

PROJECT INFORMATION

ADDRESS: 3319 12TH ST NE
WASHINGTON, DC
SQUARE: 3630
LOT: 0029
DESCRIPTION: NEW CONSTRUCTION, 2-STORY + CELLAR + PENTHOUSE, SEMI-DETACHED BUILDING

BUILDING CODES

THIS BUILDING RENOVATION CONFORMS TO ALL APPLICABLE BUILDING AND ZONING CODES IN WASHINGTON DC:

2016 INTERNATIONAL BUILDING CODE AS AMENDED BY DCMR 12A-2017
ICC/ANSI A117.1 2008 AS AMENDED BY THE DCMR 12A 2013
2014 NATIONAL ELECTRICAL CODE AS AMENDED BY DCMR 12C-2017
2013 ANSI/ASHRAE/IES 90.1
2016 INTERNATIONAL GAS CODE AS AMENDED BY DCMR 12D-2017
2016 INTERNATIONAL MECHANICAL CODE AS AMENDED BY DCMR 12E-2017
2015 INTERNATIONAL PLUMBING CODE AS AMENDED BY DCMR 12H-2017
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE AS AMENDED BY DCMR 12G-2017
2015 INTERNATIONAL FIRE CODE AS AMENDED BY DCMR 12H-2017
2015 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY DCMR 12I-2017
2015 INTERNATIONAL GREEN CONSTRUCTION CODE AS AMENDED BY DCMR 12K-2017

2015 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY DCMR 12J-2017

NOTE: PROJECT IS DESIGNED TO CONFORM TO THE WORK AREA COMPLIANCE PATH OF THE INTERNATIONAL EXISTING BUILDING CODE, IEBC 301.1-2

PROJECT DIRECTORY

ARCHITECT: **STRUCTURAL:**
DISTRICT ARCHITECTURE
1776 FLORIDA AVE NW
WASHINGTON DC
CONTACT: DAVE BLOOM
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E: DAVE@DISTRICTARCHITECTURE.COM

CONTACT: YOSEPH WONDIMU
T: 703.975.9447
E: YOSEPH@BEL-ENGINEERING.COM

MEP:

CTS INC
7406 ALBAN STATION CT
SUITE A100
SPRINGFIELD, VA 22150

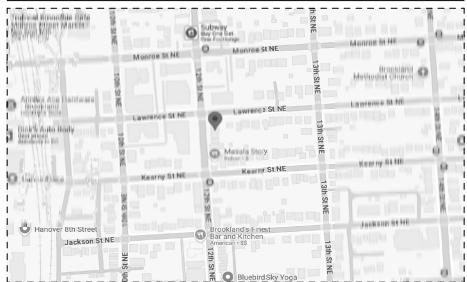
CONTACT: RICK SENNETT
T: 703.455.5520
E: RICK@CTSINCVA.COM

DRAWING INDEX

ARCHITECTURAL:

A0.1	PROJECT INFORMATION	CIV-000 COVERSHEET.pdf
A0.2	ENERGY PERFORMANCE	CIV-100 EXISTING CONDITION.pdf
A0.3	ACCESSIBILITY & SYMBOLS	CIV-101 DC WATER SUPPLY & WASTE.pdf
A0.4	ACCESSIBILITY REQUIREMENTS	CIV-102 DEMOLITION PLAN.pdf
A0.5	ACCESSIBILITY REQUIREMENTS	CIV-200 SITE PLAN.pdf
A0.6	EGRESS PLANS	CIV-220 SITE DETAILS.pdf
A0.7	ZONING PLANS	CIV-300 UTILITY PLAN.pdf
A0.8	SITE PLANS	CIV-310 UTILITY PROFILES.pdf
A1.1	CONSTRUCTION PLANS	CIV-311 UTILITY PROFILES.pdf
A1.2	CONSTRUCTION PLANS	CIV-312 STORM SEWER CAJUATI.pdf
A1.3	CONSTRUCTION PLANS	CIV-320 UTILITY DETAILS.pdf
A1.4	CONSTRUCTION PLANS	CIV-330 CONSTRUCTION DETAILS.pdf
A1.5	CONSTRUCTION PLANS	CIV-340 SEDIMENT CONTROL PLAN.pdf
A2.1	SECTION	CIV-510 SEDIMENT CONTROL NOTES AND DETAILS.pdf
A3.1	ELEVATIONS	CIV-511 SEDIMENT CONTROL NOTES AND DETAILS.pdf
A3.2	ELEVATIONS	CIV-512 SEDIMENT CONTROL NOTES AND DETAILS.pdf
A4.1	WALL ASSEMBLIES	CIV-520 DOOT TREE PRETRIM NOTES AND DETAILS.pdf
A4.2	HORIZONTAL ASSEMBLIES	CIV-710 GAR SITE PLAN.pdf
A4.3	STAB & WINDOW DETAILS	CIV-720 GAR PLANTING PLAN.pdf
A4.4	EXTERIOR DETAILS	CIV-721 GAR PLANTING DETAILS.pdf
A4.5	Penetration DETAILS	CIV-730 GAR NOTES AND DETAILS.pdf
A4.6	Penetration DETAILS	
A4.7	Penetration DETAILS	
A4.8	Penetration DETAILS	

LOCATION MAP



BUILDING INFORMATION

	EXISTING	PROPOSED
OCUPANCY GROUP	-	R-2
NUMBER OF UNITS	-	9
CONSTRUCTION TYPE	-	VB
SPRINKLER SYSTEM	-	YES, NFPA 13R
FIRE ALARM SYSTEM	-	NO
SMOKE ALARM SYSTEM	-	YES
TYPE A UNITS	-	0
TYPE B UNITS	-	3

BUILDING HEIGHT & AREA

	TYPE VB* LIMITS	PROPOSED
BUILDING HEIGHT	60' MAX	33'-8"
NUMBER OF STORIES	3 STORIES MAX	2 STORIES + CELLAR + PENTHOUSE
AREALIMIT @ R-2	7,000 SF MAX	-
AREALIMIT @ R-3	UL	-
AREALIMIT @ R-4	-	-
CELLAR	-	2,069
1ST FLOOR	-	1,806
2ND FLOOR	-	1,806
3RD FLOOR	-	847

* INCLUDES HEIGHT AND STORY INCREASE FOR SPRINKLER SYSTEM, NFPA 13R

ZONING DATA

	EXISTING	PROPOSED
SQUARE:	3930	3930
LOT:	0029	0029
ZONE:	MU-3A	MU-3A
HISTORIC ZONE:	NA	NA
NUMBER OF STORIES:	-	2+CELLAR
SECOND AND PH. FL., ER. ROOF FRAMING PLANS.pdf	-	+PENTHOUSE
FOOTING AND PH. FL., ER. ROOF FRAMING PLANS.pdf	-	24'-8"
WALL BRACING PLANS.pdf	-	4'-2"
BUILDING HEIGHT FROM BHMP:	-	-
GRADE TO 1ST FLOOR, FINISHED:	-	-
NUMBER OF UNITS:	-	9
NUMBER OF PARKING SPACES:	-	0
LOT AREA (SF)	3,500	3,500
BLDG AREA (SF) / LOT OCC (%)	1,816 SF	51.60%
GROSS FLR AREA (SF) / FAR	3,500 SF	1.0
PENTHOUSE GROSS FLR AREA (SF) / FAR	847 SF	.24

REAR YARD SETBACK: - 22.74'
SIDEWAY SETBACK @ LEFT: - 9.07'
SIDEWAY SETBACK @ RIGHT: - 0.00'

FINISH CLASSIFICATIONS

GROUP: R-2, SPRINKLERED:

INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND INTERIOR EXIT PASSAGEWAYS:
CORRIDOR AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AN EXIT ACCESS RAMPS:
ROOMS AND ENCLOSED SPACES:

NO NOISE FROM CONSTRUCTION SHALL BE PERMITTED ON ANY SUNDAY, LEGAL HOLIDAYS, AFTER 7PM AND BEFORE 7AM ON ANY WORKDAY
FROM 7AM AND 7PM ON WEEKDAY, NOISE LEVELS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL NOT EXCEED 80 dBA UNLESS GRANTED A VARIANCE
FROM 7PM TO 7AM, THE MAXIMUM NOISE LEVELS SHALL BE AS FOLLOWS:
RESIDENTIAL:
DAYTIME: 60 dBA
NIGHTTIME: 55 dBA
NOISE FROM CONSTRUCTION OR DEMOLITION SHALL BE MEASURED 25 FEET FROM THE OUTERMOST LIMITS OF THE CONSTRUCTION SITE

BUILDING ELEMENT FIRE RATING

CODE REQUIREMENTS LIST BELOW ARE SPECIFIC TO RESIDENTIAL [R] GROUP USE

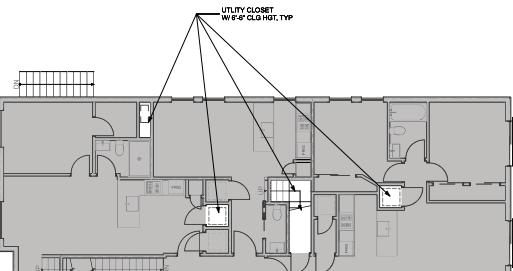
	TYPE VB	PROPOSED
STRUCTURAL FRAME:	0 HR	0 HR
BEARING WALLS:	PER FIRE SEPARATION DISTANCE	PER FIRE SEPARATION DISTANCE
EXTERIOR	0 HR OR PER	0 HR OR PER
INTERIOR	0 HR OR PER	0 HR OR PER
NON-BEARING WALLS:	PER FIRE SEPARATION DISTANCE	PER FIRE SEPARATION DISTANCE
EXTERIOR	0 HR OR PER	0 HR OR PER
INTERIOR	0 HR OR PER	0 HR OR PER
EXTERIOR WALLS BASED ON:	PER FIRE SEPARATION DISTANCE	PER FIRE SEPARATION DISTANCE
X < 5'	1 HR	1 HR
5' ≤ X ≤ 10'	1 HR	1 HR
10' ≤ X ≤ 30'	0 HR	0 HR
X ≥ 30'	0 HR	0 HR
FIRE PARTITIONS:	24'-8"	24'-8"
CORRIDOR	1 HR	1 HR
BETWEEN DWELLING UNITS	1 HR	1 HR
FIRE BARRIER:	STAIR/SHAFT ENCLOSURE	1 HR @ 3-STORIES 2 HR @ 4-STORIES
HORIZONTAL ASSEMBLIES:	FLOORS BETWEEN UNITS	1 HR
ROOF	0 HR	0 HR
OPENING PROTECTION:		
	FIRE PARTITION @ CORRIDOR	
WALL ASSEMBLY RATING:	30 MINS	DOOR ASSEMBLY RATING: 30 MINS
1 HR	20 MINS	90 MIN
		90 MIN
FIRE BARRIER @ EXIT ACCESS STAIRWAYS, INTERIOR EXIT STAIRWAYS, EXIT PASSAGEWAY:		
WALL ASSEMBLY RATING:	1 HR	DOOR ASSEMBLY RATING: 90 MIN
90 MIN	90 MIN	90 MIN
2 HR	20 MINS	

PROJECT INFORMATION

ISSUED FOR PERMIT
Board of Zoning Adjustment
District of Columbia
CASE NO.21218
EXHIBIT NO.17B
REVISION A0.1
DATE 1/4/2023



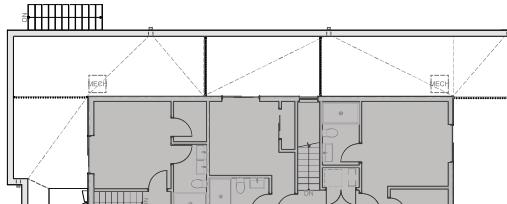
3319 12TH ST NE
WASHINGTON DC
CLIENT: BOND PROPERTIES LLC
ARCHITECT: DISTRICT ARCHITECTURE
1776 FLORIDA AVE NW, Washington, DC
1765 Florida Ave NW, Washington, DC



2ND FLOOR

SCALE: 1/8" = 1'-0"

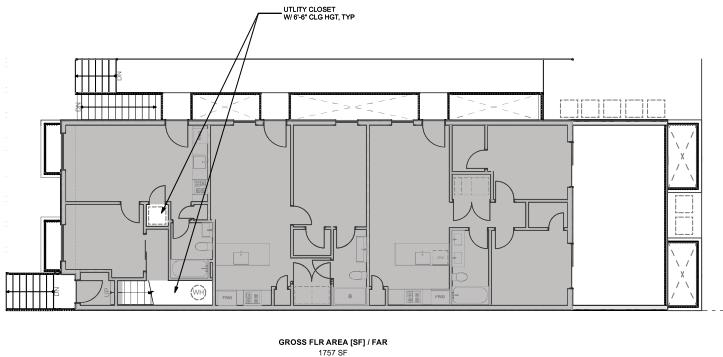
2



PENTHOUSE/MAIN ROOF

SCALE: 1/8" = 1'-0"

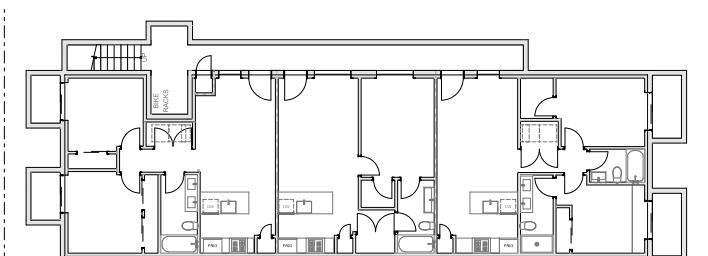
3



1ST FLOOR

SCALE: 1/8" = 1'-0"

1



CELLAR

SCALE: 1/8" = 1'-0"

4

DISTRICT
architecture
studio

1705 Florida Ave NW, Washington DC

3319 12TH ST NE
WASHINGTON DC

CLIENT: BORDI BROTHERS LLC



I AM RESPONSIBLE FOR DETERMINING THAT THE
ARCHITECTURAL DESIGN INCLUDED IN THIS
APPLICATION CONFORMS WITH THE ZONING LAW
AND REGULATIONS OF THE DISTRICT OF COLUMBIA.
THIS APPLICANT HAS BEEN DULY NOTIFIED
THAT ARCHITECTURAL DESIGN INCLUDED IN THIS
APPLICATION

ZONING PLANS

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FOR PERMIT

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A0.7
DATE
1/4/25

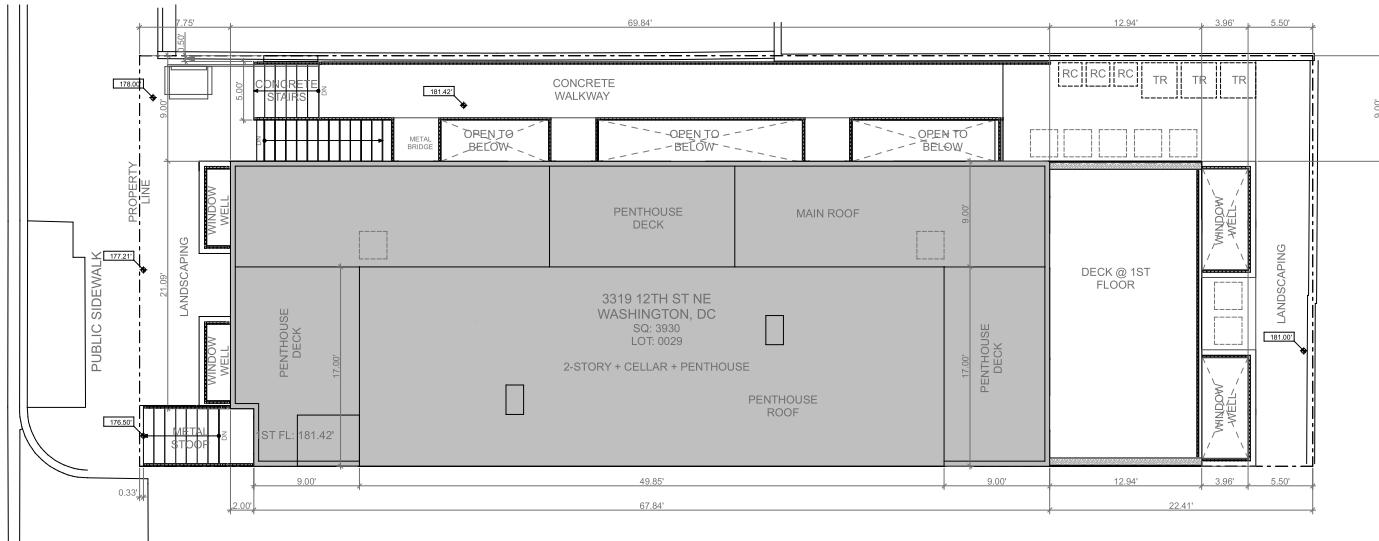
SITE PLANS

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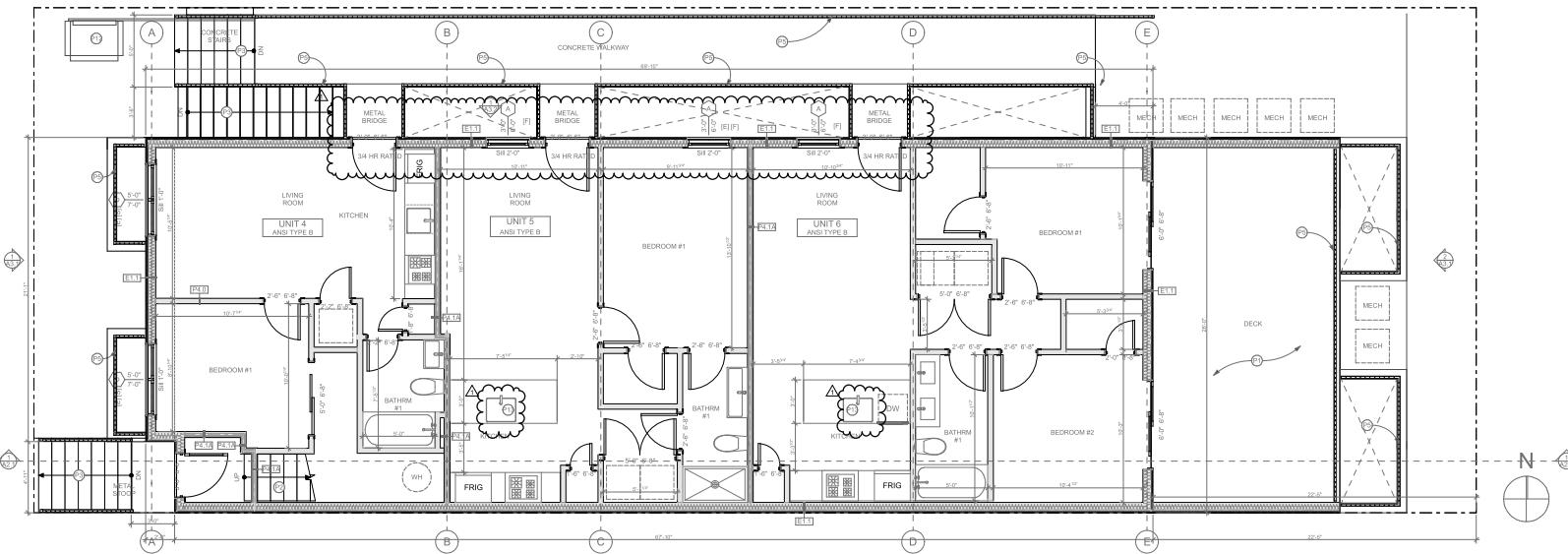


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AND REGULATIONS OF THE DISTRICT OF COLUMBIA.
THIS APPROVAL DOES NOT AUTOMATICALLY
SUPERVISE THE DEVELOPMENT OF THE
CONSTRUCTION. BUILDING INCLUDED IN THIS
APPLICATION.





1. I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION CONFORMS WITH THE ZONING LAW AND REGULATIONS OF THE DISTRICT OF COLUMBIA. THIS APPLICANT HAS BEEN DULY NOTIFIED THAT I SUPERVISE THE DEVELOPMENT OF THE INDIVIDUAL BUILDING INCLUDED IN THIS APPLICATION.



1ST FLOOR

SCALE: 1/4" = 1'-0"

1

CONSTRUCTION PLAN GENERAL NOTES

1. REFER TO A1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.

2. ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR.

3. ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED.

4. WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS.

5. SHOWER COMPARTMENT SHALL NOT BE LESS THAN 30" X 30" CLEAR.

6. DOORS SHALL NOT BE SET CLOSER THAN 30" CLEAR.

COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE CERAMIC TILE TO A HEIGHT 8'0" MIN.

9. VENITIAN FLOOR TO FLOOR HEIGHTS, VERIFY STAIR NOSING AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10' MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS, TREADS SHALL BE 11' MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM NOSING TO NOSING, OR NEAREST EDGE OF GUARDED HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.

10. VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING.

11. REFER TO A1 SERIES FOR WALL TYPE DETAILS.

12. REFER TO A1 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS.

13. REFER TO A1 SERIES FOR HORIZONTAL ASSEMBLY TYPES.

14. ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0.

15. STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE.

16. INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:

• WALLS: PLASTER, PAINT, OR FINISHES AS NOTED IN THE TYPICAL STAIRS.

• FLOORS: ENGINEERED WOOD, TYP. CERAMIC TILE @ ALL BATHROOMS.

• CEILINGS: ENGINEERED TYP.

17. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER WI A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR.

CONSTRUCTION PLAN KEYED NOTES

P1 WEATHER RESISTANT WOOD DECKING

P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES

P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES

P4 OSHA COMPLIANT METAL LADDER

P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX

P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES

P7 ROOFING MEMBRANE

P8 42" (H) PARAPET

P9 SCUPPER TO DOWNSPOUT

P10 DOWNSPOUT

P11 SLOPE ROOF FRAMING, RE: BLDG SECTION

P12 HOLLOW WHEELCHAIR STAIR LIFT

P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A:10-B:C

P14 EMERGENCY EGGS LADDER, RE: DTS A.3

WINDOW KEYED NOTES

1. REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION.

2. REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS.

3. OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WCD) THAT RESTRICT THE OPENING TO 120°. THE WCD SHALL COMPLY WITH ASTM Z666. ONCE RELEASED, THE WCD SHALL NOT REDUCE THE MINIMUM CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGGS WINDOW.

LEGEND:

[E] DESIGNATED EMERGENCY EGGS WINDOW, REFER TO DETAIL ON A4.2

[S] SAFETY GLASS REQUIRED

[W] NEW WOOD WINDOW IN EXISTING OPENING, MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING

[O] NEW WINDOW IN EXISTING OPENING

DOOR GENERAL NOTES

1. REFER TO PLAN FOR DOOR SIZES.

2. ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS.

3. MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGESS AT ALL TIMES.

4. ALL RATED DOORS SHALL BE SELF CLOSING.

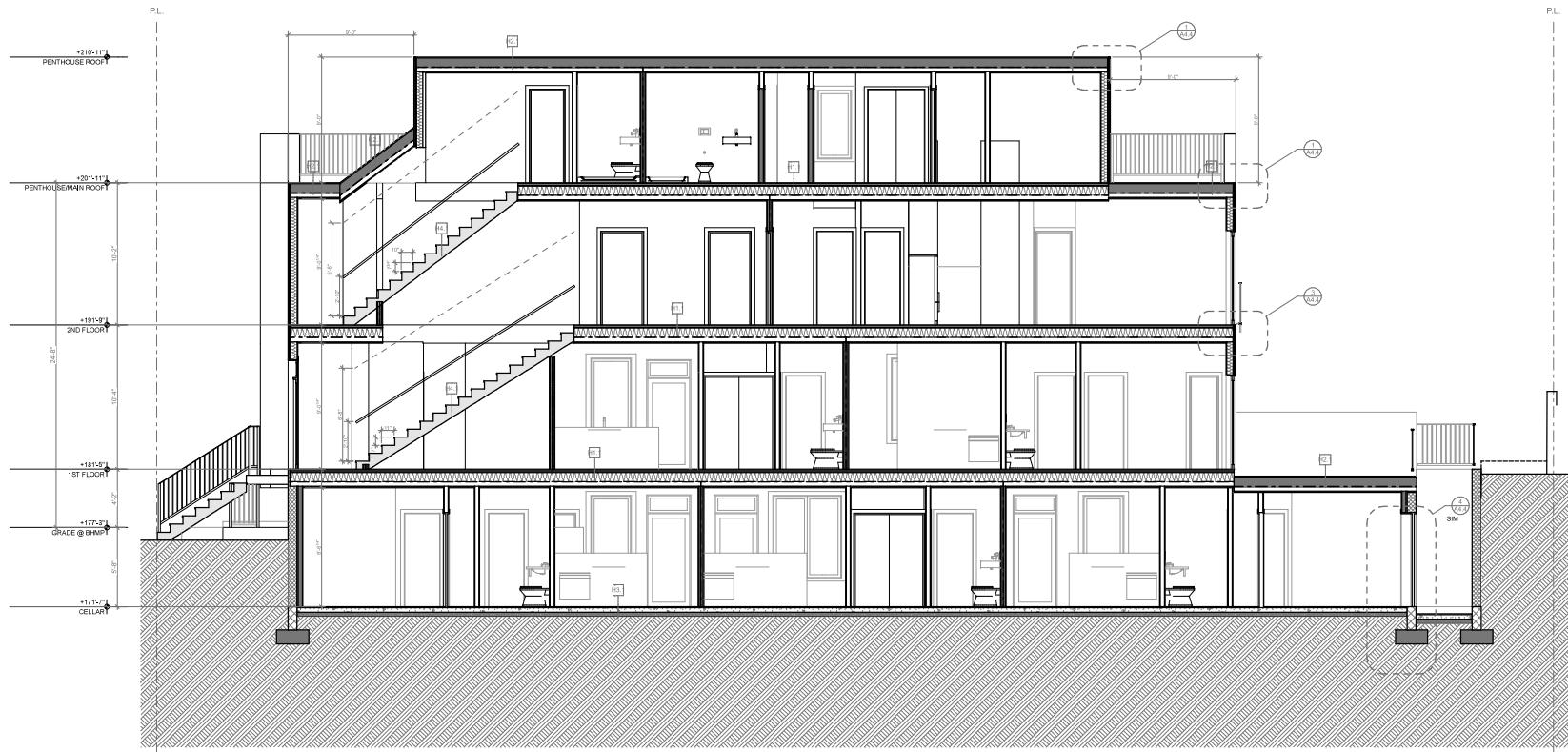
5. REFER TO A0.1 FOR INSULATION REQUIREMENTS.

CONSTRUCTION PLANS

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DATE
1/4/25

A1.2



LONG SECTION

SCALE: 1/4" = 1'-0"

1

BUILDING SECTION GENERAL NOTES

1. REFER TO A4.1 FOR SUBMISSIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
 2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS.
 3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLIES.
 4. REFER TO A4.1 FOR WALL ASSEMBLIES.

SECTION

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A2.1
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CLIENT: BORDI BROTHERS LLC

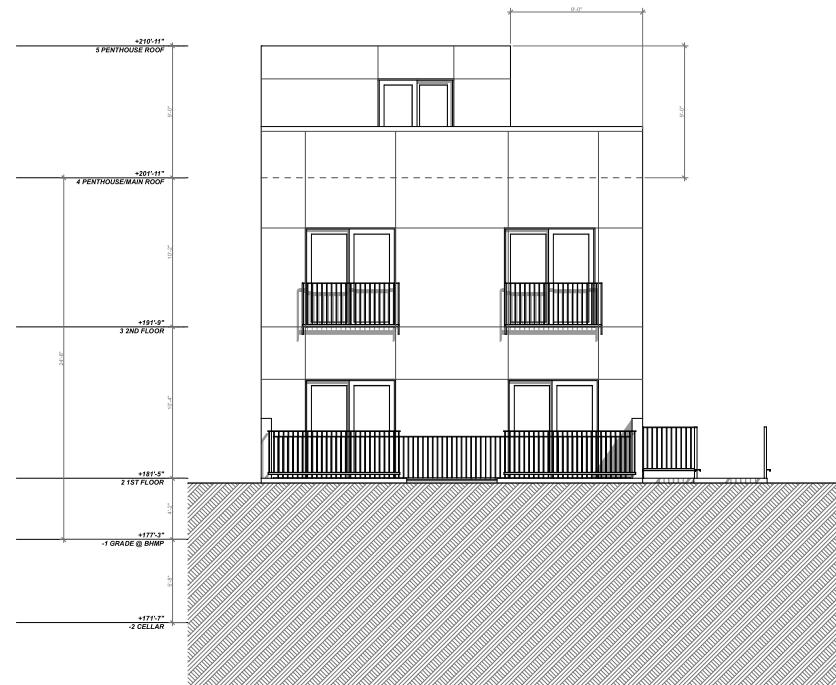


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THIS DRAWING HAS BEEN APPROVED
SUPERVISORY THE DEVELOPMENT OF THE
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APPLICATION.



1

REAR ELEVATION
SCALE: 1/4" = 1'-0"



2

ELEVATIONS

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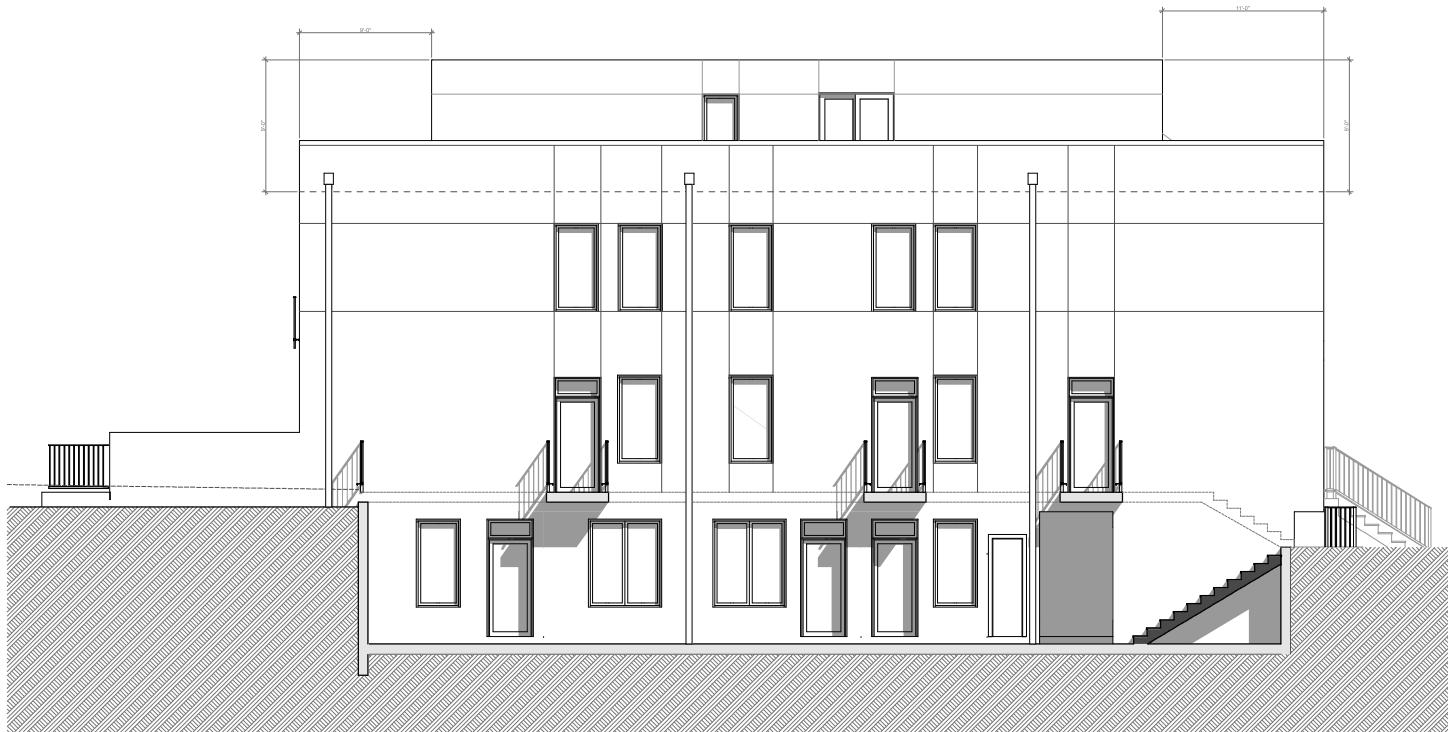
1705 Florida Ave NW, Washington DC

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WASHINGTON DC

CLIENT: BORD PHOTONICS LLC



1 AMENDMENT FOR DETERMINING THAT THE
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AND REGULATIONS OF THE DISTRICT OF COLUMBIA.
THIS AMENDMENT IS BEING MADE IN ACCORDANCE
WITH THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA
BOARD OF BUILDING AND SAFETY ENGINEERING.
SUPERVISED THE DEVELOPMENT OF THE
ARCHITECTURAL DESIGN INCLUDED IN THIS
APPLICATION.



SIDE ELEVATION B

SCALE: 1/4" = 1'-0"

1

ELEVATIONS

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DATE
1/4/25

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WASHINGTON DC

CLIENT: BORDI BROTHERS LLC



144 PERMIT IS FOR DETERMINING THAT THE
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