42" (H) PARAPET
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- P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
- P12 INCLINED WHEELCHAIR STAIR LIFT, BOD. CARAVENTA LIFT, XPRESS II STAIR LIFT
- P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A-10-B-C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS
- P14 EMERGENCY EGRESS LADDER, RE: DTLS A4.3

WINDOW GENERAL NOTES

1. REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
2. REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
3. OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

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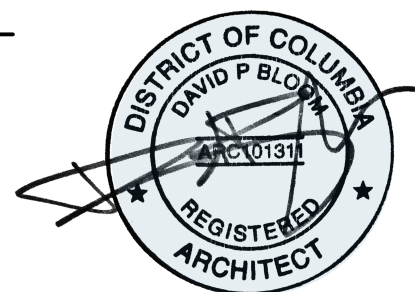
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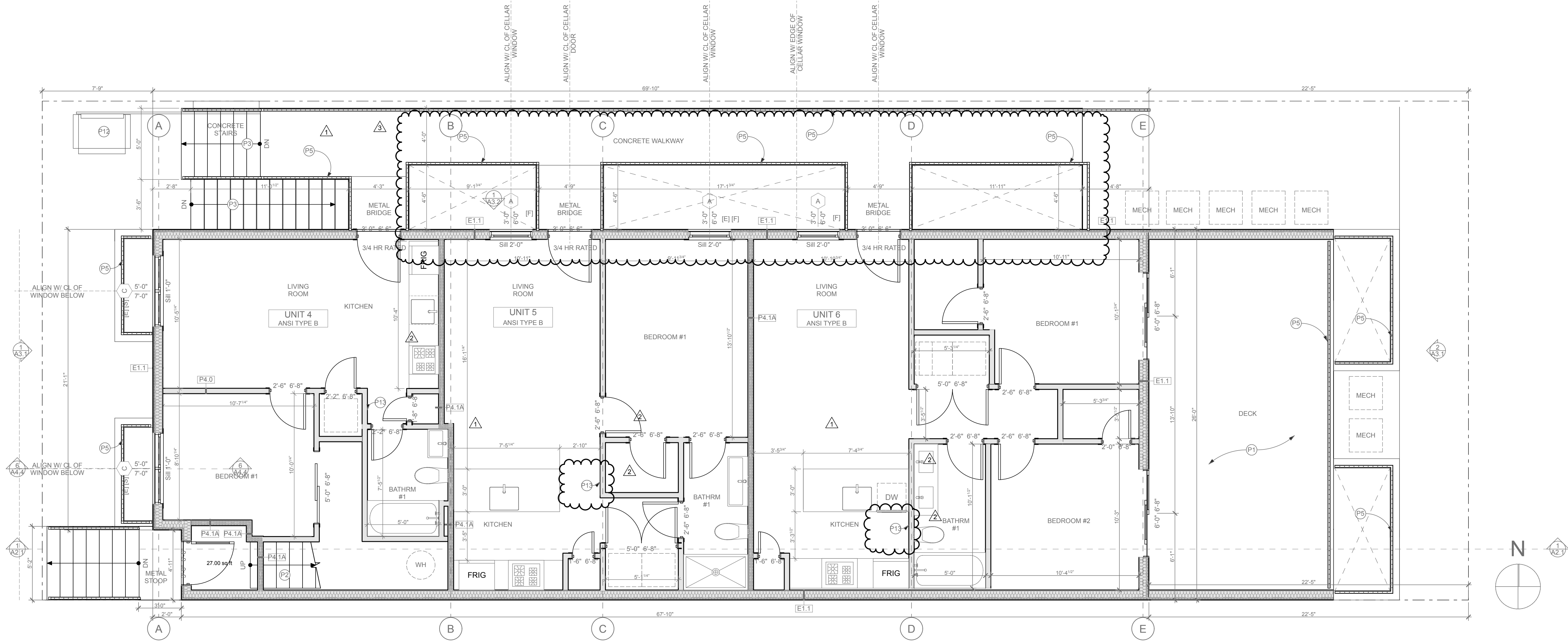
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A1.1



1ST FLOOR

SCALE: 1/4" = 1'-0"

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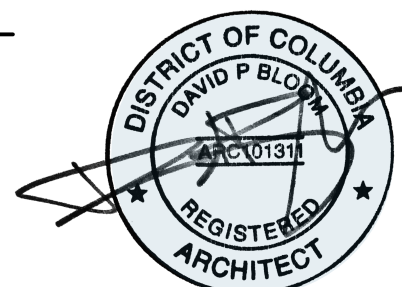
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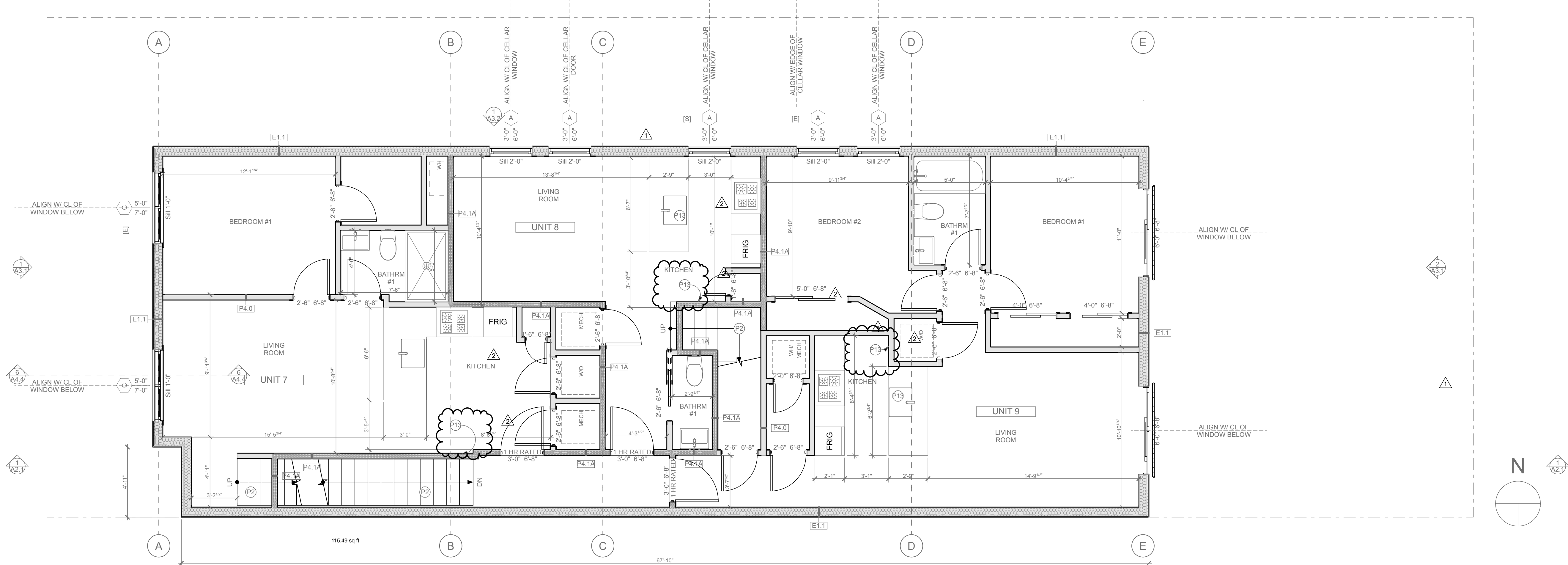
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A1.2



2ND FLOOR
SCALE: 1/4" = 1'-0"

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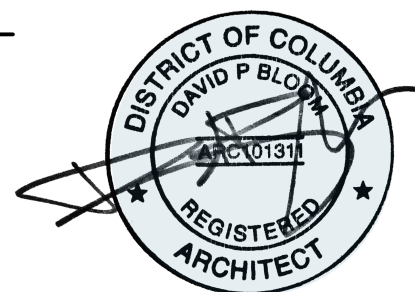
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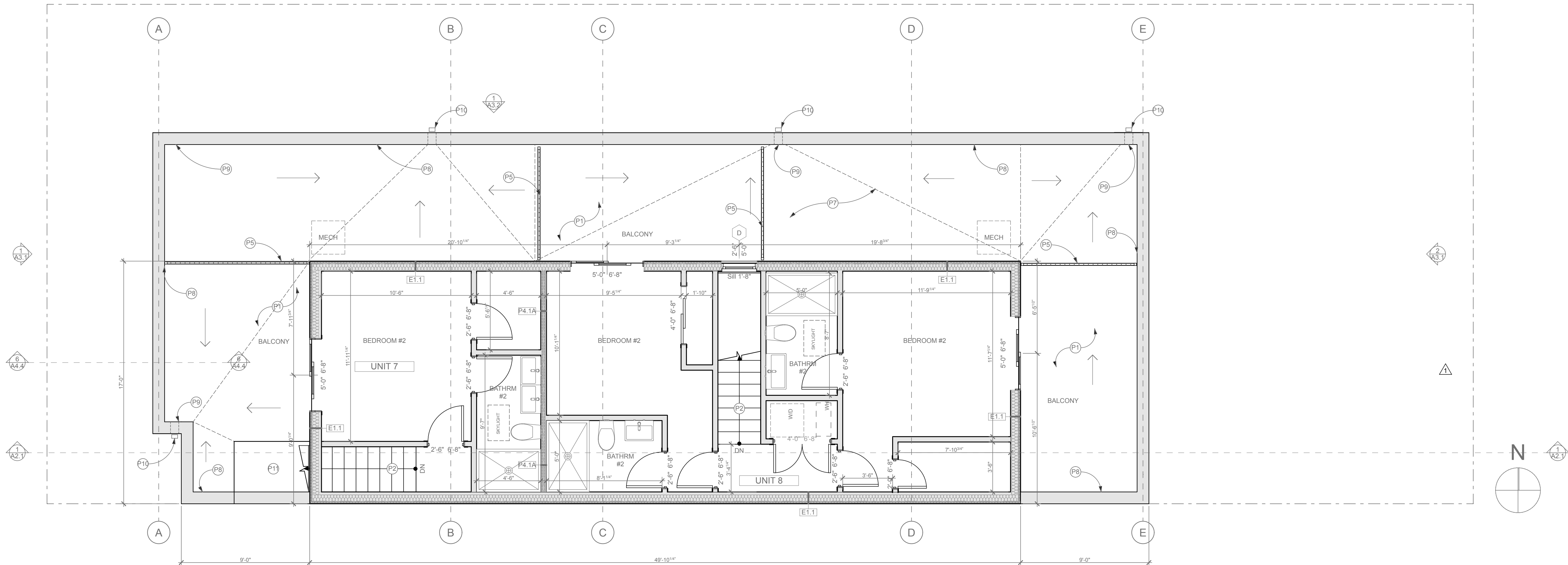
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PENTHOUSE/MAIN ROOF

SCALE: 1/4" = 1'-0"

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 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C ON EACH FLOOR

CONSTRUCTION PLAN KEYED NOTES

- | | |
|-----|---|
| P1 | WEATHER RESISTANT WOOD DECKING |
| P2 | INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES |
| P3 | EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES |
| P4 | OSHA COMPLIANT METAL LADDER |
| P5 | 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX |
| P6 | CONCRETE SLAB, RE: DETAILS ON A4 SERIES |
| P7 | ROOFING MEMBRANE |
| P8 | 42" (H) PARAPET |
| P9 | SCUPPER TO DOWNSPOUT |
| P10 | DOWNSPOUT |
| P11 | SLOPE ROOF FRAMING, RE: BLDG SECTION |
| P12 | INCLINED WHEELCHAIR STAIR LIFT, BOD: GARAVENTA LIFT, XPRESS II STAIR LIFT |
| P13 | PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A-10-B-C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS |
| P14 | EMERGENCY EGRESS LADDER, RE: DTLS A4.3 |

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
- OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES
- ALL RATED DOORS SHALL BE SELF CLOSING
- REFER TO A0.1 FOR INSULATION REQUIREMENTS

WINDOW/DOOR KEYED NOTES

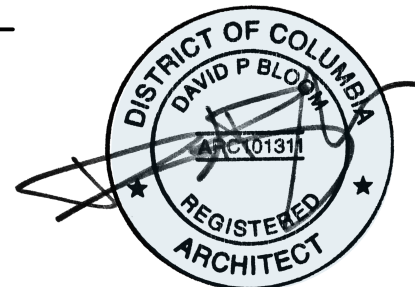
- | | |
|-----|---|
| [E] | DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3 |
| [S] | SAFETY GLASS REQUIRED |
| [H] | NEW WOOD WINDOW IN EXISTING OPENING. MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING |
| [O] | NEW WINDOW IN EXISTING OPENING |
| [F] | 3/4 HOUR RATED FIRED RATED WINDOW W/ AUTOMATIC HEAT CLOSURE DEVICE |
| [V] | CLEAR OPENING FOR NATURAL VENTILATION, REFER TO NATURAL VENTILATION SCHEDULE ON A4.3 |

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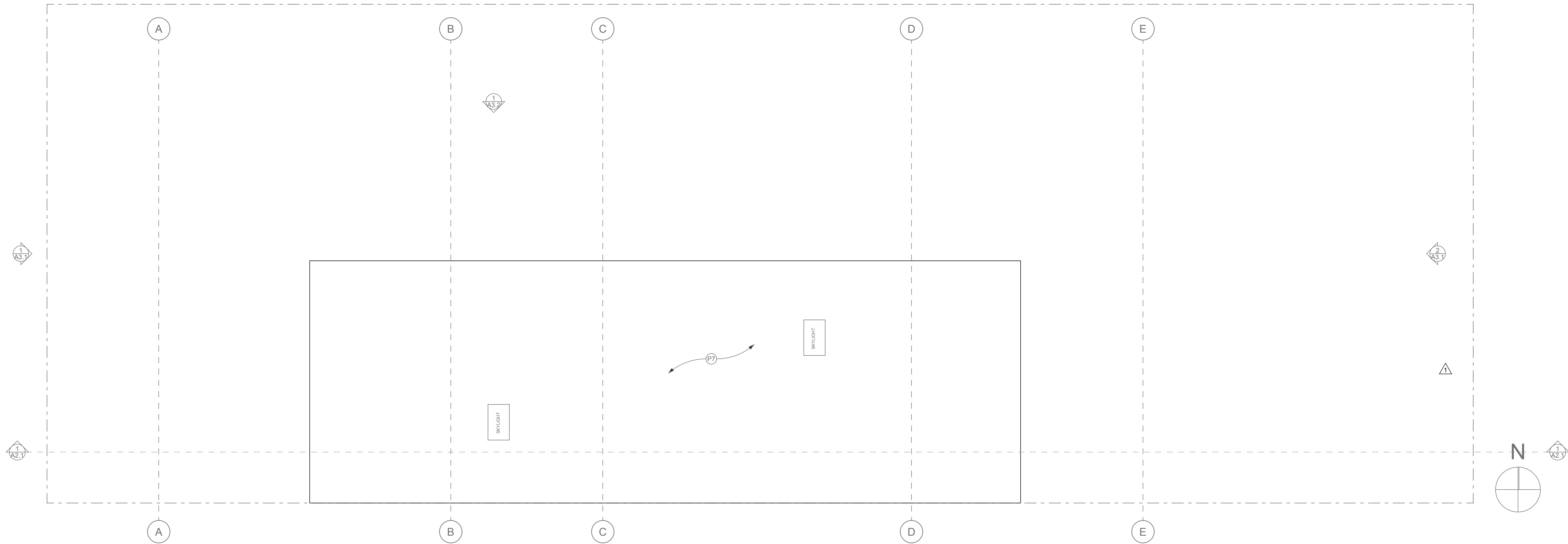


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5. PENTHOUSE ROOF

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
- ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR
- ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED
- WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS
- SHOWER COMPARTMENT SHALL NOT BE LESS THEN 30" X 30" CLEAR
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES
- ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN
- VERIFY ALL DIMENSIONS IN THE FIELD
- VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING
- REFER TO A4 SERIES FOR WALL TYPE DETAILS
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
- REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES
- ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO
- STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE FRT WOOD
- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP, CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR

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WINDOW GENERAL NOTES

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- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
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DOOR GENERAL NOTES

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- REFER TO A0.1 FOR INSULATION REQUIREMENTS

WINDOW/DOOR KEYED NOTES

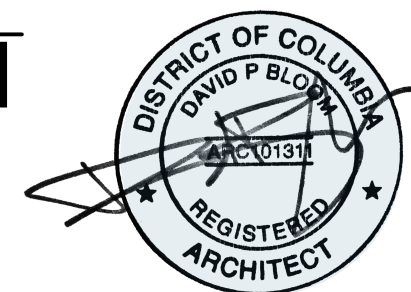
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| [E] | DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3 |
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LONG SECTION
SCALE: 1/4" = 1'-0"

1

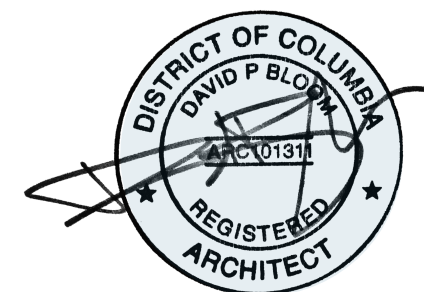
BUILDING SECTION GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLIES
3. REFER TO A4.1 FOR WALL ASSEMBLIES

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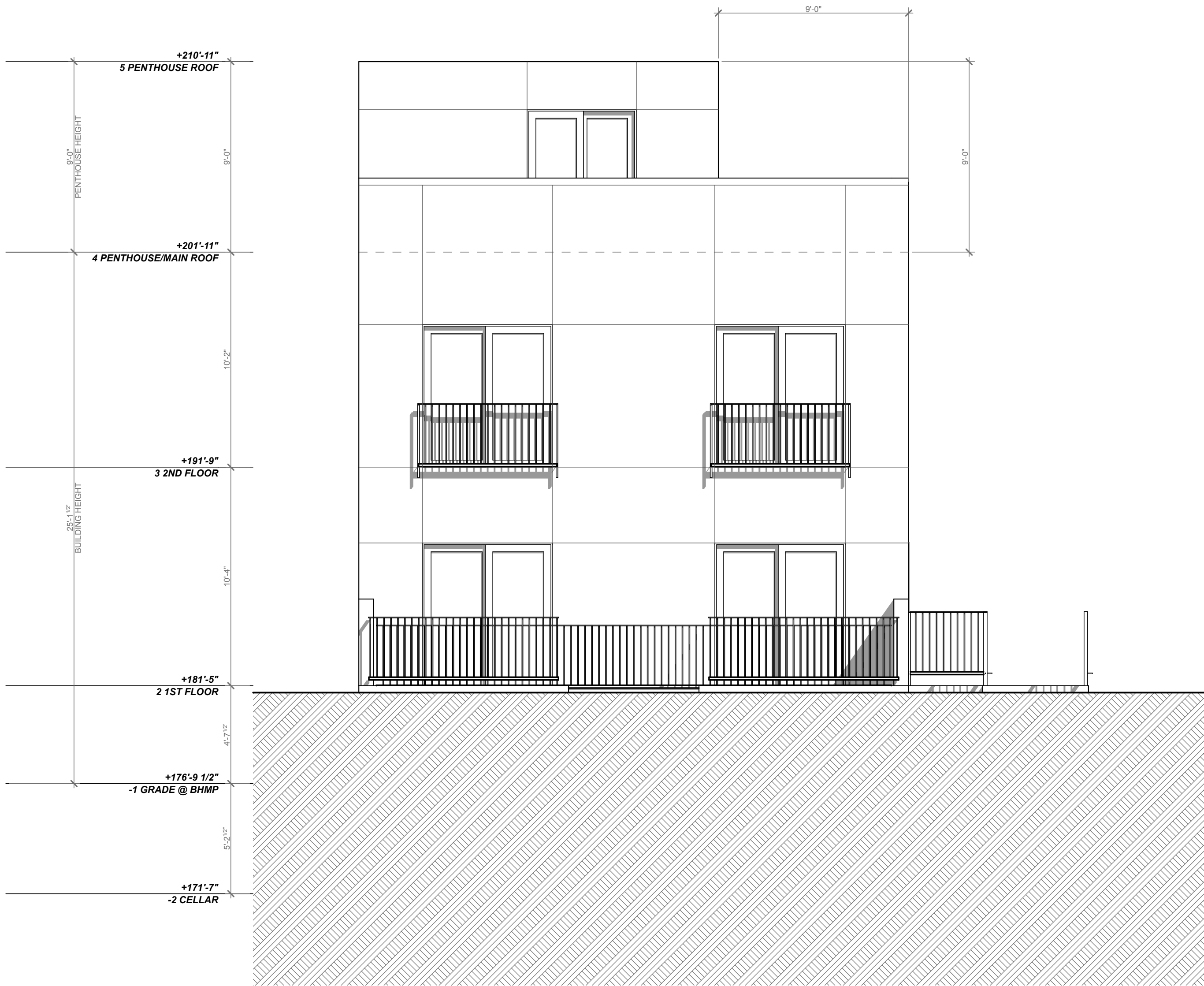
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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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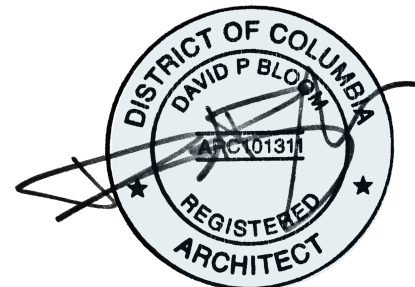
REAR ELEVATION
SCALE: 1/4" = 1'-0"

2

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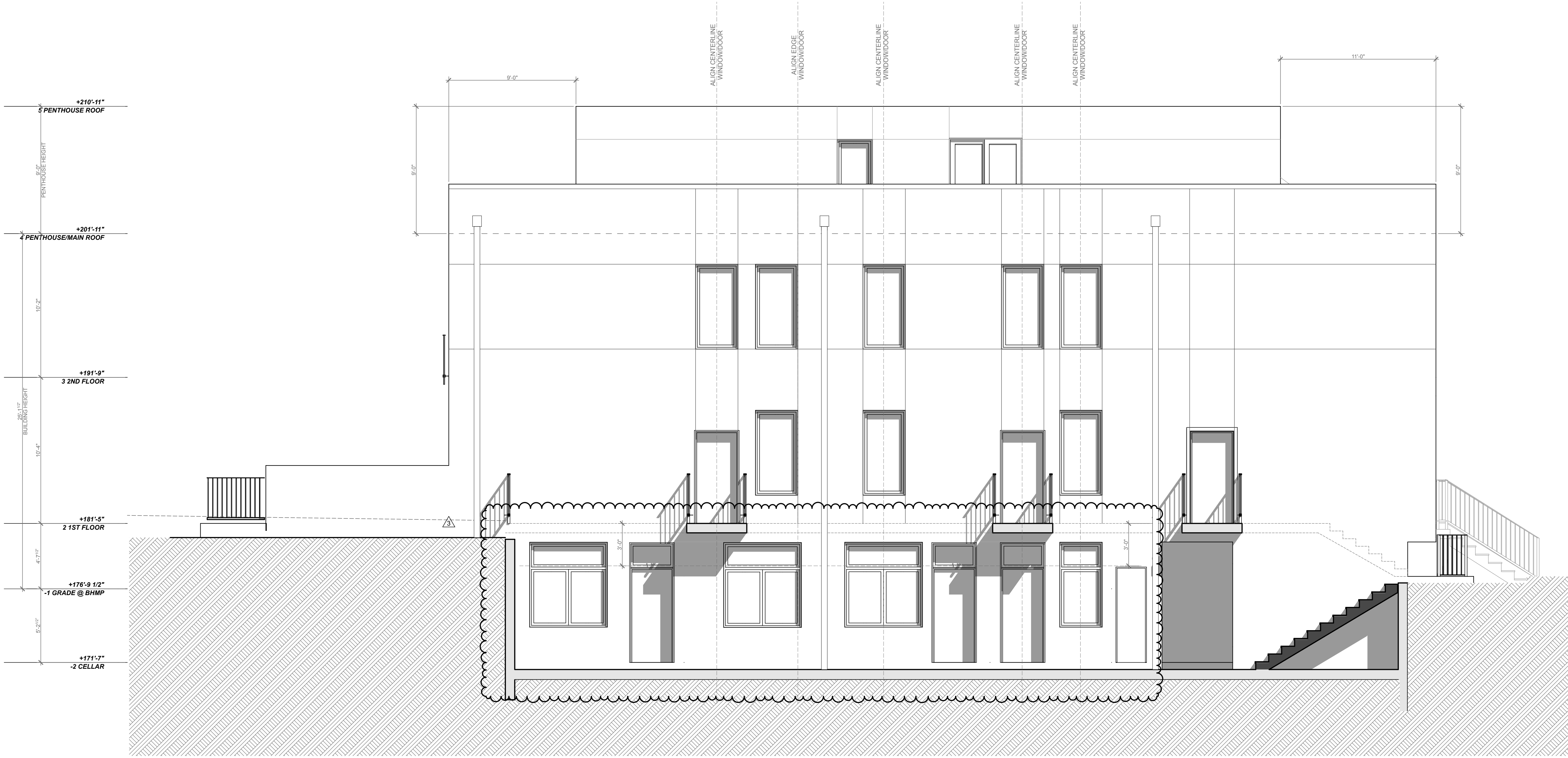
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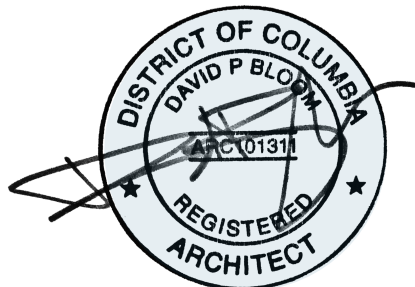


SIDE ELEVATION B
SCALE: 1/4" = 1'-0" **1**

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