

Abbreviations

Abbreviations may be upper or lower case)

#	Pound OR Number	jst	Joist
&	And	P.Lam.	Laminated Plastic
@	At	Lav.	Lavatory
ATC	Acoustic Ceiling Tile	Lav.	Lavatory
A.B.	Anchor Bolt	LO	Low
A.C.	Asphalt Concrete	Lw	Lower
ABV	Above	MECH	Mechanical
A.D.	Area Drain	MMBR	Membrane or Member
ADJ.	Adjacent or adjust	MEP	Mechanical, Electrical & Plumbing
AFF	Above Finish Floor	Mfr	Manufacturer
AGG	Aggregate	M.B.	Machine Bolt
Alum	Aluminum	Max.	Maximum
ANOD	Anodized	M.C.	Medicine Cabinet
ARCH	Architect or Architectural	Med.	Medium
BYND	Beyond	Min.	Minimum
Bk'g	Blocking	Mr L	Micro-Lam Beam
Bot	Bottom	MRGWB	Moisture-Resistant Gypsum Wall Board
Bld'g	Building	M.L.	Malleable Iron
CPT	Carpet	MIL	Metal
CIP	Cast In Place	(N)	New
C.B.C.	Catch Basin	NTS	Not to Scale
CBC	California Building Code	Nat.	Natural
Cig	Ceiling	N.I.C.	Not in Contract
Platr	Cement Plaster	NOM	Nominal
CL	Centerline	OCC	Occupants
CT	Ceramic Tile	Op'n'g	Opening
CHNL	Channel		
Or	Clear	OH	Overhang or Opposite Hand
Col.	Column	O.L.	Occupant Load
COMPR	Compressible	OLF	Occupant Load Factor
Conc.	Concrete	Opp.	Opposite
CMU	Concrete Masonry Unit	or	Over
Cont.	Continuous	O.D.	Outside Diameter
CJ	Control Joint	OZ	Ounce
Const.	Construction	PCC	Pre-Cast Concrete
CSK	Countersink	PLUMB	Plumbing
CL	Curb Inlet or Catch Basin	PSL	Parallam Composite Beam
DEMO	Demolish or Demolition	PL	Plate or Property Line
Dia.	Diameter	PNT	Paint or Painted
DM(S)	Dimension(s)	PVC	Polyvinyl Chloride
Dbl	Double	PVT	Private
DF	Douglas Fir	P&S	Pole & Shelf
DI	Drop Inlet	PT	Pressure Treated
Dn	Down	Plywd	Plywood
DR.	Door	R	Radius
D.S.	Downspout	R.A.	Return Air
DW	Dish Washer	RBR	Rubber
D.	Dryer	RPC	Reflected Ceiling Plan
Eq.	Equal	RM	Room
Eq.	Equal	R.O.	Rough Opening
ELEC	Electrical	R. D.	Roof Drain
ELEV	Elevator or Elevation	Ref.	Refrigerator
E.N.	Edge Nail	Reinf.	Reinforced
Engr.	Engineer or Engineering	Rtrr	Rafter
epDM	Ethylene Propylene Diene M-Class (Roofing)	RW	Retaining Wall
(E)	Existing	Req'd	Required
EJ	Expansion Joint	Req'mts	Requirements
Ext.	Exterior	Rdw	Redwood
FAU	Forced Air Unit	RWL	Rain Water Leader
FD	Floor Drain or Fire Department	SC	Solid Core
FDC	Fire Department Connection	SS	Stainless Steel or Select
Fdn.	Foundation	S.D.	Storm Drain
FEC	Fire Extinguisher Cabinet	S.B.	Solid Blocking
F.G.	Finish Grade	S.G.	Subgrade
F.F.	Finish Floor	Sh'g	Sheathing
FIXT	Fixture	Shwr	Shower
F.O.C.	Face of Concrete or Face of Curb	Sim	Similar
F.O.M.	Face of Masonry	SQ	Square
F.O.S.	Face of Stud	s.f. or SF	Square Feet
F.L.	Flow Line	SPEC	Specified OR Specification
FLR	Floor	SPK	Sprinkler or Speaker
Fm'g	Filled Metal	STC	Sound Transmission Coefficient
Frm'g	Forming	Std.	Standard
FS	Finish Surface	STL	Steel
Fig	Footing	STRUCT	Structure or Structural
GA	Gauge or Gypsum Association	SW	Shearwall or Shear Wall
Galv.	Galvanized	Temp.	Tempered
G.D.	Garbage Disposal	Thk	Thick or Thickness
G.L.B.	Glu-Lam Beam	T&B	Tongue & Bottom
G.S.M.	Galvanized Sheet Metal	T&G	Tongue & Groove
G.I.	Galvanized Iron	TELE	Telephone
Gyp Bd	Gypsum Board	TLT	Toilet
H.B.	Hose Bibb	TOC	Top of Grade
Hwd	Hardwood	TG	Top of Grade
Hr	Header	T.O.C.	Top of Mechanical Curb
HL	Height	TME	Top of Mechanical Curb
HI	High	TP	Top of Pacing or Toilet Paper Holder
HC	Hollow Core	TD	Telephone/Data
HM	Hollow Metal	TYP	Typical
Horiz	Horizontal	UON	Unless Otherwise Noted
HP	High Point or High Pressure	W	Washer or Washing Machine
HR	Hour	W	With
HVAC	Heating, Venting, And Air Conditioning	WC	Water Closet
Info	Information	WH	Water Heater
I.D.	Inside Diameter	W.I.C.	Walk in Closet
IC	Impact Insulation Class (Rating)	WD	Wood
ILO	In Lieu Of	VTR	Vent to Roof
Insul	Insulation or Insulated	VIF	Verify in Field
I.G.	Invert Grade Elevation	VP	Vision Panel
Int.	Interior		

Applicable Building Codes

- 2017 District of Columbia Building Code
- 2017 District of Columbia Residential Code
- 2017 District of Columbia Electrical Code
- 2017 District of Columbia Mechanical Code
- 2017 District of Columbia Plumbing Code
- 2017 District of Columbia Fire Code
- 2017 District of Columbia Energy Conservation Code
- 2017 District of Columbia Existing Building Code
- 2017 District of Columbia Green Construction Code

PAYNE MULTI-FAMILY RESIDENCE

WASHINGTON, D.C.

General Notes

1 EXAMINATION OF SITE
The Contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The Contractor shall verify at the site all measurements affecting the work and shall be responsible for their correctness. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.

2 GENERAL OPERATIONS
The Contractor shall, after consulting with the Owner, schedule the work as not to interfere unduly with neighbors, etc. Contractor shall stay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbor's property, improvements, and the like. Protect all in-place construction in connection with the work. Particular attention is directed to, but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.

3 CONTRACTOR USE OF PREMISES
3-A. Confine operations at the site to areas permitted by law, ordinances, permits and these Contract Documents. Do not unreasonably encumber premises with materials or equipment.

3-B. Assume all responsibility for protection and safekeeping of products stored on the premises. Move any stored products which interfere with operations of the city or of other contractor. Obtain and pay for use of additional storage or work area required for operations.

4 LIMITS OF WORK
Work zone limits are established on the drawings. All Contractors, Subcontractors and Tradesman shall coordinate their work with one another within the established limits.

5 SEQUENCE OF WORK
In the event of any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the contract or by acts of nature or God.

6 ORDERS
Place orders for material and equipment immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workmen and subcontractors on job at proper time and avoid delays.

7 MEASUREMENTS
Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor shall be fully and solely responsible for the correction or adjustment of any such related work or errors.
All dimensions take precedence over scale.
All dimensions are to face of stud, unless otherwise noted.
The contractor shall not scale drawings.

8 RULES AND REGULATIONS
All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State title 24 & A.B. 163 Energy Regulations, and all applicable Local and State Laws and Ordinances. Nothing on the drawings shall be construed to permit work not conforming to these codes.

9 CONSTRUCTION QUALITY
The Contractor shall complete all work in a good workmanlike manner at a level or quality or tolerance consistent with the standards of the construction industry. The Construction Documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material, and workmanship throughout.

10 COMPLETE PROJECT
The Contract Documents, including working drawings, specifications, and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measures or the construction procedures required for same, which are the sole responsibility of the Contractor. All conditions not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as occur. Work which is obviously required to be performed to provide a detail existing in the field as occur. Work which is obviously required to be performed to provide a plans, shall be performed by the contractor at no extra charge.

11 NOTES
All plan notes imply the words "the Contractor shall..." or "the Contractor shall install."

12 COOPERATION
12-A Contractor and subcontractors shall coordinate their work with adjacent work and cooperate with other trades as to facilitate general progress of the work. Each trade shall afford other trades every reasonable opportunity for installation of their work and for storage of their materials.

12-B. In as much as building completion within the time limit is dependent upon cooperation of those engaged therein, it is required that each contractor lay out and install his work at time and manner not to delay or interfere with carrying forward other contractor's work.

13 CHANGES
Any proposed changes in the construction shall be made to the Architect in writing or drawings. All changes shall be review by the Architect, approved by the Owner, Contractor, Architect, and by the Building Official as required.

14 This set of Plans to be always on Job Site during construction. All work shall be in accordance with the approved plans. No changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a perm shall not prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.

15 The issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for, or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid.

16 These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections, or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.

17 OWNERSHIP AND USE OF DOCUMENTS
All drawings, specifications and their content, and copies thereof furnished by BITARCHITECTS, LLC are and shall remain the property of the Architect. They are to be used only with respect to this project and shall not be used by any persons on other projects, or extensions to this project without expressed written agreement with and appropriate compensation to the Architect. These drawings are protected by common law copyright.

18 Anyone supplying labor and/or materials to the project shall carefully examine all sub-surfaces to receive work. Any conditions detrimental to the work shall be reported in writing to the Contractor prior to beginning work. Commencement of work shall imply acceptance of all sub-surfaces.

19 Any revision or additional work required by field conditions or local governing authorities shall be brought to the attention of the Architect before proceeding.

20 The Contractor shall be responsible for obtaining and paying for all special permits and licenses indicated on the plans and/or by specifications or required by the soils report and/or required by any government agency. The Contractor may need to obtain permits that may include but are not limited to: penetration fire stop systems; fire-resistant joint systems; automatic sprinkler systems; standpipe systems; manual fire alarm systems; emergency and standby power systems; and door hardware schedules.

Project Details

PAYNE MULTI-FAMILY RESIDENCE

10 GIRARD ST NE
WASHINGTON, DC 20002
PARCEL APN# 3500-0082

OWNER

ASHA PAYNE & ONAY PAYNE
13716 HEBRON LN
UPPER MARLBORO, MD 20774
ASHA.PAYNE@GMAIL.COM | ONAY.PAYNE@GMAIL.COM
(832) 724-8140

DESIGN FIRM

BITARCHITECTS, LLC
80 M St SE, STE 100,
WASHINGTON DC 20003
INFO@BITARCHITECTSLLC.COM
(202) 743-4355

SCOPE OF WORK

- COMPLETE SEPARATION OF THE BASEMENT UNIT HAVING A CLEAR HEIGHT (7'-0") AND THE UPPER DUPLEX RESIDENCE TO CREATE A MULTI-FAMILY DWELLING
- ADDING A FIRE PROOFING MEMBRANE BETWEEN UNIT 1 (BASEMENT FLOOR) AND UNIT 2 (FIRST FLOOR)
- COMPLETE SEPARATION OF UTILITIES, FROM THE SEPARATION OF ELECTRICAL PANELS, SEPARATION OF WATER HEATER, AND SEPARATION OF HVAC UNITS
- REMOVING THE STAIRS BETWEEN THE BASEMENT AND THE 1ST FLOOR
- ADDING A BATHROOM (IT WAS ONLY A ½ BATH) IN UNIT 1
- ADDING TWO BEDROOMS IN BASEMENT FLOOR (UNIT 1)
- ADDING OF A WALK-IN CLOSET ON THE SECOND FLOOR



Sheet Index

Page Number | Sheet Number | Sheet Name

1. ARCHITECTURE SHEETS

1	A0.0	TITLE SHEET
2	A0.1	ARCHITECTURAL SITE PLAN
3	A1.1	BASEMENT PLANS
4	A1.2	FIRST FLOOR PLANS
5	A1.3	SECOND FLOOR PLANS
6	A1.4	ROOF PLAN
7	A2.1	ELEVATIONS
8	A3.1	SECTIONS
9	A3.2	SECTIONS
10	A4.1	UNIT 1 FIRE PROTECTION PLAN
11	A4.2	UNIT 2 FIRE PROTECTION PLAN
12	A4.3	UNIT 1 FLOOR FINISHES PLAN
13	A4.4	UNIT 2 FLOOR FINISHES PLAN
14	A4.5	UNIT 1 WALL FINISHES PLAN
15	A4.6	UNIT 2 WALL FINISHES PLAN

2. UTILITY PLANS

16	E1.1	BASEMENT ELECTRICAL PLANS
17	E1.2	BASEMENT ELECTRICAL PLANS
18	E1.3	FIRST FLOOR ELECTRICAL PLANS
19	E1.4	FIRST FLOOR ELECTRICAL PLANS
20	E1.5	SECOND FLOOR ELECTRICAL PLANS
21	E1.6	SECOND FLOOR ELECTRICAL PLANS
22	P1.1	BASEMENT PLUMBING PLANS
23	P1.2	FIRST FLOOR PLUMBING PLANS
24	P1.3	SECOND FLOOR PLUMBING PLANS
25	M1.1	BASEMENT MECHANICAL PLANS
26	M1.2	FIRST FLOOR MECHANICAL PLANS
27	M1.3	SECOND FLOOR MECHANICAL PLANS

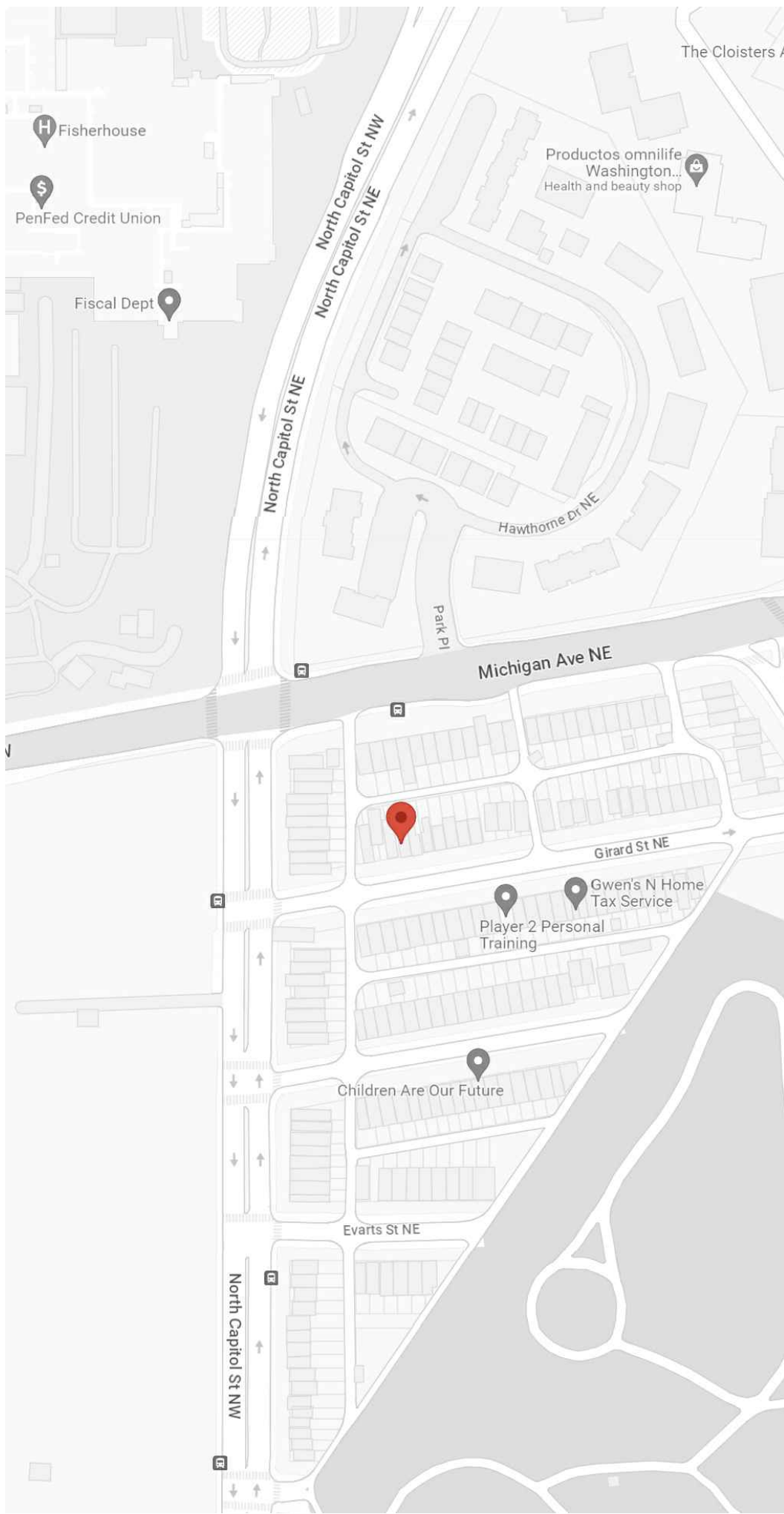
Special Inspections

N/A

Deferred Submittals

N/A

Vicinity Map



PAYNE MULTI-FAMILY RESIDENCE

10 GIRARD ST NE

WASHINGTON, DC 20002

Title Sheet

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BY: GA
REV: 01/20/2023 TB
02/07/2023 TB
03/19/2023 TB
09/28/2023 TB

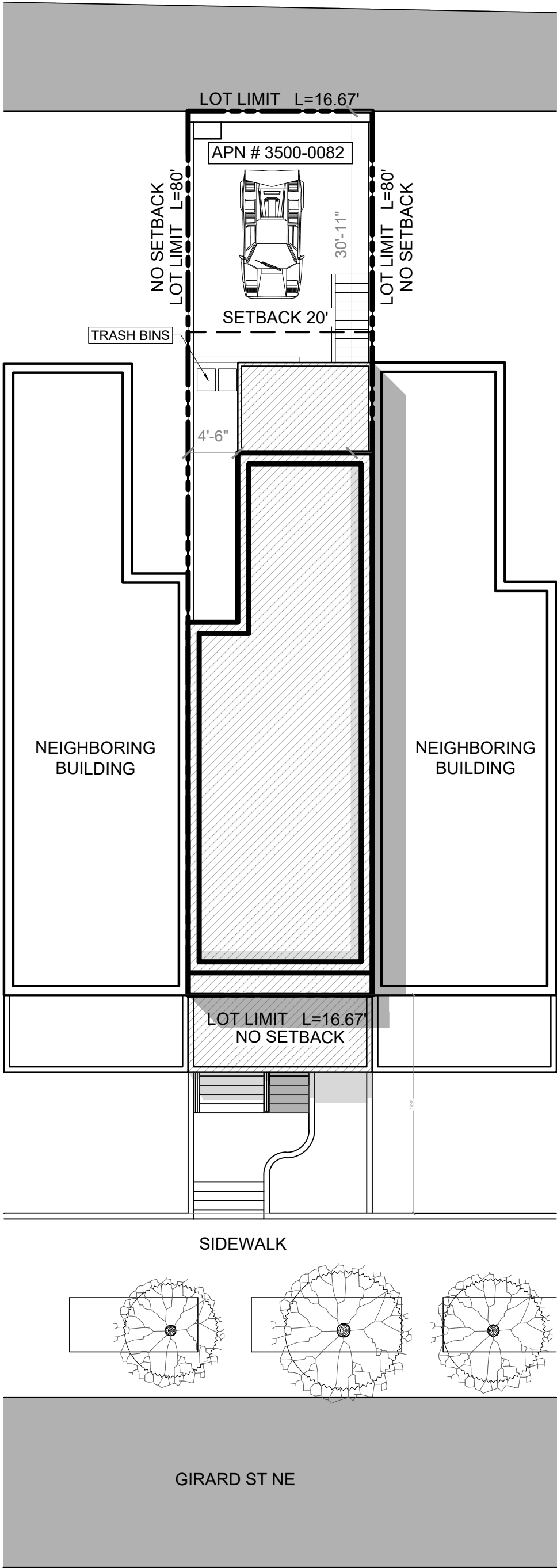
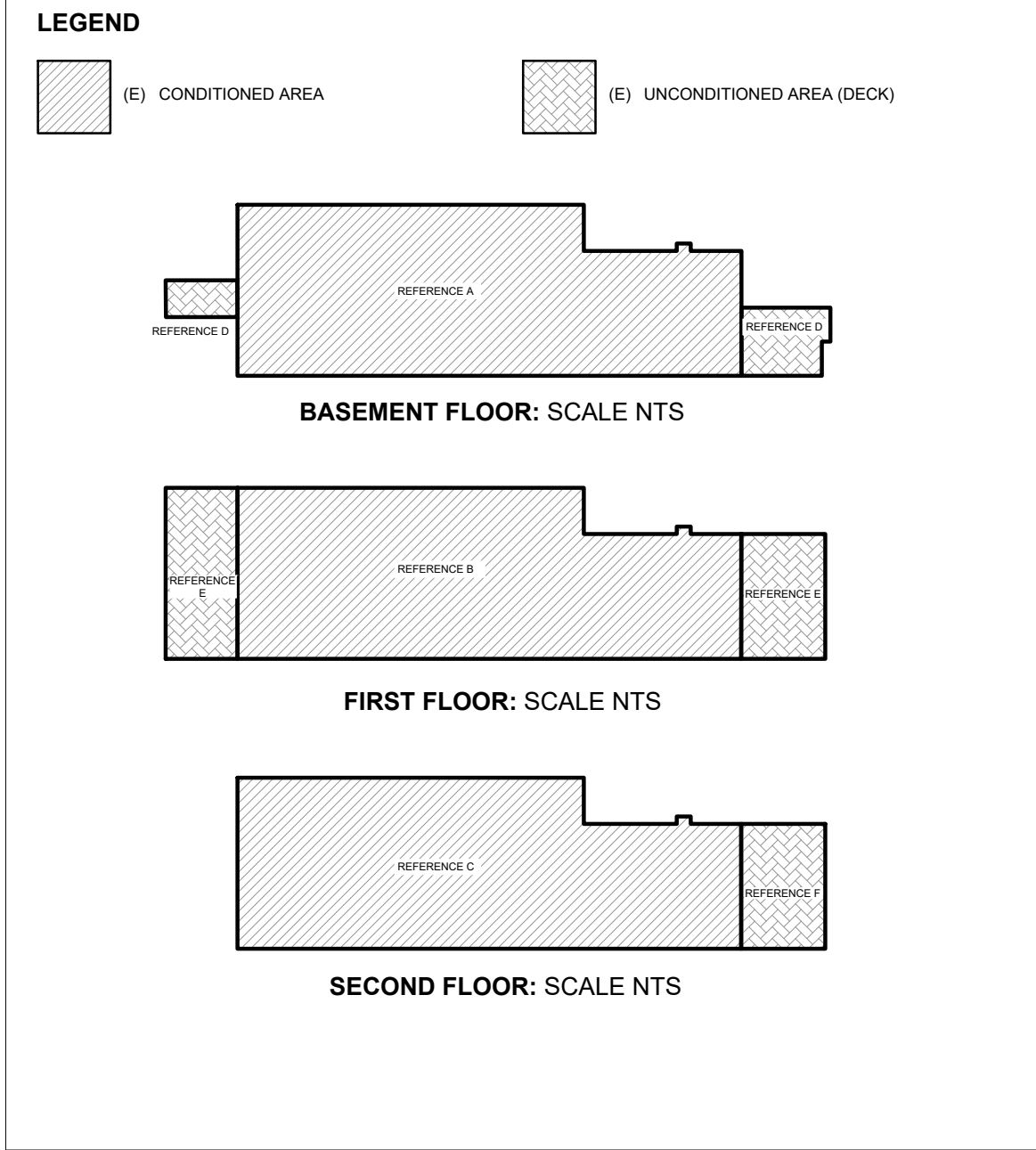
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CODE SUMMARY		
ID	LOT INFORMATION	
1	APN	3500-0082
2	YEAR BUILT	1912
3	ZONING	R-3 (RESIDENTIAL ZONE) ALLOWING FOR ROW DWELLINGS, WHILE INCLUDING AREAS WITHIN WHICH ROW DWELLINGS ARE MINGLED WITH DETACHED DWELLINGS, SEMI-DETACHED DWELLINGS, AND GROUPS OF THREE OR MORE ROW DWELLINGS. THE R-3 ZONE IS INTENDED TO PERMIT ATTACHED ROW HOUSES ON SMALL LOTS.
4	TYPE OF CONSTRUCTION	TYPE III TYPE III BUILDINGS CONSIST OF EITHER TILT-SLAB OR REINFORCED MASONRY WALLS. THESE MATERIALS ARE NON-COMBUSTIBLE. SOME OF THE INTERIOR STRUCTURAL ELEMENTS (FRAMES, FLOOR, CEILINGS, ETC.) ARE MADE WITH WOOD OR COMBUSTIBLE MATERIALS.
5	MAXIMUM ALLOWABLE HEIGHT	40'-0"
6	ACTUAL BUILDING HEIGHT	31'-3"
7	MAXIMUM ALLOWABLE STORIES	3
8	ACTUAL BUILDING STORIES	2
9	MAXIMUM ALLOWABLE LOT OCCUPANCY	60%
10	ACTUAL LOT OCCUPANCY	56%
11	FIRE PROTECTION SYSTEM	FIRE ALARM SYSTEM (A BUILDING FIRE EMERGENCY NOTIFICATION SYSTEM CONSISTING MINIMALLY OF AUDIBLE AND VISUAL ALARM NOTIFICATION APPLIANCES)
12	FRONT SETBACK	NO LESSER OR GREATER THAN EXISTING SETBACKS ON THE SAME BLOCK
13	REAR SETBACK	20'-0"
14	SIDE SETBACK	-
15	OPPORTUNITY	OPPORTUNITY LOT OCCUPANCY: 4% OPPORTUNITY HEIGHT: 8'-0" OPPORTUNITY STORIES: 1

AREAS CALCULATIONS		
AREA DESCRIPTION	AREA (SF)	
LOT AREA	1,333	
BUILT (E) BASEMENT CONDITIONED SPACE (TOTAL BUILT WITH NO GARAGE) (REFERENCE A)	750.1	
BUILT (E) FIRST FLOOR CONDITIONED SPACE (TOTAL BUILT WITH NO GARAGE) (REFERENCE B)	750.1	
BUILT (E) SECOND FLOOR CONDITIONED SPACE (TOTAL BUILT WITH NO GARAGE) (REFERENCE C)	750.1	
DECK UNCONDITIONED SPACE: DECK IN BASEMENT FLOOR (REFERENCE D)	79.6	
DECK UNCONDITIONED SPACE: DECK IN FIRST FLOOR (REFERENCE E)	216.1	
DECK UNCONDITIONED SPACE: DECK IN SECOND FLOOR (REFERENCE F)	99.3	
TOTAL BUILT UP AREA	2250.3	
TOTAL DECK AREA	395	

AREA CALCULATION DIAGRAM



ARCHITECTURAL SITE PLAN: SCALE 1" =10'-0"

WALL TYPE GRAPHIC LEGEND	
GRAPHIC	LEGEND
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING INTERIOR WALLS TO BE REMOVED

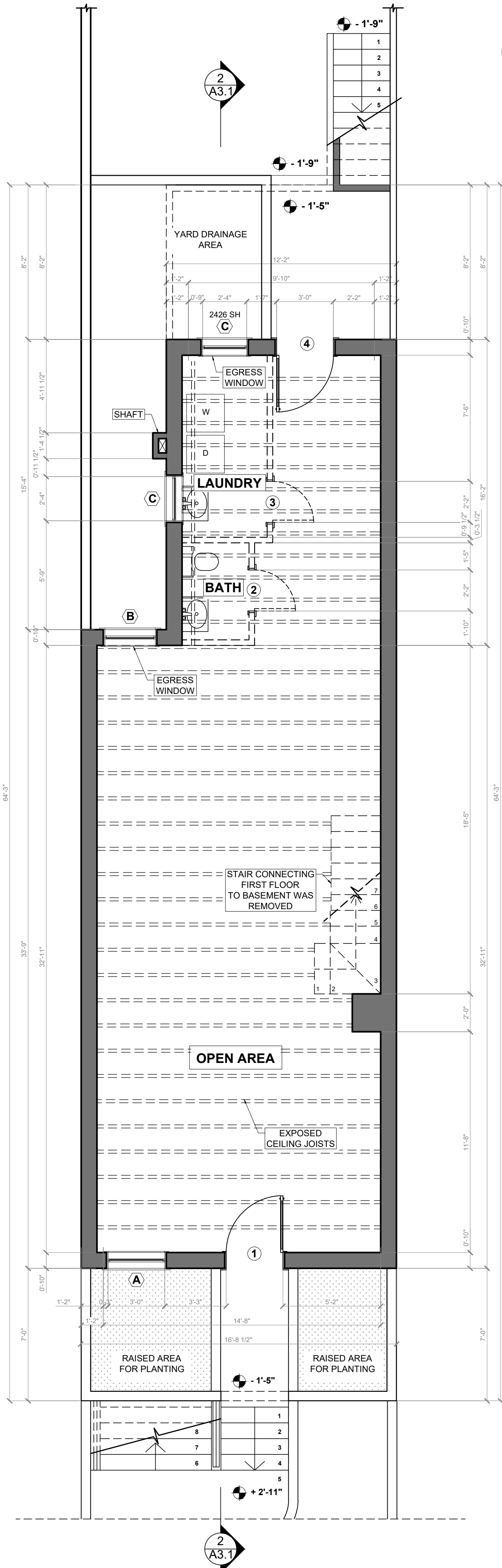
AS-BUILT BASEMENT FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG. NOTES
1	1	3'-0"	6'-8"	SINGLE ENTRY DOOR	LEVER	N/A (E) TO REMAIN
2	1	2'-2"	6'-8"	SINGLE DOOR	N/A	N/A (E) TO BE REMOVED
3	1	2'-2"	6'-8"	SLIDING DOOR	N/A	N/A (E) TO BE REMOVED
4	1	3'-0"	6'-8"	SINGLE ENTRY DOOR	LEVER	N/A (E) TO REMAIN

AS-BUILT BASEMENT FLOOR PLAN - WINDOW SCHEDULE						
ID	QTY	W	H	TYPE	MFG.	NOTES
A	1	3'-0"	3'-0"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN
B	1	2'-8"	3'-0"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN
C	2	2'-4"	3'-0"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN

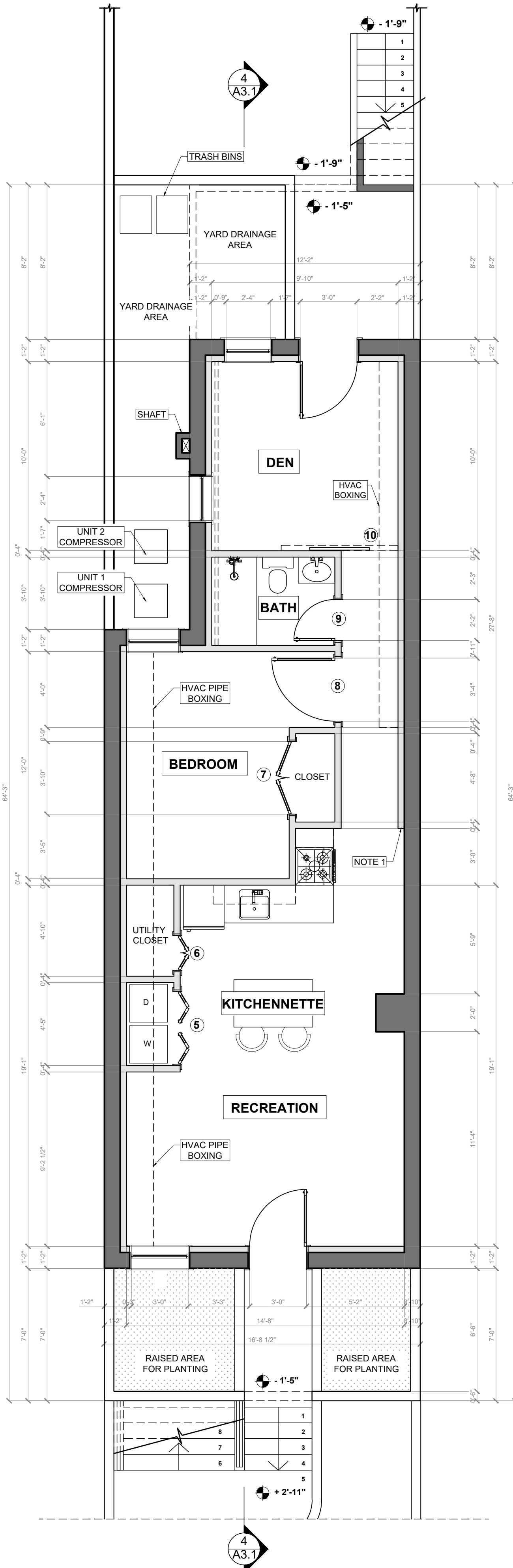
WALL TYPE GRAPHIC LEGEND	
GRAPHIC	LEGEND
	EXISTING EXTERIOR WALLS TO REMAIN
	NEW INTERIOR WALLS TO BE ADDED

UNIT 1 - BASEMENT FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG. NOTES
5	1	3'-10"	6'-8"	DOUBLE FOLDING DOOR	N/A	N/A (N) TO BE ADDED
6	1	2'-0"	6'-8"	DOUBLE FOLDING DOOR	N/A	N/A (N) TO BE ADDED
7	1	3'-10"	6'-8"	DOUBLE DOOR	N/A	N/A (N) TO BE ADDED
8	1	3'-4"	6'-8"	SINGLE DOOR	N/A	N/A (N) TO BE ADDED
9	1	2'-2"	6'-8"	SINGLE DOOR	N/A	N/A (N) TO BE ADDED
10	1	3'-0"	6'-8"	BARN DOOR	N/A	N/A (N) TO BE ADDED

NOTE 1
 DRYWALL ADDED OVER EXTERIOR BRICKWALLS



AS-BUILT BASEMENT FLOOR PLAN:
 SCALE 1/4" = 1'-0"



UNIT 1 FLOOR PLAN:
 SCALE 1/4" = 1'-0"

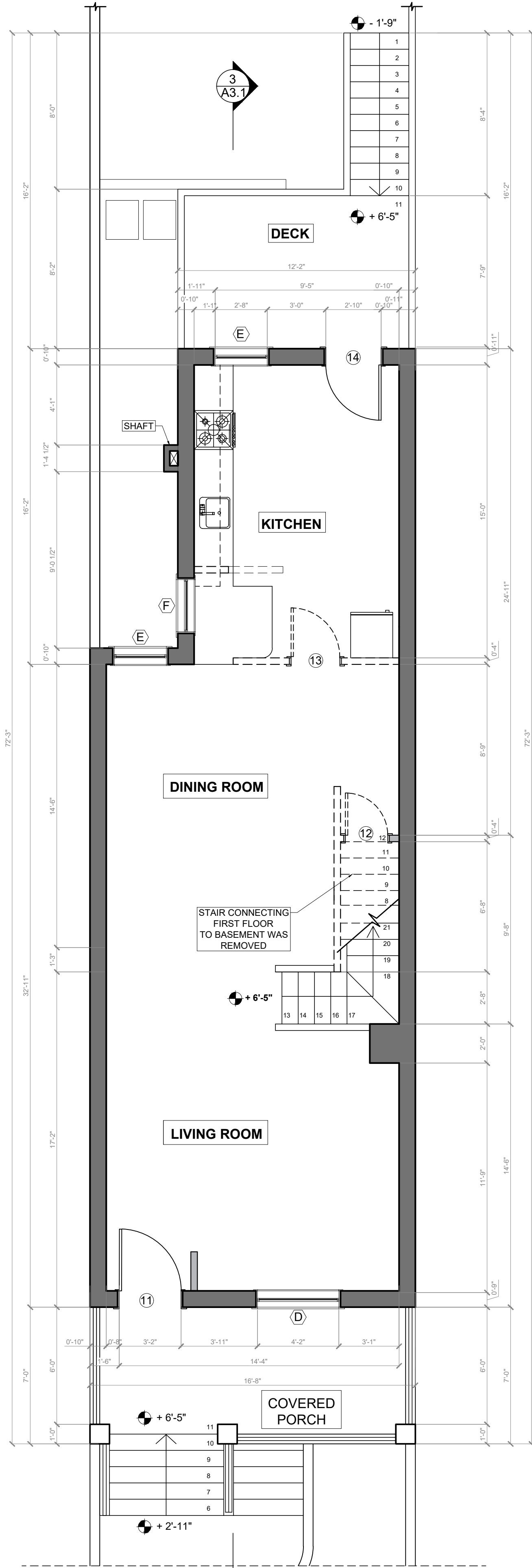
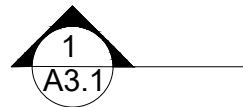
WALL TYPE GRAPHIC LEGEND	
GRAPHIC	LEGEND
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING INTERIOR WALLS TO BE REMAIN
	EXISTING INTERIOR WALLS TO BE REMOVED

AS-BUILT FIRST FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG. NOTES
11	1	3'-2"	6'-8"	SINGLE ENTRY DOOR SOLID CORE 1 3/4" THICK	LEVER	N/A (E) TO REMAIN
12	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	N/A	N/A (E) TO BE REMOVED
13	1	2'-6"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	N/A	N/A (E) TO BE REMOVED
14	1	2'-10"	6'-8"	SINGLE ENTRY DOOR SOLID CORE 1 3/4" THICK	LEVER	N/A (E) TO REMAIN

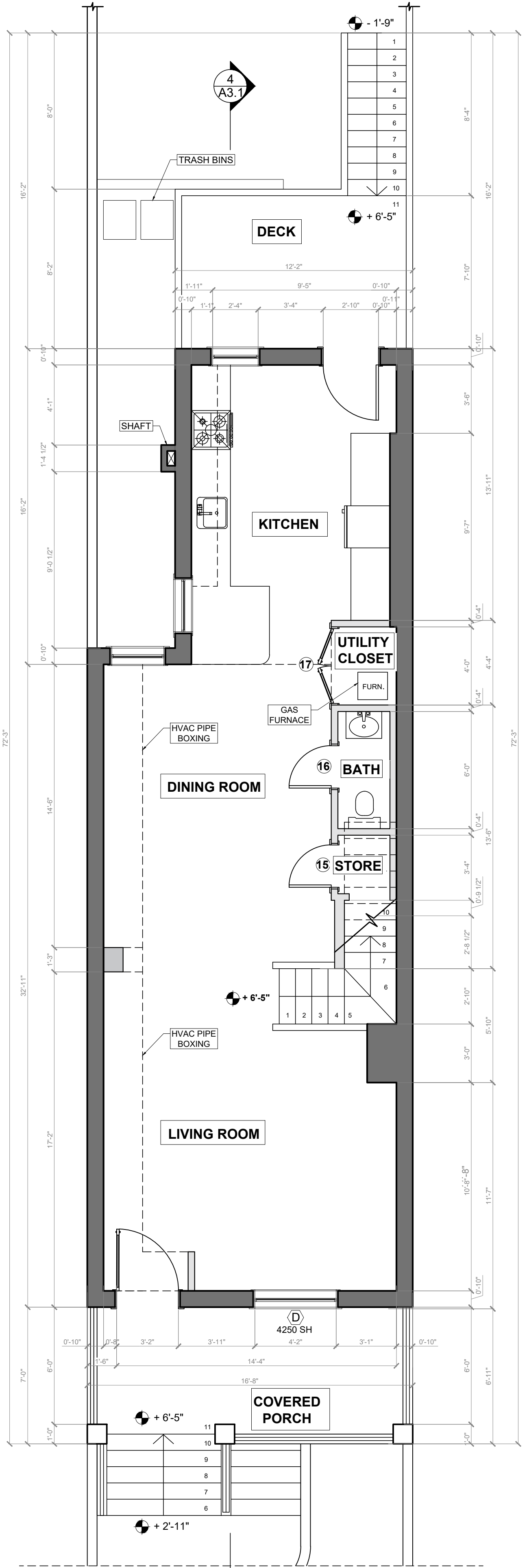
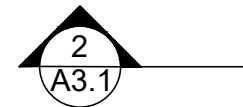
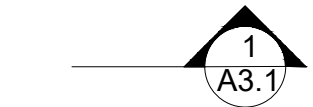
AS-BUILT FIRST FLOOR PLAN - WINDOW SCHEDULE						
ID	QTY	W	H	TYPE	MFG.	NOTES
D	1	4'-2"	5'-0"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN
E	2	2'-8"	5'-0"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN
F	1	2'-8"	3'-5"	SINGLE-HUNG WINDOW	N/A	(E) TO REMAIN

WALL TYPE GRAPHIC LEGEND	
GRAPHIC	LEGEND
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING INTERIOR WALLS TO BE REMAIN
	EXISTING INTERIOR WALLS TO BE ADDED

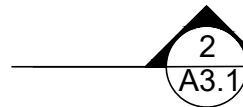
UNIT 2 - FIRST FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG. NOTES
15	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	N/A	N/A (N) TO BE ADDED
16	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	N/A	N/A (N) TO BE ADDED
17	1	3'-9"	6'-8"	DOUBLE DOOR HOLLOW CORE 1 3/8" THICK	N/A	N/A (N) TO BE ADDED



AS-BUILT FIRST FLOOR PLAN:
SCALE 1/4" = 1'-0"



UNIT 2 FIRST FLOOR PLAN:
SCALE 1/4" = 1'-0"



PAYNE MULTI-FAMILY
RESIDENCE
10 GIRARD ST NE
WASHINGTON, DC 20002

First Floor
Plans

DATE: 09/29/2023
BY: GA
REV: 01/20/2023
02/03/2023
03/19/2023
09/28/2023
BY: TB
TB
TB
TB

JOB NO: BTX23-0149

A 1.2

BITARCHITECTS

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info@bitarchitectsllc.com

WALL TYPE GRAPHIC LEGEND					
GRAPHIC			LEGEND		
			EXISTING EXTERIOR WALLS TO REMAIN		
			EXISTING INTERIOR WALLS TO BE REMAIN		
			EXISTING INTERIOR WALLS TO BE REMOVED		

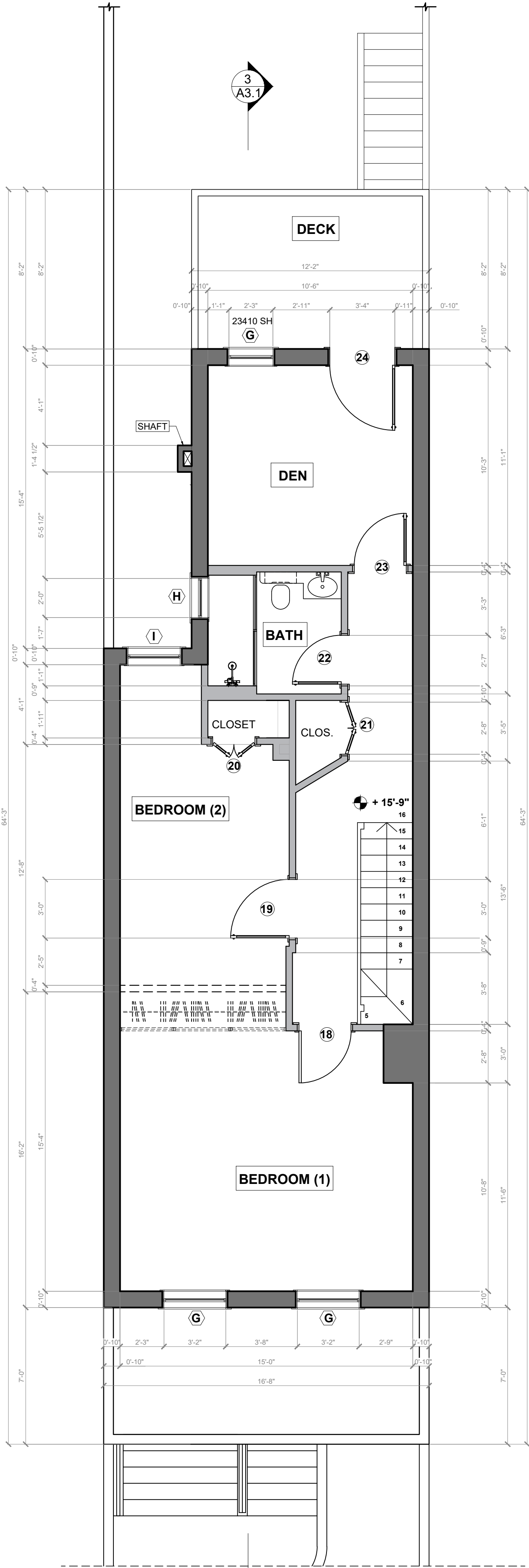
AS-BUILT SECOND FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG.
18	1	2'-8"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
19	1	3'-0"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
20	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
21	1	2'-8"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
22	1	2'-6"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
23	1	2'-8"	6'-8"	DOUBLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
24	1	3'-4"	6'-8"	SINGLE ENTRY DOOR SOLID CORE 1 3/4" THICK	LEVER	N/A
					(E) TO REMAIN	
					(E) TO REMAIN	
					(E) TO REMAIN	
					(E) TO REMAIN	
					(E) TO REMAIN	
					(E) TO REMAIN	
					(E) TO REMAIN	

AS-BUILT SECOND FLOOR PLAN - WINDOW SCHEDULE					
ID	QTY	W	H	TYPE	MFG.
G	2	3'-2"	5'-10"	SINGLE-HUNG WINDOW	N/A
H	2	2'-4"	5'-0"	SINGLE-HUNG WINDOW	N/A
I	1	2'-0"	4'-0"	SINGLE-HUNG WINDOW	N/A
				(E) TO REMAIN	
				(E) TO REMAIN	

WALL TYPE GRAPHIC LEGEND					
GRAPHIC			LEGEND		
			EXISTING EXTERIOR WALLS TO REMAIN		
			EXISTING INTERIOR WALLS TO BE REMAIN		
			EXISTING INTERIOR WALLS TO BE ADDED		

UNIT 2 - SECOND FLOOR PLAN - DOOR SCHEDULE						
ID	QTY	W	H	TYPE	LOCK STYLE	MFG.
25	1	2'-2"	6'-8"	BIFOLD DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
26	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
27	1	2'-2"	6'-8"	SINGLE DOOR HOLLOW CORE 1 3/8" THICK	-	N/A
					(N) TO BE ADDED	
					(N) TO BE ADDED	
					(N) TO BE ADDED	

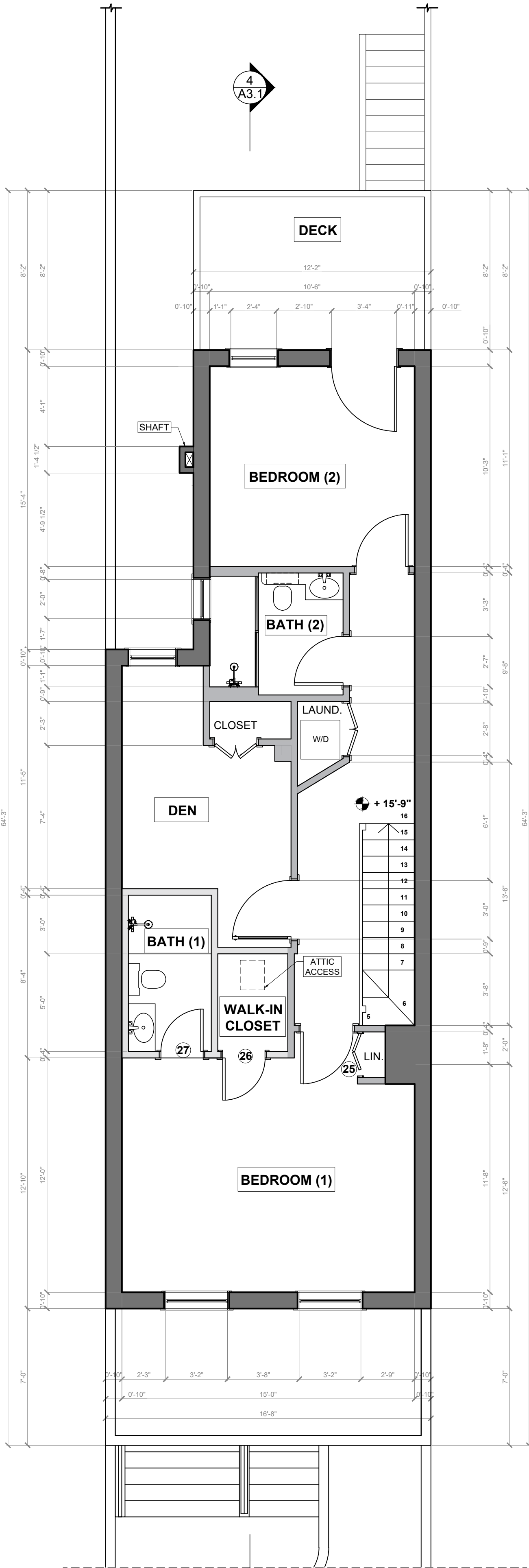
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A3.1



AS-BUILT SECOND FLOOR PLAN:
SCALE 1/4" = 1'-0"

1
A3.1

2
A3.1



UNIT 2 SECOND FLOOR PLAN:
SCALE 1/4" = 1'-0"

2
A3.1

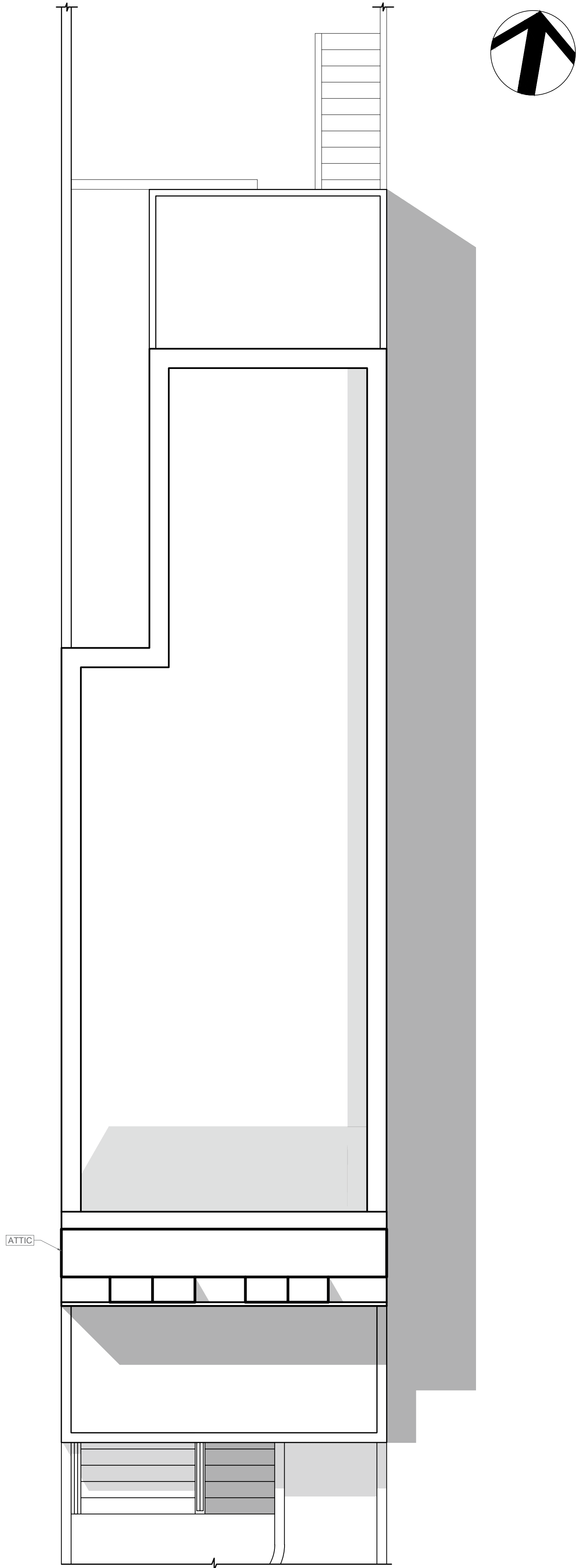
PAYNE MULTI-FAMILY
RESIDENCE
10 GIRARD ST NE
WASHINGTON, DC 20002

Second Floor
Plans

DATE: 09/29/2023
BY: GA
REV: 01/20/2023
02/03/2023
03/19/2023
09/28/2023
BY: TB
TB
TB
TB

JOB NO: BTX23-0149

NOTE
NO CHANGES TO THE ROOF PLAN



AS-BUILT ROOF PLAN:
SCALE 1/4" = 1'-0"

NOTE: NO CHANGES TO (E) ROOF PLAN

BITARCHITECTS

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info@bitarchitectsllc.com

PAYNE MULTI-FAMILY

RESIDENCE

10 GIRARD ST NE
WASHINGTON, DC 20002

Roof Plan

DATE: 09/29/2023

BY:	GA
REV:	BY:
01/20/2023	TB
02/03/2023	TB
03/19/2023	TB
09/28/2023	TB

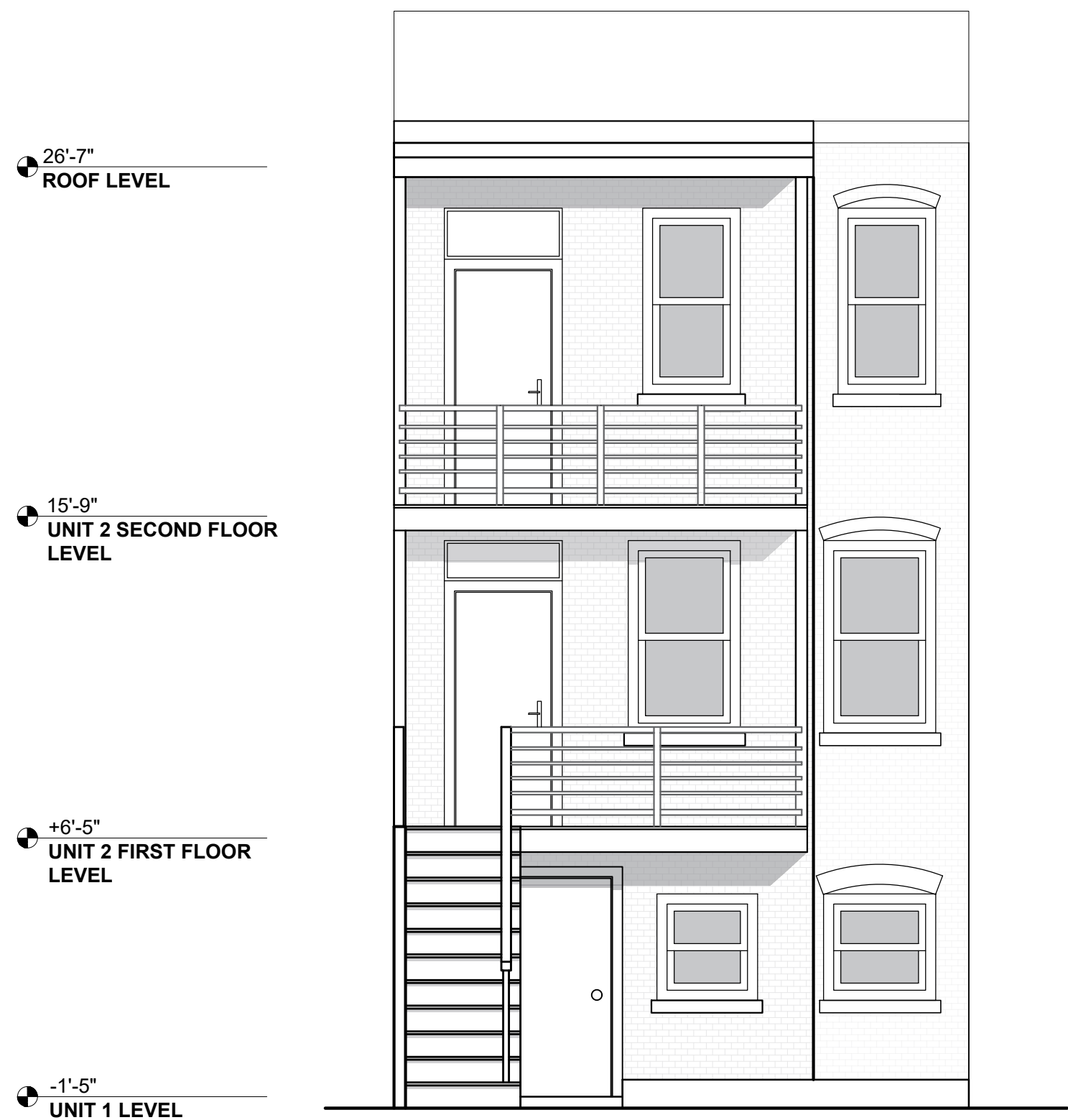
JOB NO: BTX23-0149

A 1.4

NOTE
NO CHANGES TO (E) ELEVATIONS



MAIN ELEVATION: SCALE 1/4" =1'-0"
NOTE: NO CHANGES TO (E) MAIN ELEVATION



REAR ELEVATION: SCALE 1/4" =1'-0"
NOTE: NO CHANGES TO (E) REAR ELEVATION

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**PAYNE MULTI-FAMILY
RESIDENCE**
10 GIRARD ST NE
WASHINGTON, DC 20002

Elevations

DATE:	09/29/2023
BY:	GA
REV:	BY:
02/03/2023	TB
03/19/2023	TB
09/28/2023	TB

JOB NO: BTX23-0149

A 2.1

NOTE 1
2 WATER SUPPLY PANELS EXIST IN THIS LOCATION, UPPER PANEL IS FOR UNIT 2 WATER SUPPLY; LOWER PANEL IS FOR UNIT 1 WATER SUPPLY

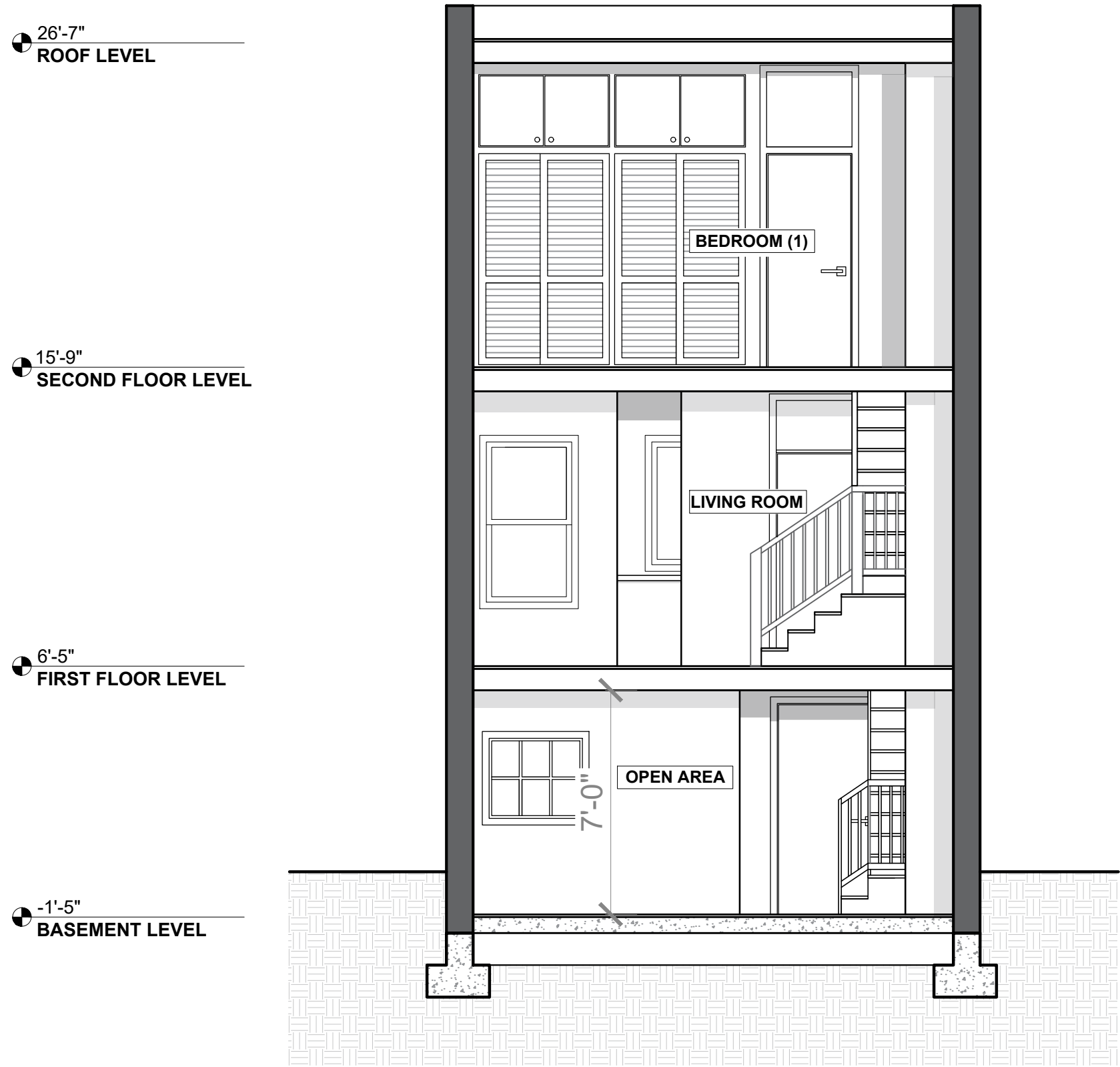
NOTE 2
-STAIRS WERE REMOVED BETWEEN THE BASEMENT AND THE FIRST FLOOR
-KITCHENETTE WAS ADDED IN UNIT 1
-ALL WINDOWS AND DOORS THROUGHOUT THE ENTIRE HOUSE WERE PRESENT IN THEIR CURRENT LOCATIONS PRIOR TO RENOVATION
-THE WALL SEPARATING THE KITCHEN FROM THE DINING ROOM WAS REMOVED
-A NEW WALK-IN CLOSET WAS ADDED IN BEDROOM (1)
-A NEW BATHROOM WAS ADDED IN BEDROOM (1)

NOTE 3
UNIT 1 CEILING TO COMPLY WITH : HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION

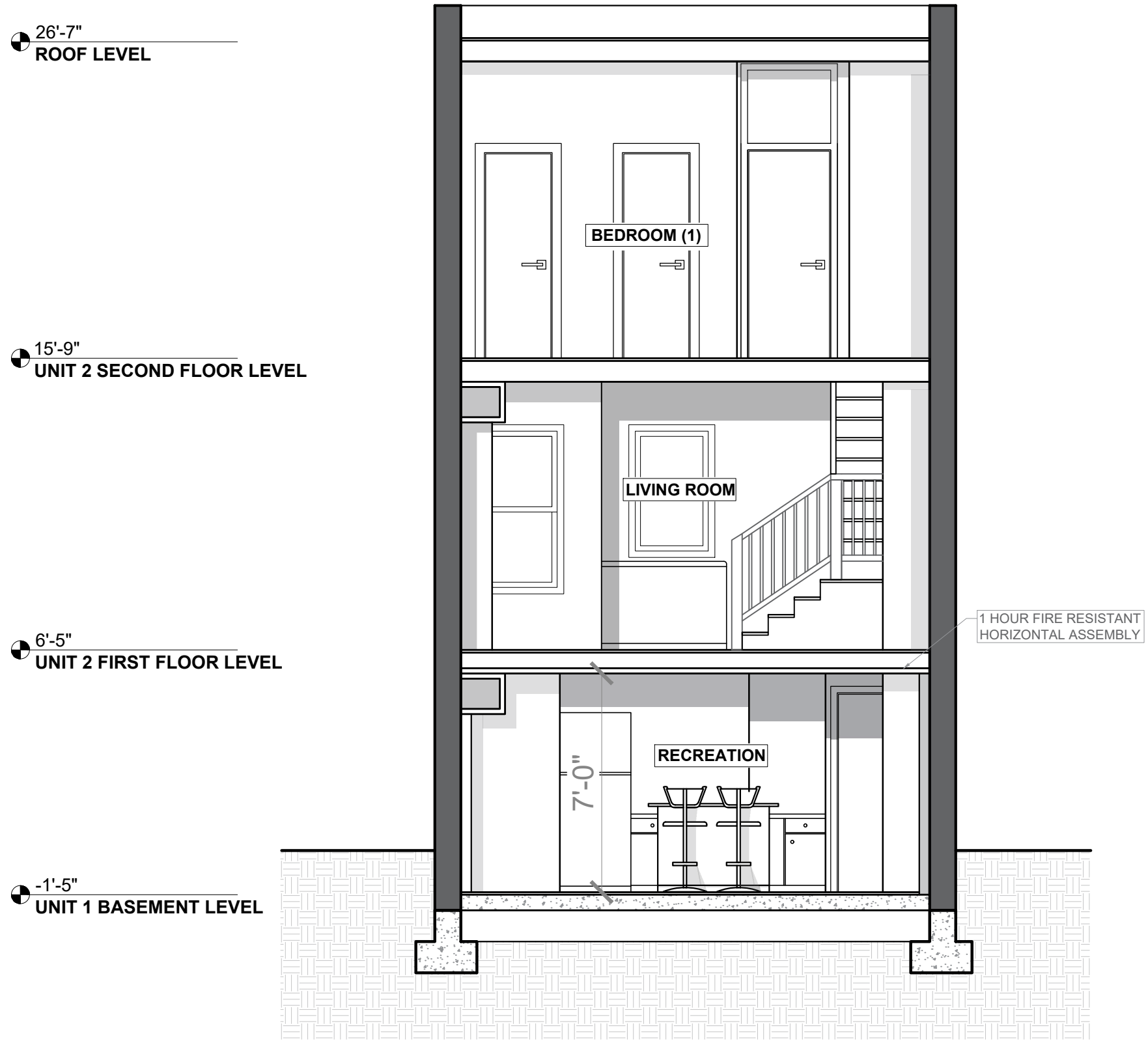
DC BUILDING CODE 2017 – SECTION 711.2.4.3

NOTE 4
THE SUPPORTING CONSTRUCTION OF SUCH ASSEMBLIES SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING

INTERNATIONAL RESIDENTIAL CODE 2018 – SECTION R302.3.1



SECTION-1: SCALE 1/4" =1'-0"



SECTION-3: SCALE 1/4" =1'-0"

NOTE 1
-HALF BATH WAS TURNED INTO A FULL BATH IN UNIT 1
- A NEW BEDROOM AND A DEN WERE ADDED IN UNIT 1
-STAIR CONNECTING BASEMENT TO FIRST FLOOR WAS REMOVED AND THE PREVIOUS DOORWAY TO THE BASEMENT WAS CHANGED TO A CLOSET IN UNIT 2 FIRST FLOOR
- A HALF BATH AND UTILITY CLOSET WERE ADDED IN FIRST FLOOR OF UNIT 2
-KITCHEN WALL BETWEEN THE KITCHEN AND THE DINING AREA WAS REMOVED IN UNIT 2 FIRST FLOOR
-WALK-IN CLOSET AND A BATHROOM WERE ADDED IN BEDROOM (1) IN UNIT 2 SECOND FLOOR

NOTE 2
UNIT 1 CEILING TO COMPLY WITH : HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION

DC BUILDING CODE 2017 – SECTION 711.2.4.3

NOTE 3
THE SUPPORTING CONSTRUCTION OF SUCH ASSEMBLIES SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING

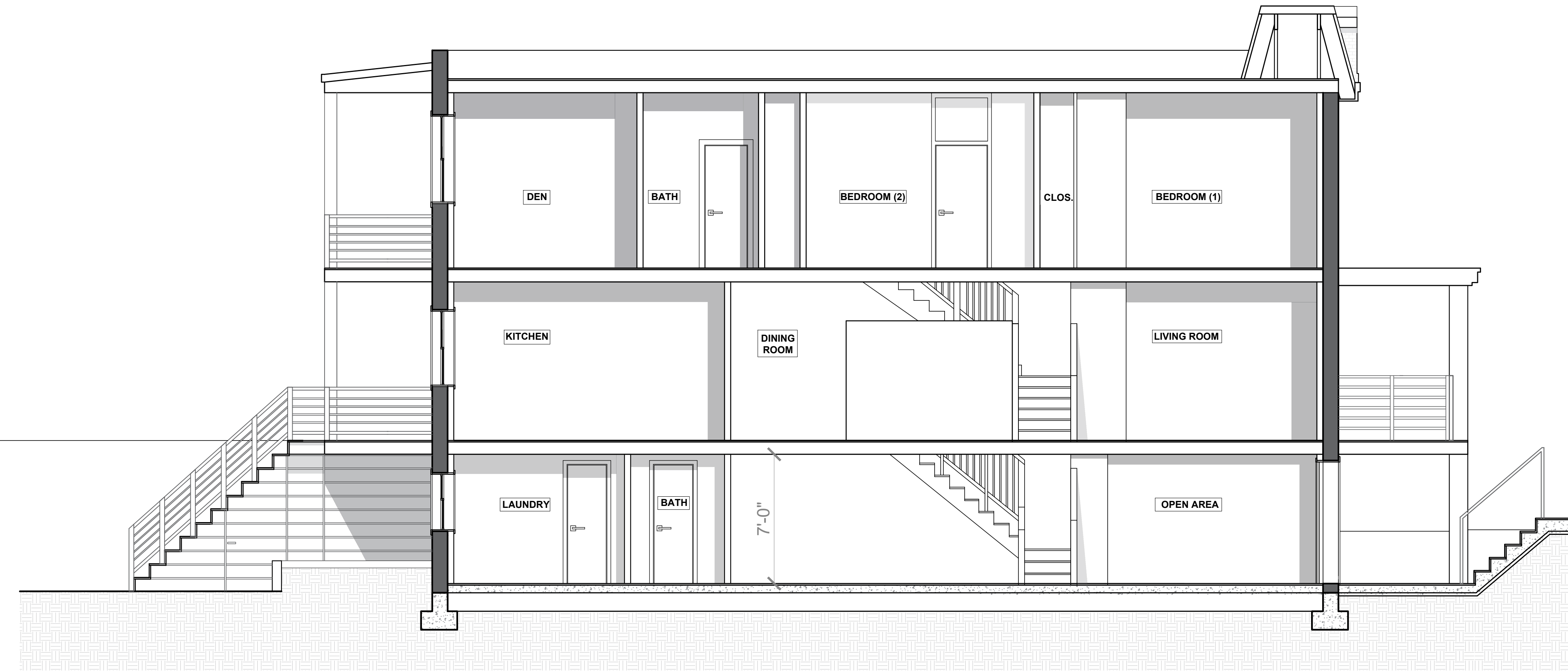
INTERNATIONAL RESIDENTIAL CODE 2018 – SECTION R302.3.1

26'-1"
ROOF LEVEL

15'-9"
SECOND FLOOR LEVEL

6'-5"
FIRST FLOOR LEVEL

-1'-5"
BASEMENT LEVEL



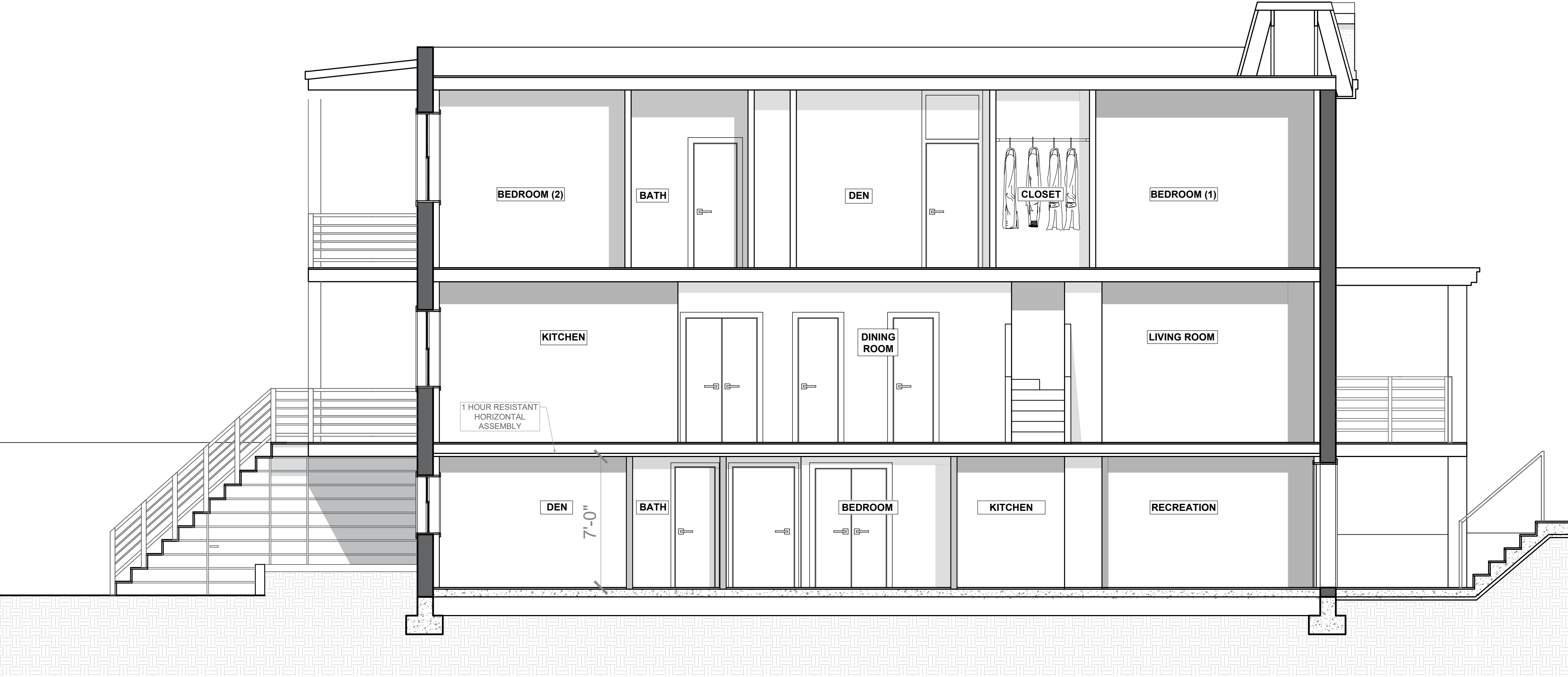
SECTION-2: SCALE 1/4" = 1'-0"

26'-1"
ROOF LEVEL

15'-9"
UNIT 2 SECOND FLOOR LEVEL

6'-5"
UNIT 2 FIRST FLOOR LEVEL

-1'-5"
UNIT 1 FLOOR LEVEL



SECTION-4: SCALE 1/4" = 1'-0"

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RESIDENCE
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WASHINGTON, DC 20002

Sections

DATE: 09/29/2023
BY: GA
REV: 02/03/2023
03/19/2023
09/28/2023
BY: TB
TB
TB

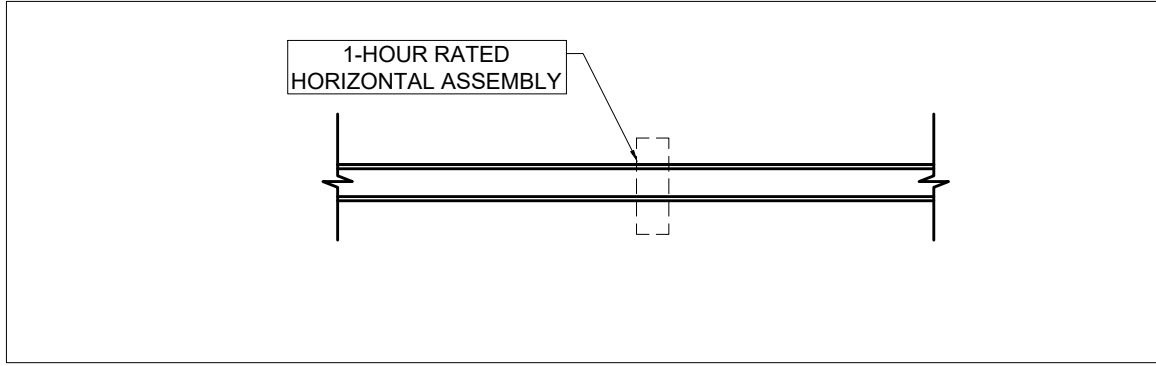
JOB NO: BTX23-0149

A 3.2

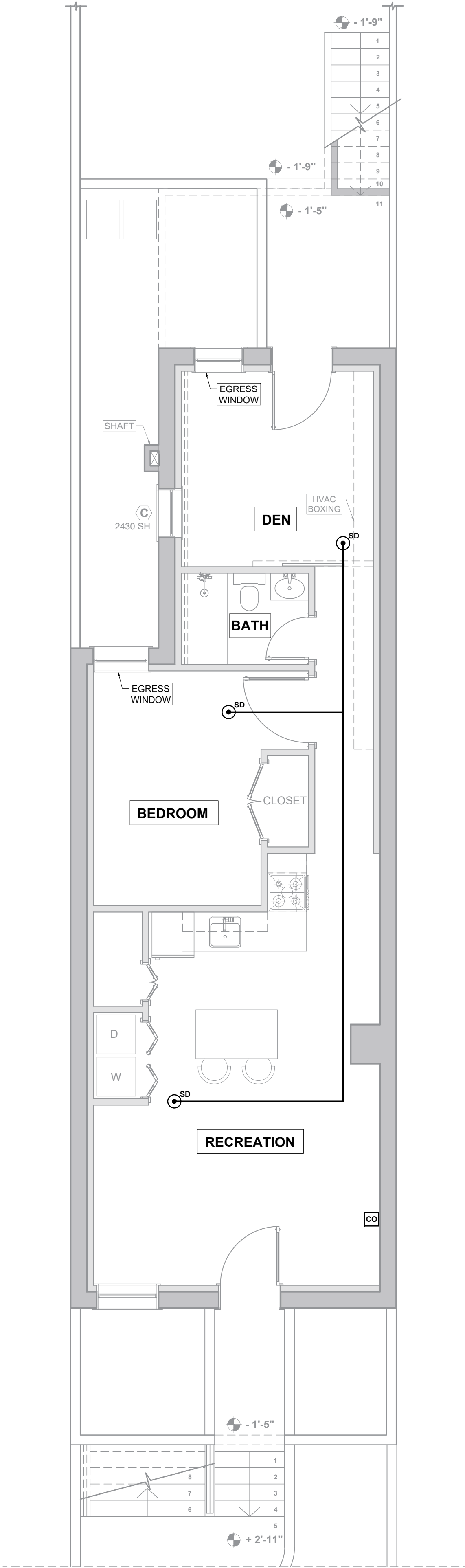
FIRE PROTECTION LEGEND	
GRAPHIC	LEGEND
	SMOKE DETECTOR
	CONNECTION BETWEEN THE SMOKE DETECTORS
	CARBON MONOXIDE DETECTOR

NOTE
CEILING TO COMPLY WITH : HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION

DC BUILDING CODE 2017 – SECTION 711.2.4.3



UNIT 1 CEILING SECTION



UNIT 1 FIRE-PROTECTION PLAN:
SCALE 1/4" =1'-0"

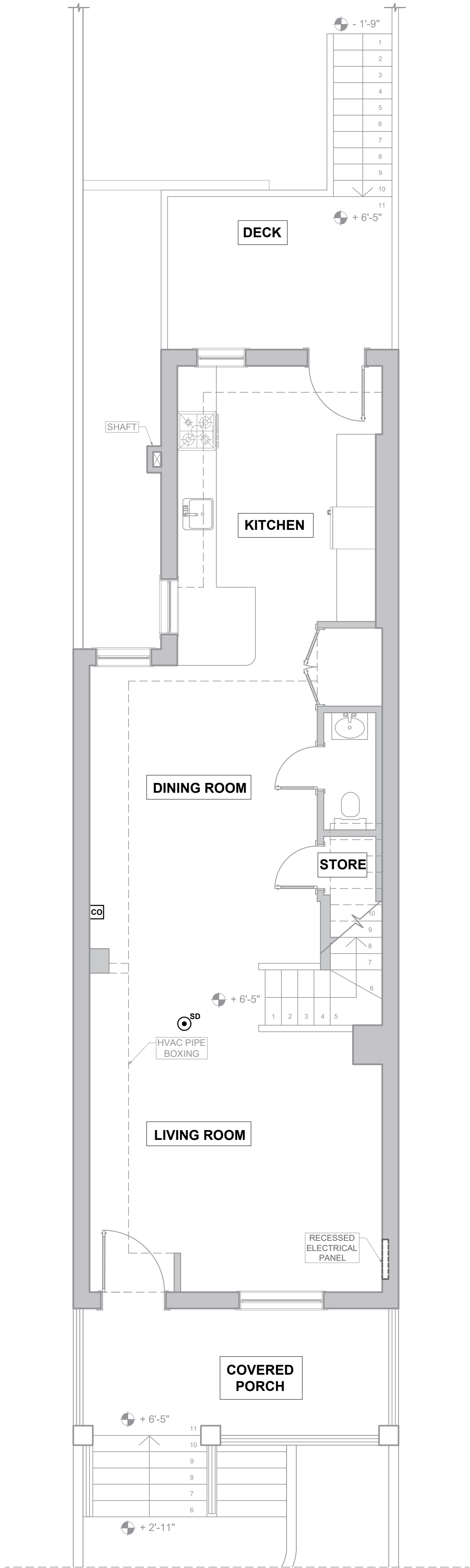
FIRE PROTECTION LEGEND	
GRAPHIC	LEGEND
	SMOKE DETECTOR
	CONNECTION BETWEEN THE SMOKE DETECTORS
	CARBON MONOXIDE DETECTOR

NOTE 1
CEILING TO COMPLY WITH : HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION

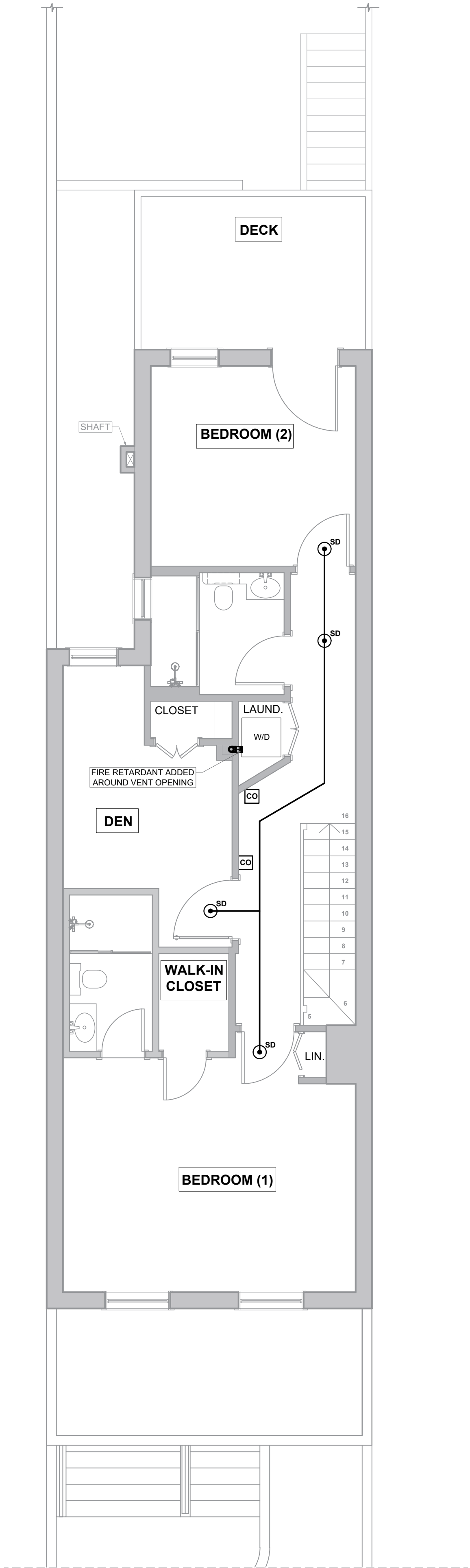
DC BUILDING CODE 2017 – SECTION 711.2.4.3

NOTE 2
PLUG-IN CARBON MONOXIDE DETECTORS INSTALLED DUE TO PRESENCE OF FURNACE

NOTE 3
SMOKE ALARM DETECTOR IS INSTALLED IN EVERY ROOM USED FOR SLEEPING PURPOSES, ON THE WALL OR CEILING OF EACH SEPARATE SLEEPING AREA IN TTHE IMMEDIATE VICINITY OF BEDROOM

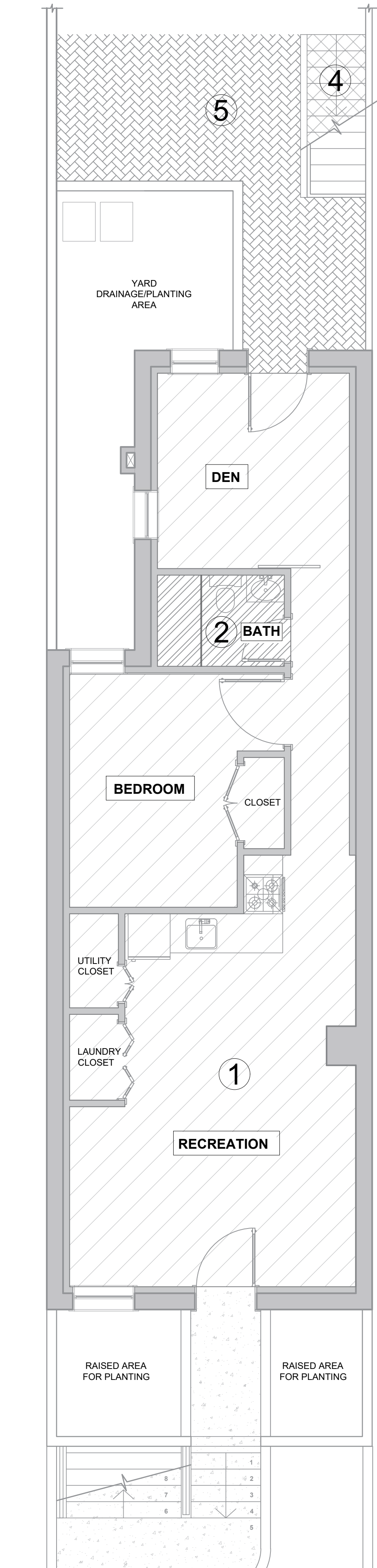


UNIT 2 FIRST FLOOR FIRE-PROTECTION PLAN:
SCALE 1/4" =1'-0"



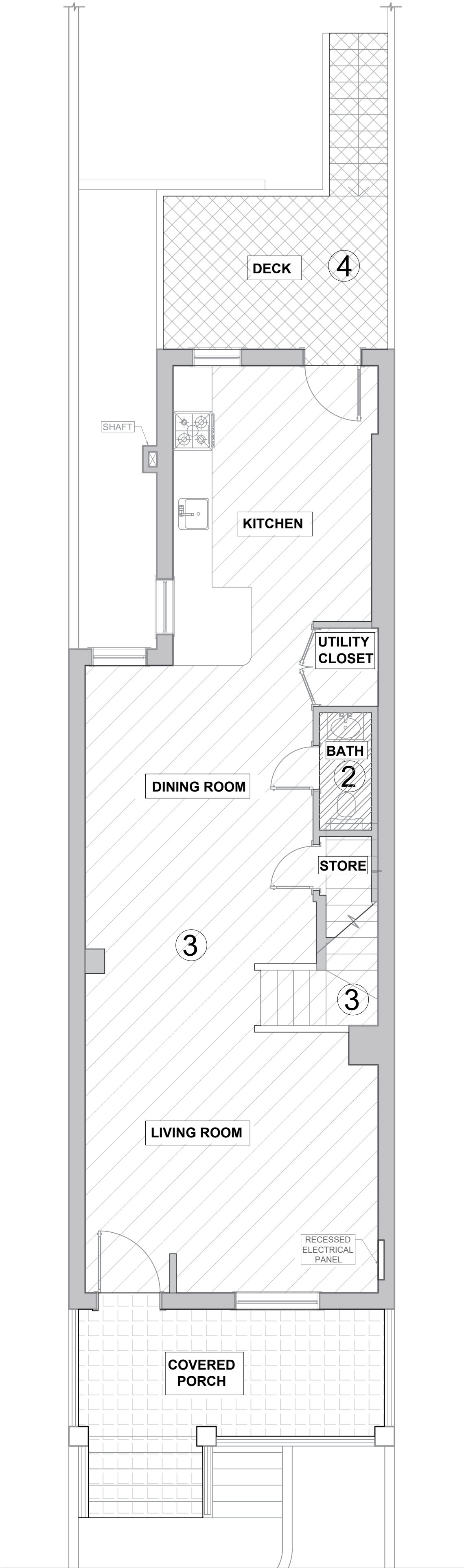
UNIT 1 SECOND FLOOR FIRE-PROTECTION PLAN:
SCALE 1/4" =1'-0"

FLOOR FINISHES SCHEDULE					
#	DESCRIPTION	MANUFACTURER	SUPPLIER INSTALLER	SQ/TT	DESCRIPTION
1	LIVING AREA	-	-	-	HARDWOOD FLOORING TILES
2	BATHROOM AREA	-	-	-	PORCELAIN FLOORING TILES
3	BACKYARD AREA	-	-	-	STONE PAVING
4	DECK STAIR	-	-	-	REDWOOD
5	ENTRANCE STAIR	-	-	-	CONCRETE FINISH

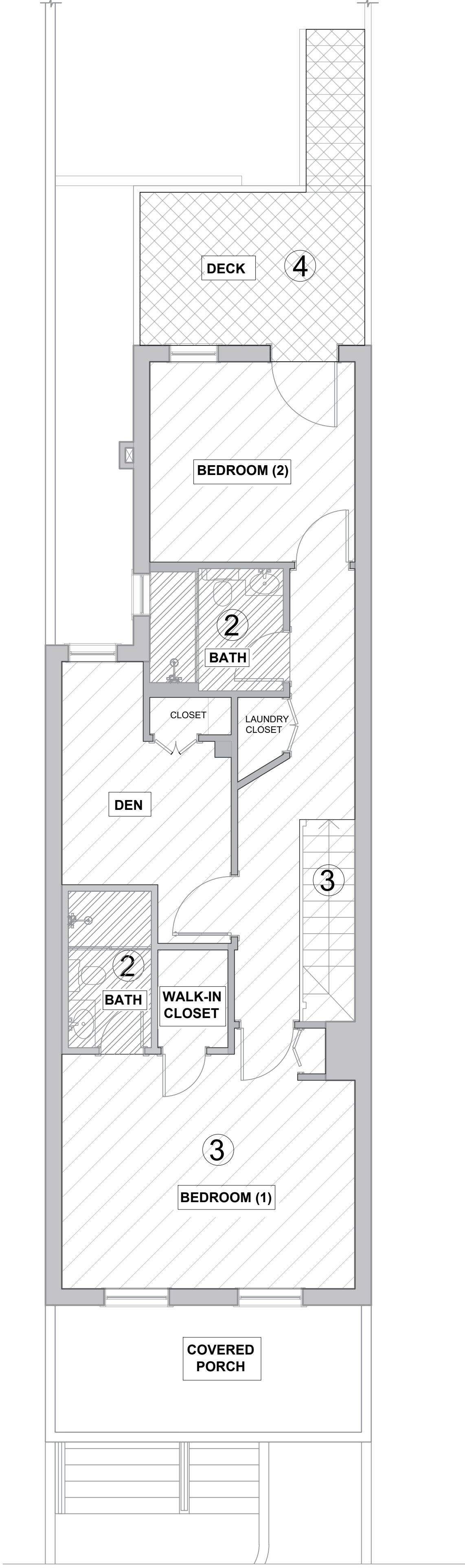


UNIT 1 FLOOR FINISHES PLAN:
SCALE 1/4" =1'-0"

FLOOR FINISHES SCHEDULE					
#	DESCRIPTION	MANUFACTURER	SUPPLIER INSTALLER	SQ/TT	DESCRIPTION
2	BATHROOM AREA	-	-	-	PORCELAIN FLOORING TILES
3	LIVING AREA	-	-	-	BAMBOO FLOORING TILES
4	DECK	-	-	-	REDWOOD



UNIT 2 FIRST FLOOR FINISHES PLAN:
SCALE 1/4" =1'-0"

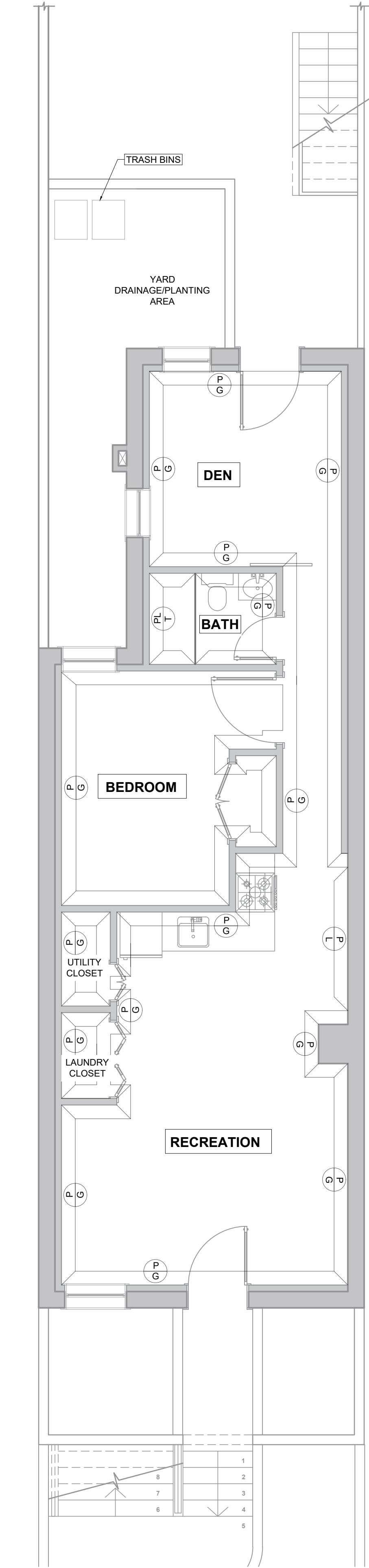


UNIT 2 SECOND FLOOR FINISHES PLAN:
SCALE 1/4" =1'-0"

WALL FINISHES SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER	SUPPLIER INSTALLER	NOTES
P G	ACRYLIC SEMI-GLOSS PAINT	-	-	GREY COLOR
P L	ACRYLIC LATEX PAINT ON BRICK	-	-	WHITE COLOR
PL T	PORCELAIN WALL TILES	-	-	-

NOTE 1
WALL AND CEILING MATERIAL NOT TO EXCEED THE FRAME SPREAD CLASSIFICATION SPECIFIED IN TABLE 803.11, GROUP R-3 "C"

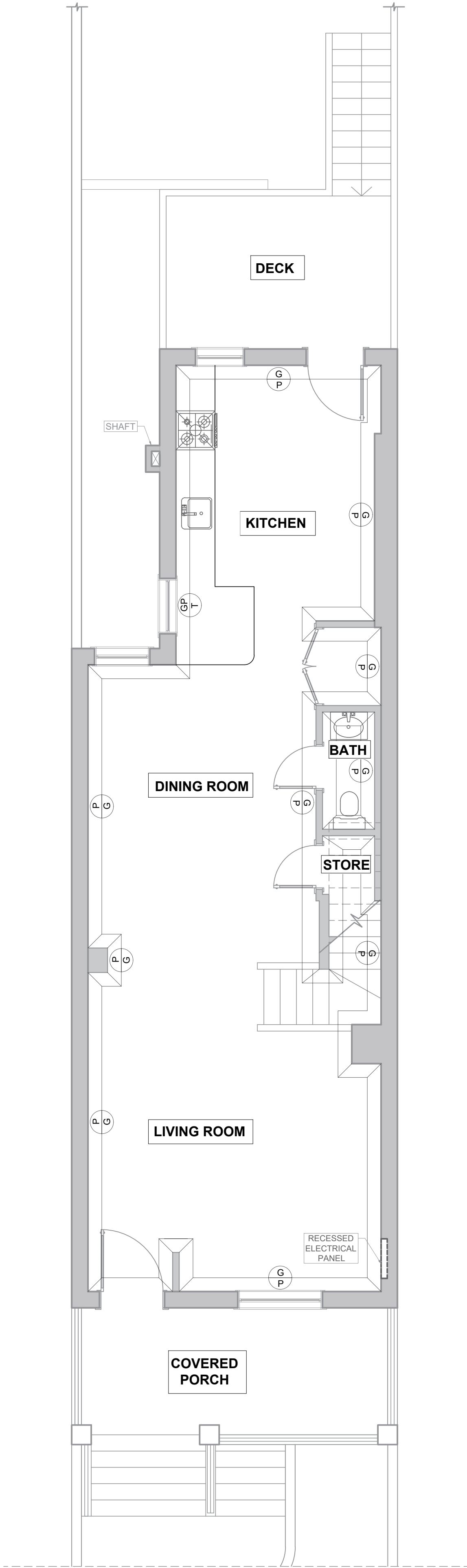
CODE: DC BUILDING CODE 2017



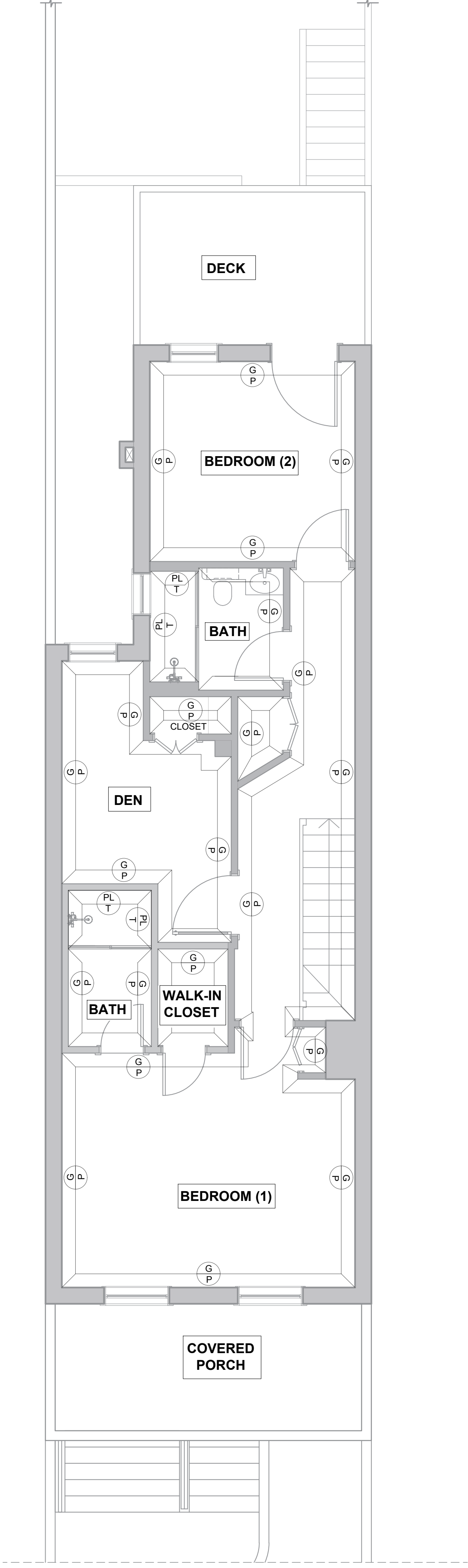
UNIT 1 WALL FINISHES PLAN:
SCALE 1/4" = 1'-0"

WALL FINISHES SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER	SUPPLIER INSTALLER	NOTES
P G	ACRYLIC SEMI-GLOSS PAINT	-	-	GREY COLOR
GP T	GLOSSY PORCELAIN WALL TILES	-	-	WHITE COLOR
PL T	PORCELAIN WALL TILES	-	-	CREAM COLOR

NOTE
WALL AND CEILING MATERIAL NOT TO EXCEED THE FRAME SPREAD CLASSIFICATION SPECIFIED IN TABLE 803.11, GROUP R-3 "C"
CODE: DC BUILDING CODE 2017



UNIT 2 FIRST FLOOR WALL FINISHES PLAN:
SCALE 1/4" =1'-0"

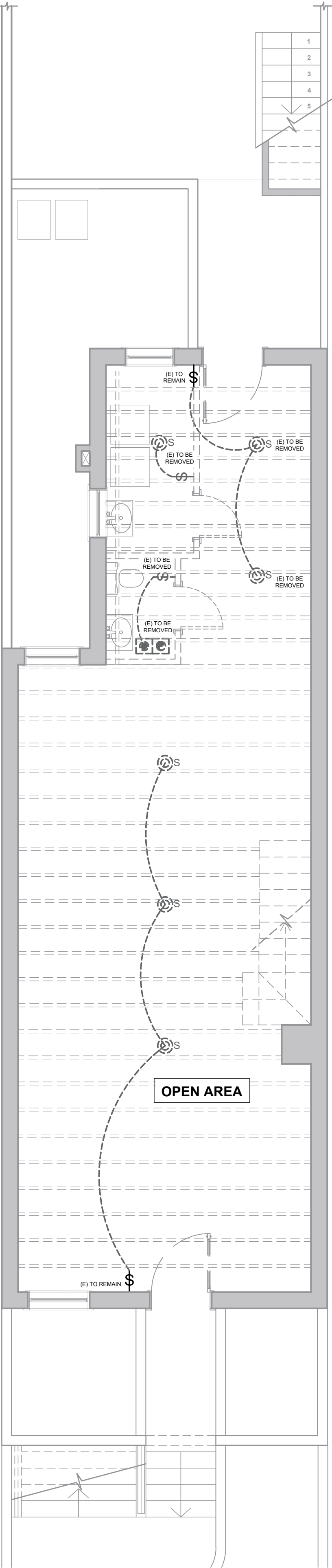


UNIT 2 SECOND FLOOR WALL FINISHES PLAN:
SCALE 1/4" =1'-0"

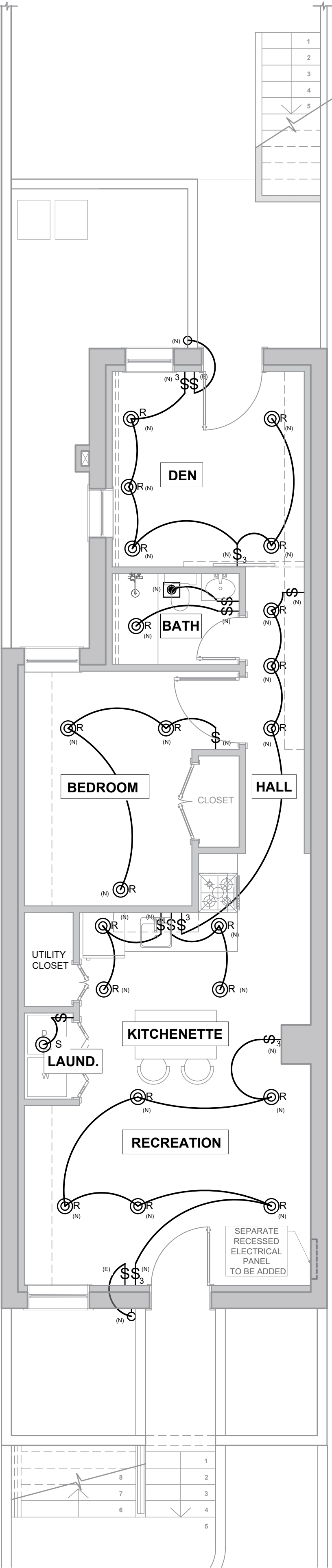
LIGHTING LEGEND	
SYMBOL	LEGEND
	SINGLE POLE SWITCH
	TWO WAY SWITCH
	RECESSED LIGHT CEILING FIXTURE
	WALL-MOUNTED LED FIXTURE
	EXHAUST FAN
	SURFACE MOUNTED LIGHT CEILING FIXTURE
	SURFACE MOUNTED LIGHT CEILING FIXTURE WITH SEPARATE EXHAUST FAN

UNIT 1 LIGHTING FEATURES		
#	ROOM	DESCRIPTION
1	RECREATION	5X RECESSED LIGHT CEILING FIXTURE
2	KITCHENETTE	4X RECESSED LIGHT CEILING FIXTURE
3	HALL	3X RECESSED LIGHT CEILING FIXTURE
4	BEDROOM	3X RECESSED LIGHT CEILING FIXTURE
5	BATH	RECESSED LIGHT CEILING FIXTURE
6	DEN	5X RECESSED LIGHT CEILING FIXTURE
7	LAUNDRY	1X SURFACE MOUNTED LIGHT CEILING FIXTURE

NOTE
SEPARATE ELECTRICAL PANEL TO BE ADDED IN UNIT 1



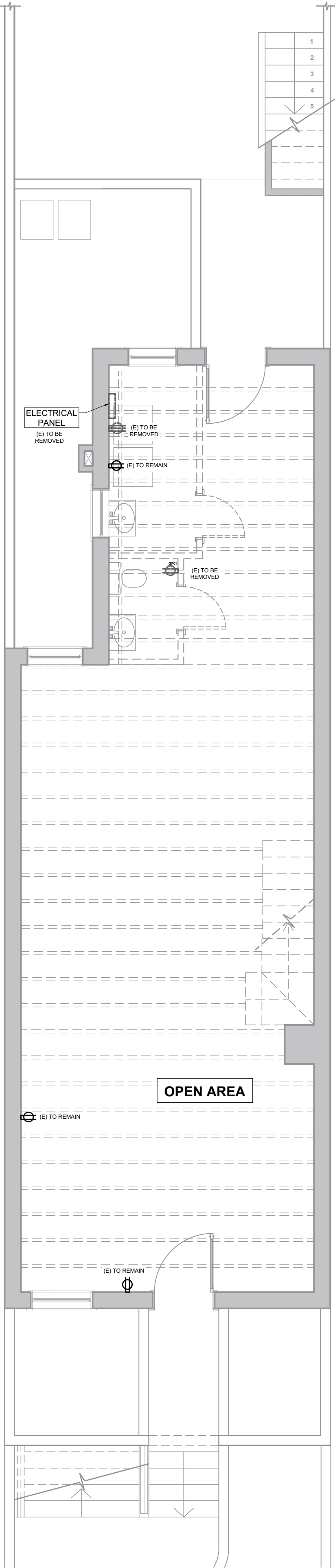
BASEMENT LIGHTING PLAN:
SCALE 1/4" =1'-0"



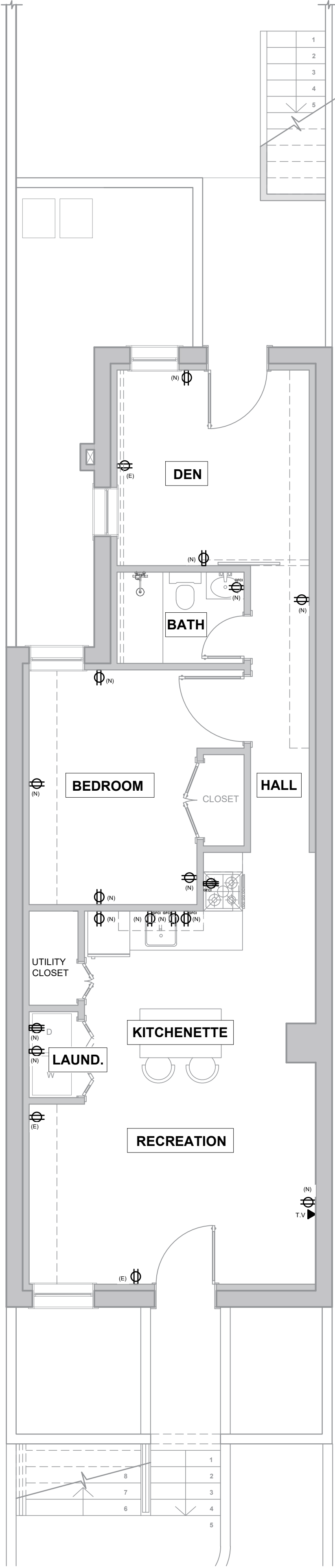
UNIT 1 LIGHTING PLAN:
SCALE 1/4" =1'-0"

ELECTRICAL LEGEND	
SYMBOL	LEGEND
	DUPLEX RECEPTACLE
	GROUND FAULT OUTLET
	3-SLOT DRYER OUTLET
	TV OUTLET
	THERMOSTAT

UNIT 1 POWER FEATURES		
#	ROOM	DESCRIPTION
1	RECREATION	2X DUPLEX RECEPTACLE @ 12" 1X TV OUTLET
2	KITCHENETTE	4X GROUND FAULT OUTLET @48" 1X DUPLEX RECEPTACLE @ 12"
3	HALL	1X DUPLEX RECEPTACLE @ 12"
4	BEDROOM	4X DUPLEX RECEPTACLE @ 12"
5	BATH	1X GROUND FAULT OUTLET @48"
6	DEN	3X DUPLEX RECEPTACLE @ 12"
7	LAUNDRY	1X DUPLEX RECEPTACLE @ 48" 1X 3-SLOT DRYER @ 48"



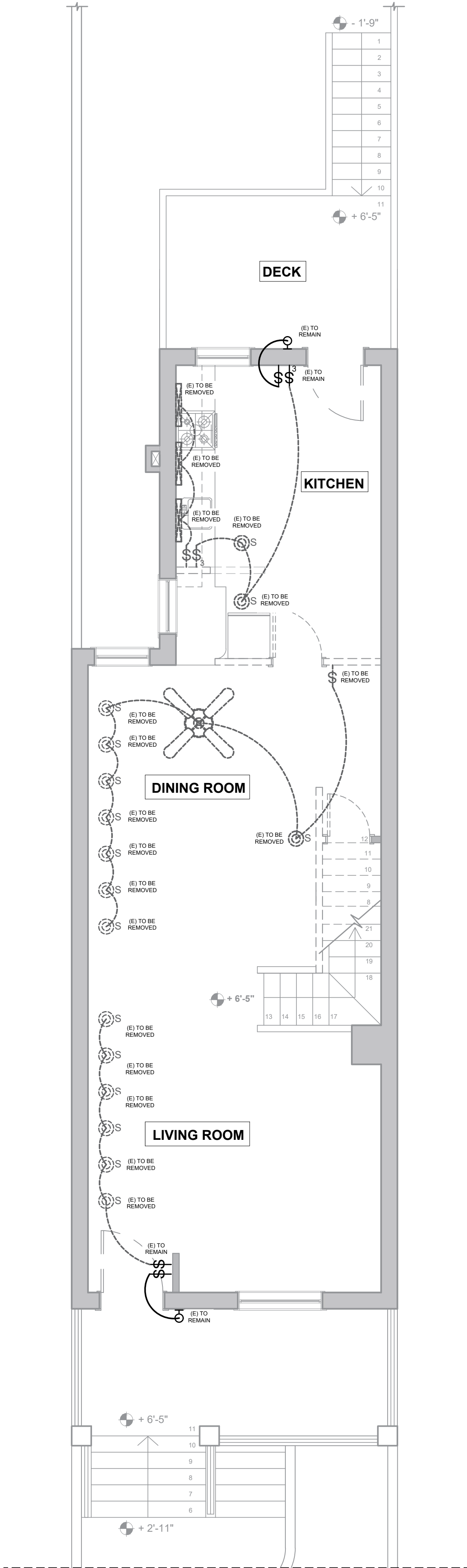
BASEMENT POWER PLAN
SCALE 1/4" =1'-0"



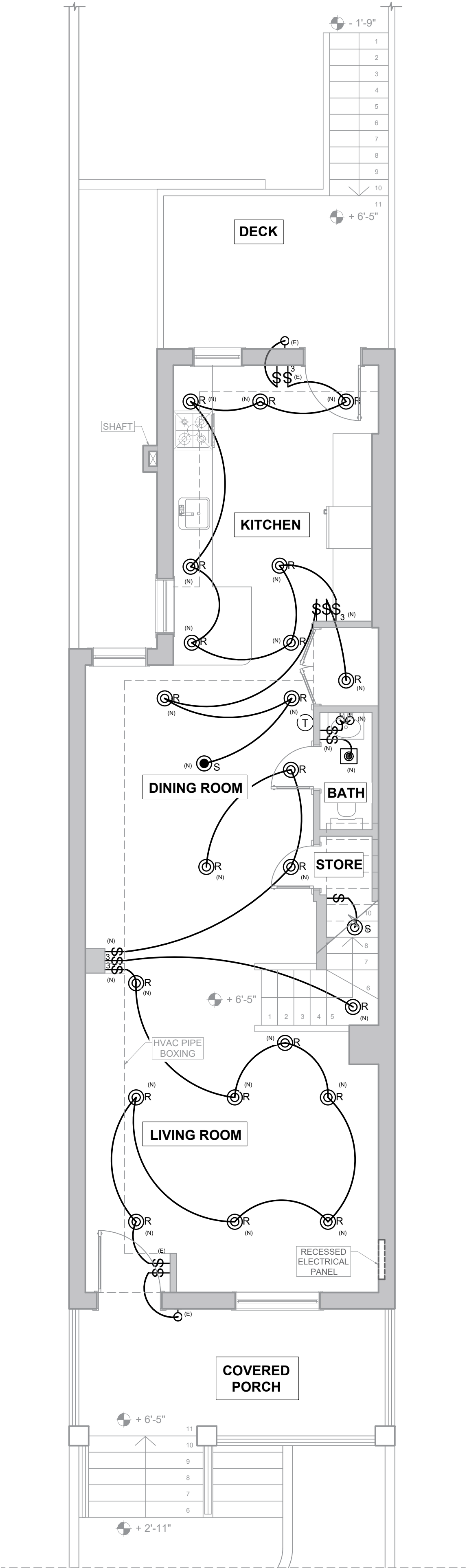
UNIT 1 POWER PLAN
SCALE 1/4" =1'-0"

LIGHTING LEGEND	
SYMBOL	LEGEND
⌘	SINGLE POLE SWITCH
⌘₃	TWO WAY SWITCH
⊙R	RECESSED LIGHT CEILING FIXTURE
⊙	WALL-MOUNTED LED FIXTURE
⊙S	SUSPENDED LIGHT CEILING FIXTURE
⊠	EXHAUST FAN
⊗	CEILING FAN WITH A SEPARATE LIGHT FIXTURE
▬	SURFACE MOUNTED LED STRIP
⊙S	SURFACE MOUNTED CEILING FIXTURE

UNIT 2 FIRST FLOOR LIGHTING FEATURES		
#	ROOM	DESCRIPTION
1	LIVING ROOM	8X RECESSED LIGHT CEILING FIXTURE
2	STORE	1X SURFACE MOUNTED LIGHT FIXTURE
3	DINING ROOM	5X RECESSED LIGHT CEILING FIXTURE 1X SUSPENDED LIGHT CEILING FIXTURE
4	BATH	2X WALL MOUNTED LED FIXTURE
5	UTILITY CLOSET	1X RECESSED LIGHT CEILING FIXTURE
6	KITCHEN	7X RECESSED LIGHT CEILING FIXTURE
7	DECK	1X WALL MOUNTED LED FIXTURE
8	COVERED PORCH	1X WALL MOUNTED LED FIXTURE



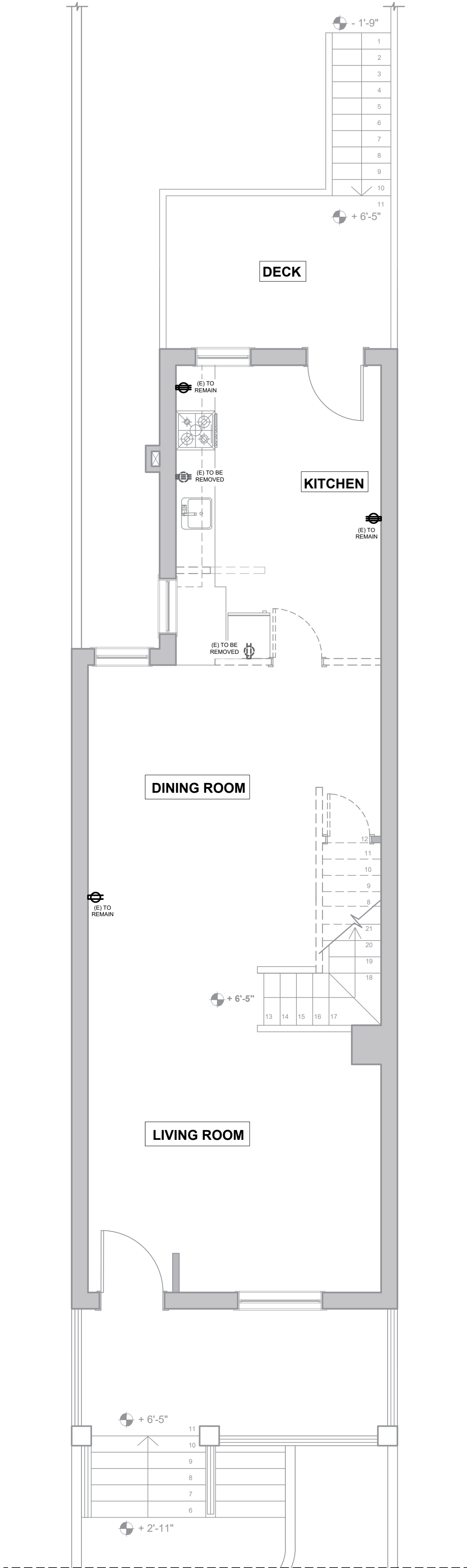
FIRST FLOOR LIGHTING PLAN:
SCALE 1/4" =1'-0"



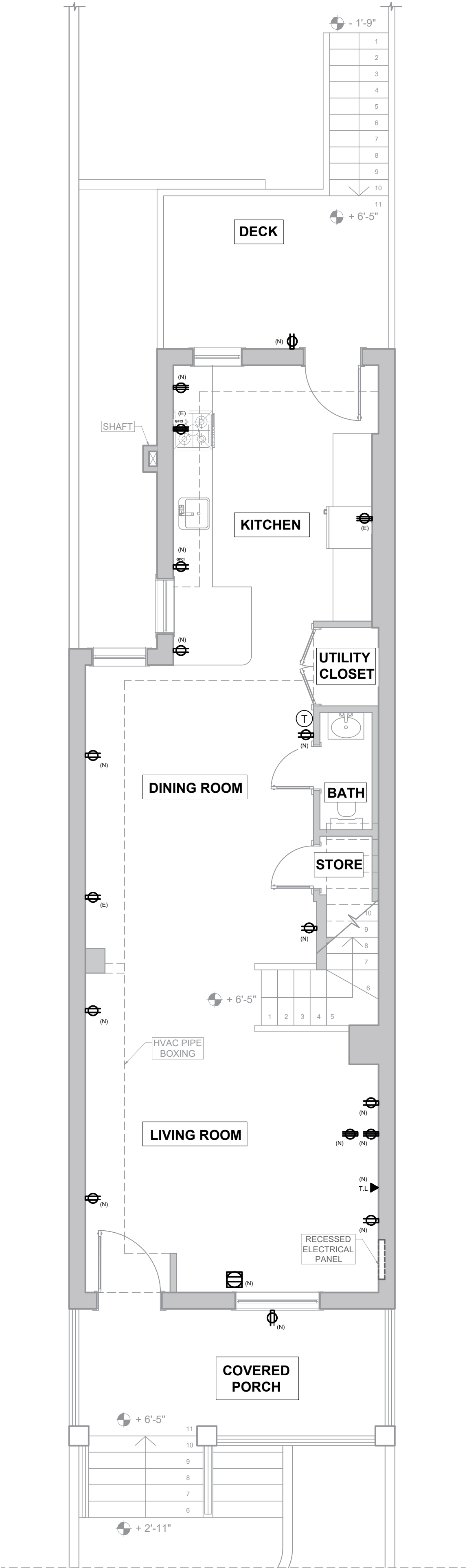
UNIT 2 FIRST FLOOR LIGHTING PLAN:
SCALE 1/4" =1'-0"

ELECTRICAL LEGEND	
SYMBOL	LEGEND
	DUPLEX RECEPTACLE
	GROUND FAULT OUTLET
	3-SLOT DRYER OUTLET
	TELEPHONE OUTLET
	RECESSED FLOOR RECEPTACLE
	THERMOSTAT

UNIT 2 FIRST FLOOR POWER FEATURES		
#	ROOM	DESCRIPTION
1	LIVING ROOM	1X RECESSED FLOOR RECEPTACLE 4X DUPLEX RECEPTACLE @ 12" 1X 3 SLOT DRYER OUTLET @ 48" 1X TELEPHONE OUTLET @ 12"
2	STORE	-
3	DINING ROOM	4X DUPLEX RECEPTACLE @ 12"
4	BATH	-
5	UTILITY CLOSET	-
6	KITCHEN	2X GROUND FAULT RECEPTACLE @ 48" 3X DUPLEX RECEPTACLE @ 48"
7	COVERED PORCH	1X DUPLEX RECEPTACLE @ 12"



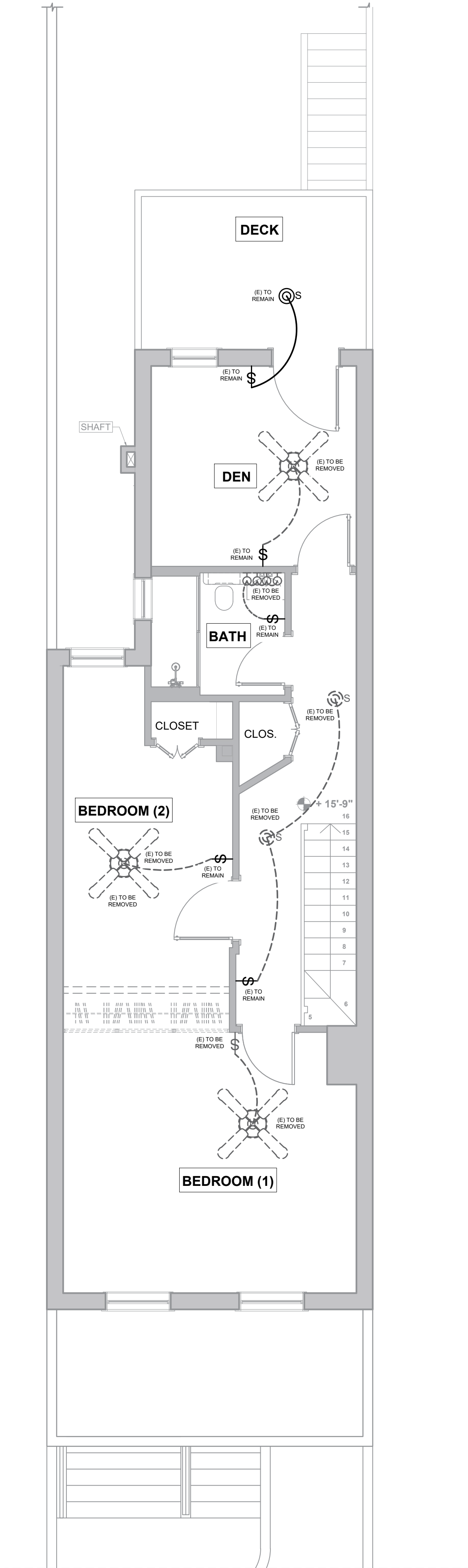
FIRST FLOOR POWER PLAN:
SCALE 1/4" =1'-0"



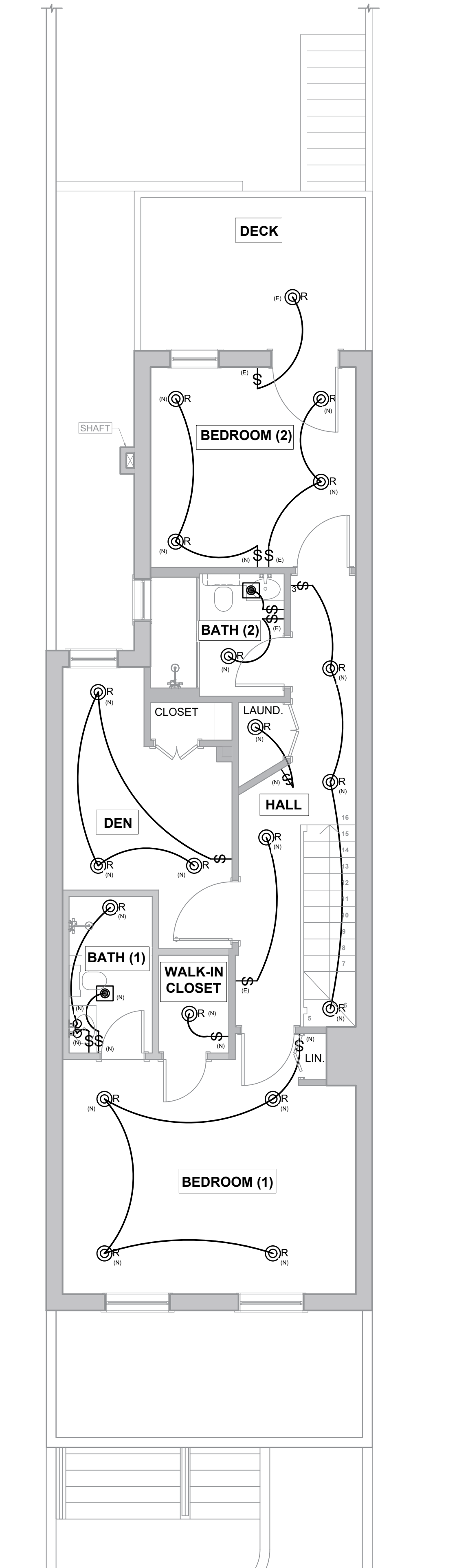
UNIT 2 FIRST POWER LIGHTING PLAN:
SCALE 1/4" =1'-0"

LIGHTING LEGEND	
SYMBOL	LEGEND
\$	SINGLE POLE SWITCH
\$3	TWO WAY SWITCH
⊙R	RECESSED LIGHT CEILING FIXTURE
⊙	WALL-MOUNTED LED FIXTURE
⊙	EX-HAUST FAN
⊙X	CEILING FAN WITH A SEPARATE LIGHT FIXTURE
⊙S	SURFACE MOUNTED LIGHT CEILING FIXTURE

UNIT 2 SECOND FLOOR LIGHTING FEATURES		
#	ROOM	DESCRIPTION
1	BEDROOM (1)	4X RECESSED LIGHT CEILING FIXTURE
2	WALK-IN CLOSET	1X RECESSED LIGHT CEILING FIXTURE
3	BATH (1)	2X WALL MOUNTED LED FIXTURE 1X RECESSED LIGHT CEILING FIXTURE
4	BEDROOM (2)	3X RECESSED LIGHT CEILING FIXTURE
5	BATH (2)	1X RECESSED LIGHT CEILING FIXTURE
6	DEN	4X RECESSED LIGHT CEILING FIXTURE
7	DECK	1X RECESSED LIGHT CEILING FIXTURE



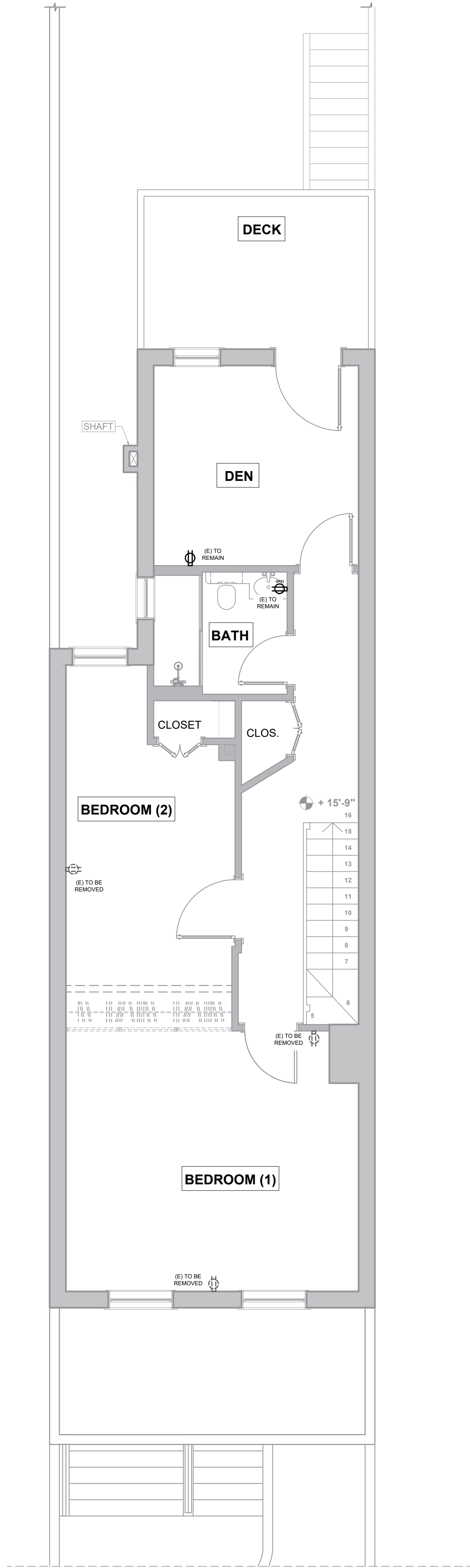
SECOND FLOOR LIGHTING PLAN:
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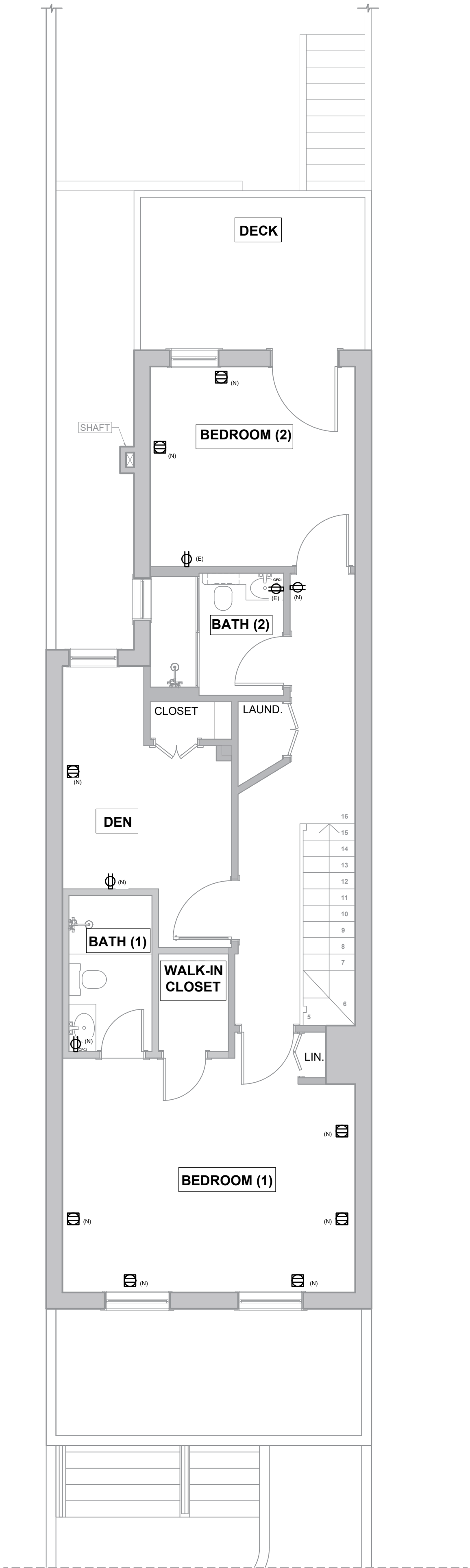
UNIT 2 SECOND FLOOR LIGHTING PLAN:
SCALE 1/4" =1'-0"

ELECTRICAL LEGEND	
SYMBOL	LEGEND
	DUPLEX RECEPTACLE
	GROUND FAULT OUTLET
	3-SLOT DRYER OUTLET
	RECESSED FLOOR RECEPTACLE

UNIT 2 SECOND FLOOR POWER FEATURES		
#	ROOM	DESCRIPTION
1	BEDROOM (1)	5X RECESSED FLOOR RECEPTACLES
2	WALK-IN CLOSET	-
3	BATH (1)	1X GROUND FAULT OUTLET @ 48"
4	BEDROOM (2)	1X RECESSED FLOOR RECEPTACLES 1X DUPLEX RECEPTACLE @ 12"
5	BATH (2)	1X GROUND FAULT OUTLET @ 48"
6	DEN	2X RECESSED FLOOR RECEPTACLES 1X DUPLEX RECEPTACLE @ 12"



SECOND FLOOR POWER PLAN:
SCALE 1/4" =1'-0"



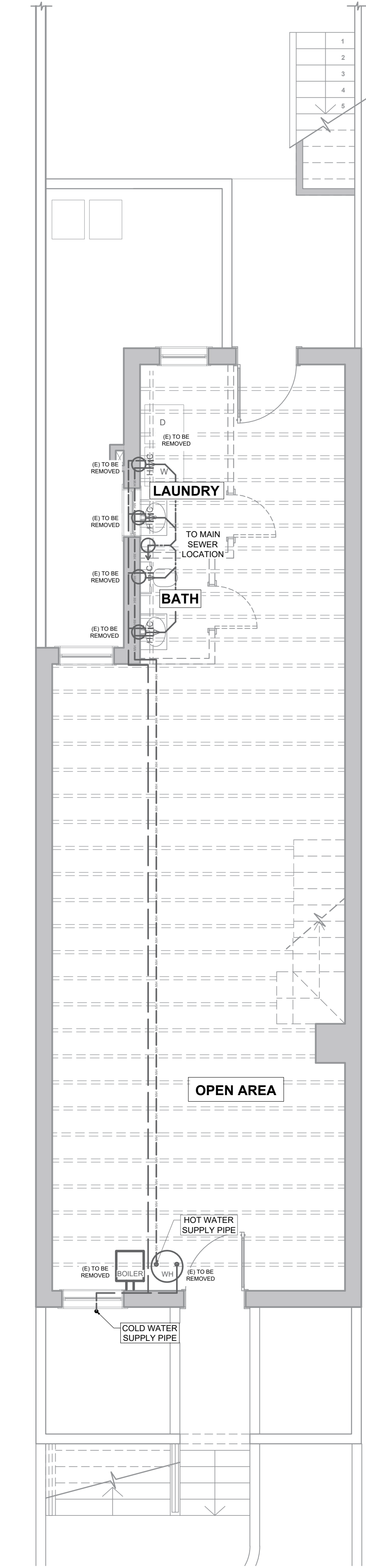
UNIT 2 SECOND FLOOR POWER PLAN:
SCALE 1/4" =1'-0"

PLUMBING LEGEND	
SYMBOL	LEGEND
	COLD WATER SUPPLY PIPE
	HOT WATER SUPPLY PIPE
	FLOOR DRAIN
	DRAINAGE PIPE
	FIXTURE DISCHARGE PIPE

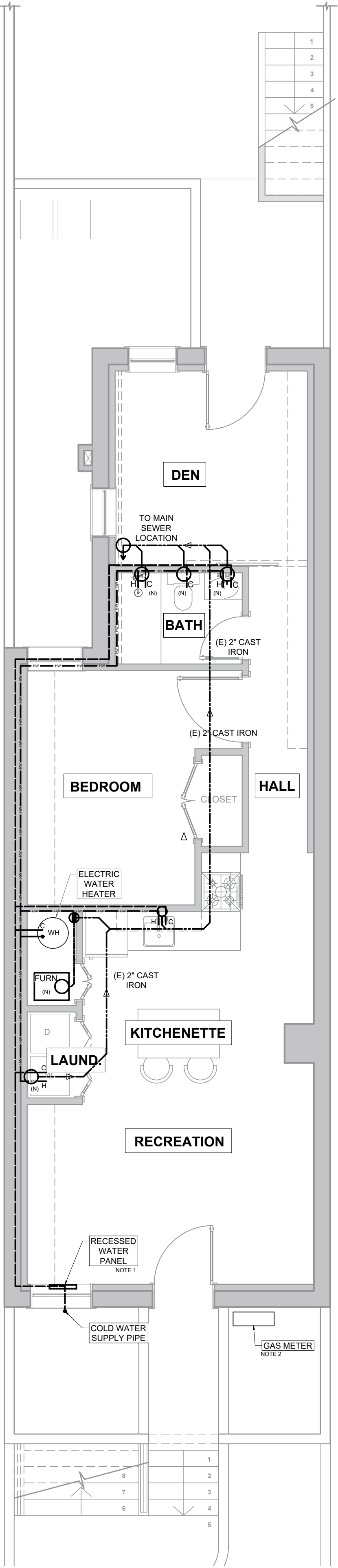
NOTE 1
2 WATER SUPPLY PANELS EXIST IN THIS LOCATION, UPPER PANEL IS FOR UNIT 2 WATER SUPPLY; LOWER PANEL IS FOR UNIT 1 WATER SUPPLY

NOTE 2
THERE ARE NO GAS APPLIANCES IN UNIT 1, THEY ONLY EXIT IN UNIT 2

NOTE 3
UNIT 1 AND UNIT 2 PLUMBING CONNECTIONS ARE SEPARATED



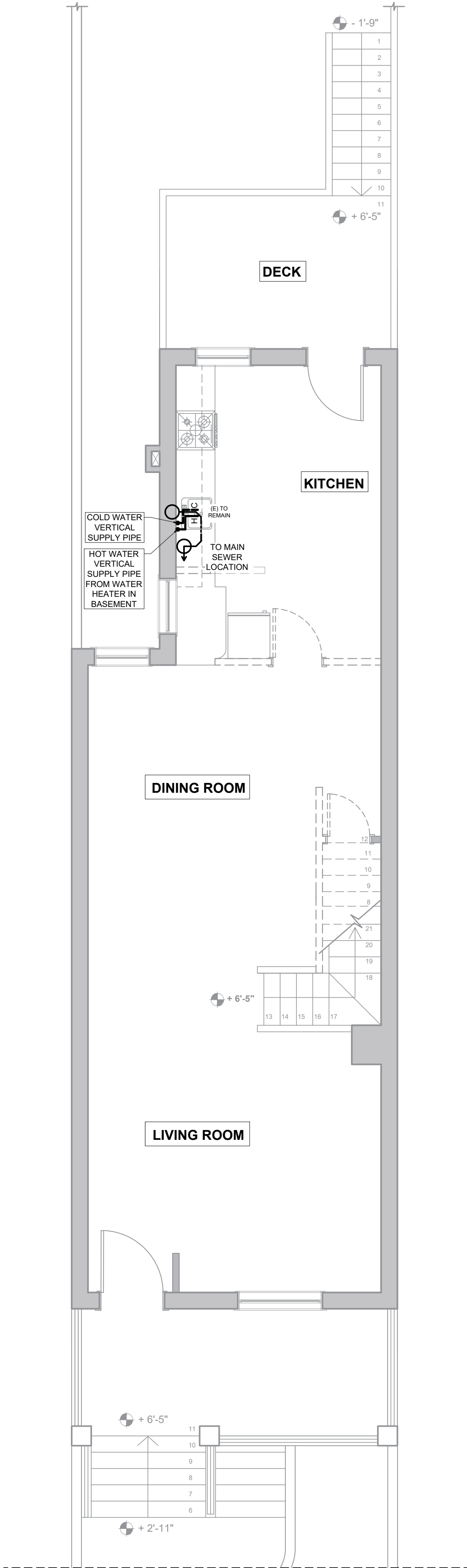
BASEMENT PLUMBING PLAN:
SCALE 1/4" =1'-0"



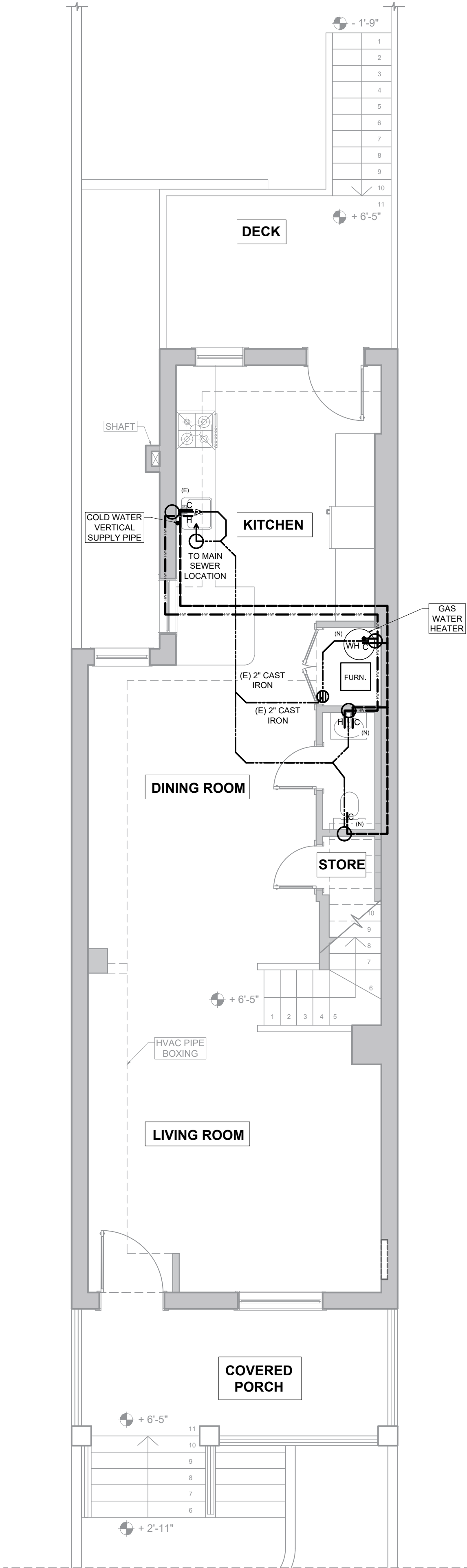
UNIT 1 PLUMBING PLAN:
SCALE 1/4" =1'-0"

PLUMBING LEGEND	
SYMBOL	LEGEND
	COLD WATER SUPPLY PIPE
	HOT WATER SUPPLY PIPE
	FLOOR DRAIN
	DRAINAGE PIPE
	FIXTURE DISCHARGE PIPE

NOTE
UNIT 1 AND UNIT 2 PLUMBING CONNECTIONS ARE SEPARATED



FIRST FLOOR PLUMBING PLAN:
SCALE 1/4" = 1'-0"



UNIT 2 FIRST FLOOR PLUMBING PLAN:
SCALE 1/4" = 1'-0"

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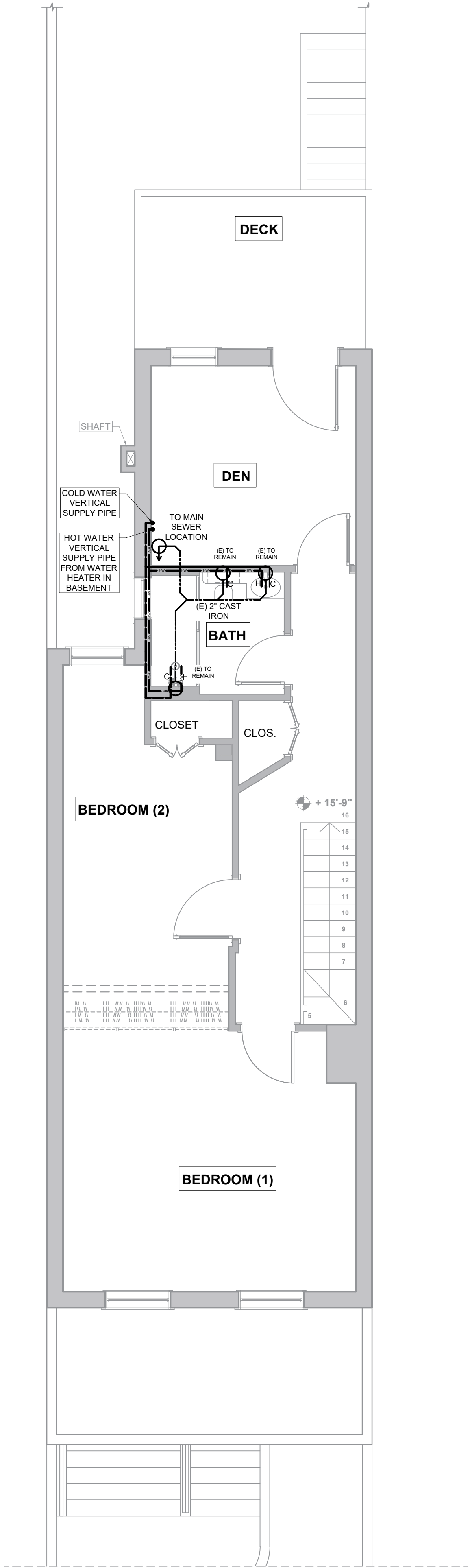
10 GIRARD ST NE
WASHINGTON, DC 20002

DATE: 09/29/2023
BY: GA
REV: 02/03/2023
09/28/2023 BY: TB

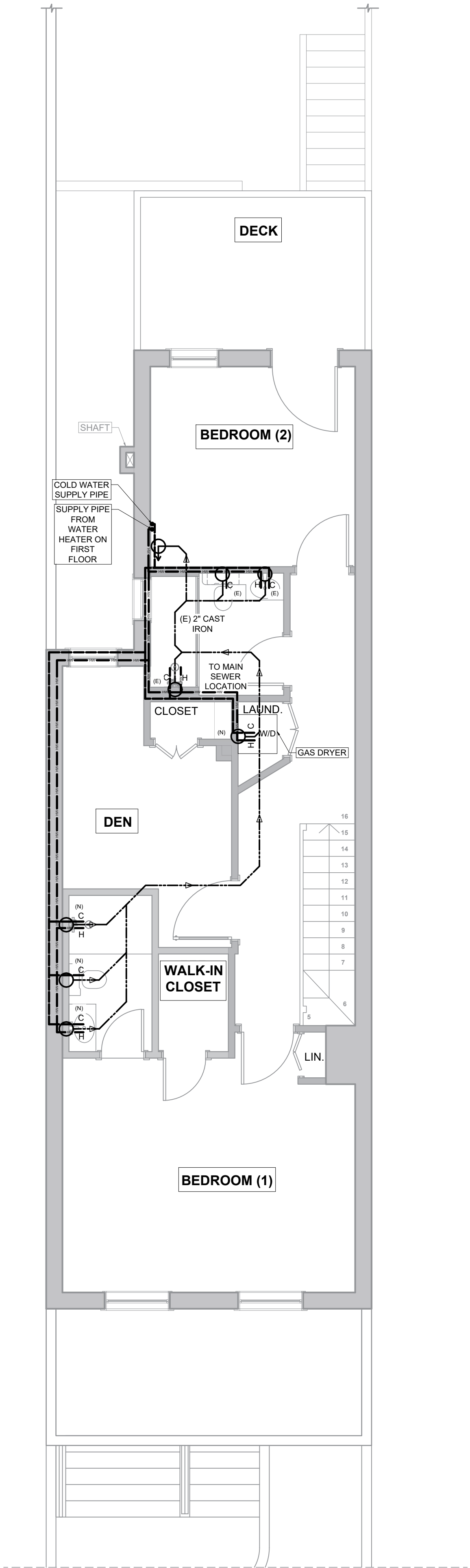
JOB NO: BTX23-0149

PLUMBING LEGEND	
SYMBOL	LEGEND
---	COLD WATER SUPPLY PIPE
- - -	HOT WATER SUPPLY PIPE
----	DRAINAGE PIPE
○	FIXTURE DISCHARGE PIPE

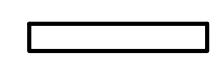
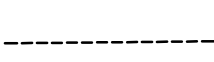
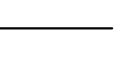
NOTE
UNIT 1 AND UNIT 2 PLUMBING CONNECTIONS ARE SEPARATED



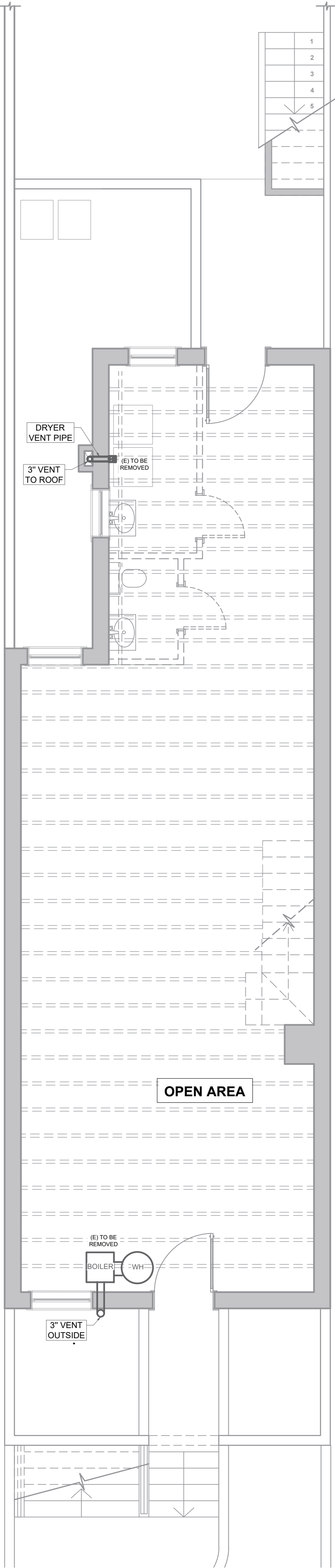
SECOND FLOOR PLUMBING PLAN:
SCALE 1/4" =1'-0"



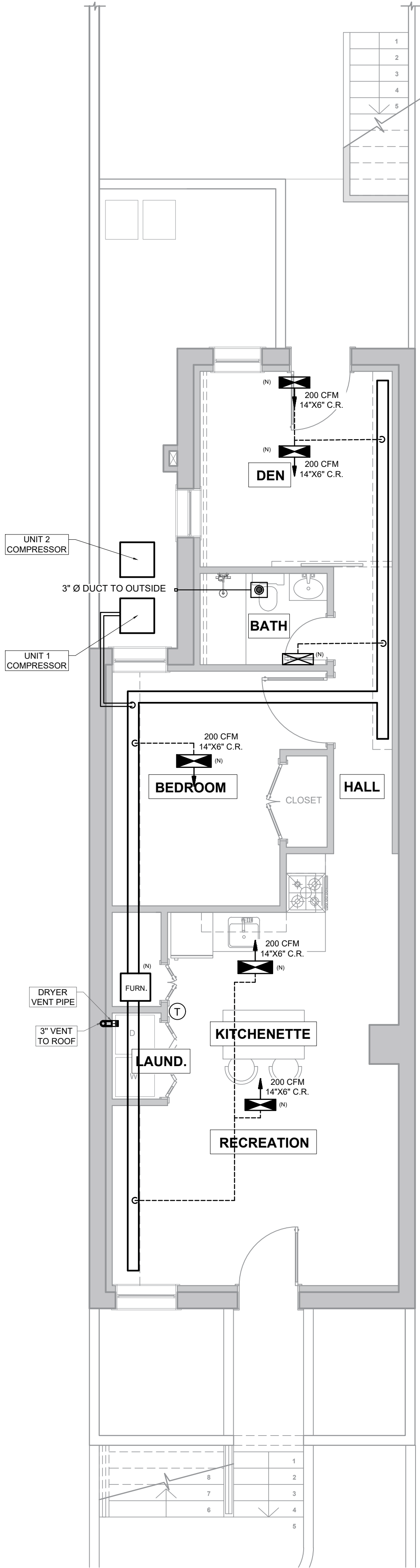
UNIT 2 SECOND FLOOR PLUMBING PLAN:
SCALE 1/4" =1'-0"

UNIT 1 MECHANICAL LEGEND	
SYMBOL	LEGEND
	CEILING SUPPLY GRILL
	WALL MOUNTED SUPPLY GRILL
	FURNANCE MAIN SUPPLY DUCT
	CONNECTION BETWEEN SUPPLY GRILL AND MAIN SUPPLY DUCT
	EXHAUST FAN
	EXHAUST FAN DUCT
	HOOD
	THERMOSTAT

UNIT 1 MECHANICAL FEATURES		
#	ROOM	DESCRIPTION
1	RECREATION	1X CEILING SUPPLY GRILL 1X THERMOSTAT
2	KITCHENETTE	1X CEILING SUPPLY GRILL
3	HALL	-
4	BEDROOM	1X CEILING SUPPLY GRILL
5	BATH	1X WALL-MOUNTED SUPPLY GRILL 1X EXHAUST FAN
6	DEN	2X CEILING SUPPLY GRILL
7	LAUNDRY	1X HOOD



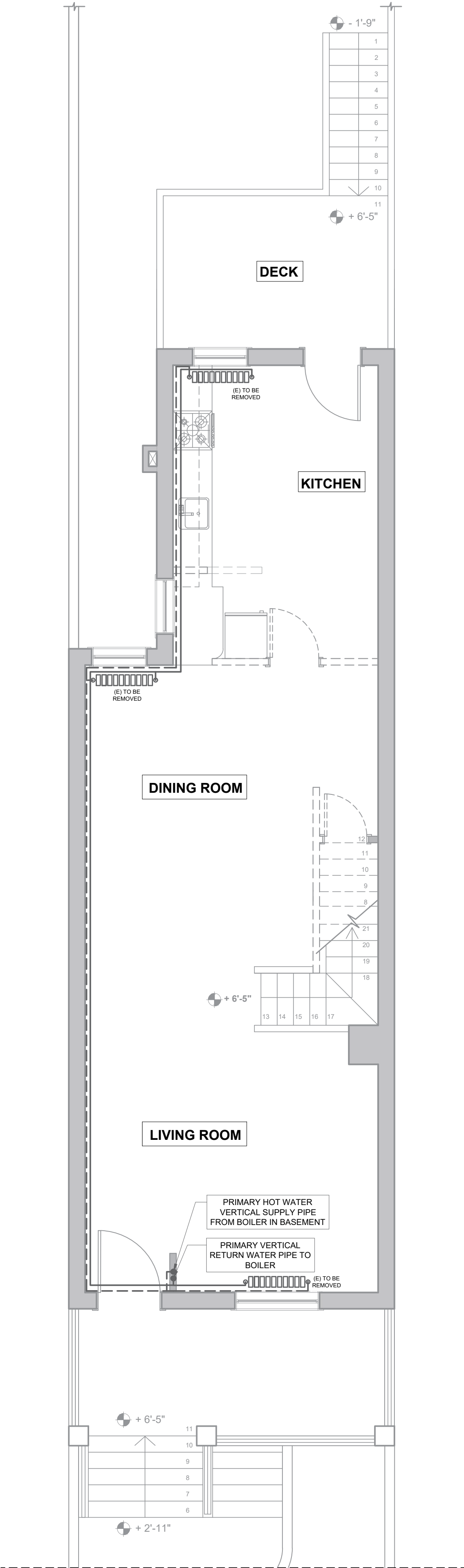
BASEMENT MECHANICAL PLAN:
SCALE 1/4" =1'-0"



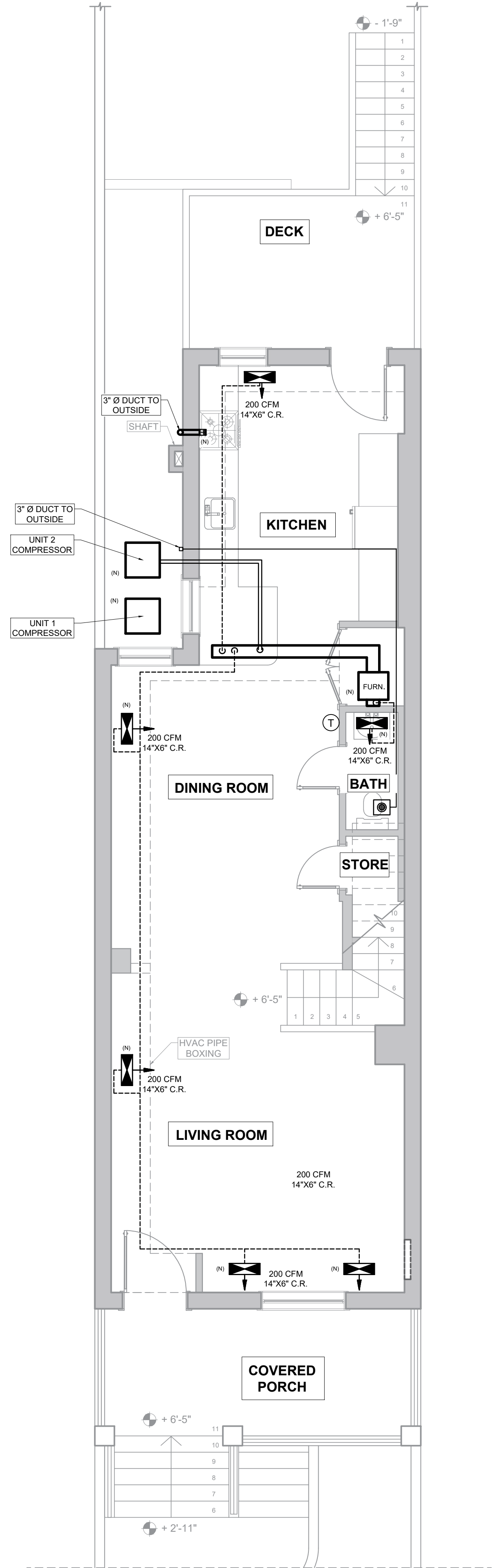
UNIT 1 MECHANICAL PLAN:
SCALE 1/4" =1'-0"

MECHANICAL LEGEND	
SYMBOL	LEGEND
	CEILING SUPPLY GRILL
	FURNANCE MAIN SUPPLY DUCT
	CONNECTION BETWEEN SUPPLY GRILL AND MAIN SUPPLY DUCT
	EXHAUST FAN
	EXHAUST FAN DUCT
	HOOD
	THERMOSTAT
	RADIATOR
	PRIMARY HOT WATER FLOW PIPE
	PRIMARY RETURN WATER FLOW PIPE

UNIT 2 FIRST FLOOR MECHANICAL FEATURES		
#	ROOM	DESCRIPTION
1	LIVING ROOM	3X CEILING SUPPLY GRILL
2	STORE	-
3	DINING ROOM	1X CEILING SUPPLY GRILL
4	BATH	1X CEILING SUPPLY GRILL
5	UTILITY CLOSET	-
6	KITCHEN	1X CEILING SUPPLY GRILL



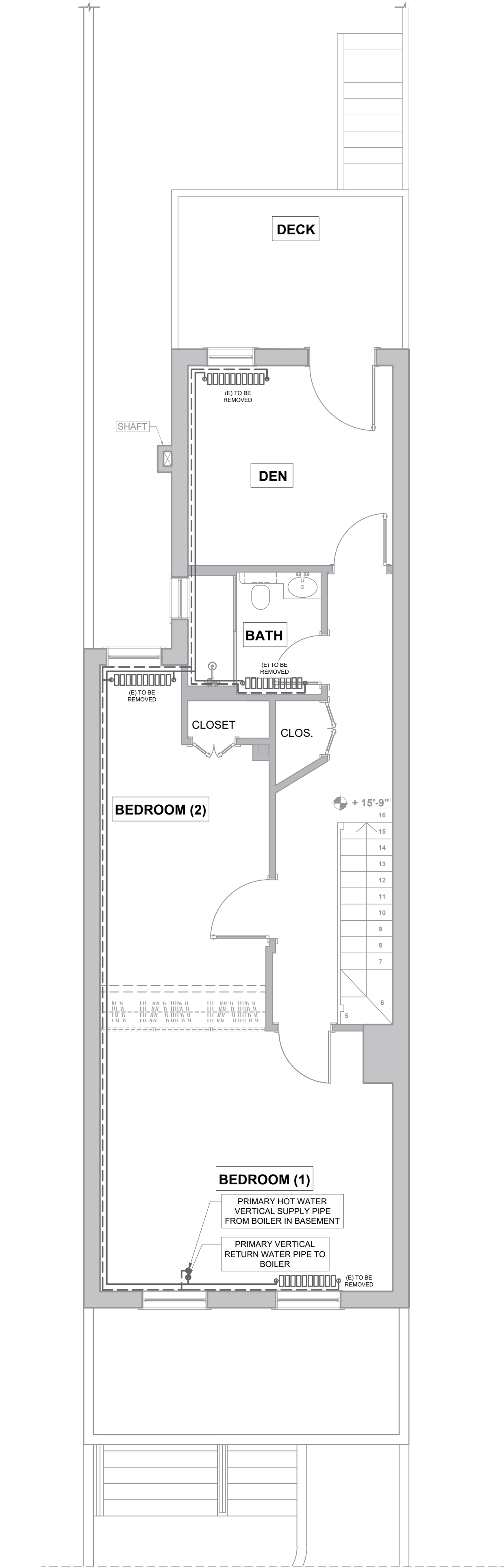
FIRST FLOOR MECHANICAL PLAN:
SCALE 1/4" =1'-0"



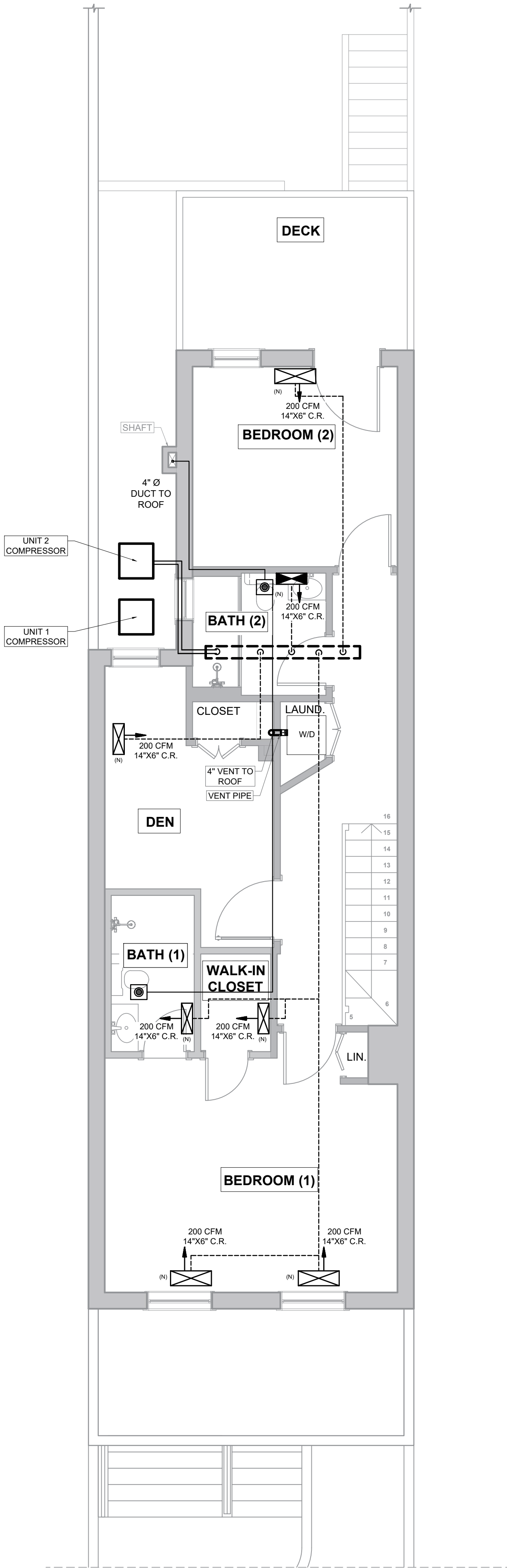
UNIT 1 FIRST FLOOR MECHANICAL PLAN:
SCALE 1/4" =1'-0"

MECHANICAL LEGEND	
SYMBOL	LEGEND
	FLOOR SUPPLY GRILL
	WALL MOUNTED SUPPLY GRILL
	FURNANCE MAIN SUPPLY DUCT LOCATED BENEATH FLOORING
	CONNECTION BETWEEN SUPPLY GRILL AND MAIN SUPPLY DUCT
	EXHAUST FAN
	EXHAUST FAN DUCT
	HOOD
	RADIATOR
	PRIMARY HOT WATER FLOW PIPE
	PRIMARY RETURN WATER FLOW PIPE

UNIT 2 SECOND FLOOR MECHANICAL FEATURES		
#	ROOM	DESCRIPTION
1	BEDROOM (1)	2X FLOOR SUPPLY GRILL
2	WALK-IN CLOSET	1X FLOOR SUPPLY GRILL
3	BATH (1)	1X FLOOR SUPPLY GRILL 1X EXHAUST FAN
4	BEDROOM (2)	1X FLOOR SUPPLY GRILL
5	BATH (2)	1X WALL MOUNTED SUPPLY GRILL 1X EXHAUST FAN
6	DEN	1X FLOOR SUPPLY GRILL
7	LAUNDRY	HOOD



SECOND FLOOR MECHANICAL PLAN:
SCALE 1/4" =1'-0"



UNIT 2 SECOND FLOOR MECHANICAL PLAN:
SCALE 1/4" =1'-0"