

2525 Belmont Road, NW

Square / Lot: 2501 / 0030

Zoning Classification: R-1B

Lot Area: 6667 square feet







FRONT



REAR



SIDE





- 1) TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED FEBRUARY, 2024.
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED FEBRUARY, 2024.
- 3) ZONING: R-18
MINIMUM LOT WIDTH = 50 FEET
MINIMUM LOT AREA = 5,000 SQUARE FEET
MAXIMUM BUILDING HEIGHT = 40 FEET / 3 STORES
FRONT B.E.L. = NONE PER 04 SURVEYORS' OFFICE
MINIMUM REAR YARD = 25 FEET
MINIMUM SIDE YARD = 8 FEET
MAXIMUM LOT OCCUPANCY = 40%
MINIMUM NERVOUS SURFACE COVERAGE = 50%
FRONT SETBACK RANGE PER 11D DCMR = 206.2
- 4) NOTE: SITE IS LOCATED IN THE SHERIDAN-KALAMORA HISTORIC DISTRICT AND THE COMMISSION OF FINE ARTS JURISDICTION AREA AND MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS/REVIEW.
- 5) TOTAL LOT AREA: LOT 0030 = 6.667 SQUARE FEET (0.015 ACRES)
- 6) PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL 1501001016C

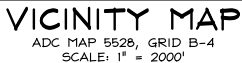


		PROPERTY LINE
S	(S) (62.7)	EX. SANITARY MANHOLE AND INVERT
D	(D) (62.7)	EX. STORM MANHOLE AND INVERT
W	(W)	EX. WATER LINE WITH MANHOLE
G	(G) (62.4)	EX. GAS LINE WITH VALVE
USE	(E)	EX. UNDERGROUND ELECTRIC LINE
	(T)	EX. UNDERGROUND CONDUIT LINE
240	300	EX. TWO- AND TEN-FOOT CONTOURS
		EX. FIRE HYDRANT
		EX. SPOT ELEVATION
		EX. WOOD FENCE
X	X	EX. METAL FENCE
		EX. SPRINKLER HEAD
		EX. GROUND LIGHT
		EX. ELECTRIC JUNCTION BOX
		EX. SIGN
		EX. PIPED DOWNSPOUT
		EX. TREE
		EX. HERITAGE TREE ($\geq 100^\circ$ CBH), MAY NOT BE REMOVED UNLESS HAZARDOUS
		OR EVALUATED BY A CERTIFIED ARBORIST AND DDOT UFA/PSD) OR PERMIT IS ISSUED BY MAYOR PER THE TREE CANOPY PROTECTION AGREEMENT ACT OF 2016 (REF. DC ACT 21-386)
		EX. WALL

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.				
UTILITY	REQUEST DATE	BY	INFO RECEIVED	PLAN REVISED BY
AT&T	01/31/2024	MSL	02/06/2024	NO FACILITIES -
COMCAST	01/31/2024	MSL	ON FILE	02/15/2024
MC/WORDCOM	01/31/2024	MSL	PENDING	-
VERIZON	01/31/2024	MSL	02/02/2024	02/15/2024
VERIZON	01/31/2024	MSL	ON FILE	02/15/2024
WASH. GAS	01/31/2024	MSL	ON FILE	02/15/2024
DC SEWER	01/31/2024	MSL	ON FILE	02/15/2024
DC WATER	01/31/2024	MSL	ON FILE	02/15/2024

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-252-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE MISS UTILITY SERVICE IS AVAILABLE TO ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY RECORDS AND INFORMATION FROM THE UTILITY COMPANIES.



2021 PROJECT H SPV, LLC
ATTN: YASH SANDESARA
2525 BELMONT ROAD, NW
WASHINGTON, DC 20008
(202) 967-9633 (PHONE)
z@gizalabs.com

FOWLKES STUDIO
ATTN: VW FOWLKES
1711 CONNECTICUT AVENUE, NW, SUITE 204B
WASHINGTON, DC 20009
(202) 758-5518 (PHONE)
vw@fowlkesstudio.com

2525
BELMONT
ROAD, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

BASE SHEET ISSUED	02/19/2024
REVISION	DATE
CAS PROJECT	22-0B14-DC
DATE	02/2024
DRAWN BY	MSL
CHECKED BY	DCL
APPROVAL	DCL
SCALE	1"=10'

NORTH

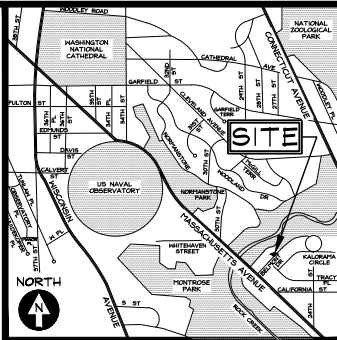

DATUM:
VERTICAL
DC WATER
HORIZONTAL
DC SURVEYOR'S OFFICE
BOOK 182 | PAGE 15

SHEET TITLE

EXISTING CONDITIONS PLAN

CIV100

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VICINITY MAP

ADC MAP 5528, GRID B-4
SCALE: 1" = 2000'



CAS ENGINEERING-DC, LLC
4836 MacArthur Boulevard, NW
2nd Floor
Washington, DC 20007
(202) 393-7200 Phone
www.cas-dc.com
info@cas-dc.com

CIVIL • SURVEYING • LAND PLANNING

OWNER/CLIENT

2021 PROJECT H SPV, LLC
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2525 BELMONT ROAD, NW
WASHINGTON, DC 20008
(202) 967-9633 (PHONE)
z@gizalabs.com

ARCHITECT

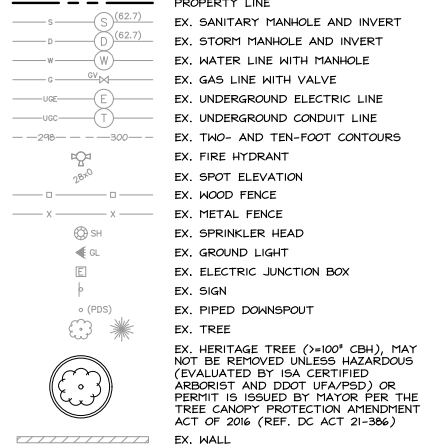
FOWLKES STUDIO
ATTN: VW FOWLKES
1711 CONNECTICUT AVENUE, NW, SUITE 204B
WASHINGTON, DC 20009
(202) 758-5518 (PHONE)
vw@fowlkesstudio.com

LOT 0030, SQUARE 2501
KALORAMA

2525
BELMONT
ROAD, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

EXISTING FEATURES



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COMCAST	01/31/2024	MSL	ON FILE	02/15/2024	MSL
MC/STARCOM	01/31/2024	MSL	PENDING	—	—
PEPCO	01/31/2024	MSL	02/02/2024	02/15/2024	MSL
VERIZON	01/31/2024	MSL	ON FILE	02/15/2024	MSL
WASH. GAS	01/31/2024	MSL	ON FILE	02/15/2024	MSL
DC SEWER	01/31/2024	MSL	ON FILE	02/15/2024	MSL
DC WATER	01/31/2024	MSL	ON FILE	02/15/2024	MSL

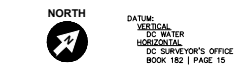
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[illegible]

REVISION	DATE
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CAS PROJECT	22-0814-DC
DATE	02/2024
DRAWN BY	MSL
CHECKED BY	DCL
APPROVAL	DCL
SCALE	1"=10'



SHEET TITLE

EXISTING CONDITIONS PLAN

CIV100

NOTE
REFER TO ELEC. AND MECH. PLANS PRIOR TO FRAMING
LAYOUT. ELEC. AND MECH. FEATURES TO HAVE
PRECEDENCE OVER FRAMING MEMBERS.

NOTE
REFER TO LANDSCAPE ARCHITECT PLANS
FOR ALL LANDSCAPE WALLS, POOL
DIMENSIONS, AND DETAILS.

- KEY:

EXISTING WALL

PROPOSED WALL

INT. BEARING WALL

CONCRETE

STONE
- PLAN NOTES:
1. G.C. TO V.I.F. ALL EXISTING CONDITIONS AND IMMEDIATELY
NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES
2. INTERIOR DIMENSIONS TO FACE OF FRAMING, U.N.O.
3. INTERIOR WALLS 2x6 FRAMING, U.N.O.
4. EXTERIOR WALLS ARE BEARING
5. EXTERIOR DIMENSIONS TO FACE OF CONCRETE FOUNDATION
OR EXTERIOR FACE OF WALL SHEATHING U.N.O.
6. C.O. INDICATES A CASSED OPENING, FINISHED SIZE
7. ALL WALLS TO BE PAINTED DRYWALL, U.N.O.



FOR DCRA USE ONLY

FOWLKES
STUDIO

1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 758 - 5518

2525 Belmont Road
2525 Belmont RD NW
Washington DC 20008

Scope:
Renovation and additions
to single-family residence.

Owner:
2021 PROJECT H SPV LLC

Builder:
Added Dimensions
7527 New Hampshire Ave
Takoma Park, MD 20912

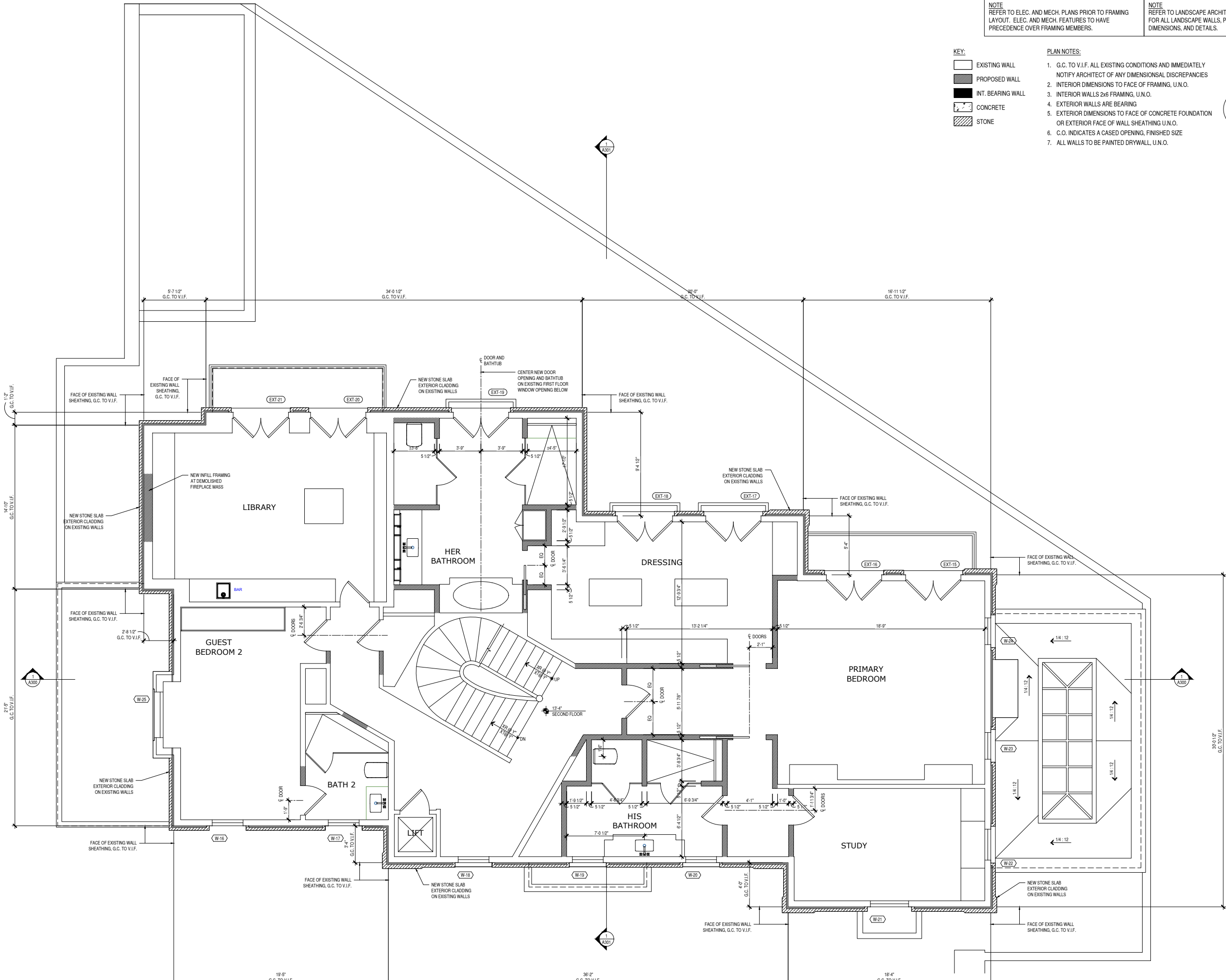
Issue Date:
10-03-2024
100% Schematic Design Set

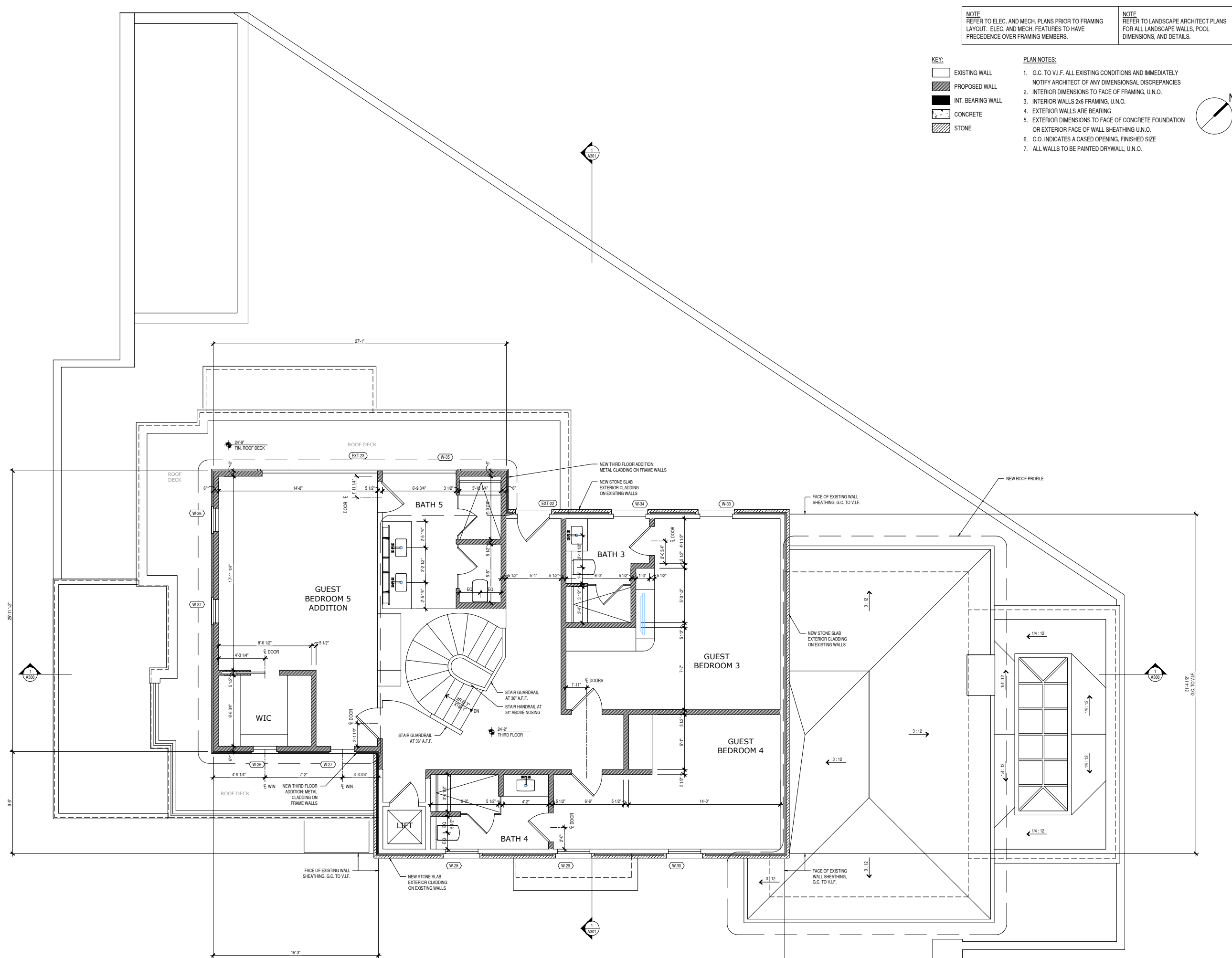
scale:
1/4" = 1'-0"

title:
**SECOND FLOOR
PLAN**

number:

A103





NOTE
REFER TO ELEC. AND MECH. PLANS PRIOR TO FRAMING
LAYOUT. ELEC. AND MECH. FEATURES TO HAVE
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NOTE
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 - EXTERIOR DIMENSIONS TO FACE OF CONCRETE FOUNDATION OR EXTERIOR FACE OF WALL SHEATHING U.N.O.
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Added Dimensions
7527 New Hampshire Ave
Takoma Park, MD 20912

Issue Date:
10-03-2024
100% Schematic Design Set

scale:
1/4" = 1'-0"

title:
THIRD FLOOR PLAN

number:

A104





FOR DCRA USE ONLY

FOWLKES FS
STUDIO

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2525 Belmont Road
2525 Belmont RD NW
Washington DC 20008

Scope:

Renovation and additions
to single-family residence.

Owner:

2021 PROJECT H SPV LLC

Builder:

Added Dimensions
7527 New Hampshire Ave
Takoma Park, MD 20912

Issue Date:

10-03-2024
100% Schematic Design Set

scale:

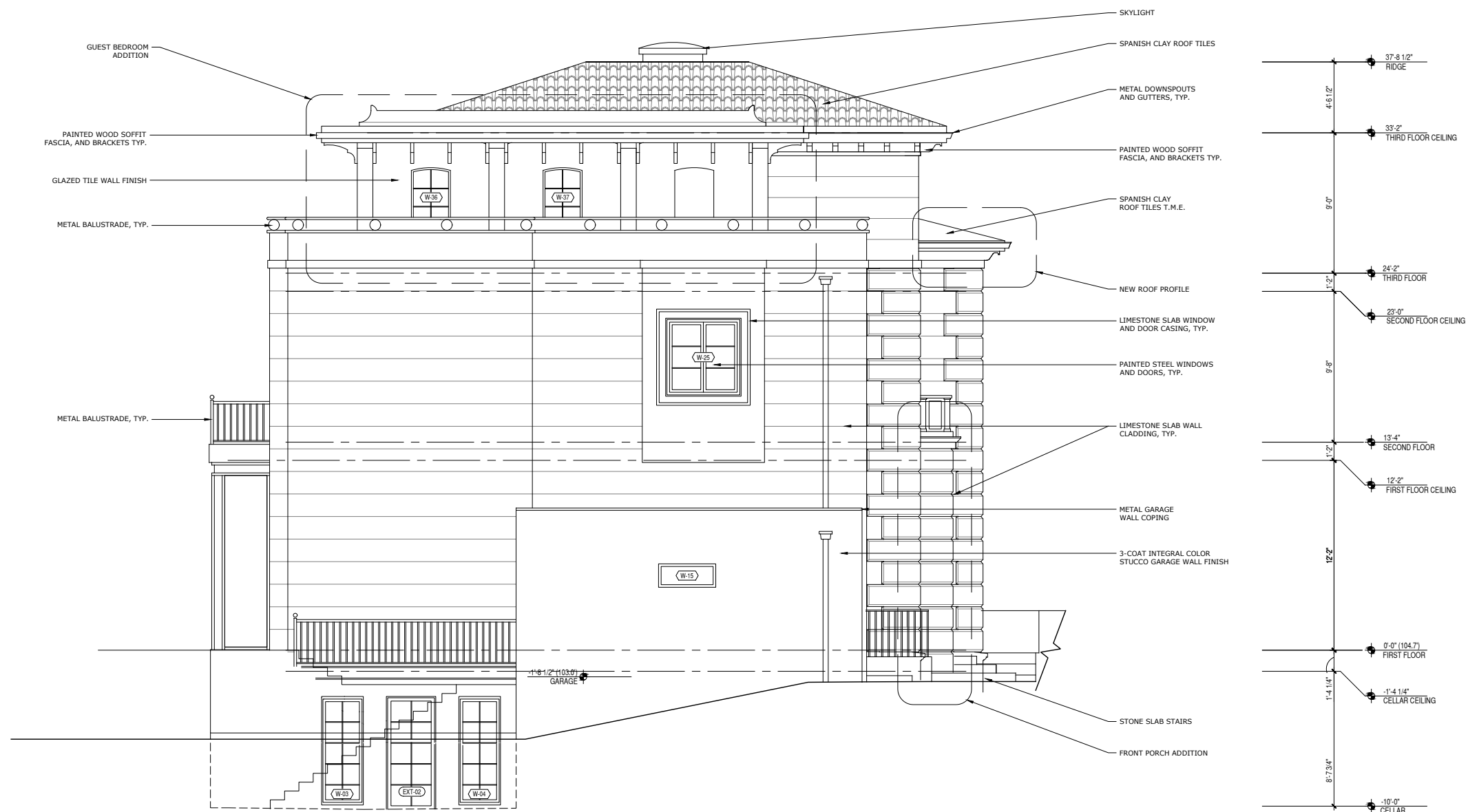
1/4" = 1'-0"

title:

NORTH ELEVATION

number:

A202



FOR DCRA USE ONLY

FOWLKES 
STUDIO

1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 758 - 5518

2525 Belmont Road
2525 Belmont RD NW
Washington DC 20008

Scope:

Renovation and additions
to single-family residence.

Owner:

2021 PROJECT H SPV LLC

Builder:

Added Dimensions
7527 New Hampshire Ave
Takoma Park, MD 20912

Issue Date:

10-03-2024
100% Schematic Design Set

scale:
1/4" = 1'-0"

title:
WEST ELEVATION

number:

A203



FOR DCRA USE ONLY

FOWLKES FS
STUDIO

1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 758 - 5518

2525 Belmont Road
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Washington DC 20008

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Renovation and additions
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Owner:
2021 PROJECT H SPV LLC

Builder:
Added Dimensions
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Takoma Park, MD 20912

Issue Date:
10-03-2024
100% Schematic Design Set

scale:
1/4" = 1'-0"

title:
EAST ELEVATION

number:

A201