

PROJECT INFORMATION

ADDRESS:	3319 12TH ST NE WASHINGTON, DC
SQUARE:	3930
LOT:	0029
DESCRIPTION:	NEW CONSTRUCTION, 2-STORY + CELLAR + PENTHOUSE, SEMI-DETACHED BUILDING

BUILDING CODES

THIS BUILDING RENOVATION CONFORMS TO ALL APPLICABLE BUILDING AND ZONING CODES IN WASHINGTON DC.

- 2015 INTERNATIONAL BUILDING CODE AS AMENDED BY DCMR12A-2017
- ICC/ANSI A117.1 2008 AS AMENDED BY THE DCMR 12A-2013
- 2014 NATIONAL ELECTRICAL CODE AS AMENDED BY DCMR 12C-2017
- 2013 ANSI/ASHRAE/IES 90.1
- 2015 INTERNATIONAL FUEL GAS CODE AS AMENDED BY DCMR 12D-2017
- 2015 INTERNATIONAL MECHANICAL CODE AS AMENDED BY DCMR 12E-2017
- 2015 INTERNATIONAL PLUMBING CODE AS AMENDED BY DCMR 12H-2017
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE AS AMENDED BY DCMR 12G-2017
- 2015 INTERNATIONAL FIRE CODE AS AMENDED BY DCMR 12N-2017
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY DCMR 12K-2017
- 2015 INTERNATIONAL GREEN CONSTRUCTION CODE AS AMENDED BY DCMR 12K-2017

2015 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY DCMR 12J-2017

NOTE: PROJECT IS DESIGNED TO CONFORM TO THE WORK AREA COMPLIANCE PATH OF THE INTERNATIONAL EXISTING BUILDING CODE, IBC 301.1.2

BUILDING INFORMATION

	EXISTING	PROPOSED
OCCUPANCY GROUP	-	R-2
NUMBER OF UNITS	-	9
CONSTRUCTION TYPE	-	VB
SPRINKLER SYSTEM	-	YES, NFPA 13R
FIRE ALARM SYSTEM	-	NO
SMOKE DETECTION SYSTEM	-	YES
TYPE A UNITS	-	0
TYPE B UNITS	-	9

PROJECT DIRECTORY

ARCHITECT:	STRUCTURAL:
DISTRICT ARCHITECTURE 1778 FLORIDA AVE NW WASHINGTON DC	BEL ENGINEERING 4542 BEECH RD TEMPLE HILLS, MD 20748
CONTACT: DAVE BLOOM T: 571.216.3103 E: DAVE@DISTRICTARCHITECTURE.COM	CONTACT: YOSEPH WONDIMU T: 703.975.9447 E: YOSEPH@BEL-ENGINEERING.COM

MEP:

CTS INC
7408 ALBAN STATION CT
SUITE A100
SPRINGFIELD, VA 22150

CONTACT:
RICK SENNETT
T: 703.455.5520
E: RICK@CTSINCVA.COM

LOCATION MAP



BUILDING HEIGHT & AREA

	TYPE VB* LIMITS	PROPOSED
BUILDING HEIGHT	60' MAX	33'-6"
NUMBER OF STORIES	3 STORIES MAX	2 STORIES + CELLAR + PENTHOUSE
AREA LIMIT @ R-2	7,000 SF MAX	-
AREA LIMIT @ R-3	UL	-
AREA PER FLOOR		
CELLAR		2,069
1ST FLOOR		1,808
2ND FLOOR		1,808
3RD FLOOR		847

* INCLUDES HEIGHT AND STORY INCREASE FOR SPRINKLER SYSTEM, NFPA 13R

DRAWING INDEX

ARCHITECTURAL:				
A0.1	PROJECT INFORMATION	CIV-000 COVER SHEET.pdf	E0001 ELECTRICAL COVER SHEET.pdf	S0001-GENERAL NOTES.pdf
A0.2	ENERGY PERFORMANCE	CIV-100 EXISTING CONDITIONS.pdf	E0002 ELECTRICAL POWER PLANS.pdf	S0002-GENERAL NOTES.pdf
A0.3	ABBREVIATIONS & SYMBOLS	CIV-101 DC WATER SUPPLY/HEATING INFORMATION.pdf	E0003 ELECTRICAL POWER PLANS.pdf	S0003-FOUNDATION AND FIRST FLOOR FRAMING PLANS.pdf
A0.4	ACCESSIBILITY REQUIREMENTS	CIV-110 DEMOLITION PLAN.pdf	E0004 LIGHTING PLANS.pdf	S0003-SECOND AND THIRD FLOOR ROOF FRAMING PLANS.pdf
A0.5	ACCESSIBILITY REQUIREMENTS	CIV-200 SITE PLAN.pdf	E0005 LIGHTING PLANS.pdf	S0003-3RD FLOOR FRAMING PLANS.pdf
A0.6	EGRESS PLANS	CIV-220 SITE DETAILS.pdf	E0006 PANEL SCHEDULE & LOAD CALCULATIONS.pdf	S0003-WALL BRACING PLANS.pdf
A0.7	ZONING PLANS	CIV-300 UTILITY PLAN.pdf	M0001 MECHANICAL COVER SHEET.pdf	S0003-WALL BRACING NOTES AND TYPICAL DETAILS.pdf
A0.8	SITE PLANS	CIV-310 UTILITY PROFILES.pdf	M0002 MECHANICAL PLANS.pdf	S0003-SECTIONS AND TYPICAL DETAILS.pdf
A1.1	CONSTRUCTION PLANS	CIV-311 UTILITY PROFILES.pdf	M0003 MECHANICAL PLANS.pdf	S0003-SECTIONS AND TYPICAL DETAILS.pdf
A1.2	CONSTRUCTION PLANS	CIV-312 STORM SEWER CALCULATIONS.pdf	M0004 MECHANICAL DETAILS.pdf	S0003-TYPICAL DETAILS.pdf
A1.3	CONSTRUCTION PLANS	CIV-320 UTILITY DETAILS.pdf	M0005 MECHANICAL DETAILS.pdf	
A1.4	CONSTRUCTION PLANS	CIV-330 DC WATER PLUMBING DETAILS.pdf	M0001 ELECTRICAL FIRE DETAILS.pdf	
A1.5	CONSTRUCTION PLANS	CIV-500 SEDIMENT CONTROL PLANS.pdf	M0002 PLUMBING FIRE DETAILS.pdf	
A2.1	SECTION	CIV-510 SEDIMENT CONTROL NOTES AND DETAILS.pdf	M0003 MECHANICAL FIRE DETAILS.pdf	
A2.1	ELEVATIONS	CIV-511 SEDIMENT CONTROL NOTES AND DETAILS.pdf	M0004 MECHANICAL DETAILS.pdf	
A2.1	ELEVATIONS	CIV-512 SEDIMENT CONTROL NOTES AND DETAILS.pdf	P0001 PLUMBING COVER SHEET.pdf	
A2.1	ELEVATIONS	CIV-513 SEDIMENT CONTROL NOTES AND DETAILS.pdf	P0002 PLUMBING PLANS.pdf	
A4.1	WALL ASSEMBLIES	CIV-520 DDOOT TREE PREVENTION NOTES AND DETAILS.pdf	P0003 PLUMBING PLANS.pdf	
A4.2	HORIZONTAL ASSEMBLIES	CIV-710 GAR SITE PLAN.pdf	P0004 RISER DIAGRAM DETAILS.pdf	
A4.3	STAR & WINDOW DETAILS	CIV-720 GAR PLANTING PLANS.pdf	P0005 GAS PLANS.pdf	
A4.4	EXTERIOR DETAILS	CIV-721 GAR PLANTING DETAILS.pdf	P0006 GAS RISER DETAILS.pdf	
A4.6	PENETRATION DETAILS	CIV-730 GAR NOTES AND DETAILS.pdf		
A4.7	PENETRATION DETAILS			
A4.8	PENETRATION DETAILS			

ZONING DATA

	EXISTING	PROPOSED
SQUARE:	3930	3930
LOT:	0029	0029
ZONE:	MU-3A	MU-3A
HISTORIC ZONE:	NA	NA
NUMBER OF STORIES:	-	2+CELLAR
BUILDING HEIGHT FROM BHPM:	-	*PENTHOUSE
GRADE TO 1ST FLOOR, FINISHED:	-	24'-6"
NUMBER OF UNITS:	-	9
NUMBER OF PARKING SPACES:	-	0
LOT AREA (SF)	3,500	3,500
BLDG AREA (SF) / LOT OCC [%]	-	1,808 SF / 51.60%
GROSS FLR AREA (SF) / FAR	-	3,500 SF / 1.0
PENTHOUSE GROSS FLR AREA (SF) / FAR	-	847 SF / .24
REAR YARD SETBACK	-	22.7'
SIDEYARD SETBACK @ LEFT	-	9.00'
SIDEYARD SETBACK @ RIGHT	-	0.00'

FINISH CLASSIFICATIONS

GROUP: R-2, SPRINKLERED:	
INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND INTERIOR EXIT PASSAGEWAYS:	C
CORRIDOR AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS/AN EXIT ACCESS RAMPS:	C
ROOMS AND ENCLOSED SPACES:	C

NOISE LIMITATION

NO NOISE FROM CONSTRUCTION SHALL BE PERMITTED ON ANY SUNDAY, LEGAL HOLIDAYS, AFTER 7PM AND BEFORE 7AM ON ANY WEEKDAY.

FROM 7AM AND 7PM ON WEEKDAY, NOISE LEVELS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL NOT EXCEED 80 db(A) UNLESS GRANTED A VARIANCE.

FROM 7PM TO 7AM, THE MAXIMUM NOISE LEVELS SHALL BE AS FOLLOWS:

RESIDENTIAL:
DAYTIME: 60 db(A)
NIGHTTIME: 55 db(A)

NOISE FROM CONSTRUCTION OR DEMOLITION SHALL BE MEASURED 25 FEET FROM THE OUTERMOST LIMITS OF THE CONSTRUCTION SITE

BUILDING ELEMENT FIRE RATING

CODE REQUIREMENTS LIST BELOW ARE SPECIFIC TO RESIDENTIAL [R] GROUP USE

	TYPE VB	PROPOSED
STRUCTURAL FRAME:	0 HR	0 HR
BEARING WALLS:		
EXTERIOR	PER FIRE SEPARATION DISTANCE	PER FIRE SEPARATION DISTANCE
INTERIOR	0 HR OR PER FIRE PARTITION REQ	0 HR OR PER FIRE PARTITION REQ
NON-BEARING WALLS		
EXTERIOR	PER FIRE SEPARATION DISTANCE	PER FIRE SEPARATION DISTANCE
INTERIOR	0 HR OR PER FIRE PARTITION REQ	0 HR OR PER FIRE PARTITION REQ
EXTERIOR WALLS BASED ON:		
FIRE SEPARATION DISTANCE	X < 5	1 HR
	5 ≤ X ≤ 10:	1 HR
	10 ≤ X ≤ 30:	0 HR
	X ≥ 30:	0 HR
FIRE PARTITIONS:		
CORRIDOR	1 HR	1 HR
BETWEEN DWELLING UNITS	1 HR	1 HR
FIRE BARRIER:		
STAIR/SHAFT ENCLOSURE	1 HR @ 3-STORIES	1 HR @ 3-STORIES
	2 HR @ 4-STORIES	2 HR @ 4-STORIES
HORIZONTAL ASSEMBLIES:		
FLOORS BETWEEN UNITS	1 HR	1 HR
FLOORS WITHIN UNIT	0 HR	0 HR
ROOF	0 HR	0 HR
OPENING PROTECTION		
FIRE PARTITION @ CORRIDOR		
WALL ASSEMBLY RATING:	DOOR ASSEMBLY RATING:	
30 MINS	20 MINS	
1 HR	20 MINS	
FIRE BARRIER @ EXIT ACCESS STAIRWAYS, INTERIOR EXIT STAIRWAYS, EXIT PASSAGEWAY		
WALL ASSEMBLY RATING:	DOOR ASSEMBLY RATING:	
1 HR	60 MIN	
90 MIN	90 MIN	
2 HR	90 MIN	

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1765 Florida Ave NW, Washington DC

3319 12TH ST NE
WASHINGTON DC
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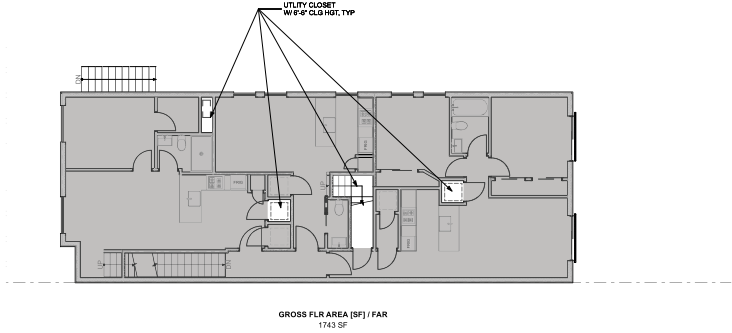


PROJECT INFORMATION

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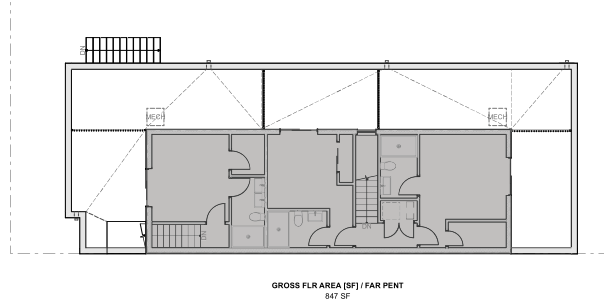
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DATE
1/4/25

Board of Zoning Adjustment
District of Columbia
CASE NO.21218
EXHIBIT NO.17B



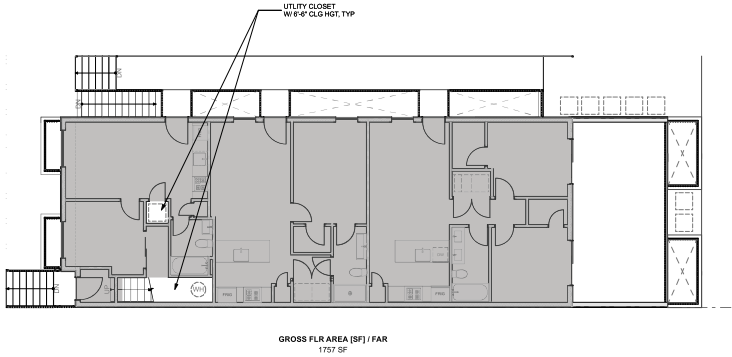
2ND FLOOR
SCALE: 1/8" = 1'-0"

2



PENTHOUSE/MAIN ROOF
SCALE: 1/8" = 1'-0"

3

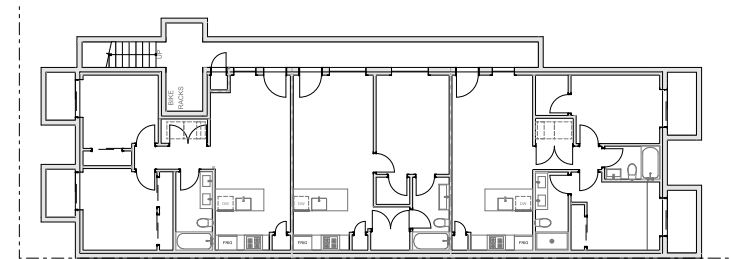


1ST FLOOR
SCALE: 1/8" = 1'-0"

1

FAR CALCULATIONS

LEVEL	GSE	BUILDING FAR SF	PENTHOUSE FAR SF
CELLAR	2,069	0	0
1ST	1,806	1,757	0
2ND	1,806	1,743	0
PENTHOUSE	847	0	847
TOTAL		3,500	847
FAR		1.0	.24



CELLAR
SCALE: 1/8" = 1'-0"

4

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I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN COMPLIED WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA, AND I HEREBY CERTIFY THAT THE DESIGN INCLUDED IN THIS APPLICATION IS IN COMPLIANCE WITH THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION.

ZONING PLANS

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A0.7

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DATE
1/4/25



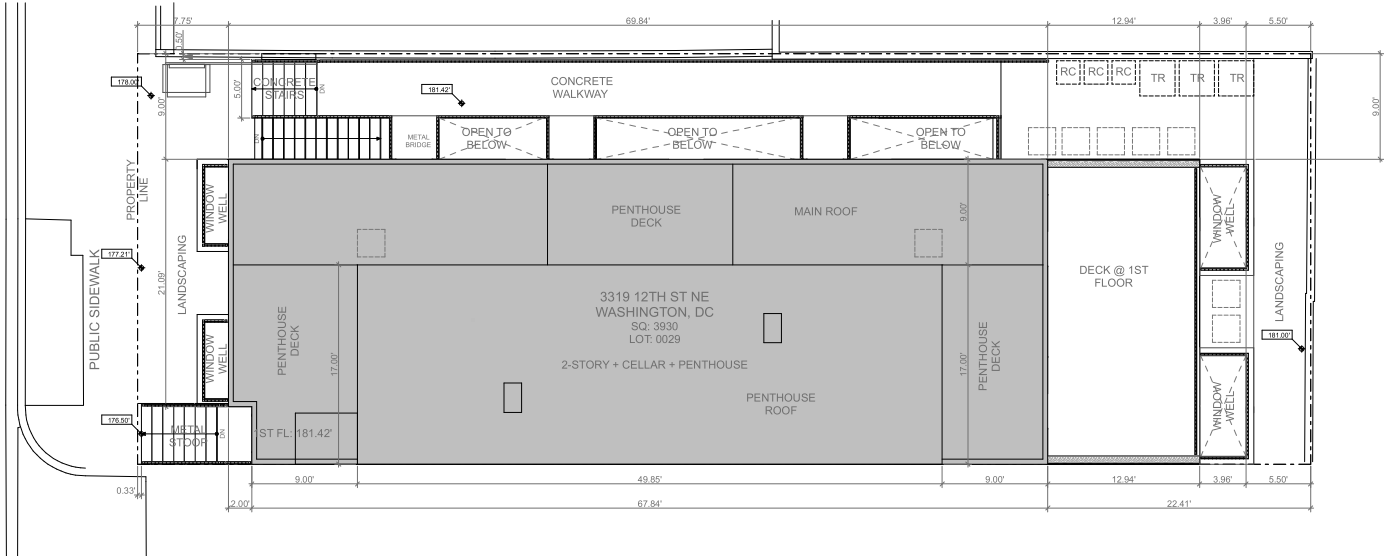
I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN PREPARED IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PROVIDED MY PROFESSIONAL OPINION AND CERTIFICATION OF THE ACCURACY OF THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION.

SITE PLANS

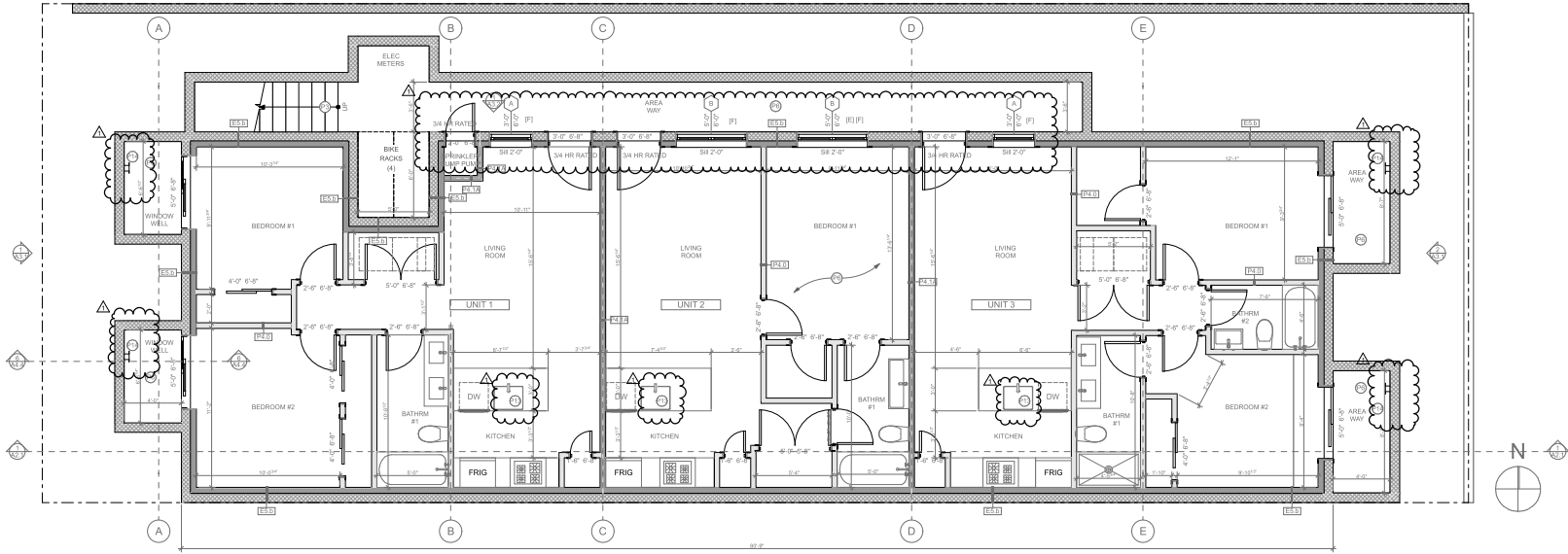
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A0.6

REVISION
DATE
1/4/25



PROPOSED SITE PLAN
SCALE: 1" = 5'



CELLAR
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. REFER TO A2.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR.
3. ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED.
4. WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS.
5. SHOWER COMPARTMENT SHALL NOT BE LESS THEN 36" X 36" CLEAR.
6. COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
7. INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP. (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP.; CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP.
8. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C ON EACH FLOOR.

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
- P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P4 OSHA COMPLIANT METAL LADDER
- P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
- P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
- P7 ROOFING MEMBRANE
- P8 42" (H) PARAPET
- P9 SCUPPER TO DOWNSPOUT
- P10 DOWNSPOUT
- P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
- P12 INCLINED WHEELCHAIR STAIR LIFT
- P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A-10-B-C
- P14 EMERGENCY EGRESS LADDER, RE: DTLS A4.3

WINDOW KEYED NOTES

1. REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION.
 2. REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS.
 3. OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOOD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2085. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW.
- LEGEND:
- [E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.2
 - [R] SAFETY GLASS REQUIRED
 - [P] NEW WOOD WINDOW IN EXISTING OPENING, MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
 - [O] NEW WINDOW IN EXISTING OPENING
 - [C] 60 MIN RATED FIRE RATED WINDOW W/ AUTOMATIC HEAT CLOSURE DEVICE

DOOR GENERAL NOTES

1. REFER TO PLAN FOR DOOR SIZES.
2. ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS.
3. MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES.
4. ALL RATED DOORS SHALL BE SELF CLOSING.
5. REFER TO A2.1 FOR INSULATION REQUIREMENTS.

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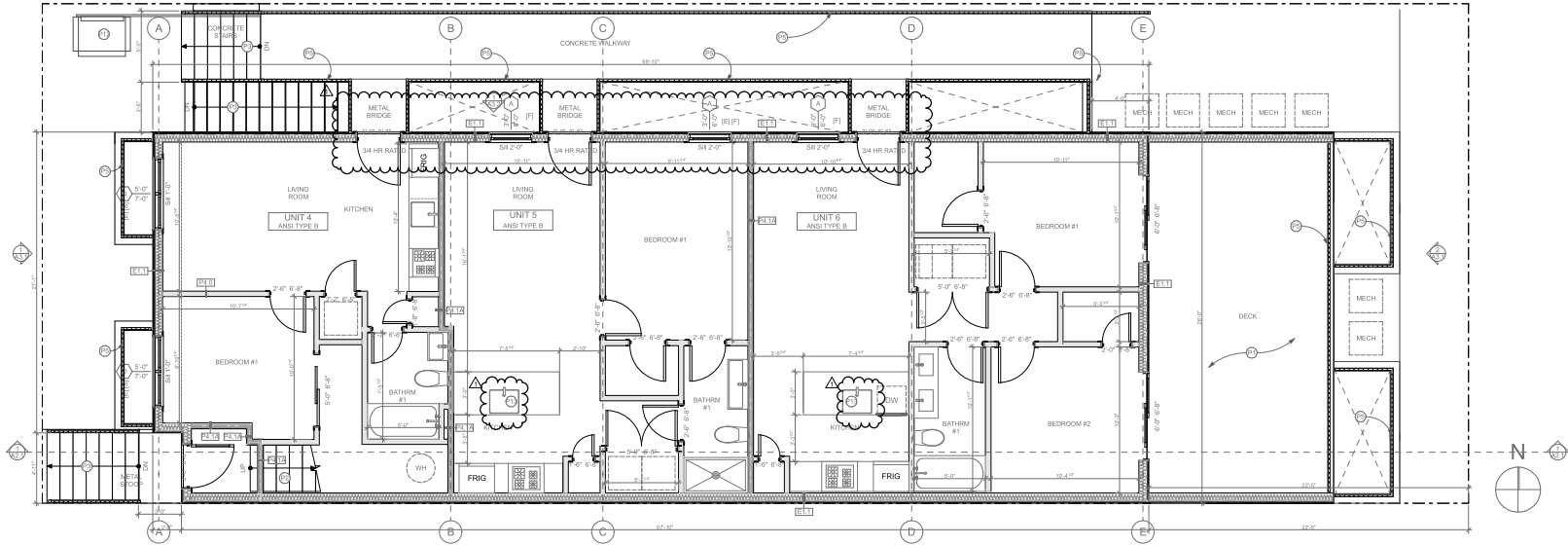
I AM RESPONSIBLE & AM CERTIFYING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE DISTRICT OF COLUMBIA. I HAVE REVIEWED THE DESIGN AND I HAVE REVIEWED THE DEVELOPMENT OF THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION.

CONSTRUCTION PLANS

ISSUED
FOR PERMIT

A1.1

REVISION
DATE
1/4/25



1ST FLOOR
SCALE 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- REFER TO A2.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
- ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR.
- ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED.
- WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS.
- SHOWER COMPARTMENT SHALL NOT BE LESS THAN 36" X 36" CLEAR.
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
- VERIFY FLOOR TO FLOOR HEIGHTS. VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7/16" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING.
- REFER TO A4 SERIES FOR WALL TYPE DETAILS.
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS.
- ALL INTERIOR PARTITIONS SHALL BE TYPE A-1.1. UND.
- STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITHIN R OF THE PROPERTY LINE SHALL BE CONSTRUCTION OR NON-COMBUSTIBLE FIBERWOOD.
- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP. SEE GENERAL NOTE 7 FOR WALL FINISH @ BATHROOMS
 - FLOORS: ENGINEERED WOOD, TYP. CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP.
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 1A:10-B-C ON EACH FLOOR.

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
- P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P4 OSHA COMPLIANT METAL LADDER
- P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
- P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
- P7 ROOFING MEMBRANE
- P8 42" (H) PARAPET
- P9 SCUPPER TO DOWNSPOUT
- P10 DOWNSPOUT
- P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
- P12 INCLINED WHEELCHAIR STAIR LIFT
- P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1A:10-B-C
- P14 EMERGENCY EGRESS LADDER, RE: DTLS A4.3

WINDOW KEYED NOTES

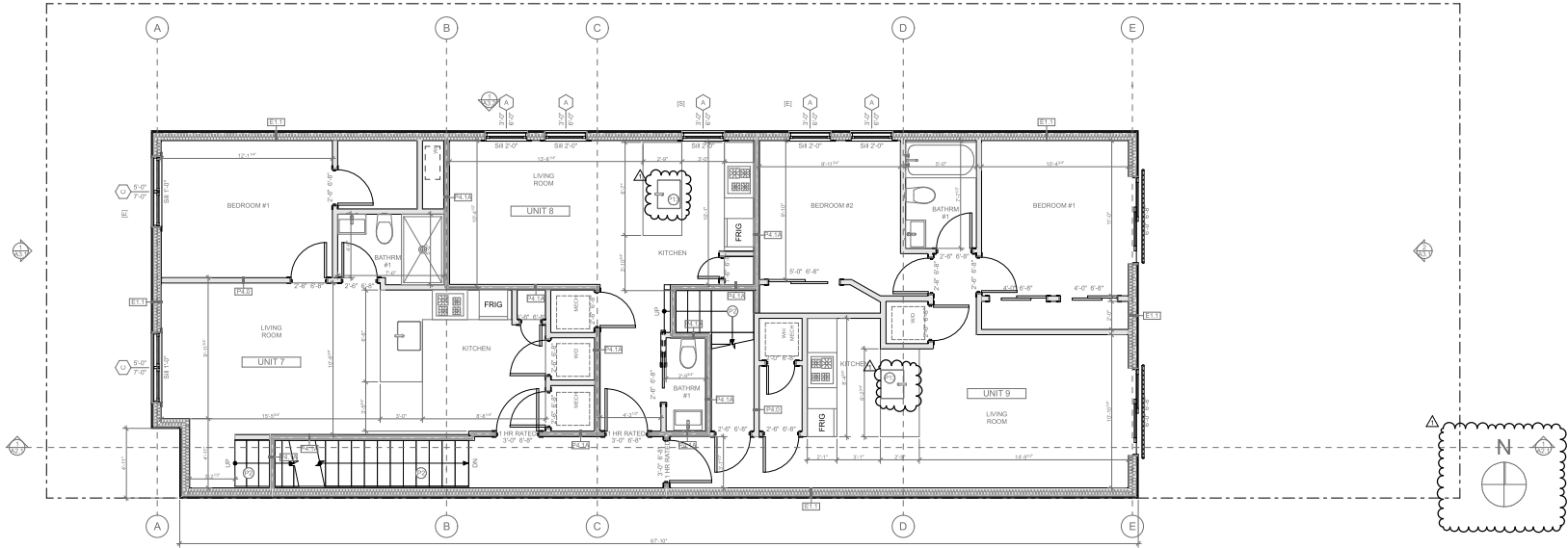
- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION.
 - REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS.
 - OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2085. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW.
- LEGEND:
- [E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.2
 - [S] SAFETY GLASS REQUIRED
 - [H] NEW WOOD WINDOW IN EXISTING OPENING, MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
 - [N] NEW WINDOW IN EXISTING OPENING
 - [F] 20 MIN RATED FIRE RATED WINDOW WITH AUTOMATIC FIRE CLOSURE DEVICE

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES.
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS.
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES.
- ALL RATED DOORS SHALL BE SELF CLOSING.
- REFER TO A2.1 FOR INSULATION REQUIREMENTS.



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2ND FLOOR
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. REFER TO A3.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR.
3. ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED.
4. WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS.
5. SHOWER COMPARTMENT SHALL NOT BE LESS THEN 36" X 36" CLEAR.
6. COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
7. ROOFING MEMBRANE.
8. 42" (H) PARAPET.
9. SCUPPER TO DOWNSPOUT.
10. DOWNSPOUT.
11. SLOPE ROOF FRAMING, RE: BLDG SECTION.
12. INCLINED WHEELCHAIR STAIR LIFT.
13. PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1A:10-B-C.
14. EMERGENCY EGRESS LADDER, RE: DTLS.A4.3.

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
P4 OSHA COMPLIANT METAL LADDER
P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
P7 ROOFING MEMBRANE
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P9 SCUPPER TO DOWNSPOUT
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P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
P12 INCLINED WHEELCHAIR STAIR LIFT
P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1A:10-B-C
P14 EMERGENCY EGRESS LADDER, RE: DTLS.A4.3

WINDOW KEYED NOTES

1. REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION.
 2. REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS.
 3. OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WCD) THAT RESTRICT THE OPENING TO LESS THAN 4" WOOD SHALL COMPLY WITH ASTM F2085. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY WINDOW.
- LEGEND:
[E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.2
[R] SAFETY GLASS REQUIRED
[W] NEW WOOD WINDOW IN EXISTING OPENING, MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
[O] NEW WINDOW IN EXISTING OPENING
[P] 36" MIN RATED PRESSURIZED WINDOW W/ AUTOMATIC REEL CLOSURE DEVICE

DOOR GENERAL NOTES

1. REFER TO PLAN FOR DOOR SIZES.
2. ALL MAIN ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS.
3. MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES.
4. ALL RATED DOORS SHALL BE SELF CLOSING.
5. REFER TO A3.1 FOR INSULATION REQUIREMENTS.



I AM RESPONSIBLE & AM CERTIFYING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE DISTRICT OF COLUMBIA. I HAVE REVIEWED THE DESIGN AND I HAVE REVIEWED THE DEVELOPMENT OF THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION.

CONSTRUCTION PLANS

ISSUED
FOR PERMIT

A13

REVISION
DATE
1/4/25



LONG SECTION
SCALE: 1/4" = 1'-0"

1

BUILDING SECTION GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLIES
3. REFER TO A4.1 FOR WALL ASSEMBLIES

DISTRICT
architecture
studio

1765 Florida Ave NW Washington, DC

3319 12TH ST NE
WASHINGTON DC

CLIENT: MORE PROPERTIES LLC



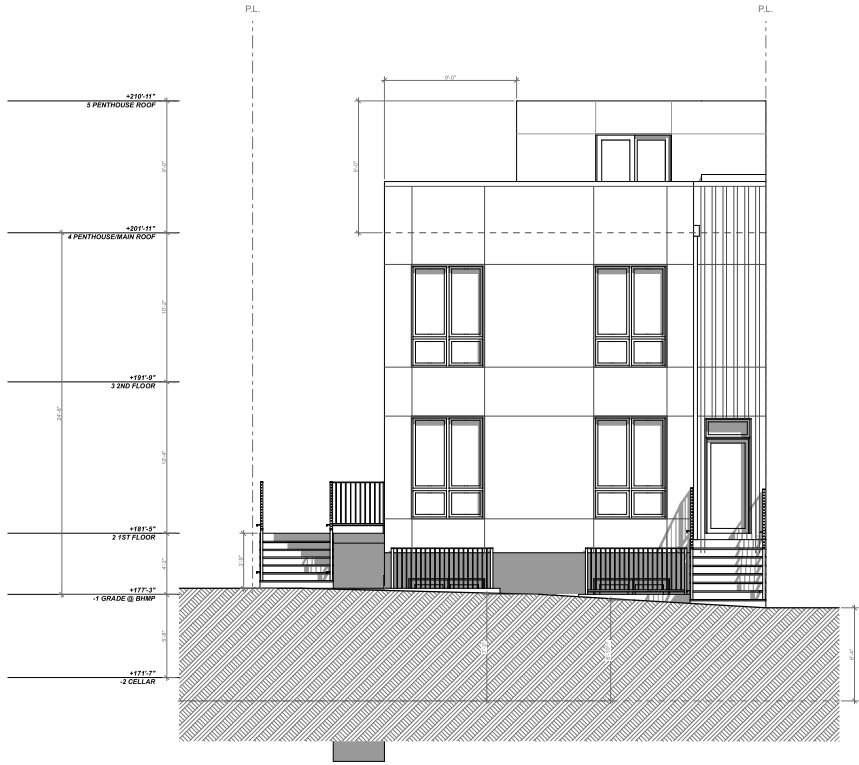
I AM RESPONSIBLE & AM CERTIFYING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE DISTRICT OF COLUMBIA. I HAVE REVIEWED THE DESIGN AND I HEREBY CERTIFY THAT THE DESIGN IS THE DESIGN OF THE ARCHITECTURAL DESIGNER INCLUDED IN THIS APPLICATION.

SECTION

ISSUED
FOR PERMIT

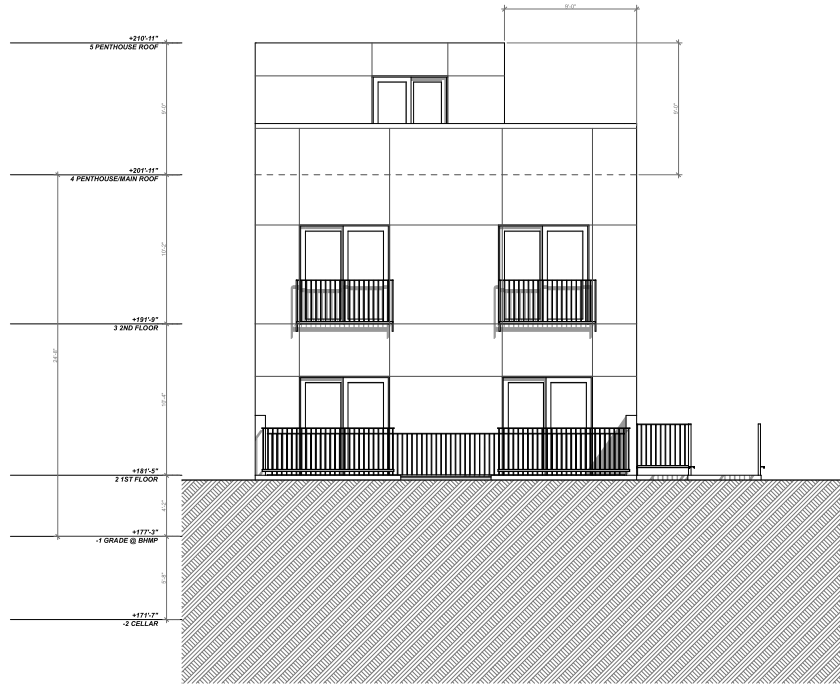
A2.1

REVISION
DATE
1/4/25



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1



REAR ELEVATION
SCALE: 1/4" = 1'-0"

2

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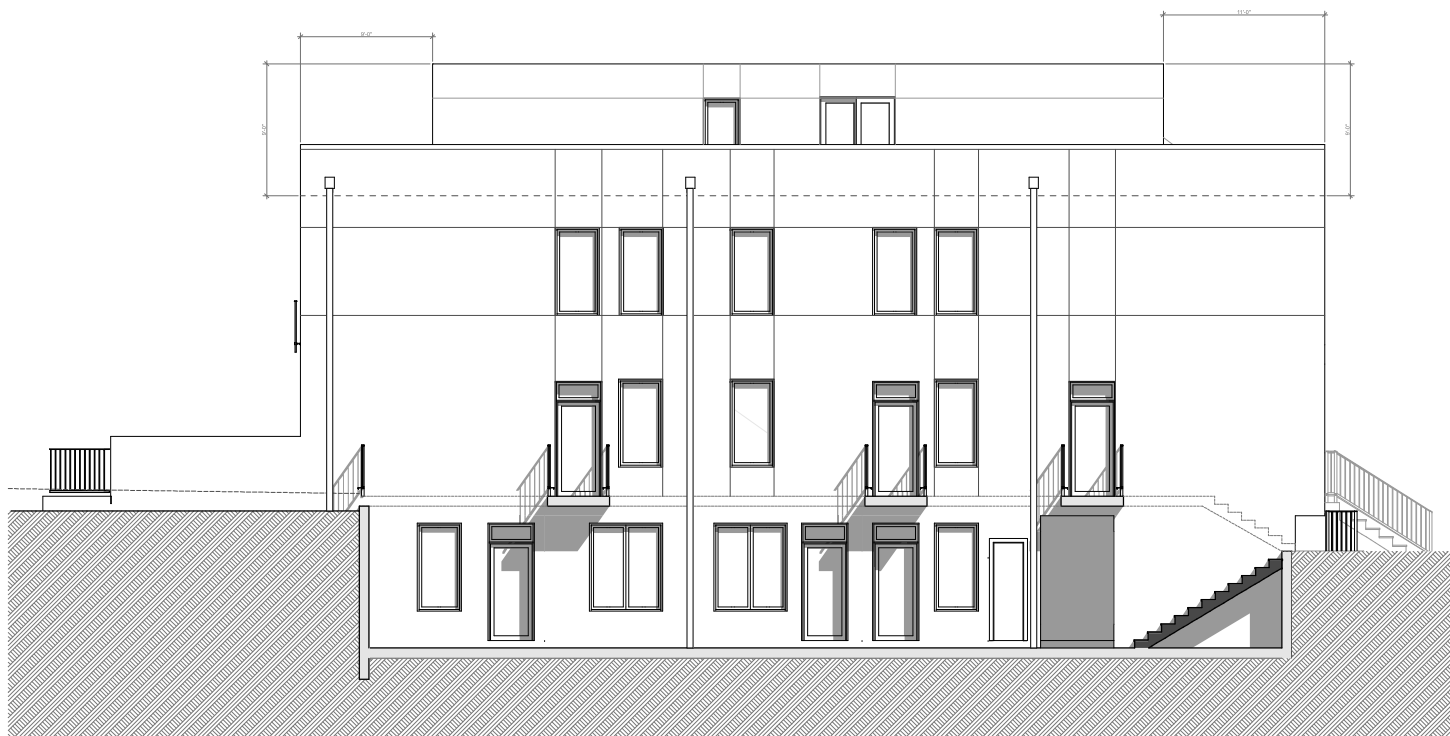
I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN PREPARED IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA, AND I HEREBY CERTIFY THAT THE DESIGNER HAS BEEN QUALIFIED TO PREPARE THE DESIGN INCLUDED IN THIS APPLICATION.

ELEVATIONS

ISSUED
FOR PERMIT

A3.1

REVISION
DATE
1/4/25



SIDE ELEVATION B
SCALE: 1/4" = 1'-0"

1

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I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION HAS BEEN COMPLIED WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA, AND I AM PROVIDING A PROFESSIONAL CERTIFICATE TO SUBMIT THE DEVELOPMENT OF THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION.

ELEVATIONS

ISSUED
FOR PERMIT

A3.2

REVISION
DATE
1/4/25