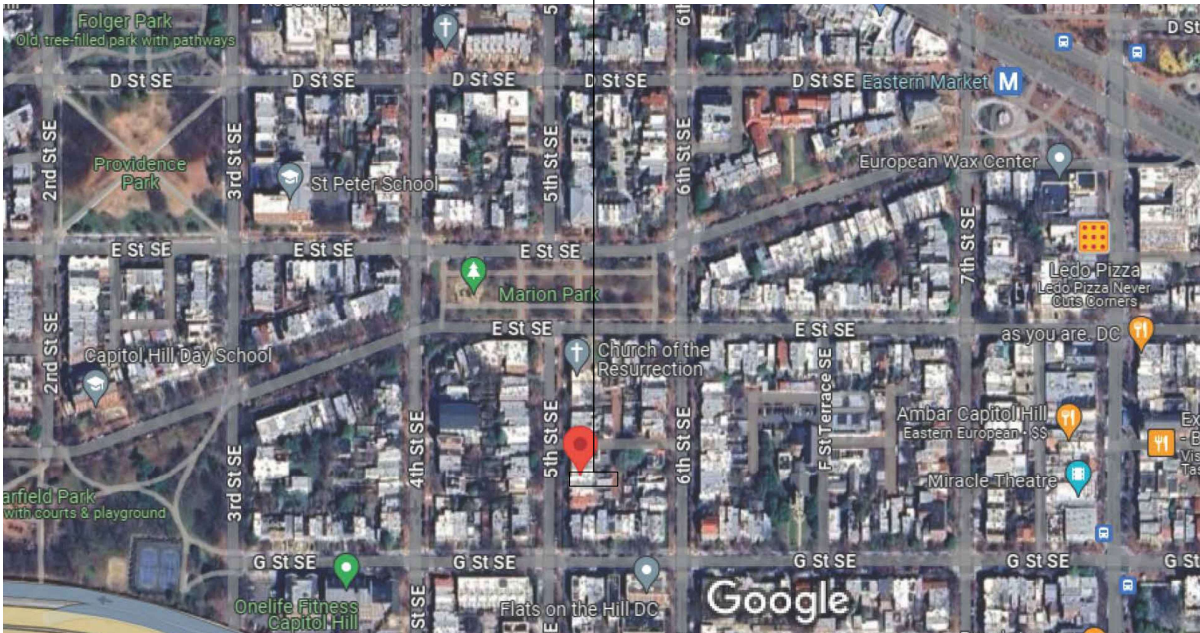


ADDITION AND RENOVATION  
TO THE VOSS KAPLAN RESIDENCE  
530 5th STREET, SE  
WASHINGTON, DC 20003  
SQUARE 0846 LOT 0022

LOCATION PLAN:

SITE: 530 5TH STREET, SE



**OWNER:**  
Steve Kaplan and Kelly Voss  
530 5th Street, SE  
Washington, DC 20003

**PROJECT DESCRIPTION:**  
New 2-story plus cellar rear addition and 1-story plus cellar dogleg infill addition to existing 2-story plus cellar interior rowhouse. Includes relocated kitchen and powder room, enlarged bedrooms, reconfigured bathrooms and a roof terrace. Project will remain as a single family residence.

**ZONING / HISTORIC DATA:**  
Type: 2-Story plus Cellar Attached Row Dwelling (Single Family)  
Square: 0846  
Lot: 0022  
Zoning District: RF-1/CAP  
Historic District: Capitol Hill Historic District  
ANC: 6B03

ZONING ANALYSIS:		ALLOWED	EXISTING	PROPOSED
Min. Lot Width:	E 202.1	18 feet	14.87 feet	Unchanged
Min. Lot Area:	E 202.1	1,800 sq ft	1,369.0 sq ft	Unchanged
Max. Dwelling Units:	E 201.1	2	1	Unchanged
Max. Stories:	E 203.2	3 stories	2 stories	Unchanged
Max. Height:	E 203.2	35 feet	27.75 feet	Unchanged
Max. Lot Occupancy:	E 210.1	60%	60.7%	69.8%
Required Rear Yard Setback:	E 207.1	20'-0"	42'-4"	27'-6 5/8"
Required Side Yard Setback:	E 208.2	None required	0	Unchanged
Parking Space:	C 701.5	None required		Unchanged
Maximum FAR:		None prescribed		

**RELEVANT CODE:**  
2016 DCMR 11 - ZONING REGULATIONS, UPDATED 8.25.23  
2012 IRC AS AMENDED BY DCMR TITLE 12, 2013 DC RESIDENTIAL CODE SUPPLEMENT

CODE ANALYSIS:

FIRE DETECTION SYSTEM: HARD WIRED WITH BATTERY BACKUP  
FIRE RATING:  
EXISTING EXTERIOR LOAD BEARING PARTY WALLS: 2-HR  
EXISTING & NEW FLOOR FRAMING: 0-HR  
NEW EXTERIOR WALLS ON PROPERTY LINE: 1-HR  
NEW ROOF FRAMING: 1-HR

**SHEET LIST:**  
1 COVER SHEET  
2 BLOCK PLAN & EXISTING SITE PLAN  
G-3 EXISTING SITE PLAN  
G-4 PROPOSED SITE PLAN  
G-4 CONTEXT PHOTOS

E-0 EXISTING FLOOR PLAN LOWER LEVEL  
E-1 EXISTING FLOOR PLAN FIRST LEVEL  
E-2 EXISTING FLOOR PLAN SECOND LEVEL  
E-3 EXISTING ROOF PLAN  
E-10 EXISTING ELEVATION: NORTH (SIDE)  
E-11 EXISTING ELEVATION: EAST (REAR)  
E-12 EXISTING ELEVATION: SOUTH (SIDE)

A-0 PROPOSED FLOOR PLAN LOWER LEVEL  
A-1 PROPOSED FLOOR PLAN FIRST LEVEL  
A-2 PROPOSED FLOOR PLAN SECOND LEVEL  
A-3 PROPOSED ROOF PLAN  
A-10 PROPOSED ELEVATION: NORTH (SIDE)  
A-11 PROPOSED ELEVATION: EAST (REAR)  
A-12 PROPOSED ELEVATION: SOUTH (SIDE)

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**CLIENT:**  
VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: N.T.S.  
Board of Zoning Adjustment  
District of Columbia  
CASE NO.21180  
EXHIBIT NO.22

COVER  
SHEET



**G-1**

**SUBJECT PROPERTY:**  
EXISTING  
2-STORY  
+ CELLAR  
ATTACHED  
ROW HOME

**5th ST SE**

**500 G ST SE**

**530**

**501 E ST SE**

**501 6th ST SE**

**509**

**511**

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**501 6th ST SE**

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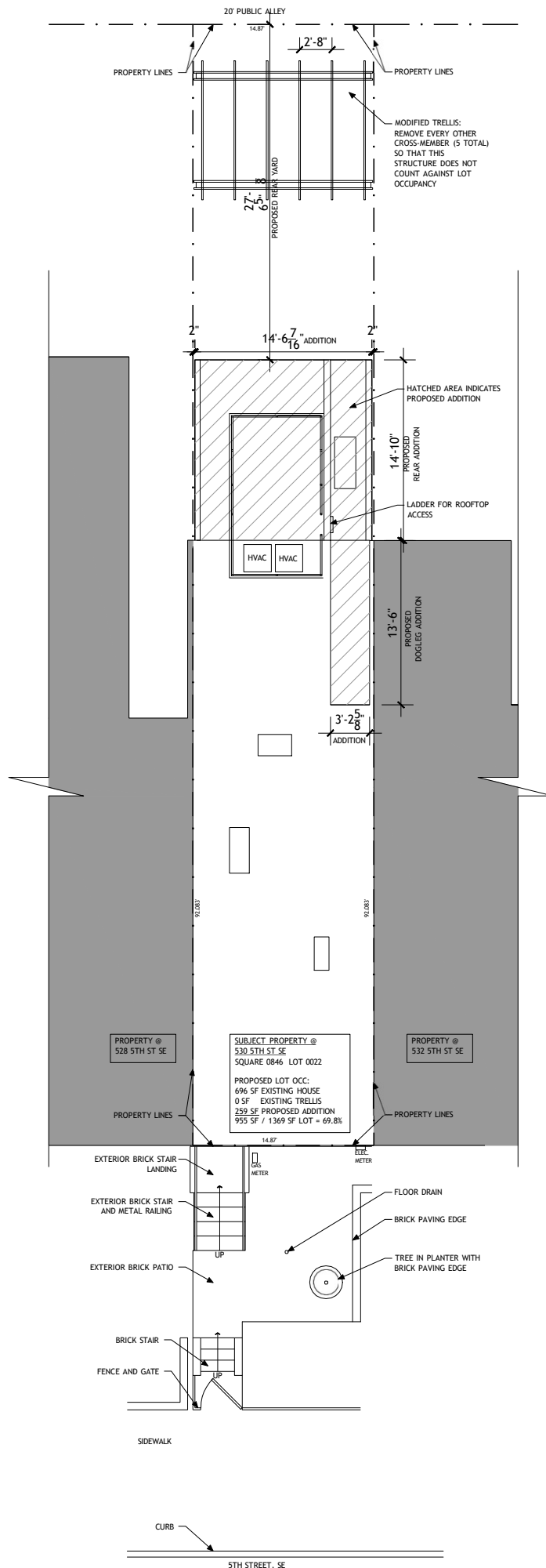
**523**

**525**

**527**

A number line from 0 to 5. The segment between 1 and 2 is shaded black.





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CLIENT:

VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 1/8" = 1'-0" 0 1 2 4 8 10

PROPOSED  
SITE PLAN

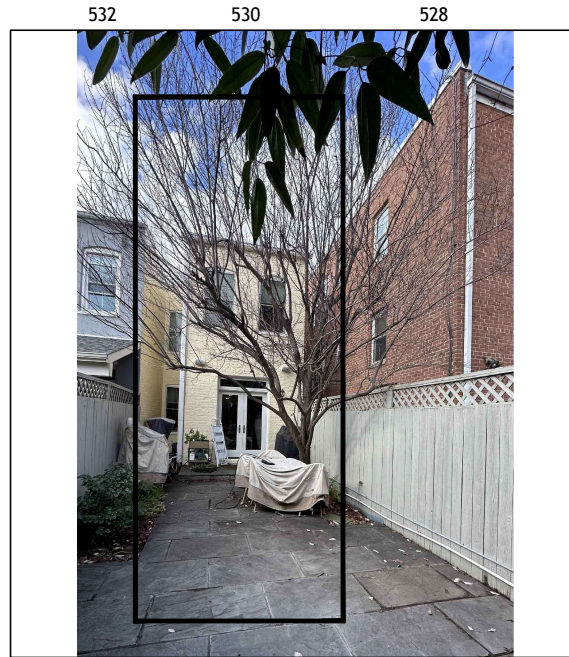


G-4

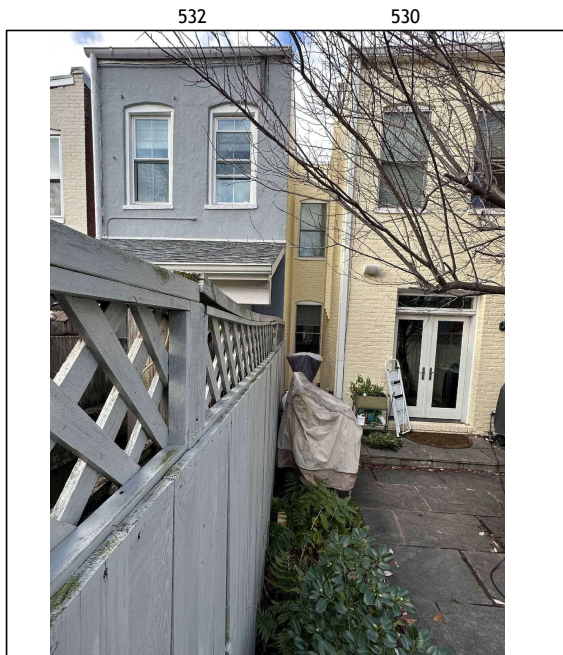




530 5th ST, SE - EXISTING FRONT (WEST) FACADE



530 5th ST, SE - EXISTING REAR (EAST) FACADE



530 5th ST, SE - REAR NEIGHBOR TO SOUTH



530 5th ST, SE - REAR NEIGHBOR TO NORTH

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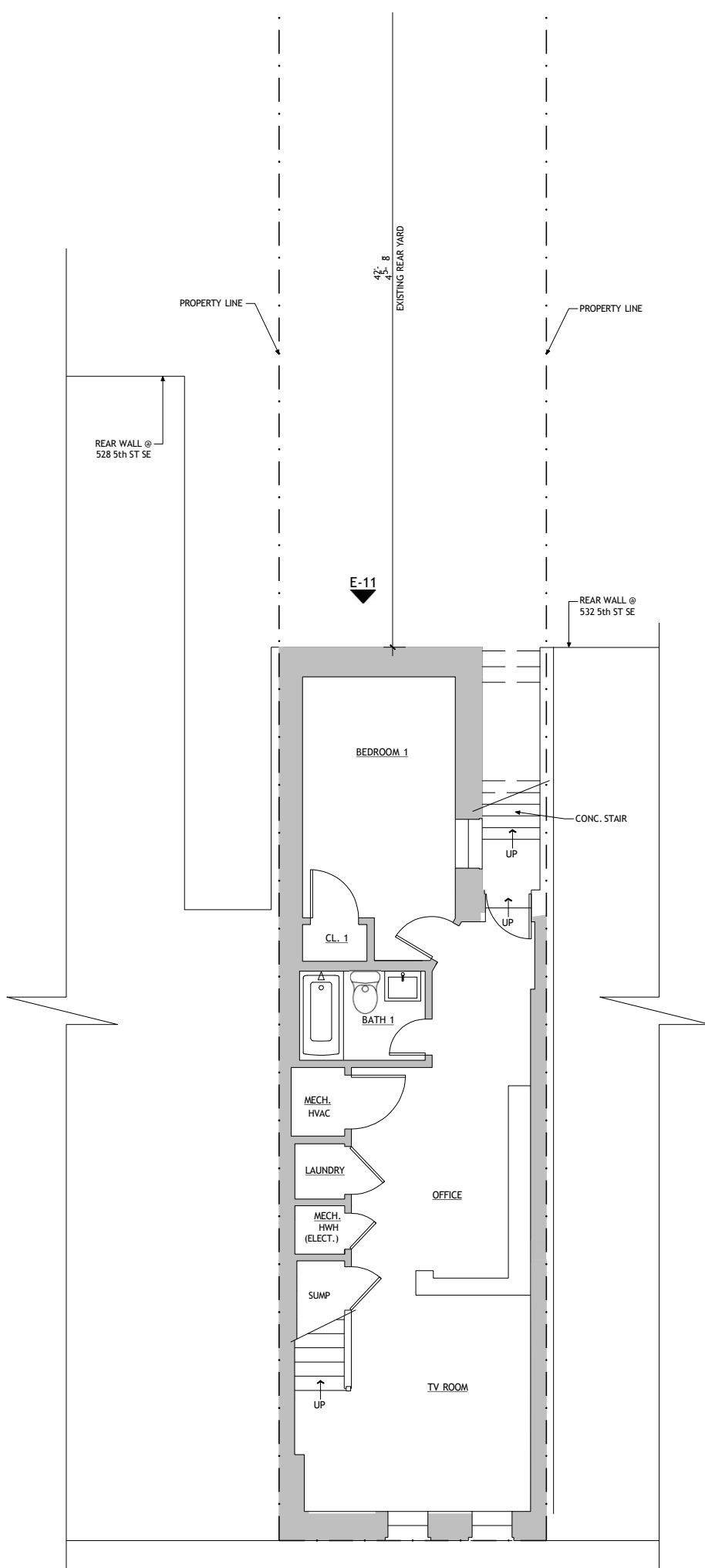
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VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 1/4" = 1'-0" 0 1 5

CONTEXT  
PHOTOS

**G-5**



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**CLIENT:**

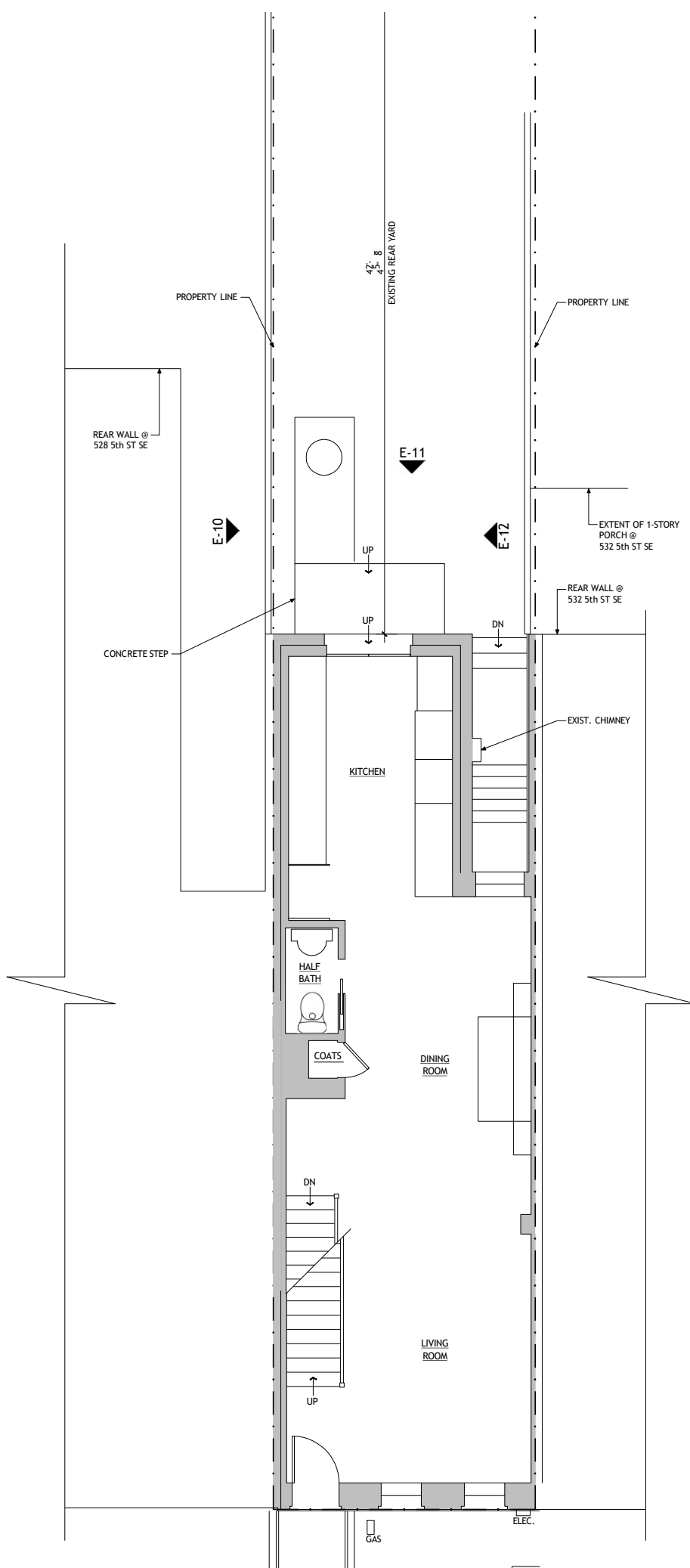
VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 3/16" = 1'-0" 0 1 2 4 7

EXISTING  
FLOOR PLAN  
LOWER LEVEL



**E-0**



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WASHINGTON, DC 20003

DATE: 06.10.2024

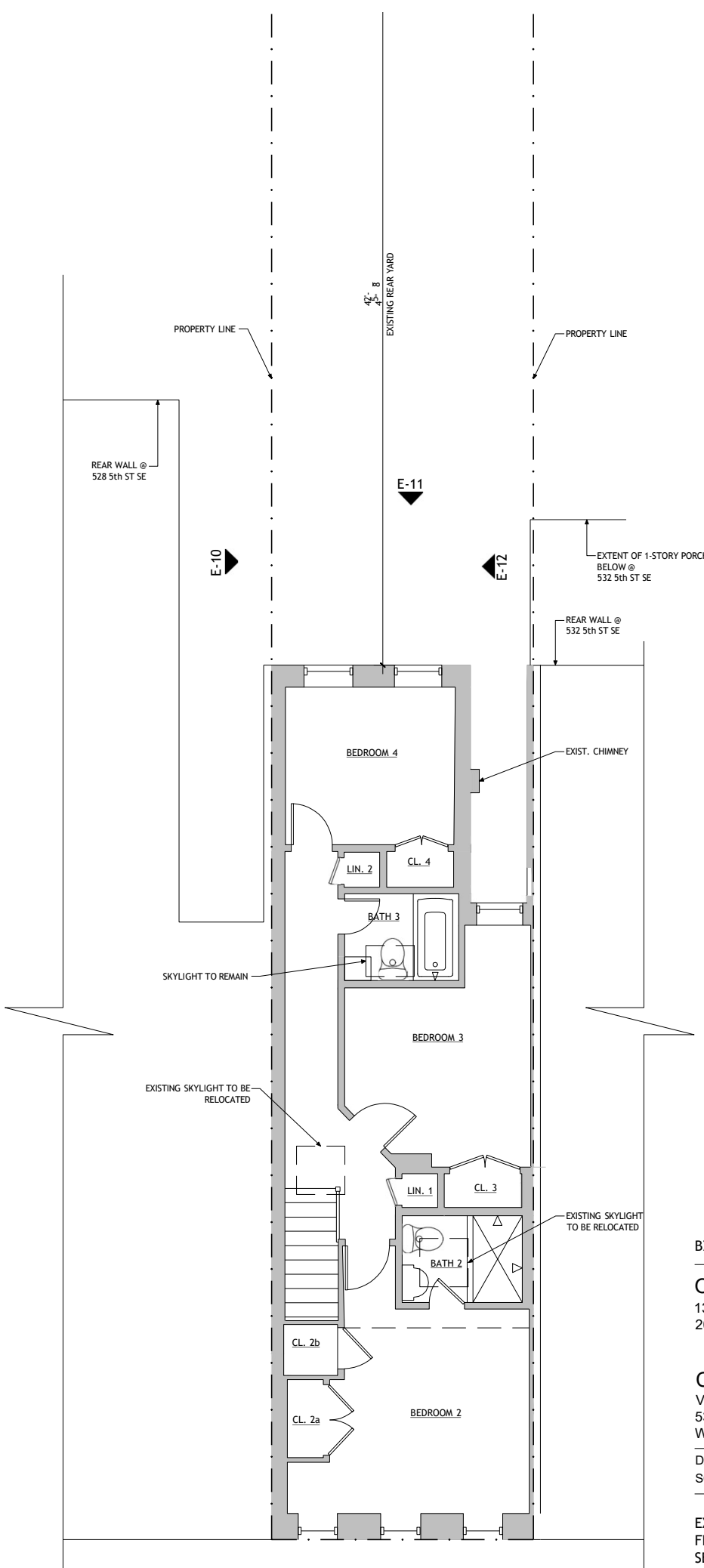
SCALE: 3/16" = 1'-0"



EXISTING  
FLOOR PLAN  
FIRST LEVEL



**E-1**



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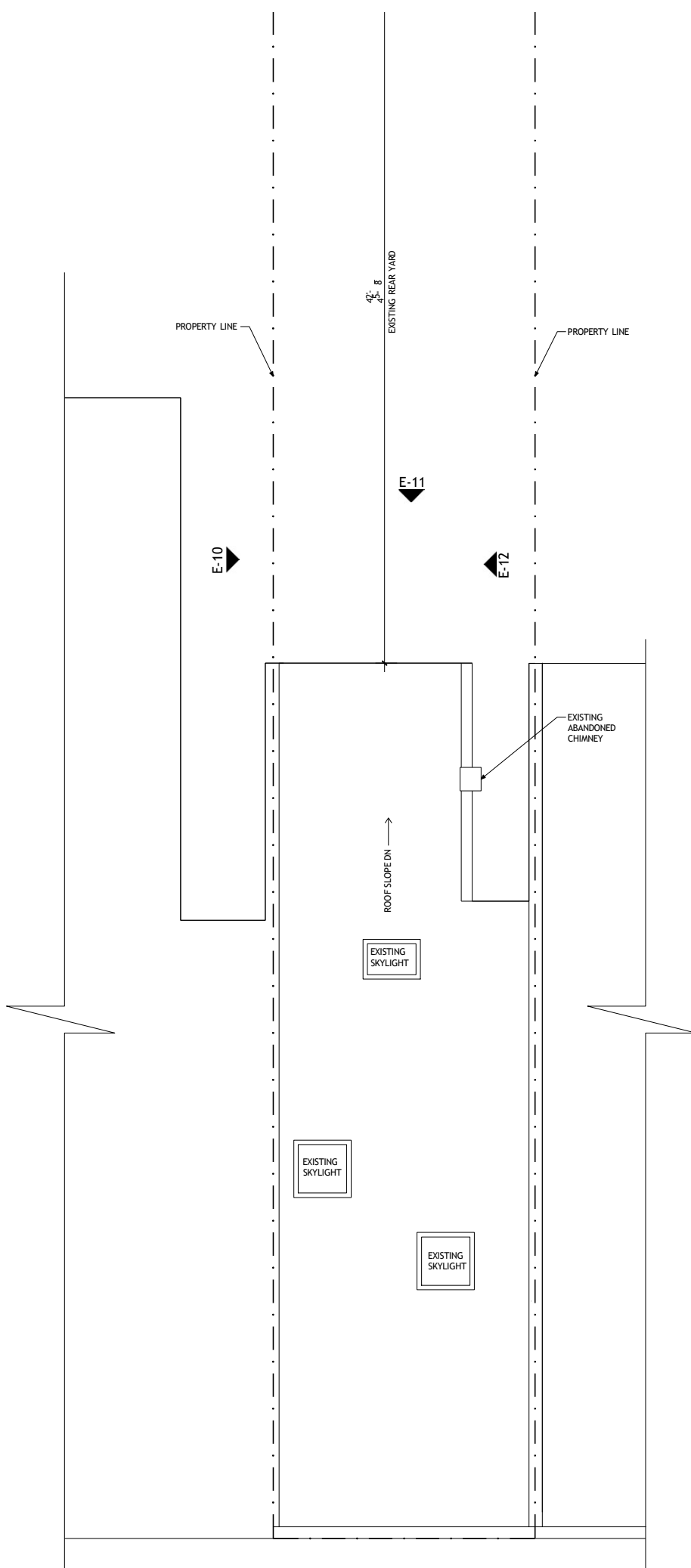
DATE: 06.10.2024  
 SCALE: 3/16" = 1'-0"

EXISTING  
 FLOOR PLAN  
 SECOND LEVEL



**E-2**





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WASHINGTON, DC 20003

DATE: 06.10.2024

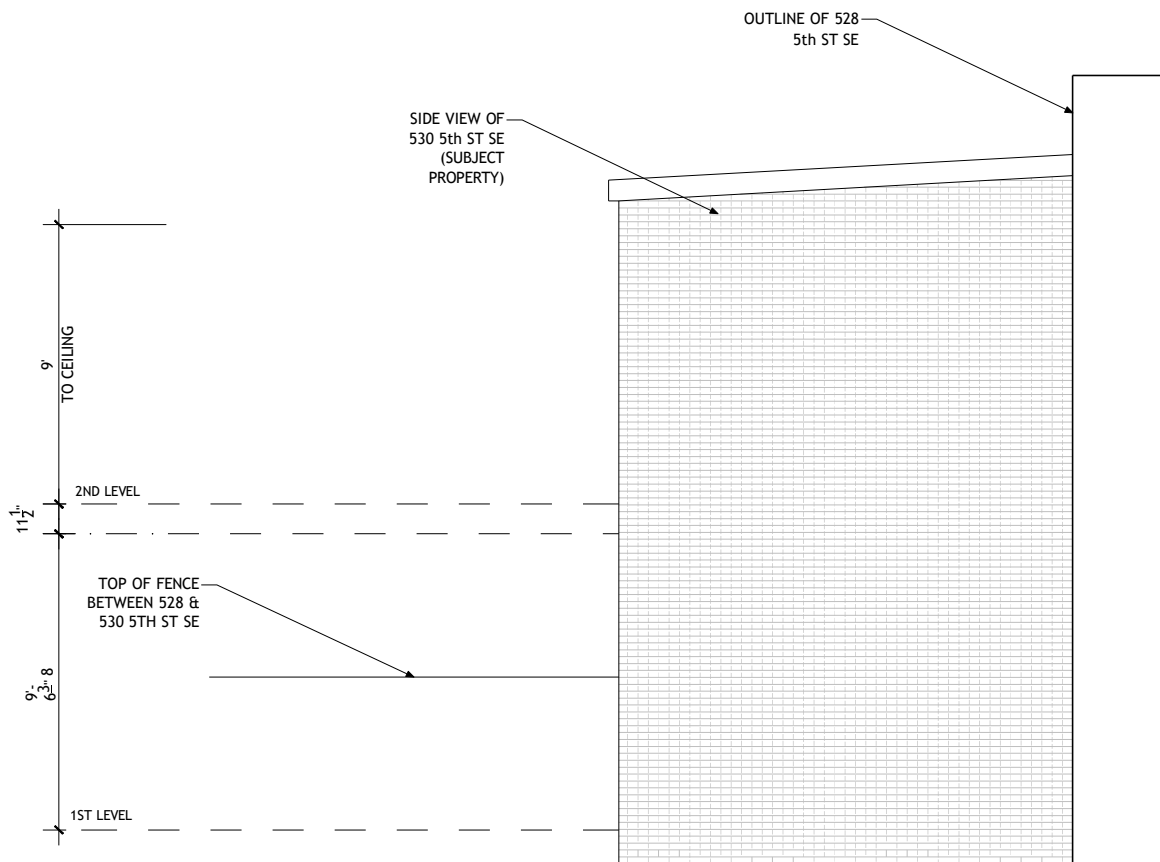
SCALE: 1/4" = 1'-0"



EXISTING  
ROOF PLAN



**E-3**



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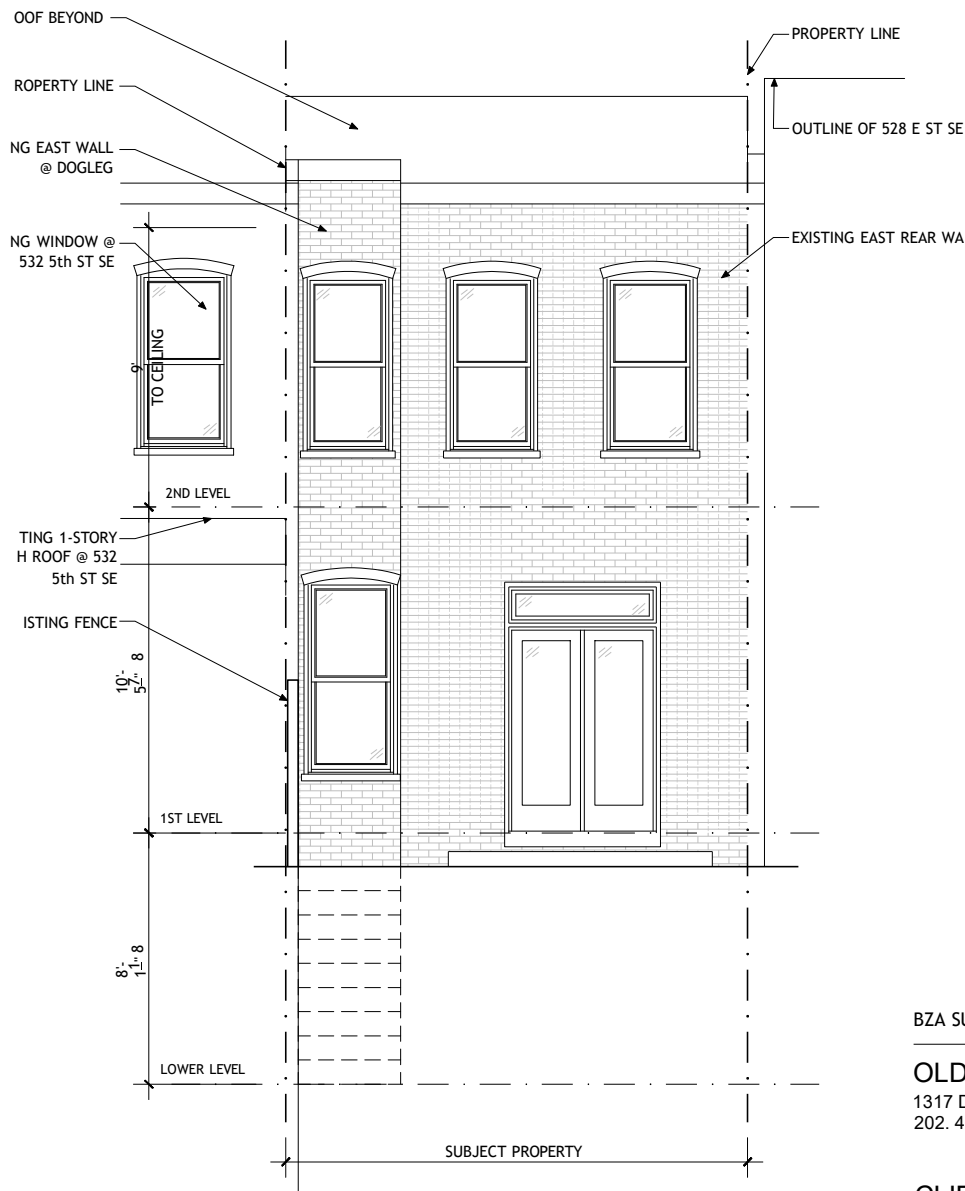
DATE: 06.10.2024

SCALE: 1/4" = 1'-0"



EXISTING  
ELEVATION:  
NORTH (SIDE)

**E-10**



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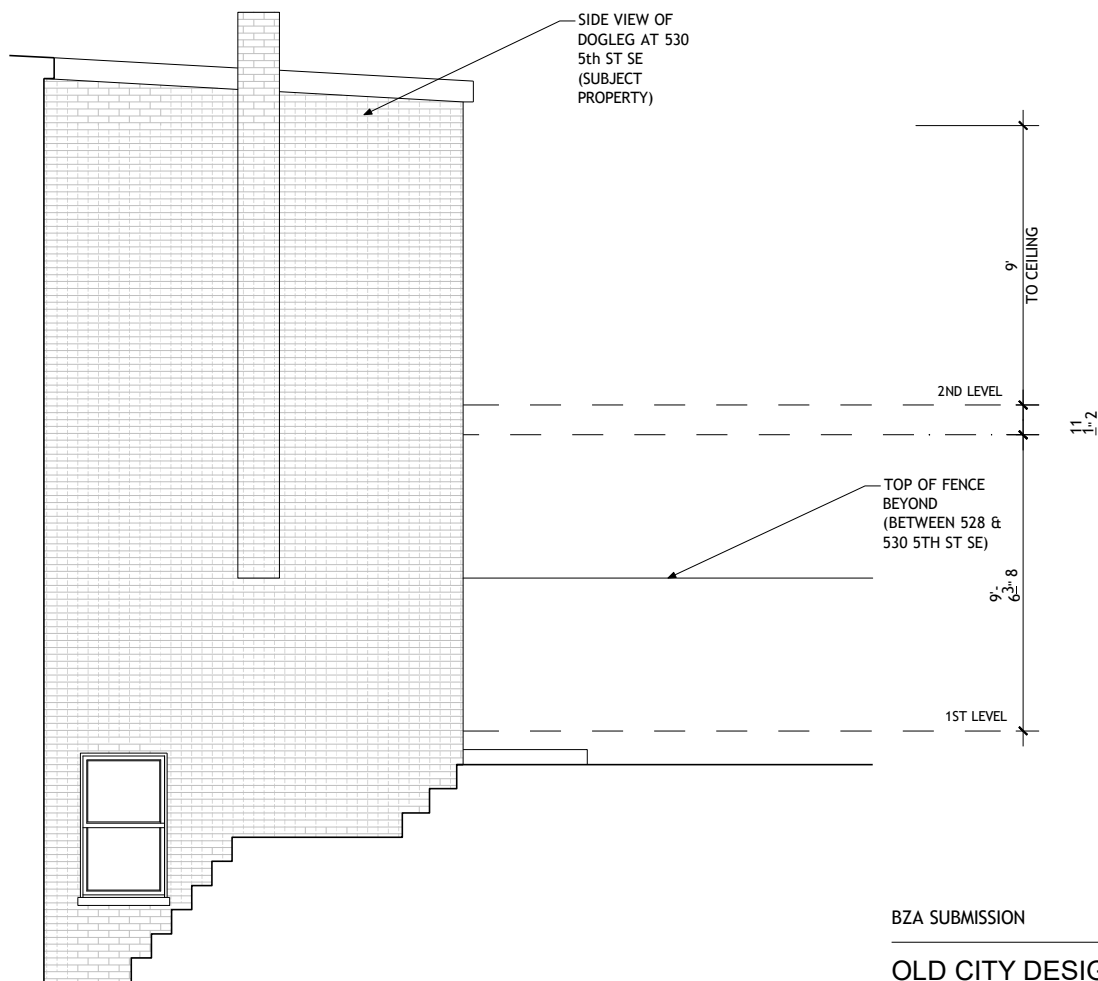
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**CLIENT:**  
 VOSS KAPLAN RESIDENCE  
 530 5TH STREET SE  
 WASHINGTON, DC 20003

DATE: 06.10.2024  
 SCALE: 1/4" = 1'-0" 0 1 5

EXISTING  
 ELEVATION:  
 EAST (REAR)

**E-11**



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530 5TH STREET SE  
WASHINGTON, DC 20003

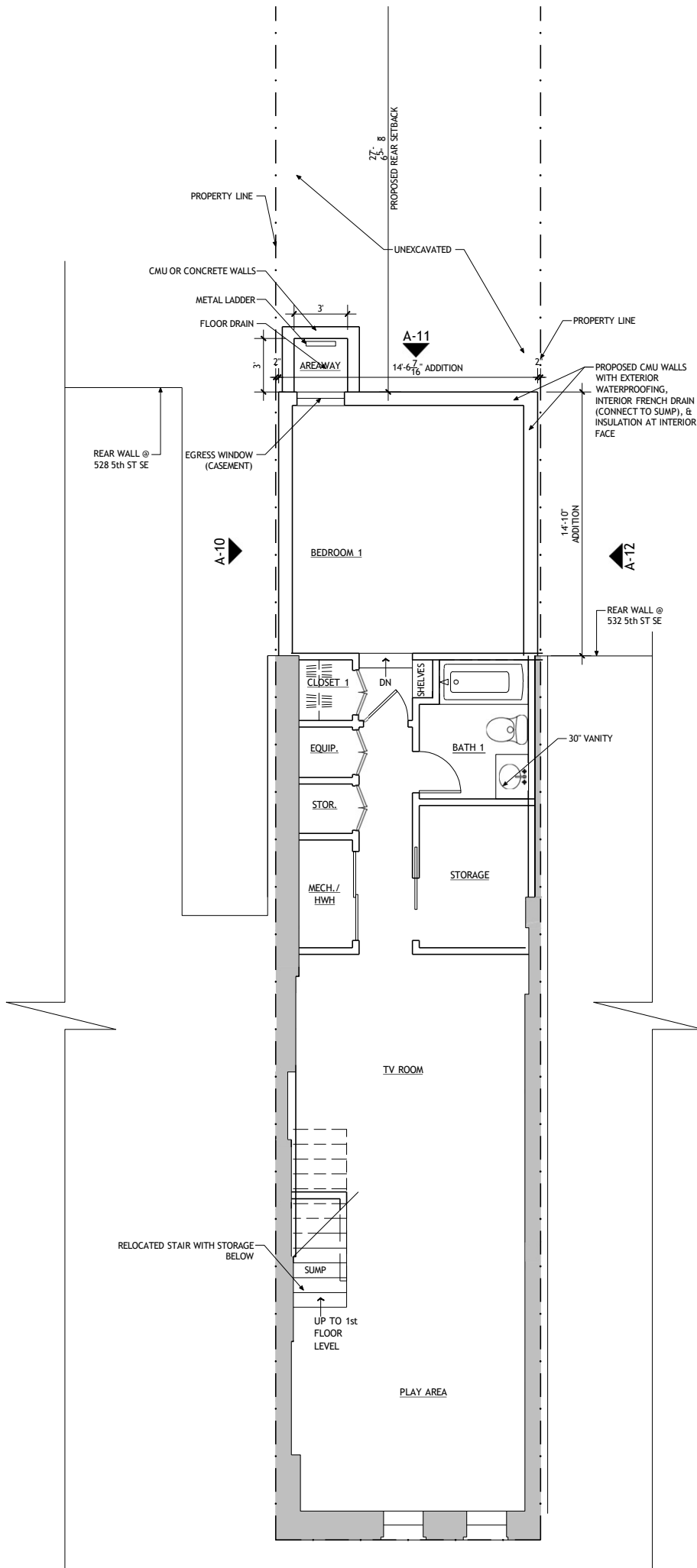
DATE: 06.10.2024

SCALE: 1/4" = 1'-0"



EXISTING  
ELEVATION:  
SOUTH (SIDE)

**E-12**



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**CLIENT:**

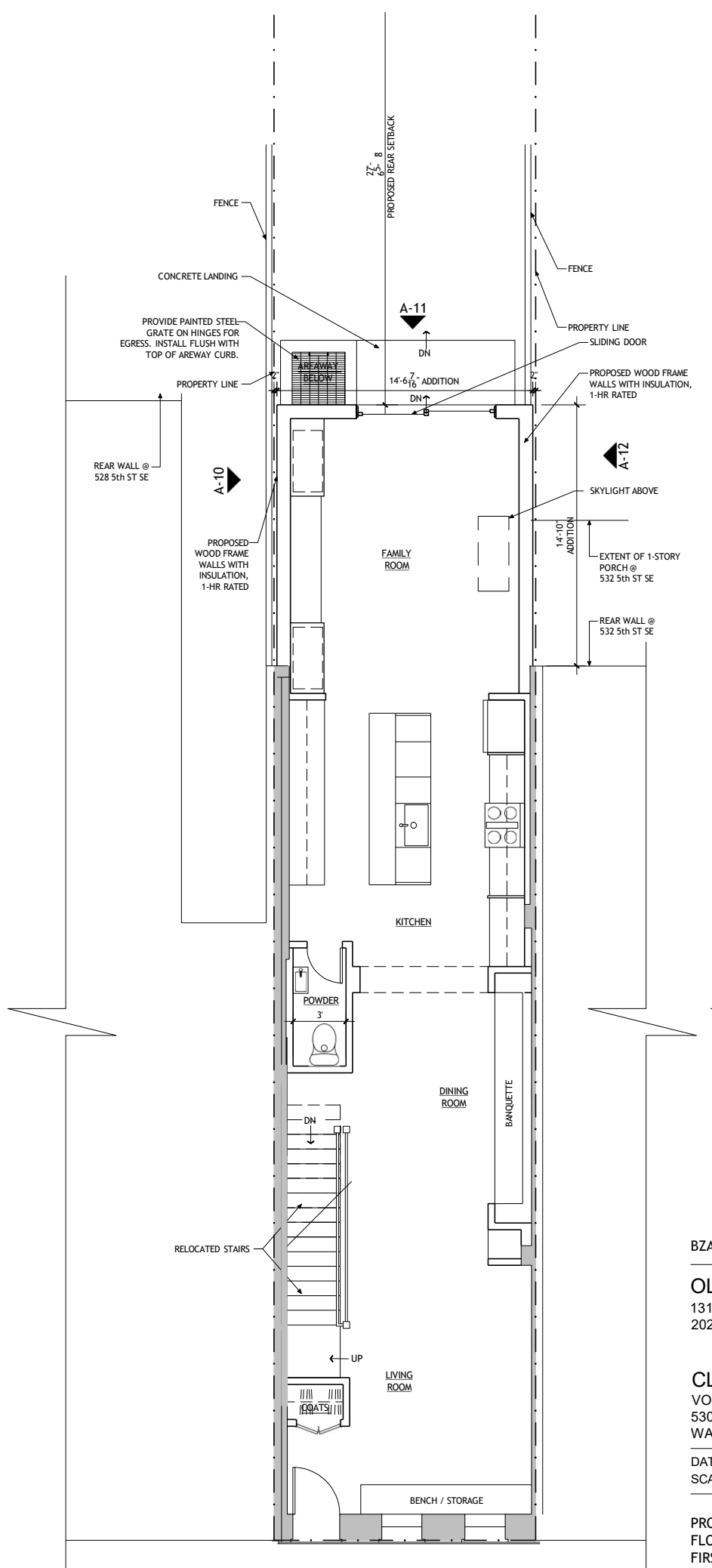
VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 3/16" = 1'-0" 0 1 2 5

PROPOSED  
FLOOR PLAN  
CELLAR LEVEL



**A-0**



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530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 3/16" = 1'-0" 0 1 2 5

PROPOSED  
FLOOR PLAN  
FIRST LEVEL



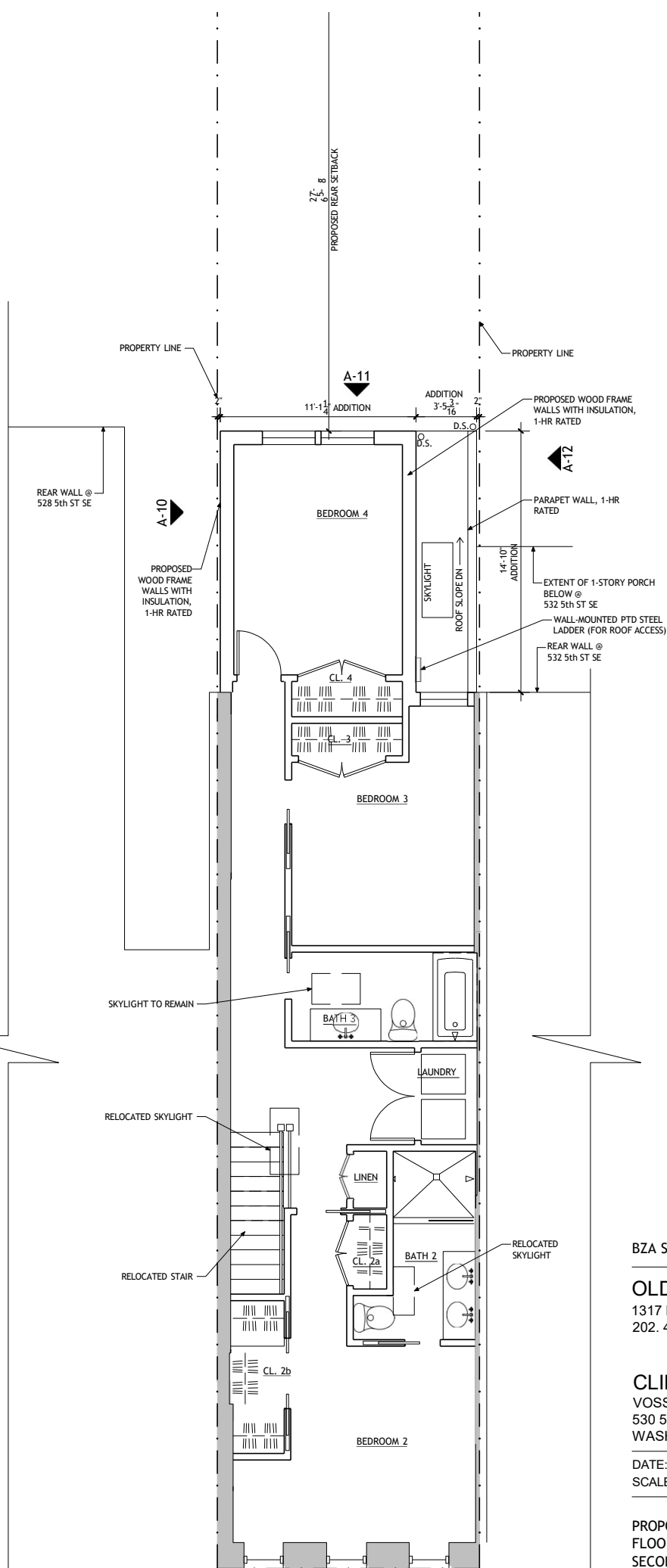
**A-1**



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CLIENT:

VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

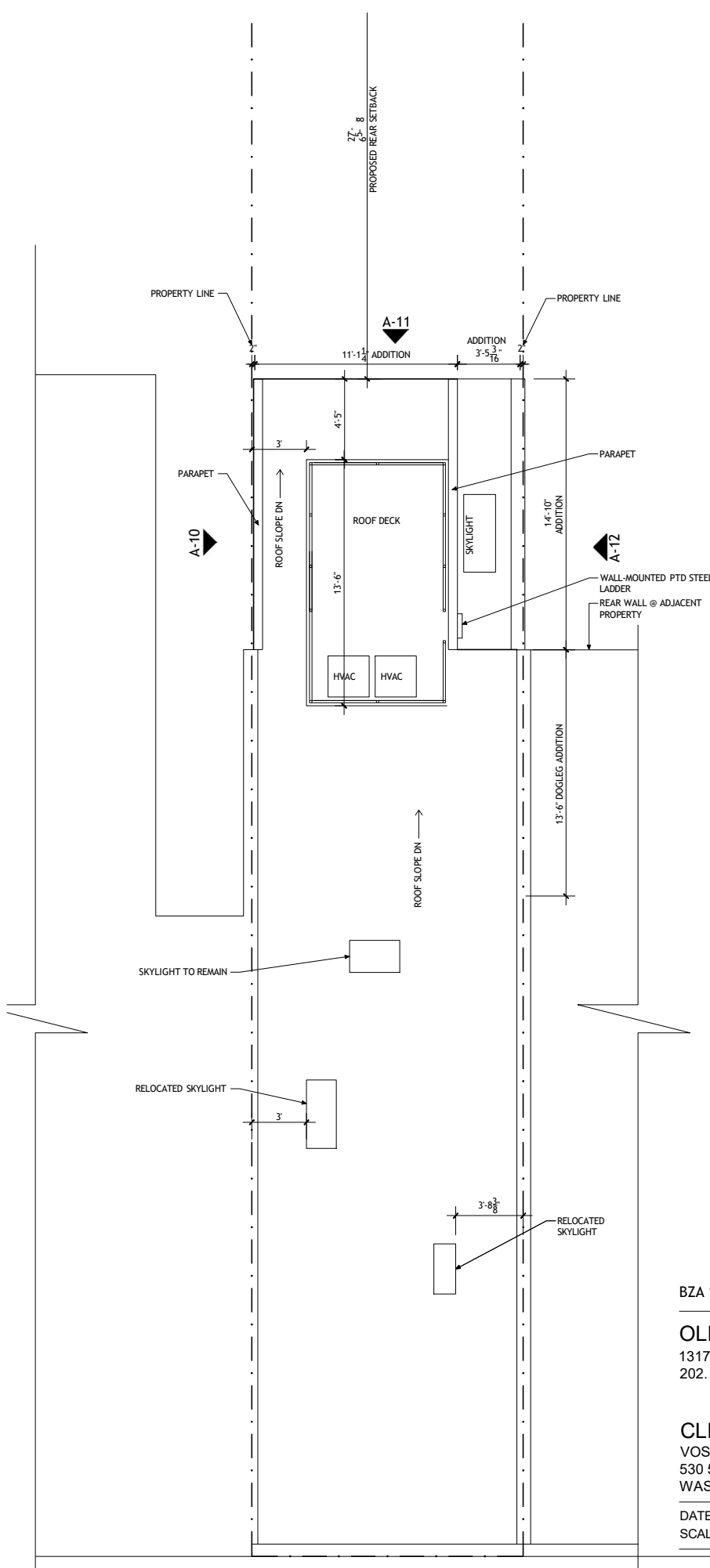
DATE: 06.10.2024

SCALE: 3/16" = 1'-0" 0 1 2 5

PROPOSED  
FLOOR PLAN  
SECOND LEVEL



A-2



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530 5TH STREET SE  
WASHINGTON, DC 20003

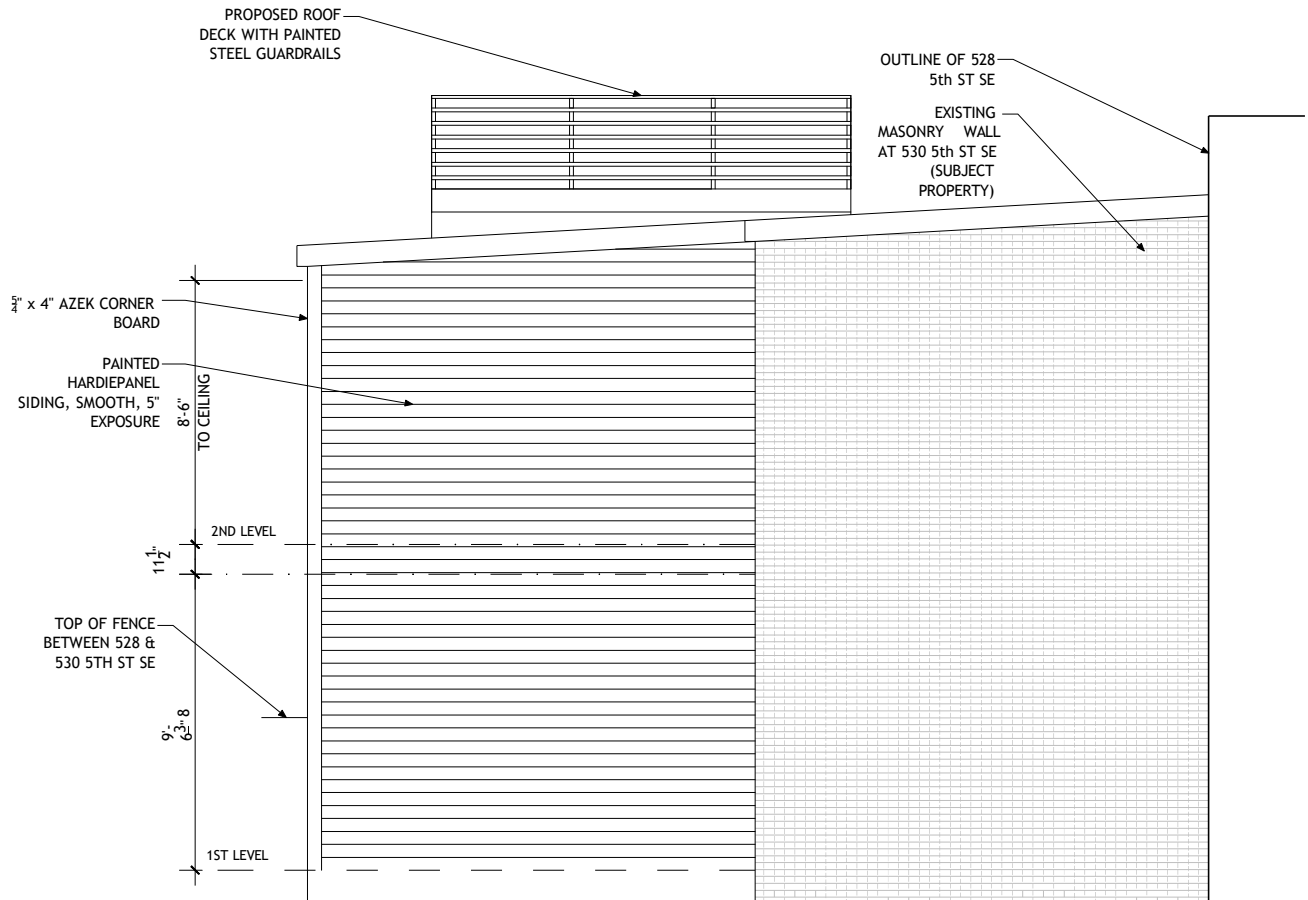
DATE: 06.10.2024

SCALE: 3/16" = 1'-0" 0 1 2 5

PROPOSED  
ROOF PLAN



**A-3**



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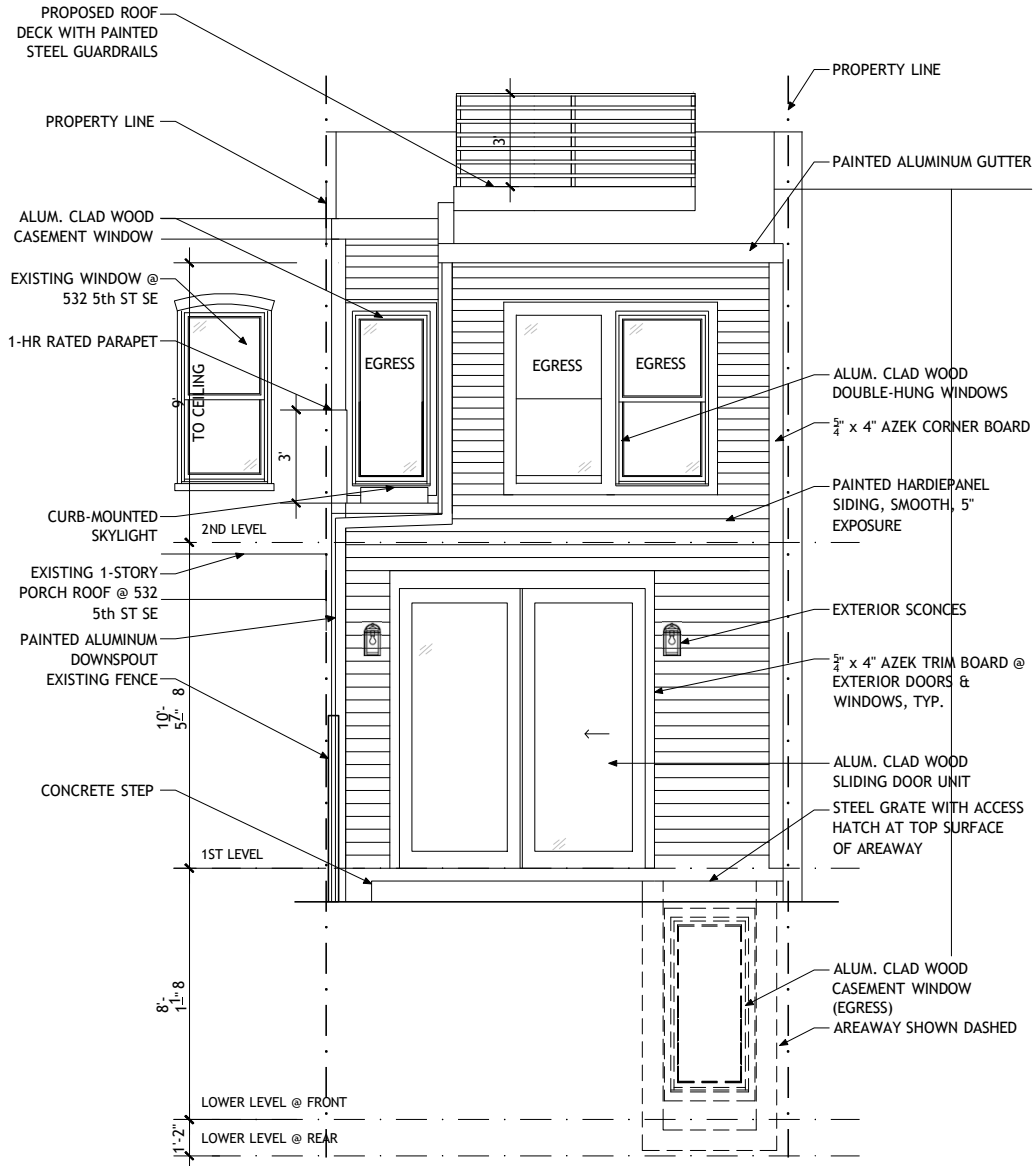
CLIENT:

VOSS KAPLAN RESIDENCE  
530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024  
SCALE: 1/4" = 1'-0" 0 1 5

PROPOSED  
ELEVATION:  
NORTH (SIDE)

A-10



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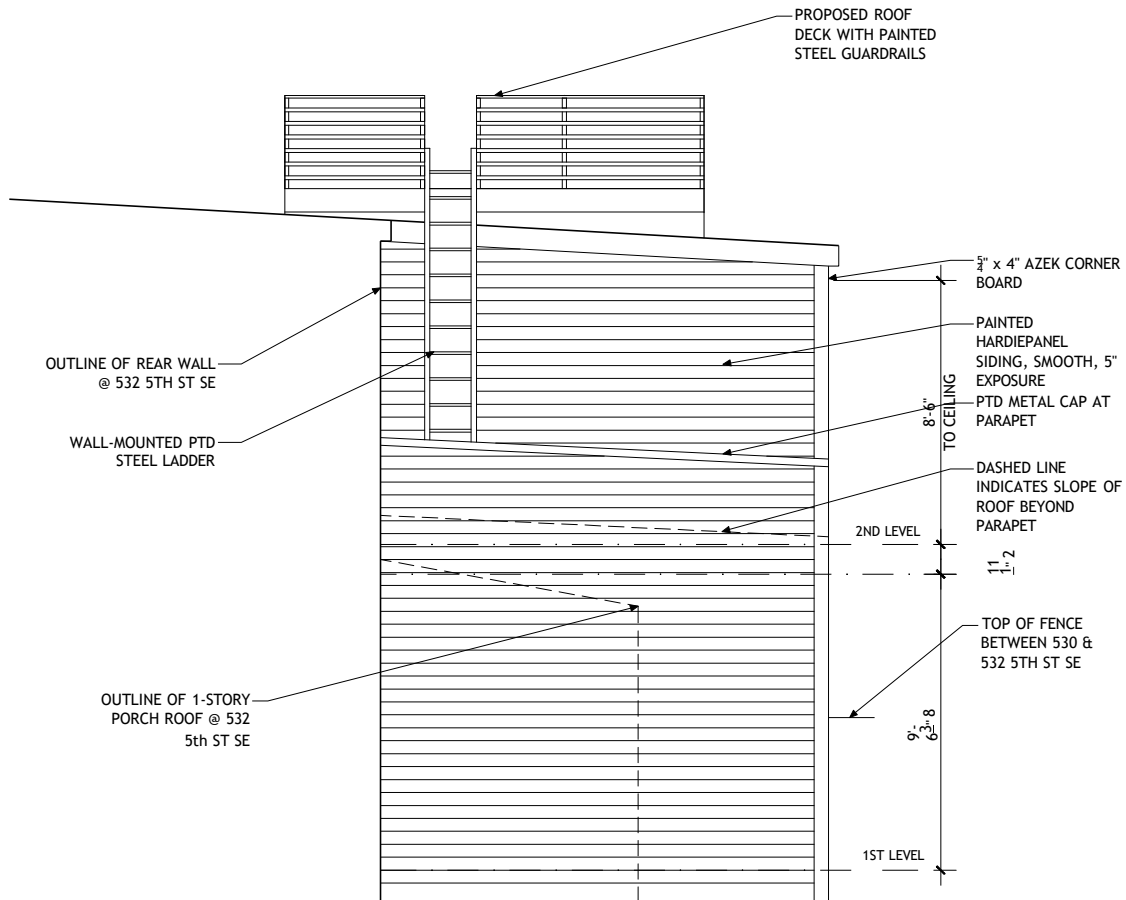
DATE: 06.10.2024

SCALE: 1/4" = 1'-0"



PROPOSED  
ELEVATION:  
EAST (REAR)

A-11



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530 5TH STREET SE  
WASHINGTON, DC 20003

DATE: 06.10.2024

SCALE: 1/4" = 1'-0"



PROPOSED  
ELEVATION:  
SOUTH (SIDE)

A-12