

**2525 Belmont Road, NW**

Square / Lot: 2501 / 0030

Zoning Classification: R-1B

Lot Area: 6667 square feet







FRONT



REAR



SIDE







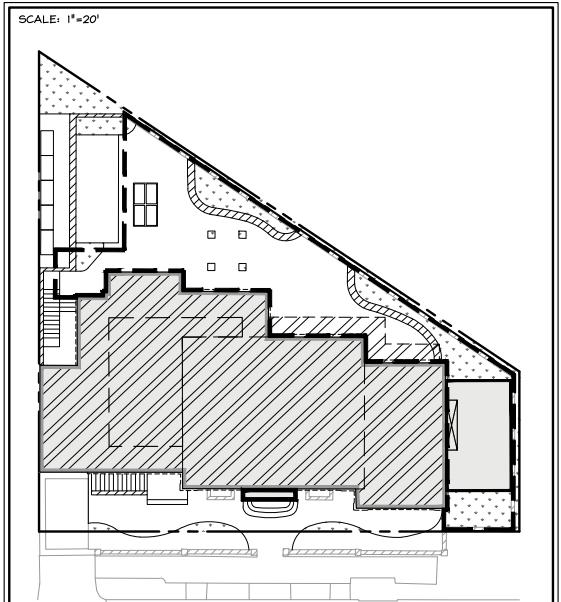




## GENERAL NOTES

SEE BUILDING PERMIT SITE AND GRADING RELATED NOTES ON SHEETS CIV001 AND CIV002.

## PERVIOUS AREA AND LOT OCCUPANCY CALCULATIONS FOR COMPLIANCE WITH 11 DCMR (R-1B ZONE)



### LOT 30

2525 BELMONT ROAD, NW

TOTAL SITE AREA = 6,667 SF

LOT OCCUPANCY AREA = 3,203 SF  
(PROPOSED OCCUPANCY SHOWN )

OCCUPANCY % = 49.4%  
(40% REQUIRED FOR R-1B ZONE PER 11D DCMR 210.1)

BZA RELIEF MAY BE REQUIRED FROM 11D DCMR 210.1

EXISTING LOT OCCUPANCY = 3,112 SF  
EXISTING LOT OCCUPANCY % = 46.7%  
(EXISTING LOT OCCUPANCY SHOWN )

PROPOSED LOT OCCUPANCY = 3,293 SF  
PROPOSED LOT OCCUPANCY % = 49.4%  
(PROPOSED OCCUPANCY SHOWN )

INCREASE IN LOT OCCUPANCY % = 5.8%  
PERVIOUS SURFACE REQUIREMENTS OF 11D DCMR 211.1 MAY NOT BE APPLICABLE PER 11C DCMR 501.2(b) (ADDITION DOES NOT INCREASE EXISTING OCCUPANCY BY TEN PERCENT (10%) OR MORE)

EXISTING PERVIOUS COVERAGE = 643 SF  
EXISTING PERVIOUS COVERAGE % = 9.6%  
PROPOSED PERVIOUS COVERAGE = 672 SF  
PROPOSED PERVIOUS COVERAGE % = 10.1%  
(PERVIOUS COVERAGE SHOWN )

## LEGEND

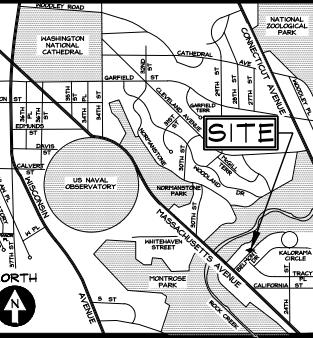
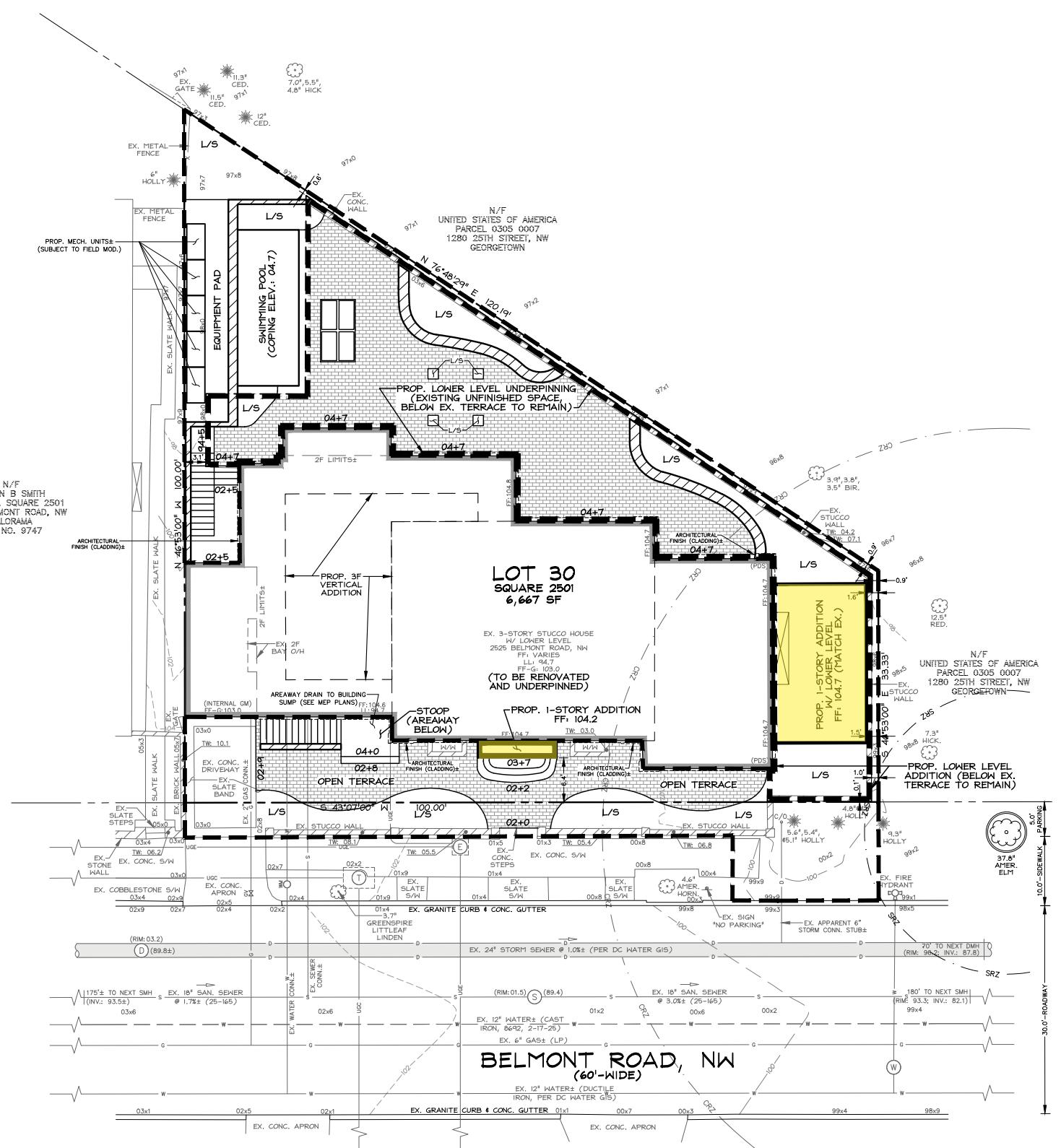
PROPOSED FEATURES	
00	PROP. CONTOUR WITH ELEVATION
00+0	PROP. SPOT ELEVATION
—	PROP. RETAINING WALL
→	PROP. SURFACE DRAINAGE FLOWPATH
—	LIMITS OF DISTURBANCE
████████	PROP. PATIO/TERRACE

## UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

### MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR GO ON TO [WWW.MISSUTILITY.NET](http://WWW.MISSUTILITY.NET) 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER-GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.



**CAS**

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4836 MacArthur Boulevard, NW

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info@cas-dc.com

CIVIL • SURVEYING • LAND PLANNING

OWNER/CLIENT

2021 PROJECT H SPV, LLC

ATTN: YASMIN SANJARA

2525 BELMONT ROAD, NW

WASHINGTON, DC 20008

(202) 967-9633 (PHONE)

[zgizables.com](http://zgizables.com)

ARCHITECT

FOWLKES STUDIO

ATTN: VW FOWLKES

1000 K STREET, NW, SUITE 204B

WASHINGTON, DC 20006

(202) 758-5518 (PHONE)

[www.fowlkesstudio.com](http://www.fowlkesstudio.com)

LOT 0030, SQUARE 2501

KALORAMA

2525  
BELMONT  
ROAD, NW

N.W. WASHINGTON,  
DISTRICT OF COLUMBIA

TOP INVERT, PROFILE AND SPOT ELEVATIONS HAVE BEEN SHORTENED TO DROP THE LEADING HUNDRED DENOTATION FOR SIMPLICITY.

A SEPARATE DDOT TREE REMOVAL PERMIT IS REQUIRED FOR PUBLIC SPACE TREES AND FOR TREES GREATER THAN 44" CBH (14" DBH).

PUBLIC SPACE RESTORATION TO BE DONE AS NECESSARY PER DDOT PERMIT OR APPLICABLE DETAILS.

FOR MORE INFORMATION, SEE ADDITIONAL PROFILES, NOTES, COMPUTATIONS, AND DETAILS ON CIV200-SERIES SHEETS.

CONTRACTOR TO COORDINATE ABANDONMENT OF ALL EXISTING UTILITIES AS NECESSARY.

GAS CONNECTIONS AND METERS TO BE INSTALLED BY GAS, SUBJECT TO FIELD MODIFICATION.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD 2 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES), COORDINATE WITH DDOT WARD 2 ARBORIST AS APPLICABLE. THE DDOT WARD 2 LEAD ARBORIST IS MATTHEW LEHTONEN, matthew.lehtonen@dc.gov; (202) 497-0103.

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## CONCEPTUAL PLAN OCTOBER 25, 2024

FOR BZA, HPRB AND CFA FILINGS ONLY.  
NOT FOR CONSTRUCTION OR PERMIT SUBMITTAL.

BASE SHEET ISSUED 02.19.2024

REVISION DATE

CAS PROJECT 22-0814-DC

DATE 02/2024

DRAWN BY MSL

CHECKED BY DCL

APPROVAL DCL

SCALE 1"=10'

5 0 5 10 20

5 0 5 10 FEET

NORTH DATUM VERTICAL DC WATER

HOZONAL

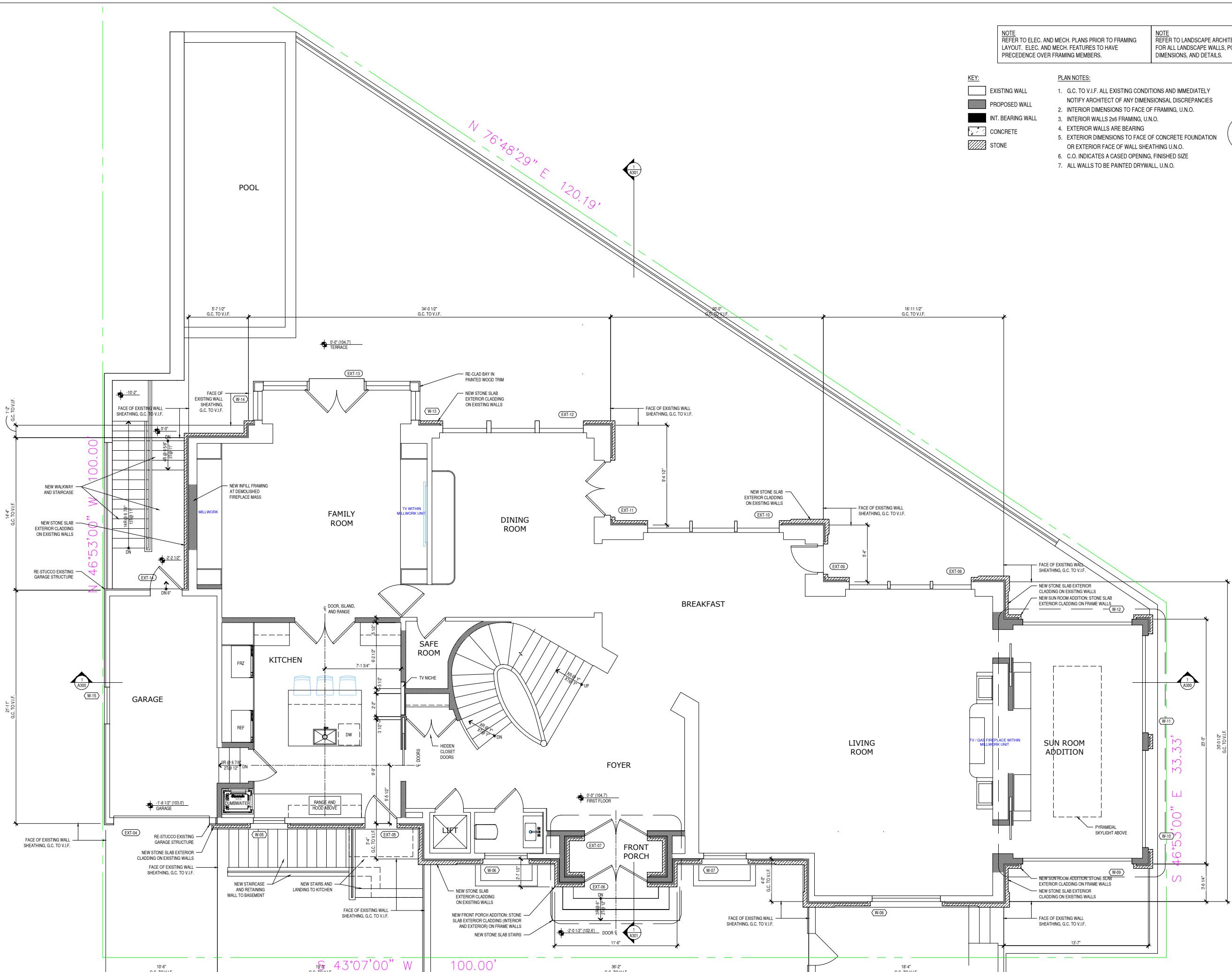
LEHTONEN'S OFFICE

BOOK 182 / PAGE 15

SHEET TITLE

**BUILDING PERMIT  
SITE AND  
GRADING PLAN**

CIV200



A102

**title:**

scale:

Issue Date:

### Scope:

2525 Belmont Road  
2525 Belmont RD NW

FOR DCRA USE ONLY

FOWLKES  
STUDIO

711 Connecticut Ave. NW 204  
Washington, DC 20009  
(202) 758 - 5518

A small icon of a bar magnet with a north pole (N) marked at the top right and a south pole (S) marked at the bottom left.

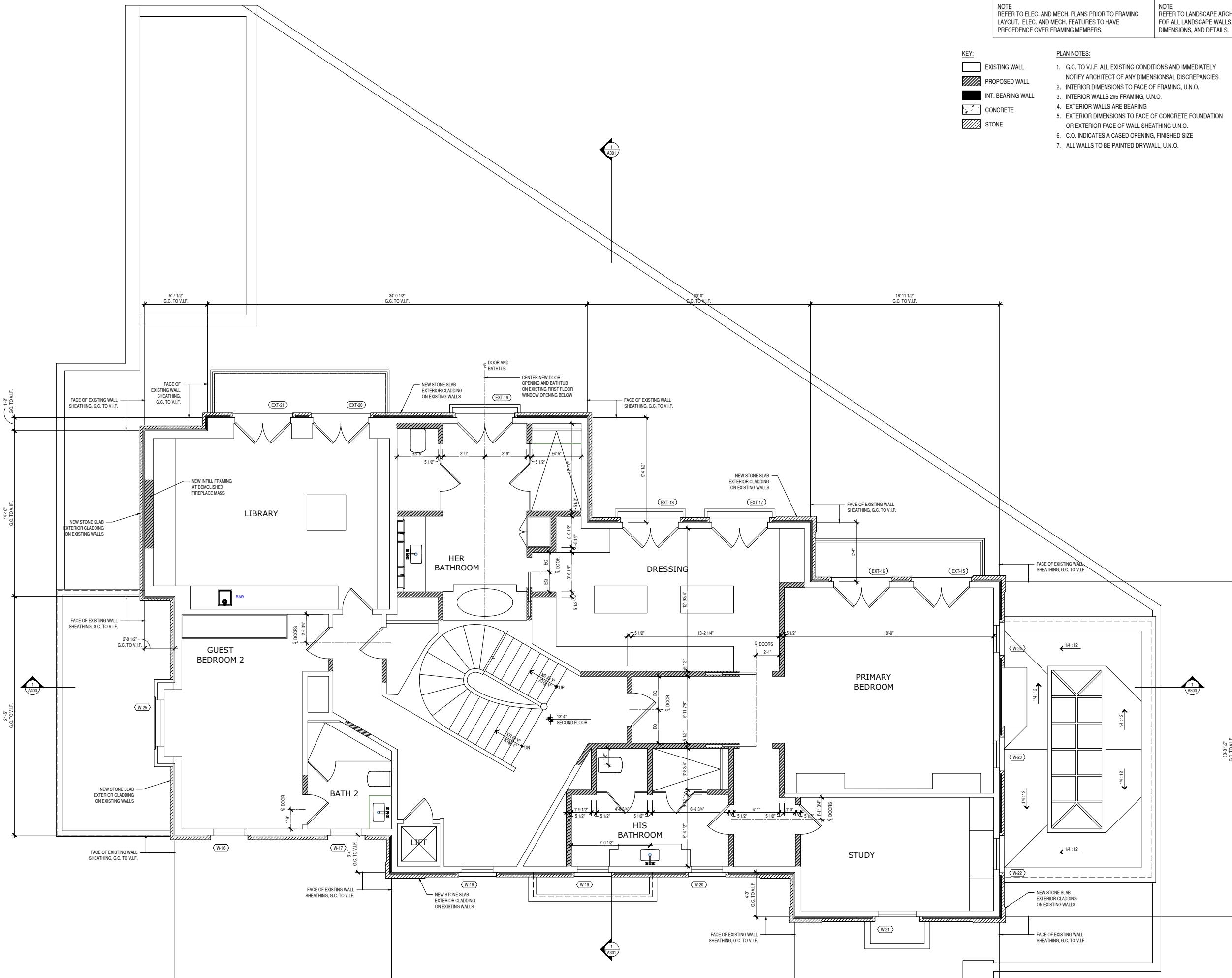
	<p><u>NOTE</u> REFER TO LANDSCAPE ARCHITECT PLANS FOR ALL LANDSCAPE WALLS, POOL DIMENSIONS, AND DETAILS.</p>
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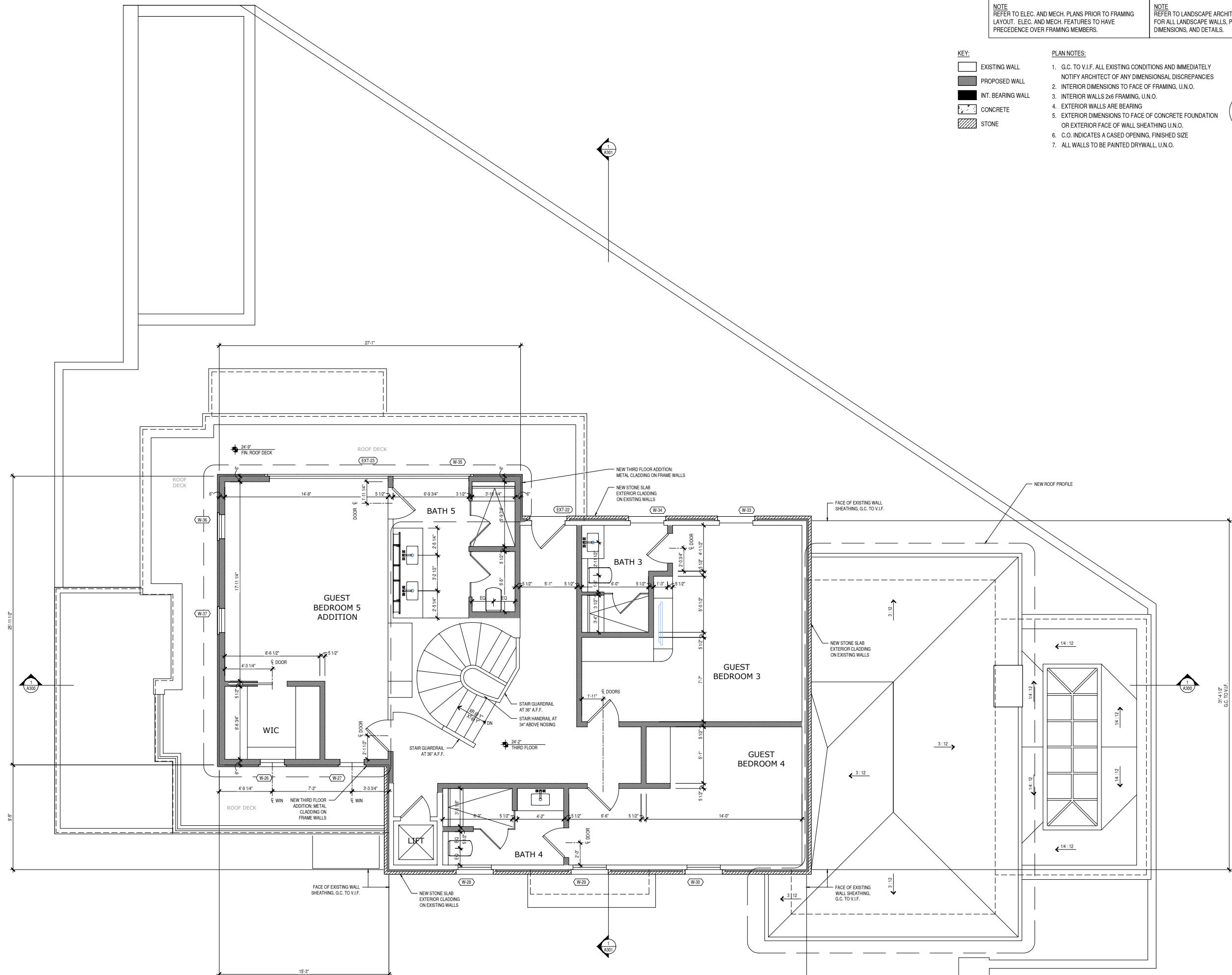
PLAN NOTES:

1. G.C. TO V.I.F. ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES
2. INTERIOR DIMENSIONS TO FACE OF FRAMING, U.N.O.
3. INTERIOR WALLS 2x6 FRAMING, U.N.O.
4. EXTERIOR WALLS ARE BEARING
5. EXTERIOR DIMENSIONS TO FACE OF CONCRETE FOUNDATION OR EXTERIOR FACE OF WALL SHEATHING U.N.O.
6. C.O. INDICATES A CASED OPENING, FINISHED SIZE
7. ALL WALLS TO BE PAINTED DRYWALL, U.N.O.

M

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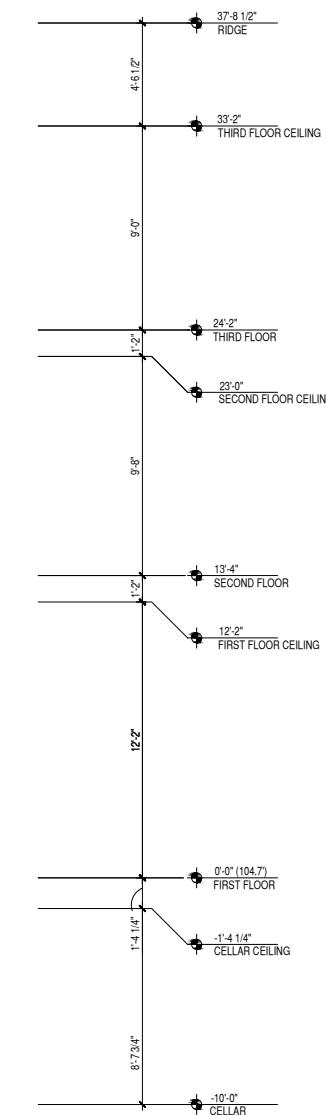






A200





**FOWLKES**   
**STUDIO**

1711 Connecticut Ave. NW 204  
Washington, DC 20009  
(202) 758 - 5518

**2525 Belmont Road**  
2525 Belmont RD NW  
Washington DC 20008

Scope:  
Renovation and additions  
to single-family residence.

Owner:  
2021 PROJECT H SPV LLC

Builder:  
Added Dimensions  
7527 New Hampshire Ave  
Lakoma Park, MD 20912

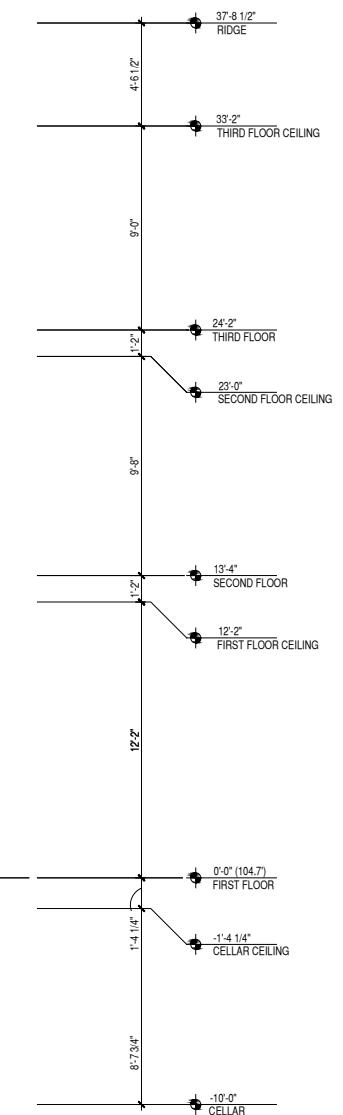
Issue Date:  
10-03-2024  
100% Schematic Design Set

scale:  
1/4" = 1'-0"

title:  
**WEST ELEVATION**

number:

**A203**



FOR DCRA USE ONLY

**FOWLKES**   
**STUDIO**

1711 Connecticut Ave. NW 204  
Washington, DC 20009  
(202) 758 - 5518

**2525 Belmont Road**  
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2021 PROJECT H SPV LLC

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scale:  
1/4" = 1'-0"

title:  
**EAST ELEVATION**

number:

**A201**