1321 ANACOSTIA RD SE WASHINGTON, DC 20019

ISSUE FOR BZA

23 SEPTEMBER 2024

//38//

ARCHITECT::

//3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON, DC 20007
[T] 202.350..4244

CIVIL ENGINEER:

HUSKA CONSULTING, LLC CHRISTOPHER HUSKA 1050 30TH ST NW WASHINGTON, DC 20007 [T] 703.425.3862 **GENERAL CONTRACTOR:**

PALMAR CONSTRUCTION 769 GRACE ST HERNDON, VA 20170 [T] 703.589.4832

LEGAL:

VENABLE LLP
ZACHARY WILLIAMS
600 MASSACHUSETTS AVE, NW
WASHINGTON, DC 20001
[T] 202.344.4369

MEP ENGINEER:

KK ENGINEERING LLC 8850 COLUMBIA 100 PARKWAY, SUITE 316 COLUMBIA, MD 21405 [T] 443.393.1070

STRUCTURAL ENGINEER:

GAVIN & ASSOC STRUCTURAL ENGINEERS
CHARLES GAVIN
PO BOX 5142
MCLEAN, VA 22103
[T] 703.409.1070

RA-1 Sq. 5506 1321 ANACOSTIA RD SE, WASHINGTON, DC 20019

PROJECT LOCATION (NTS)

ANNOTATION SYMBOLS

(1 A1.1 3)

X' - X" 🚤

ID: XXX 🚤

\AXX /-

KEYNOTES

? -

⟨?⟩→

DETAIL NUMBER

SHEET NUMBER

1 ____ DETAIL NUMBER

- SHEET NUMBER

DETAIL NUMBER

SHEET NUMBER

SHEET NUMBERS

SHEET NUMBER

AT CASEWORK

GRID LINE

FACE DIMENSION

W.I. CABINET NUMBER

REVISION CLOUD AND DELTA

TEMPERED GLAZING

ACCESSIBILITY SYMBOL

ROOM TAG 1

ROOM NAME

ROOM NUMBER

SHEET NUMBER

NEW CONSTRUCTION

DEMOLITION

VIEW CALLOUT REFERENCE BUBBLE

DRAWING IDENTIFICATION #

DISCIPLINE DESIGNATOR

MATERIAL DESIGNATION CONCRETE SHEET METALS AND ALL METALS AT SCALES LESS THAN LARGE SCALE SMALL SCALE DRAWING SYMBOLS SWING DOOR - DOOR SCHEDULE FRAMED OPENING 24" x 24" ACOUSTIC CEILING TILE IN **NEW GRID** 24" x 24" ACOUSTIC CEILING TILE IN EXISTING GRID GYPSUM WALL BOARD CEILING ON METAL FRAMING EXISTING CEILING - WOOD PLANK ON WOOD JOISTS HIGH SPEED INTERNET ACCESS DUPLEX OUTLET SWITCH (4'-0" MAX TO TOP WEATHERPROOF OF OPERABLE SWITCH) DUPLEX OUTLET 3 WAY SWITCH (4'-0" MAX TO **GFCI OUTLET** TOP OF OPERABLE SWITCH) TELEPHONE OUTLET DIMMER SWITCH (4'-0" MAX TO TOP OF OPERABLE SWITCH) TELEVISION OUTLET Cat6 RJ45 INTERNET SCOPE OF WORK THE SCOPE OF WORK INCLUDES THE ADDITION TO AN EXISTING MULTI-FAMILY RESIDENCE AT 1321 ANACOSTIA RD SE. THE WORK INCLUDES, BUT IS NOT LIMITED TO: - DEMOLITION OF INTERIOR FRAMING AND ROOF - 3RD FLOOR WOOD FRAMED ADDITION - DIG OUT OF CRAWL SPACE FOR OCCUPIABLE CELLAR - THREE PARKING SPACES (1 ACCESSIBLE) - 8 RESIDENTIAL UNITS (1 ACCESSIBLE) - NEW ELECTRICAL, HVAC, PLUMBING, FINISHES - FRONT ENTRY STOOP ADA LIFT AND EGRESS WELLS

PROJECT DIRECTORY

ARCHITECT: //3877 DAVID TRACZ, AIA, NCARB DAVID SHOVE BROWN, AIA, NCARB 3333 K STREET NW, SUITE 60 WASHINGTON, DC 20007 (T) 202.350.4244

(F) 202.350.4245

CLIENT: DISTRICT LINE DEVELOPMENT MATT MEDVENE 700 RANDOLF PLACE NW WASHINGTON, DC 2001

LEGAL: VENABLE LLP ZACHARY WILLIAMS 600 MASSACHUSETTS AVE, NW WASHINGTON, DC 20001 (T) 202.344.4369

STRUCTURAL: GAVIN & ASSOC STRUCTURAL ENGINEERS

CHARLES GAVIN PO BOX 5142 MCLEAN, VA 22103 (T) 703.409.9795 **MEP ENGINEER:**

KK ENGINEERING LLC 8850 COLUMBIA 100 PARKWAY, SUITE 316 COLUMBIA, MD 21045 (T) 443.393.1070

CIVIL ENGINEER: HUSKA CONSULTING LLC 1050 30TH ST NW WASHINGTON, DC 20007 (T) 703.425.3862

ABBREVIATIONS

INSUL.

INSULATION

ADDICEVIATIONS							
A.D.	AREA DRAIN	INT.	INTERIOR				
AB.	ANCHOR BOLT	JAN.	JANITOR				
ABV.	ABOVE	JB.	JUNCTION BOX				
ACC.	ACCESS	JST.	JOIST				
ACOUS.	ACOUSTICAL ACOUSTICAL CEILING TILE	JT.	JOINT				
ACT.		KD.	KNOCK DOWN				
ADJ.	ADJUSTABLE	KIT.	KITCHEN				
AFF.	ABOVE FINISH FLOOR	KO.	KNOCK OUT				
AHU.	AIR HANDLING UNIT	LAM.	LAMINATE (ED)				
ALT.	ALTERNATE	LAV.	LAVATORY				
ALUM.	ALUMINUM	LIN.	LINEAR (LINEAL)				
ANC.	ANCHORS	LP.	LOW POINT				
APPROX.	APPROXIMATELY	LT.	LIGHT				
ARCH.	ARCHITECT	LW.	LIGHTWEIGHT				
AUTO.	AUTOMATIC	MACH.	MACHINE				
AVG.	AVERAGE	MAINT.	MAINTENANCE				
В.	BATHROOM	MATL.	MATERIAL				
В.О.	BY OWNER	MAX.	MAXIMUM				
BD. BIT.	BEAD	MDF. MECH.	MEDIUM DENSITY FIBERBOARD				
BLDG.	BITUMINOUS	MECH.	MECHANICAL				
	BUILDING	MEMB.	MEMBRANE				
BLK.	BLOCK	MET., MTL.	METALLIC OR METAL				
BLKG.	BLOCKING	MEZZ.	MEZZANINE				
BM.	BEAM	MFR.	MANUFACTURER				
BOT.	BOTTOM	MIN.	MINIMUM				
BRD.	BOARD	MISC.	MISCELLANEOUS				
BRKT.	BRACKET	MLDG.	MOULDING				
BSL.	BUILDING SETBACK LINE	MO.	MASONRY OPENING				
BSMT.	BASEMENT	MOD.	MODIFIED				
BU.	BUILT UP	MTD.	MOUNTED (MOUNTING)				
CAB., CABT.	CABINET	N.	NORTH				
CEM.	CEMENT (ITIOUS)	NIC.	NOT IN CONTRACT				
CF.	CUBIC FEET (FOOT)	NO.	NUMBER				
CI.	CAST IRON	NRC.	NOISE REDUCTION COEFFICIENT				
CJ.	CONTROL JOINT	NTS.	NOT TO SCALE				
CL.	CLOSET	OA.	OVERALL				
CLG.		O.C.	ON CENTER				
CLG.	CEILING	O.C.	ON CENTER OUTSIDE DIAMETER				
CLL.	CONTRACT LIMIT LINE	O.D.					
CLR.	CLEAR	OFCI.	OWNER FURNISHED CONTRACTOR INSTALLE OFFICE				
CMU.	CONCRETE MASONRY UNIT	OFF.					
CNR.	CORNER	OH.	OVERHEAD				
CO.	CLEAN OUT	OPG.	OPENING				
COL.	COLUMN	OPP.	OPPOSITE				
CONC.	CONCRETE	PAR.	PARTIAL				
CONST.	CONSTRUCTION	PED.	PEDESTAL				
CONT.	CONTINUOUS	PLAS LAM/PLA	AMPLASTIC LAMINATE				
CPT.	CARPET	PLYWD.	PLYWOOD				
CS.	COURSES	PNL.	PANEL				
CT.	CERAMIC TILE	POL.	POLISH (POLISHED)				
CTR.	CENTER	PR.	PAIR				
CTSK.	COUNTERSUNK	PREFAB.	PREFABRICATED PARTITION				
DBL.	DOUBLE	PRTN.					
DEPT.	DEPARTMENT	PSF.	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH				
DET.	DETAIL	PSI.					
DET. DF.	DRINKING FOUNTAIN	PSI. PT.	POINT POINT				
DIA.	DIAMETER	PTD.	PAINTED				
DIFF.	DIFFUSER	QT.	QUARRY TILE				
DIM.	DIMENSION	QTY.	QUANTITY				
DISP.	DISPENSER	R.	RISER				
DIV.	DIVISION (DIVIDED)	RAD.	RADIUS				
DN.	DOWN	RD.	ROOF DRAIN				
DR.	DOOR	REF.	REFRIGERATOR				
DS.	DIVIDER STRIP	REINF.	REINFORCED (ING)				
DW.	DISHWASHER	REQ.	REQUIRED				
DWG.	DRAWING	RES.	RESILIENT				
DWR.	DRAWER	REV.	REVISE (REVISION)				
E. EA.	EAST	RM. RO.	ROOM ROUGH OPENING				
EA.	EACH	RO.	ROOF TOP UNIT				
EJ.	EXPANSION JOINT	RTU.					
EL.	ELEVATION	S.	SOUTH				
ELEC.	ELECTRICAL	S.STL. OR S.S.	STAINLESS STEEL				
ELEV.	ELEVATOR	SC. WD.	SOLID CORE WOOD				
ENCL.	ENCLOSURE	SCHED.	SCHEDULED				
ENT.	ENTRANCE	SECT.	SECTION				
EQ.	EQUAL	SF.	SQUARE FEET (FOOT)				
EQUIP.	EQUIPMENT	SHR.	SHOWER				
EWC.	ELECTRIC WATER COOLER	SHT.	SHEET				
EX.	EXISTING EXPANSION	SIM. SI	SIMILAR				
EXP.	EXTERIOR	SL.	SLIDING				
EXT.		SQ.	SQUARE				
FD.	FLOOR DRAIN	SSK.	SERVICE SINK				
FE(C).	FIRE EXTINGUISHER (CABINET)	STA.	STATION				
FF.	FINISHED FLOOR	STC.	SOUND TRANSMISSION CLASS				
FIN.	FINISH	STD.	STANDARD				
FL.	FLOOR	STL.	STEEL				
FLEX.	FLEXIBLE	STOR.	STORAGE				
FLSG.	FLASHING	STRUCT.	STRUCTURAL				
FLUOR.	FLUORESCENT	SUSP.	SUSPENDED				
FR.	FRAME	SW.	SWITCH				
FRPF.	FIREPROOFING	SYS.	SYSTEM TONGUE AND GROOVE				
FRT.	FIRE RETARDANT TREATED	T&G.					
FT.	FOOT (FEET)	TEL.	TELEPHONE				
FTG.	FOOTING	TEMP.	TEMPERED				
FVC.	FIRE VALVE CABINET	THK.	THICK				
G.C. GA.	GENERAL CONTRACTOR GAUGE	THR. TLT.	THRESHOLD				
GALV.	GALVANIZED	TR.	TOILET TREAD				
GB.	GYPSUM BOARD	TV.	TELEVISION				
GL.		TYP.	TYPICAL				
GR.	GLASS GRADE	U.N.O.	UNLESS NOTED OTHERWISE				
GYP. BRD.	GYPSUM BOARD	UL.	UNDERWRITER'S LABORATORIES INC.				
HB.	HOSE BIB	UNF.	UNFINISHED				
HC.WD.	HOLLOW CORE WOOD	UR.	URINAL				
HD.	HEAVY DUTY	UTL.	UTILITY				
HDWD.	HARDWOOD	V.I.F.	VERIFY IN FIELD				
HDWR.	HARDWARE	VCT.	VINYL COMPOSTION TILE				
HGT.	HEIGHT	VERT.	VERTICAL				
HM.	HOLLOW METAL	VEST.	VESTIBULE				
HORIZ.	HORIZONTAL	W.	WEST				
HP.	HIGH POINT	W/	WITH				
HR.	HOUR	W/O	WITHOUT				
HVAC.	HEAT VENTILATING AIR COND.	WD.	WOOD				
ID.	INSIDE DIAMETER	WH.	WATER HEATER				
INCL.	INCLUDE (ING)	WP.	WATERPROOFING				
INST.	INSTALLATION	WR.	WATER RESISTANT				

WT.

WEIGHT

3333 K Street NW Suite 60 **WASHINGTON, DC 20007** 202.350.4244 202.350.4245 3877.DESIGN

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CIVIL ENGINEER: HUSKA ENGINEERING CHRISTOPHER HUSKA 1050 30TH ST NW WASHINGTON, DC 20007 [T] 703.425.3862

VENABLE LLP ZACHARY WILLIAMS

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COLUMBIA, MD, 21044

KHALID KHALIFA, P.E. C.E.M.

5840 BANNEKER RD, SUITE 220

600 MASSACHUSETTS AVE, NW

WASHINGTON DC 20001

ISSUE FOR BZA

DRAWING DATA

1321RESIDENCES 1321 ANACOSTIA RD SE **WASHINGTON, DC 20019**

SHEET SUBMISSION INDEX

ISSUE FOR BZA _ 30 APRIL 2024

REV NO. REVISION

EXAMPLE REVISION DESCRIPTION 00 MMM 2000

DATE

SEAL &

SIGNATURE

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.

SHEET TITLE: PROJECT INFORMATION

PROJECT NO: 2024.33 DATE ISSUED: 04/05/2022

SCALE: As indicated

STAIR FLOOR TOP MAX. 84" ABOVE FLOOR LANDING ■ MIN. 5" HIGH NUMBER. TACTILE NO ROOF ACCESS

DOWN TO FLOOR 1

MIN. 1" HIGH LETTERS

ZONING & CODE INFORMATION

5507 0018

0.9

0.6

0.9

6139 SF

1746 SF

1746 SF (NO CHANGE)

PROPOSED SIDE YARD: 0 FT, 8'-5" FT (NO CHANGE) AUTOMATIC SPRINKLER:

2017 DCMR 12 A IBC BUILDING CODE

2017 DCMR 12C DC ELECTRICAL CODE

2017 DCMR 12E DC MECHANICAL CODE

2017 DCMR 12J DC EXISTING BUILDING CODE

INTERIOR STAIRWAY IDENTIFIC ATION (NFPA 101 7.2.2.5.4)

2017 DCMR 12F DC PLUMBING CODE

2017 DCMR 12H DC FIRE CODE

8 UNITS = 3 SPACES

2017 DCMR 12K DC GREEN CODE

28.4%

20 FT

65 FT

0 FT, 8 FT

0 FT, 8'-5" FT

PROPOSED % LOT OCC: 28.4% (NO CHANGE)

ADOPTED CODES WITH LOCAL AMENDMENTS

PROVIDE SIGNAGE WITHIN STAIR ENCLOSURE AT EACH FLOOR LANDING.

2) SIGNAGE TO BE LOCATED INSIDE THE STAIR ENCLOSURE

MIN. 1.5" HIGH LETTERS

BRAILLE COMPLYING ICC A117.1

BOTTOM MIN. 48" ABOVE FLOOR LANDING

1) SIGNAGE TO INDICATE AT TOP & BOTTOM OF THE STAIR ENCLOSURE

SIGNAGE ALSO TO COMPLY WITH IBC 1023.9

1321 ANACOSTIA RD SE

R - RESIDENTIAL R-2 APARTMENT (4 UNITS)

R - RESIDENTIAL R-2 APARTMENT (8 UNITS)

22 FT 9 IN (2 STORIES OVER CRAWL)

35 FT 10 IN (3 STORIES OVER CELLAR)

PROPOSED CELLAR:

EXISTING FIRST FLOOR:

PROPOSED FIRST FLOOR:

PROPOSED THIRD FLOOR:

MAX GROSS FLOOR AREA:

SITE WORK:

PROPOSED SECOND FLOOR:

EXISTING GROSS FLOOR AREA:

PROPOSED GROSS FLOOR AREA: 5238 SF (.85 FAR)

LOT AREA PERCENTAGE - BUILDING: 30%

LOT AREA PERCENTAGE - PAVED AREAS: 30%

LOT AREA PERCENTAGE - GREENERY: 40%

ADDRESS

SQUARE, SUFFIX, LOT

CONSTRUCTION TYPE:

EXISTING USE:

MAX HEIGHT:

MAX FAR:

EXISTING FAR:

PROPOSED FAR:

EXISTING LOT SIZE:

EXIST. % LOT OCC:

REQ'D REAR YARD:

REQ'D SIDE YARDS*:

BUILDING CODE:

PLUMBING:

FIRE CODE:

ELECTRICAL CODE:

MECHANICAL CODE:

GREEN CONSTRUCTION:

EXISTING BUILDING CODE:

PARKING REQUIREMENTS:

3 UNITS PER 1 SPACE

3 SPACES PROVIDED

GENERAL NOTE:

STAIRWAY EXAMPLE

EXISTING SIDE YARDS:

EXISTING REAR YARD:

PROPOSED REAR YARD: 65 FT

EXIST. LOT COVERAGE:

PROP. LOT COVERAGE:

MAX % LOT OCCUPANCY: 40%

EXISTING HEIGHT:

PROPOSED HEIGHT:

PROPOSED USE:

ZONE

UNIT 1 (CL) = 749 SF

UNIT 2 (CR)= 746 SF

UNIT 4 (1R) = 762 SF

UNIT 5 (2L) = 764 SF

UNIT 6 (2R) = 767 SF

UNIT 7 (3L) = 830 SF

UNIT 8 (3R) = 786 SF

1746 SF

1746 SF

1746 SF 1746 SF

1746 SF

1746 SF

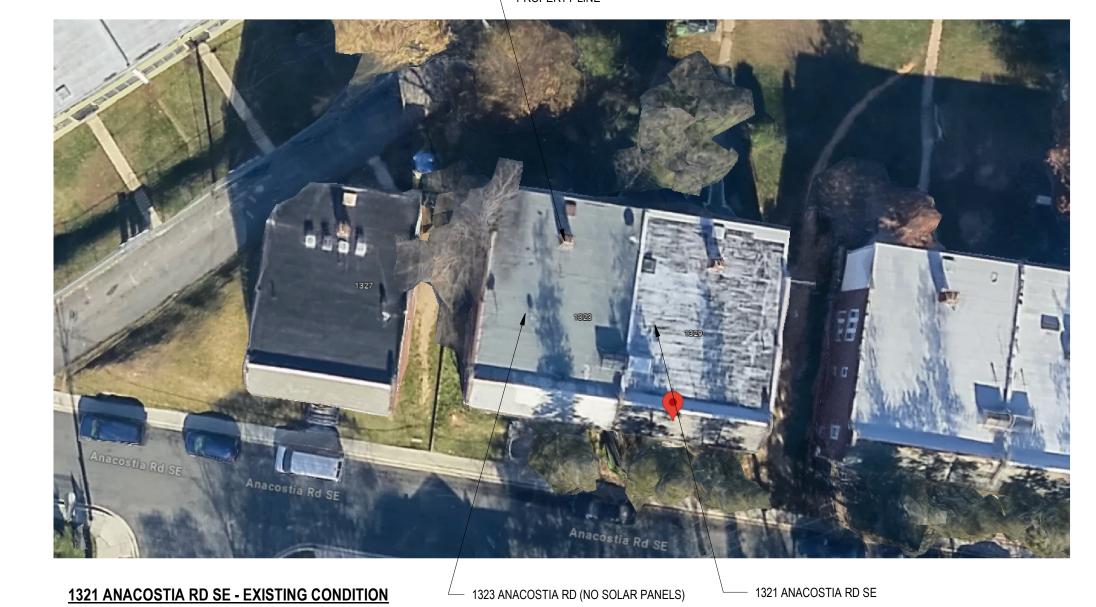
5525 SF (.9 FAR)

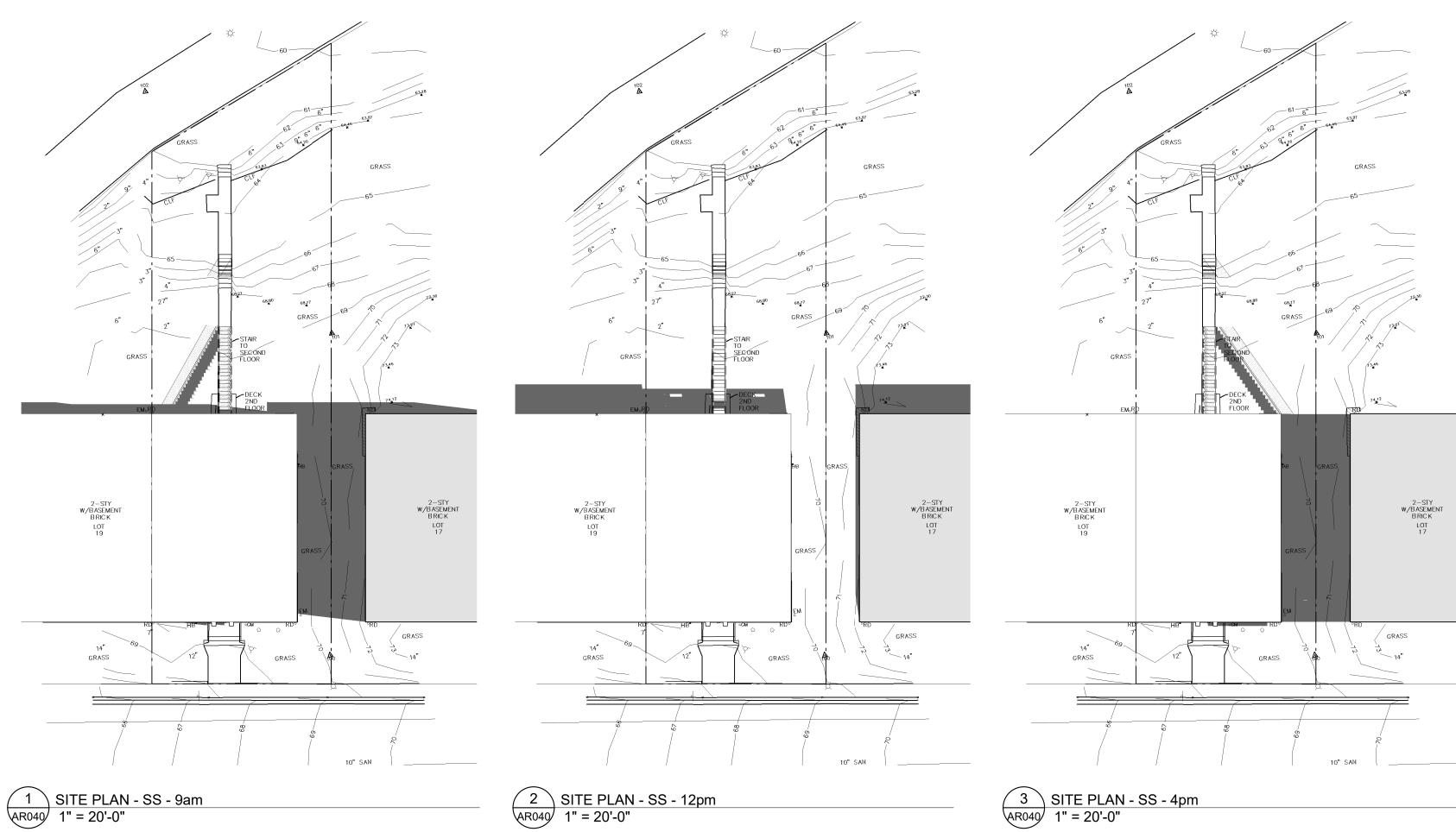
3492 SF (.57 FAR)

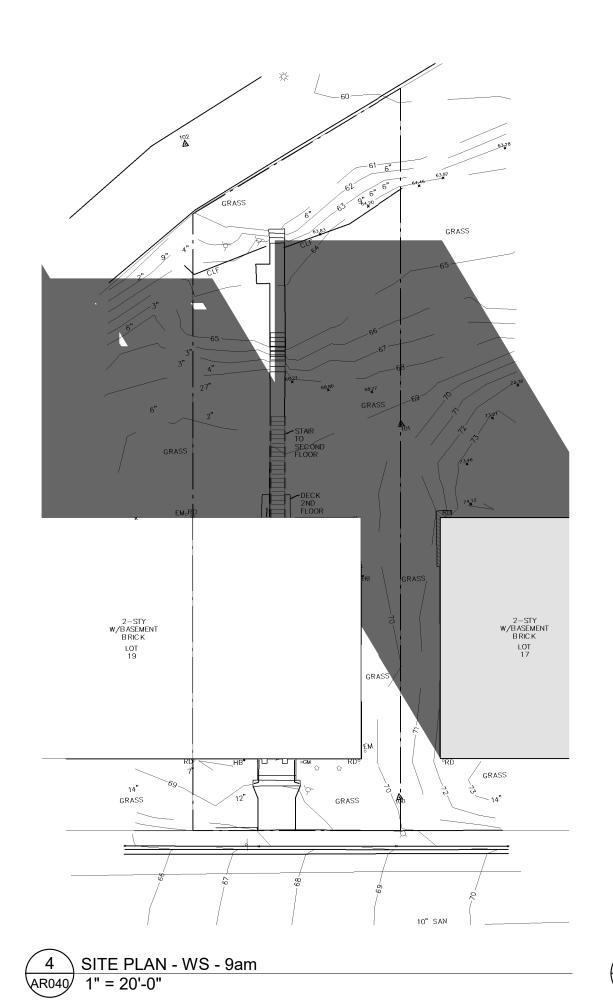
YES (PER 13R SYSTEM)

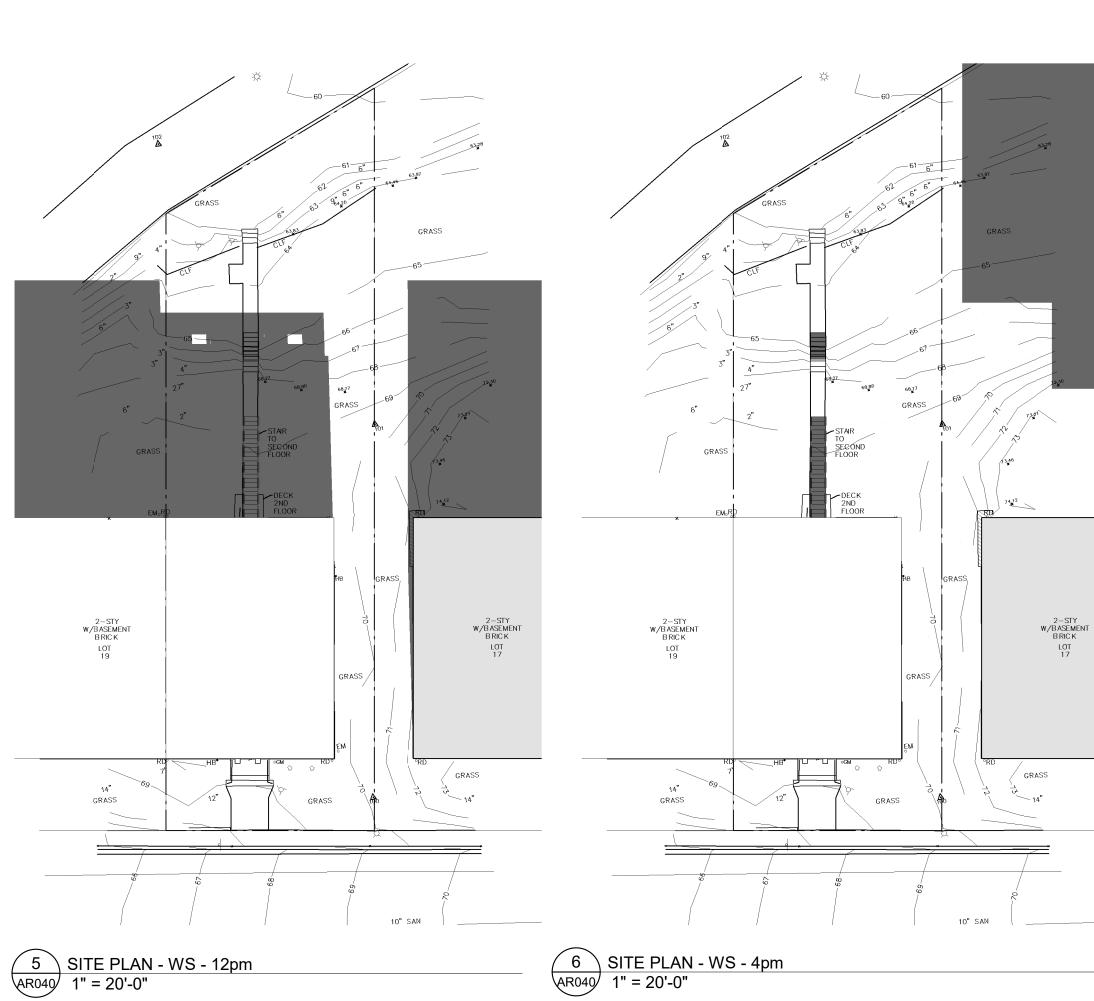
UNIT 3 (1L) ADA = 760 SF

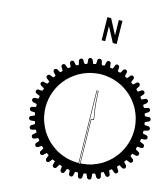
EXISTING 1323 ANACOSTIA RD CHIMNEY TO REMAIN - GREATER THAN 10'-0" FROM PROPERTY LINE











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DRAWING DATA

PROJECT: 1321RESIDENCES

ADDRESS: 1321 ANACOSTIA RD SE
WASHINGTON, DC 20019

SHEET SUBMISSION INDEX

ISSUE FOR BZA _ 30 APRIL 2024

REV NO. REVISION DATE

SEAL & SIGNATURE:



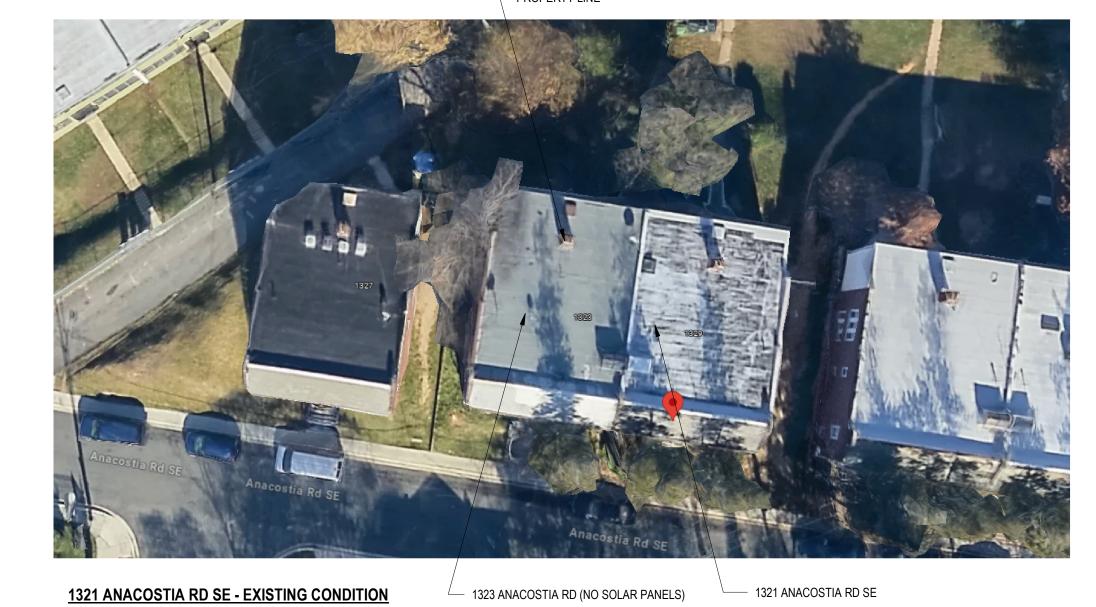
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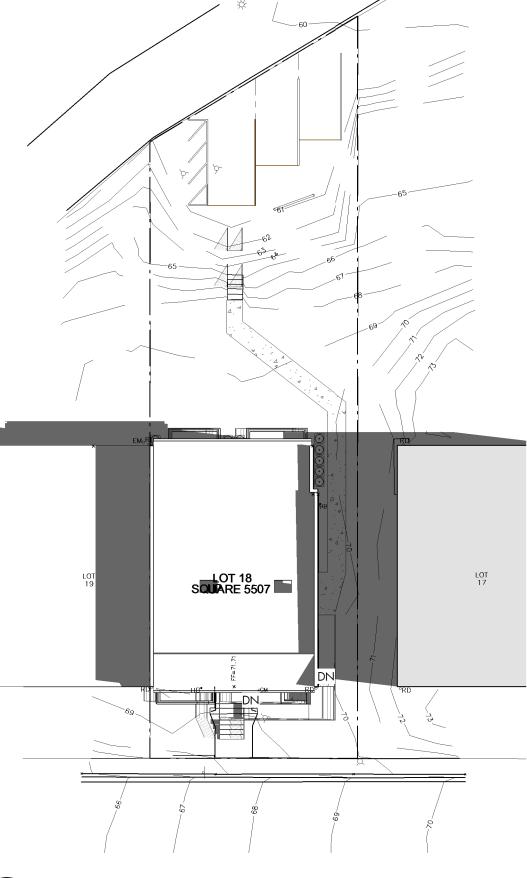
SHEET TITLE: EXISTING SHADOW STUDIES

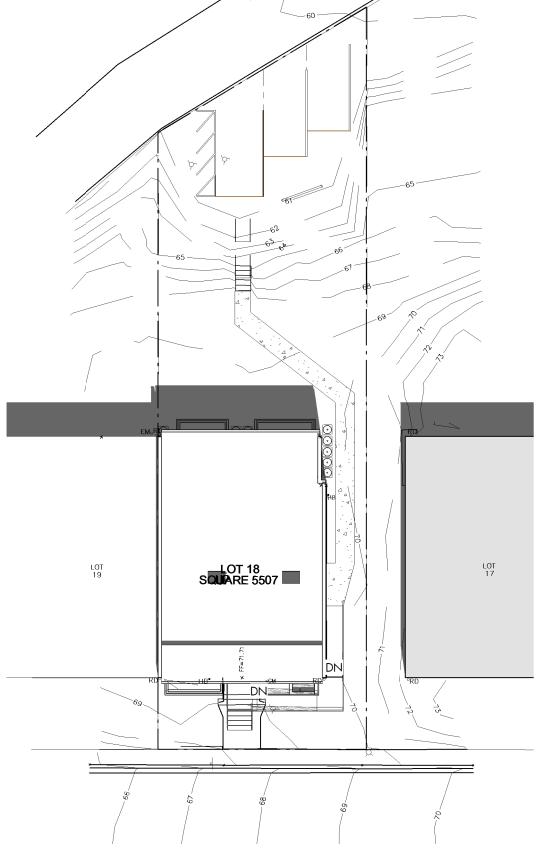
PROJECT NO: 2024.33 SCALE: 1" = 20'-0"

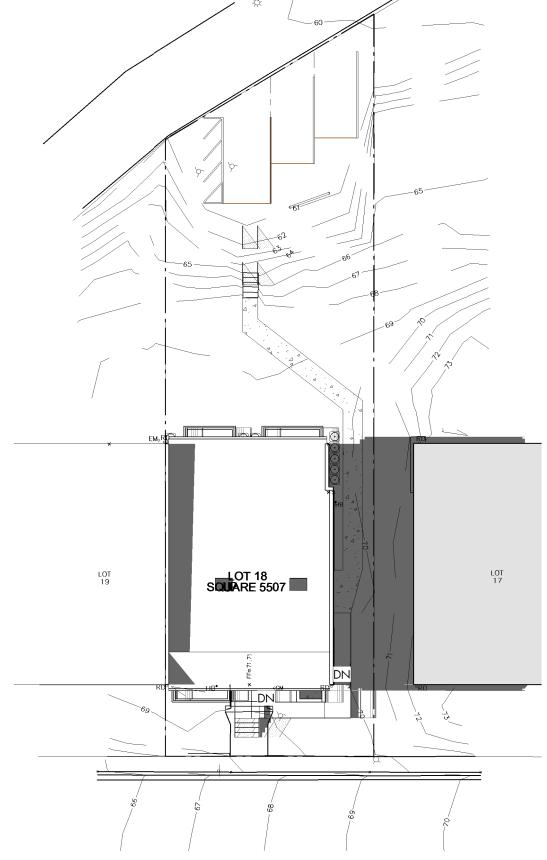
AR040

EXISTING 1323 ANACOSTIA RD CHIMNEY TO REMAIN - GREATER THAN 10'-0" FROM PROPERTY LINE









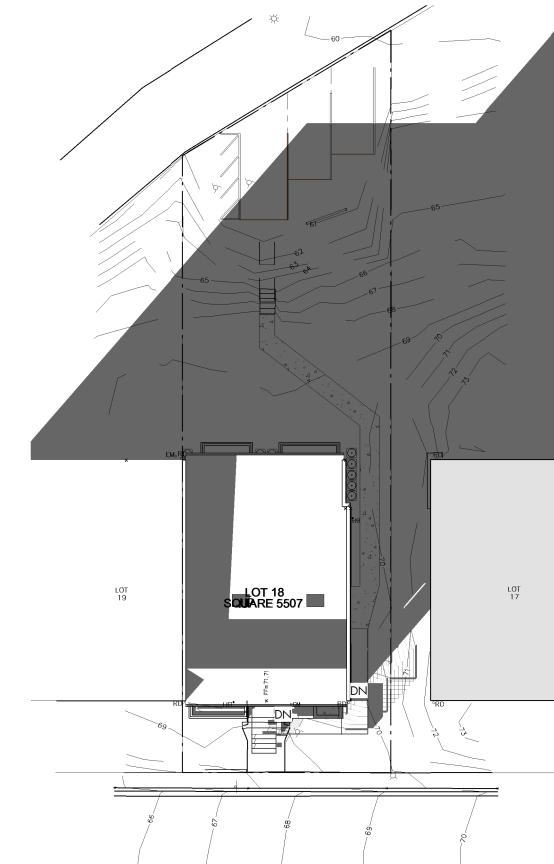
1 SITE PLAN - SS - 9am Copy 1 1" = 20'-0"



5 SITE PLAN - WS - 12pm Copy 1 4R041 1" = 20'-0"

2 SITE PLAN - SS - 12pm Copy 1 1" = 20'-0"

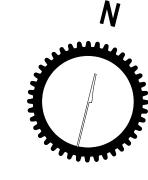
3 SITE PLAN - SS - 4pm Copy 1 1" = 20'-0"



4 SITE PLAN - WS - 9am Copy 1 AR041 1" = 20'-0"



6 SITE PLAN - WS - 4pm Copy 1 1" = 20'-0"



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DRAWING DATA

PROJECT: 1321RESIDENCES ADDRESS: 1321 ANACOSTIA RD SE WASHINGTON, DC 20019

SHEET SUBMISSION INDEX

ISSUE FOR BZA _ 30 APRIL 2024

REVISION DATE REV NO.

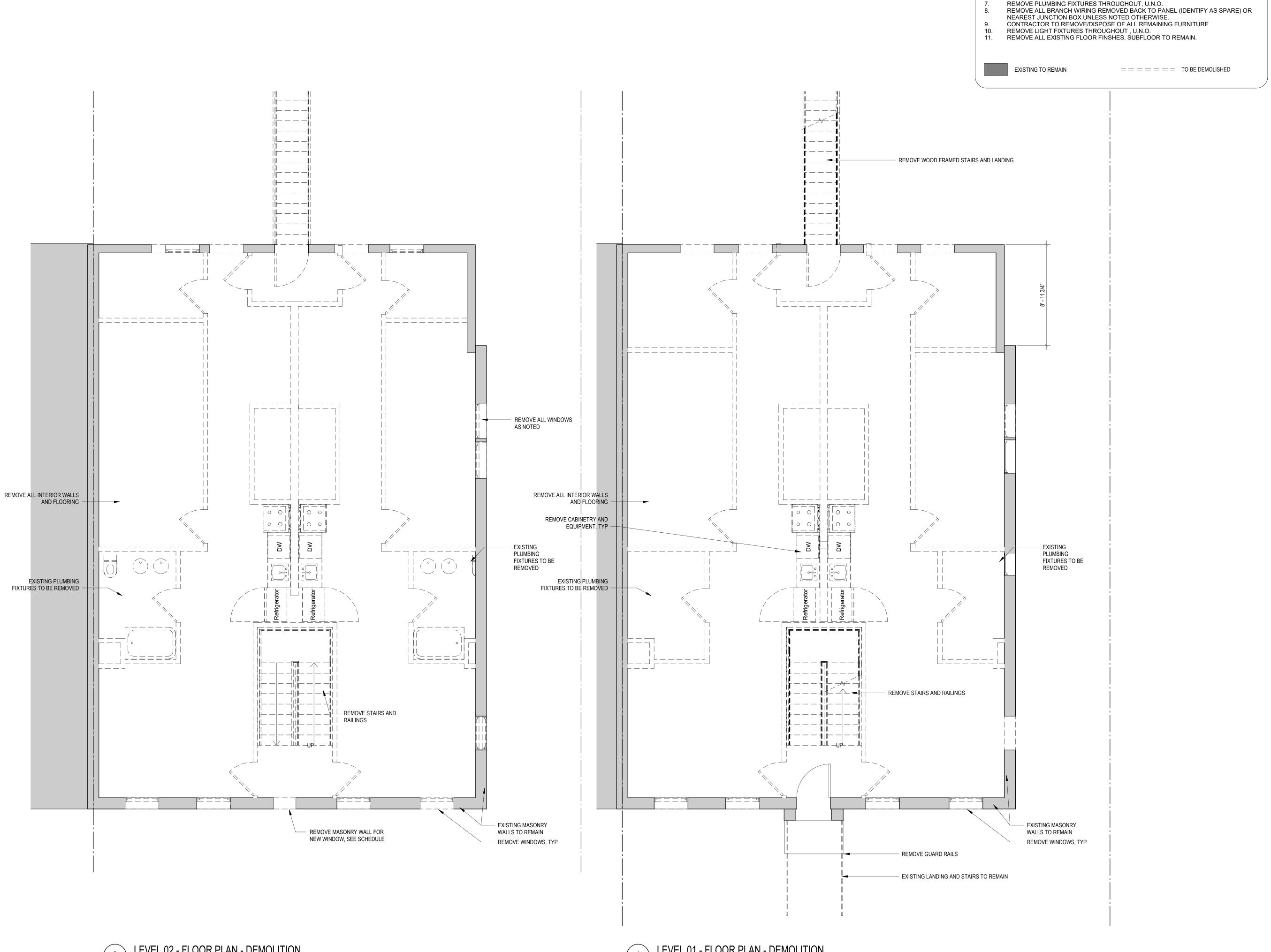
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SHEET TITLE: PROPOSED SHADOW STUDIES

PROJECT NO: 2024.33 SCALE: 1" = 20'-0"



DEMOLITION NOTES

CONTRACTOR SHALL VISIT SITE TO DETERMINE AND VERIFY ALL EXISTING

PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED.

REMOVE EXISTING PARTITIONS, U.N.O. REMOVE DOORS, FRAMES AND HARDWARE, U.N.O.

REMOVE EXISTING WINDOWS AS NOTED.

REMOVE ALL APPLIANCES THROUGHOUT, U.N.O.

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1321RESIDENCES 1321 ANACOSTIA RD SE **WASHINGTON, DC 20019**

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REVISION

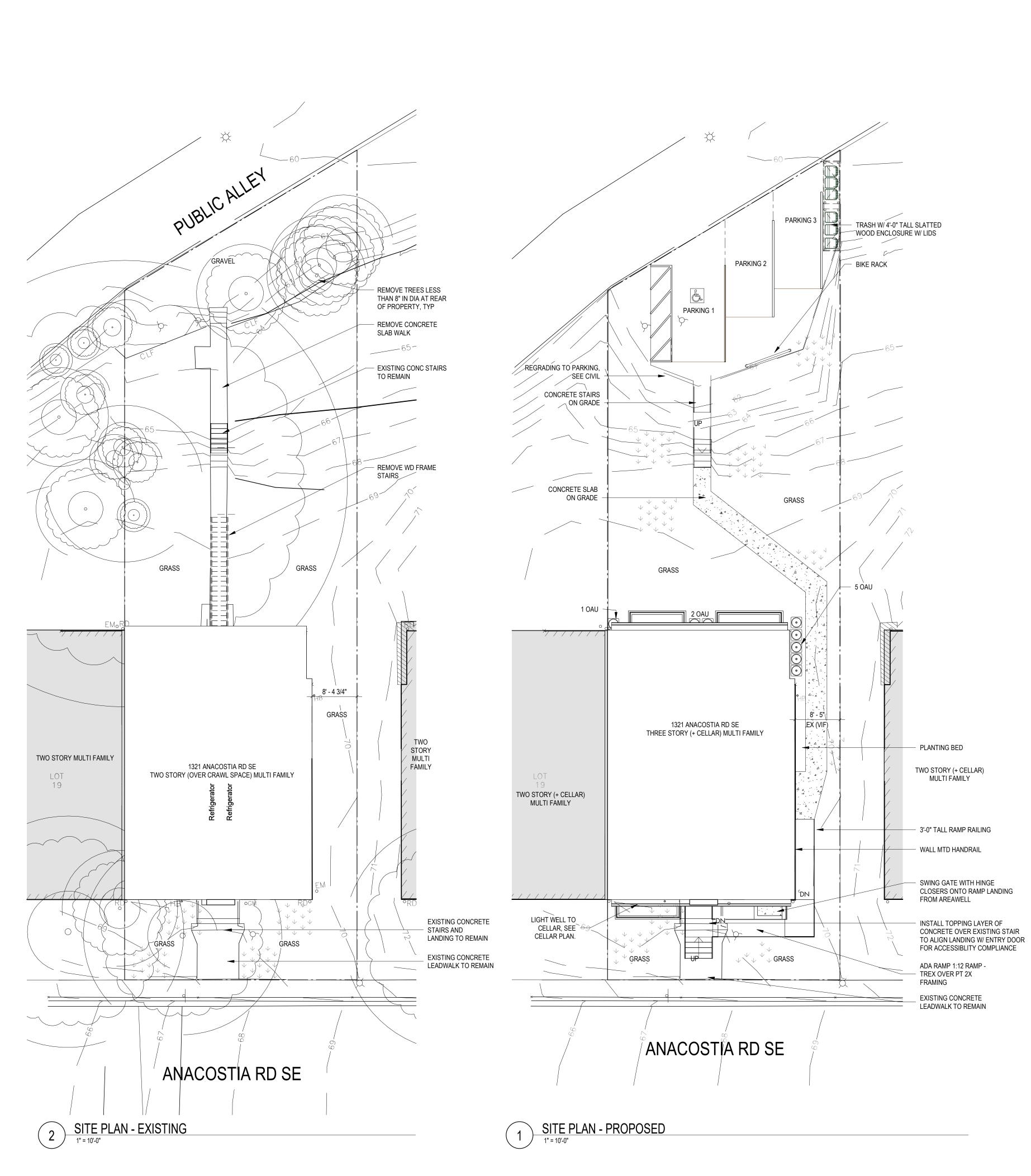
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SHEET TITLE: DEMOLITIONS PLANS

PROJECT NO: 2024.33 DATE ISSUED: 04/05/2022



SEQUENCE OF CONSTRUCTION	CIVIL NARRATIVE:			
SEQUENCE OF CONSTRUCTION A. CLEARING AND GRUBBING REQUIRED FOR PERIMETER CONTROLS; B. CONSTRUCTION OF PERIMETER CONTROLS; C. REMAINING CLEARING AND GRUBBING; D. ROAD GRADING; NOT APPLICABLE; E. GRADING FOR THE REMAINDER OF THE SITE; F. UTILITY INSTALLATION, INCLUDING THE USE OR BLOCKING OF STORM DRAINS AFTER CONSTRUCTION IF APPLICABLE; G. FINAL GRADING, LANDSCAPING, OR STABILIZATION; AND H. REMOVAL OF CONTROLS.	THE SITE WORK IS LIMITED TO THE INSTALLATION OF AN ADA LIFT, THE EXCAVATION OF EGRESS WELLS AT THE FRONT AND REAR FACADE AND THE INSTALLATION OF NEW CONCRETE OVER EXISTING STREET SIDE STAIR AND LANDING TO COMPLY WITH ACCESSIBILITY REQUIREMENTS. THE SCOPE ALSO INLUDES PAVING FOR 3 PARKING SPACES AND TRASH OFF OF ALLEY			
	CIVIL CALCULATION TABLE:			
		EXISTING	PROPOSED	
	TOTAL LOT AREA:	6139 SF		
	TOTAL PERVIOUS SURFACE SF	3632 SF	2456 SF	
	TOTAL BUILDING FOOTPRINT:	1841 SF	1841 SF	
	TOTAL PAVED FOOTPRINT:	666 SF	1842 SF	
	CIVIL PLAN LEGEND			
			SS AND OTHER IOUS VEGETATIVE ACE	

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MEP ENGINEER: KK ENGINEERING, LLC KHALID KHALIFA, P.E. C.E.M.

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SHEET TITLE: SITE PLAN

PROJECT NO: 2024.33 DATE ISSUED: 04/05/2022

SCALE: 1" = 10'-0"



Class A = Flame spread index 0-25; smoke-developed index 0-450 Class B = Flame spread index 26-75; smoke-developed index 0-450 Class C = Flame spread index 76-200; smoke-developed index 0-450 OCCUPANCY GROUP A-2, SPRINKLERED (MOST RESTRICTIVE) Interior exit stairways, interior exit ramps and exit passageways: Class B Corridors and enclosure for exit access stairways and exit access ramps:

Rooms and enclosed spaces: Class C

a. Class C interior finish materials shall be permitted for wainscotting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.13.1. b. In other than Group I-3 occupancies in buildings less than three stories above

grade plane, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted in interior exit stairways c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural

elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the

building or structure. d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than

Class B materials. e. Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.

CONSTRUCTION GENERAL NOTES

ALL DIMENSIONS TO FINISH FACE, U.N.O.

ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR PARTITION SCHEDULE

ALL INTERIOR WALLS TO BE PAINTED, U.N.O. ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH

ALL WALLS TO BE PAINTED - EGGSHELL FINISH REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED

SEE ELEVATIONS FOR WINDOW TAGS PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS

TO COMPLY ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.

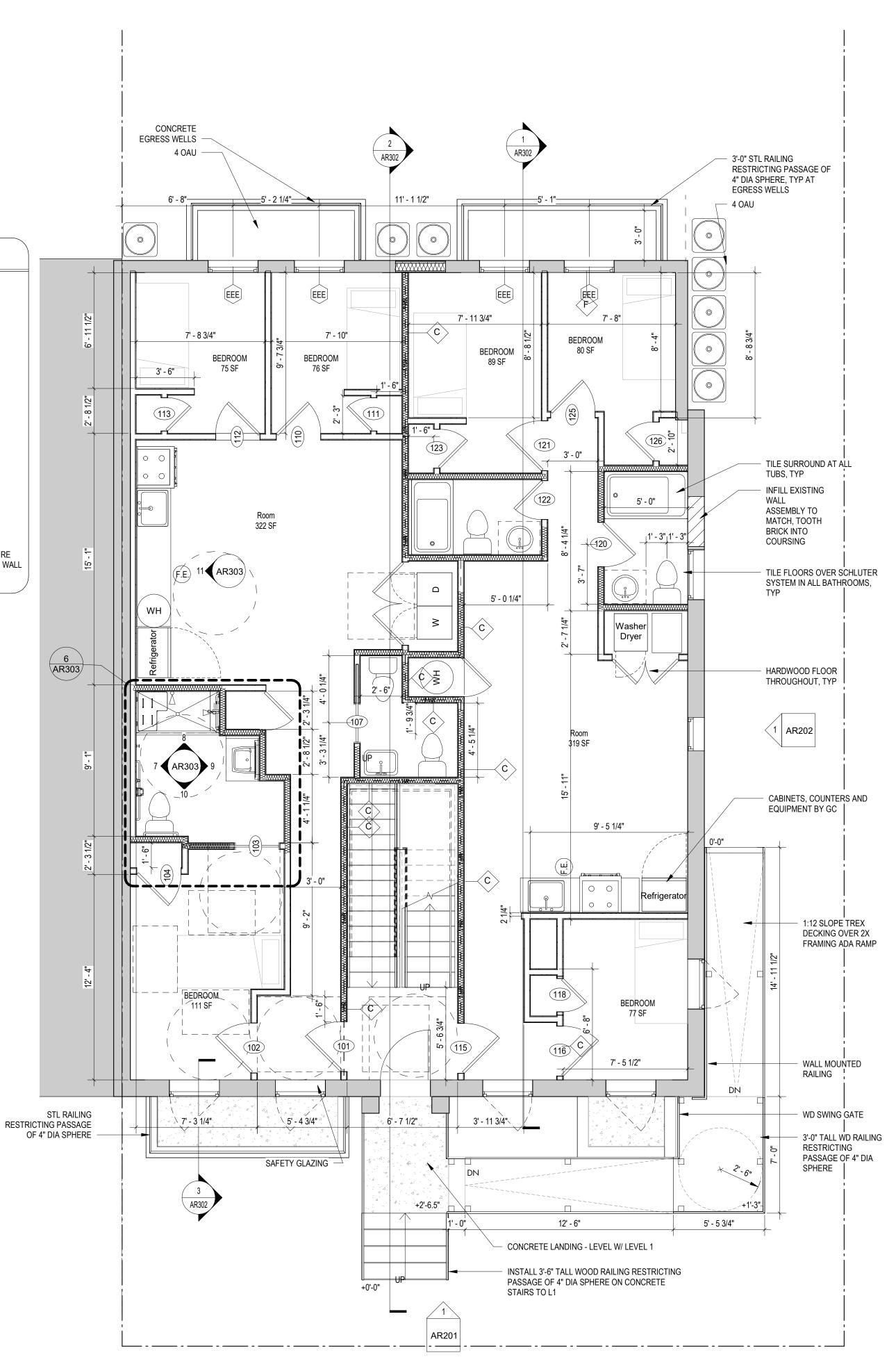
REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1

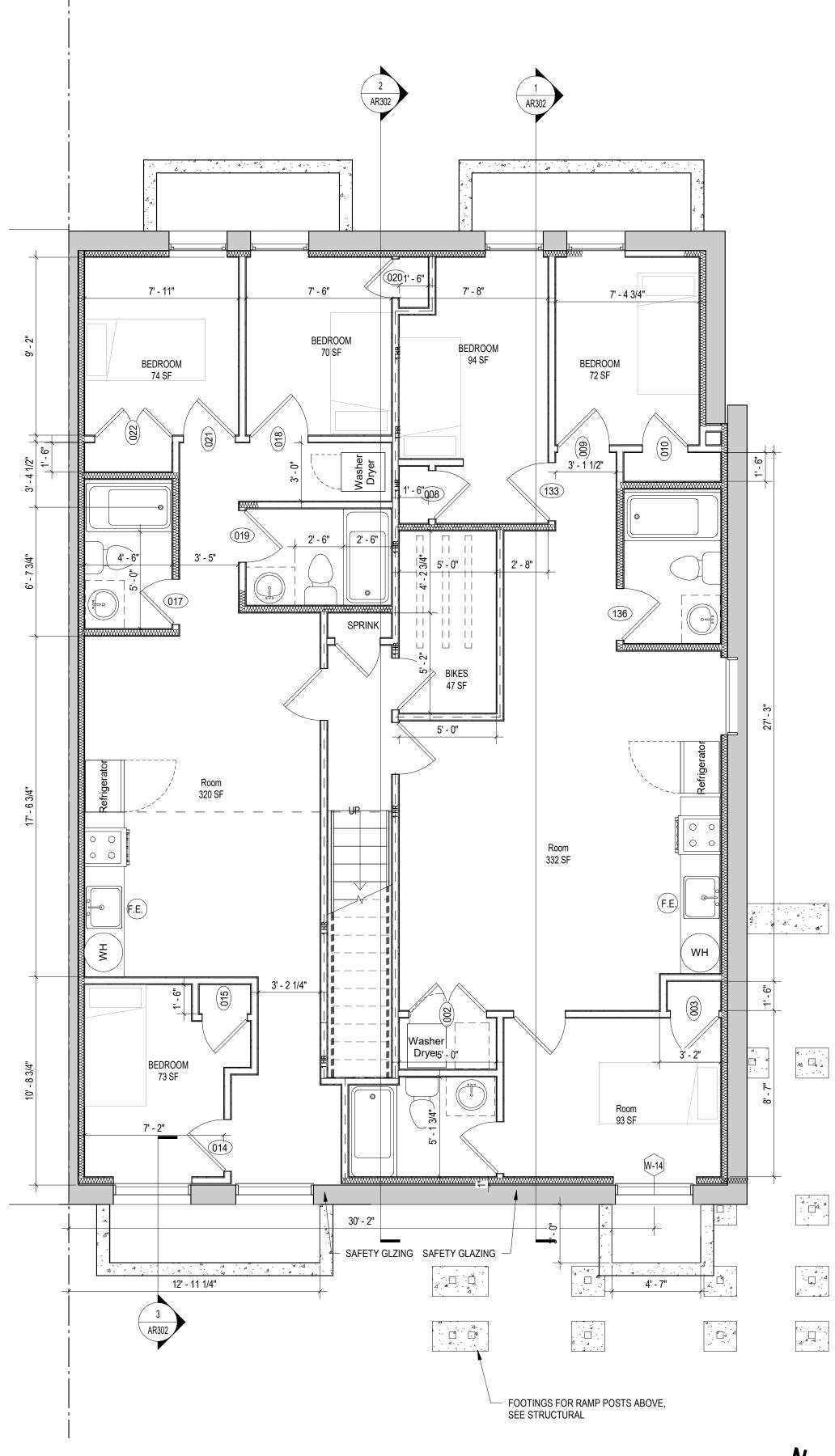
AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017 IECC 402.4.1.2

GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTIGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.

GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

NEW CONSTRUCTION — 1 HR —





CELLAR - FLOOR PLAN - PROPOSED

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SHEET TITLE: FLOOR PLANS

PROJECT NO: 2024.33 DATE ISSUED: 04/05/2022

INTERIOR FINISHES (PER DCBC TABLE 803.11)

Class A = Flame spread index 0-25; smoke-developed index 0-450
Class B = Flame spread index 26-75; smoke-developed index 0-450
Class C = Flame spread index 76-200; smoke-developed index 0-450
OCCUPANCY GROUP A-2, SPRINKLERED (MOST RESTRICTIVE)
Interior exit stairways, interior exit ramps and exit passageways: Class B
Corridors and enclosure for exit access stairways and exit access ramps:

Rooms and enclosed spaces: Class C

<u>a.</u> Class C interior finish materials shall be permitted for wainscotting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.13.1. b. In other than Group I-3 occupancies in buildings less than three stories above

<u>b.</u> In other than Group I-3 occupancies in buildings less than three stories above grade plane, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted in interior exit stairways and ramps.

c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.
d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than

Class B materials.

 \underline{e} . Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
 ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR
- PARTITION SCHEDULE
 ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB PAINTED FLAT FINISH
 ALL WALLS TO BE PAINTED EGGSHELL FINISH
 REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
 SEE ELEVATIONS FOR WINDOW TAGS
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS
 TO COMPLY
 ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY
- OWNER, U.N.O.

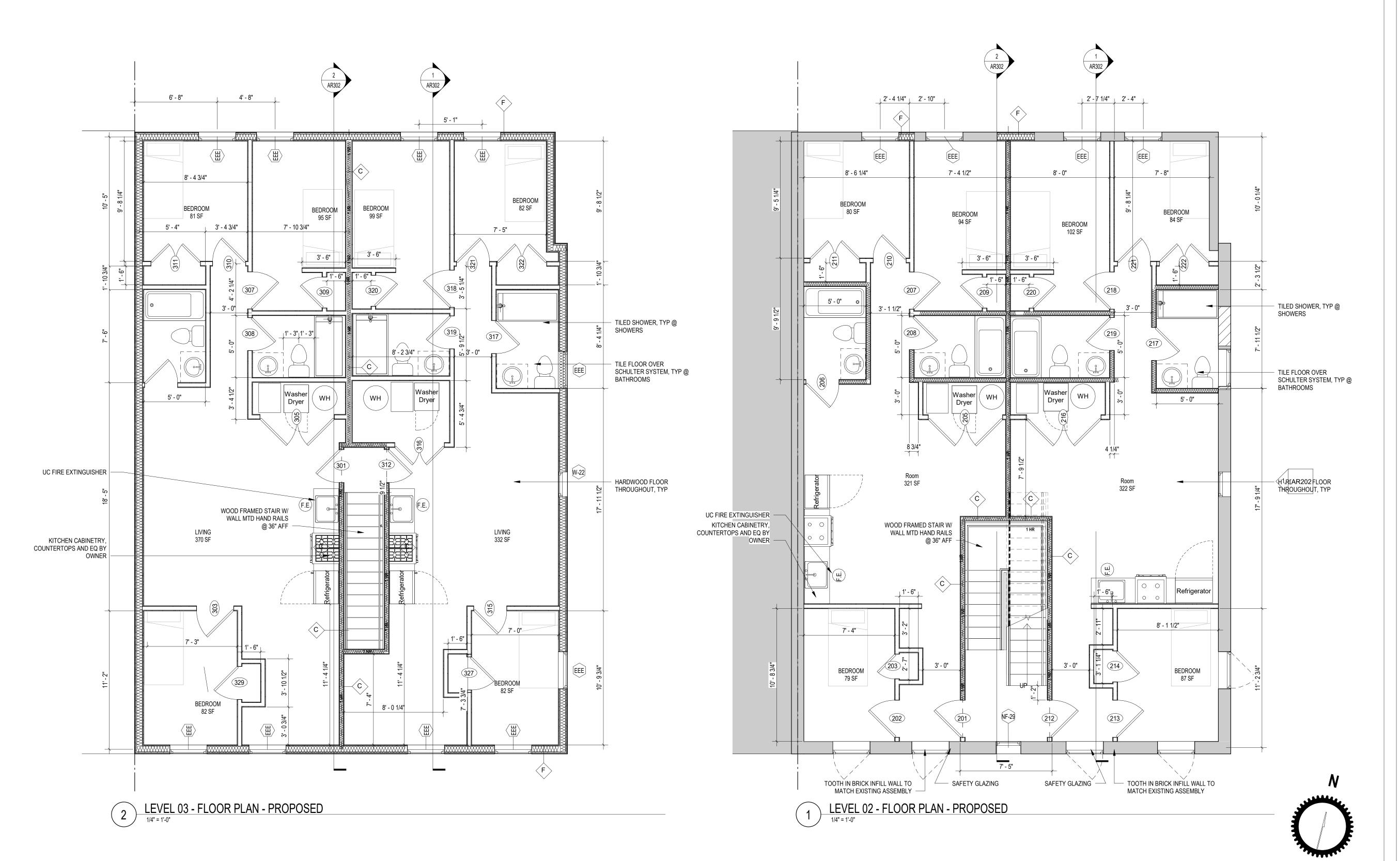
 10. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS

 11. GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO
- REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1

 12. AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC
 TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017
 IECC 402.4.1.2
- 13. GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTIGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.)
- GCATIONS.

 GC PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN

EXISTING TO REMAIN NEW CONSTRUCTION — 1 HR — RATED WA



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SHEET TITLE: FLOOR PLANS

SCALE: As indicated

PROJECT NO: 2024.33

DATE ISSUED: 04/05/2022

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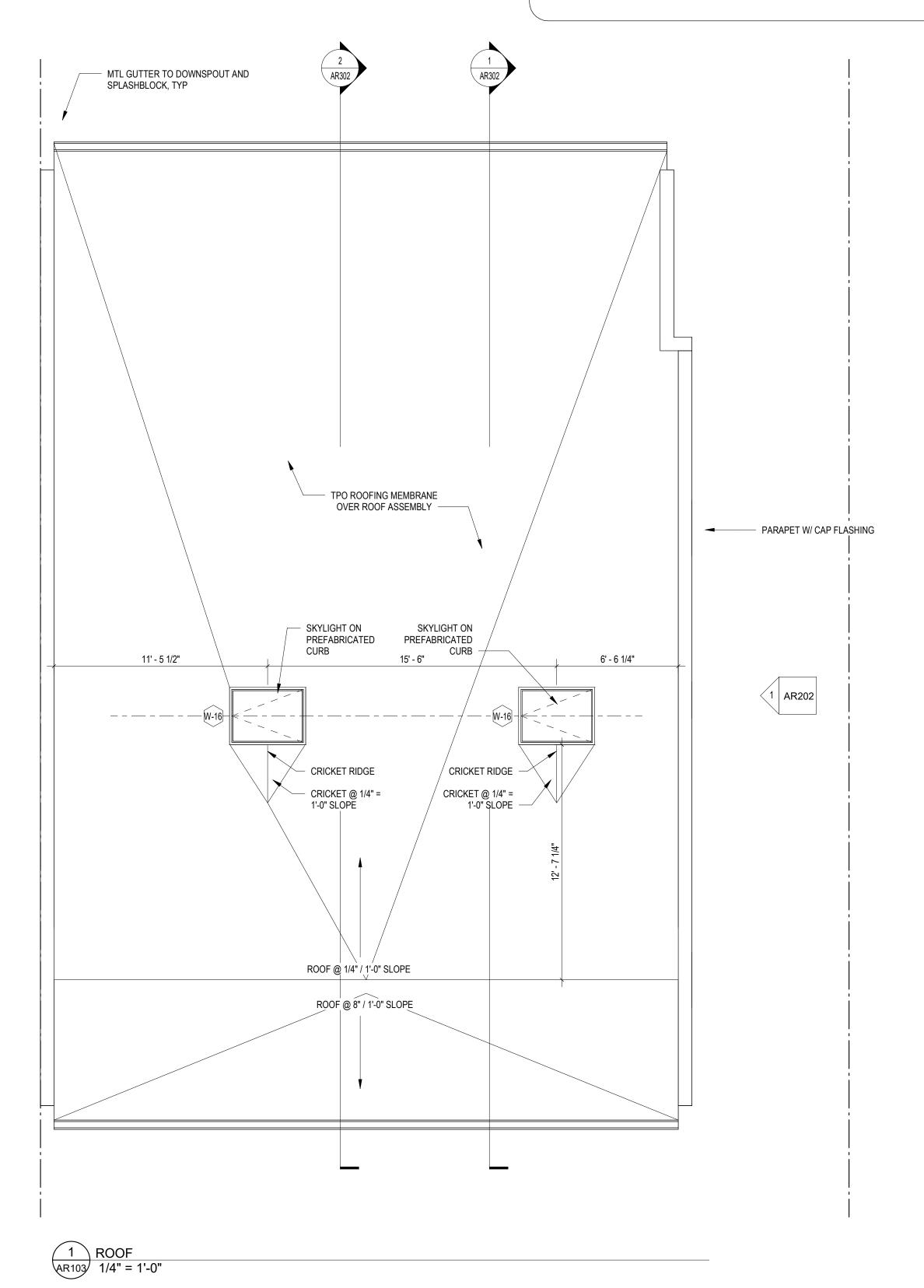
CONSTRUCTION GENERAL NOTES

ALL DIMENSIONS TO FINISH FACE, U.N.O. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR

SEE ELEVATIONS FOR WINDOW TAGS

- PARTITION SCHEDULE ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB PAINTED FLAT FINISH ALL WALLS TO BE PAINTED - EGGSHELL FINISH REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY
- ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY
- OWNER, U.N.O. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
- GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1 AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017
- IECC 402.4.1.2 13. GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTIGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.)
- LOCATIONS. 14. GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN

NEW CONSTRUCTION — 1 HR — 1 HR FIRE RATED WALL EXISTING TO REMAIN



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SHEET TITLE: FLOOR PLANS

PROJECT NO: 2024.33

DATE ISSUED: 03/03/24

CONSTRUCTION GENERAL NOTES ALL DIMENSIONS TO FINISH FACE, U.N.O. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR PARTITION SCHEDULE ALL INTERIOR WALLS TO BE PAINTED, U.N.O. ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH ALL WALLS TO BE PAINTED - EGGSHELL FINISH REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED SEE ELEVATIONS FOR WINDOW TAGS PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1 AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017 IECC 402.4.1.2 GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTIGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN

NEW CONSTRUCTION — 1 HR —



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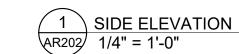
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SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2024.33 DATE ISSUED: 04/05/2022

TO ROOF EL. +103' - 10 15/32" BO ROOF EL. +101' - 6" - VINYL LAP SIDING OVER SHEATHING AND 2X6 STUD WALL FRAMING LEVEL 03 EL. +91' - 6" REPLACE EXISTING SIDING WITH VINYL LAP SIDING REPOINT EXISTING BRICK AS REQ'D _------- LOW E WINDOW, TYP, SEE SCHEDULE - 5 OAU ON CURBS, TYP LEVEL 01 EL. +71' - 6" GROUND EL. +69' - 0"



CONSTRUCTION GENERAL NOTES

- 1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR PARTITION SCHEDULE ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- 4. ALL CEILINGS TO BE 5/8" GWB PAINTED FLAT FINISH ALL WALLS TO BE PAINTED - EGGSHELL FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED SEE ELEVATIONS FOR WINDOW TAGS
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS
- TO COMPLY ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY
- OWNER, U.N.O. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
- GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1
- AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017
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- LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.

GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN

NEW CONSTRUCTION — 1 HR — 1 HR FIRE RATED WALL

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1321RESIDENCES 1321 ANACOSTIA RD SE WASHINGTON, DC 20019

SHEET SUBMISSION INDEX

ISSUE FOR BZA _ 30 APRIL 2024

REVISION

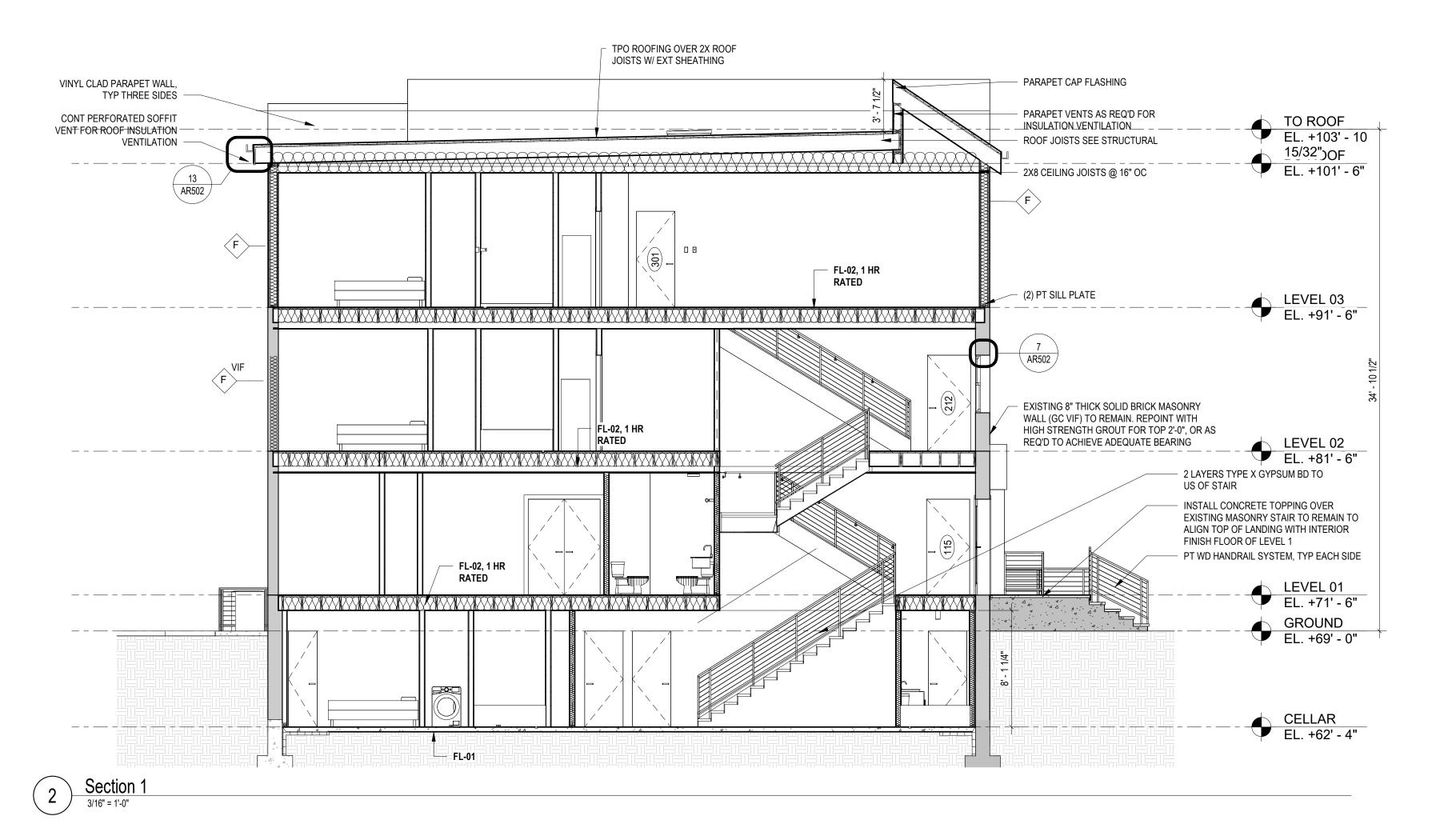
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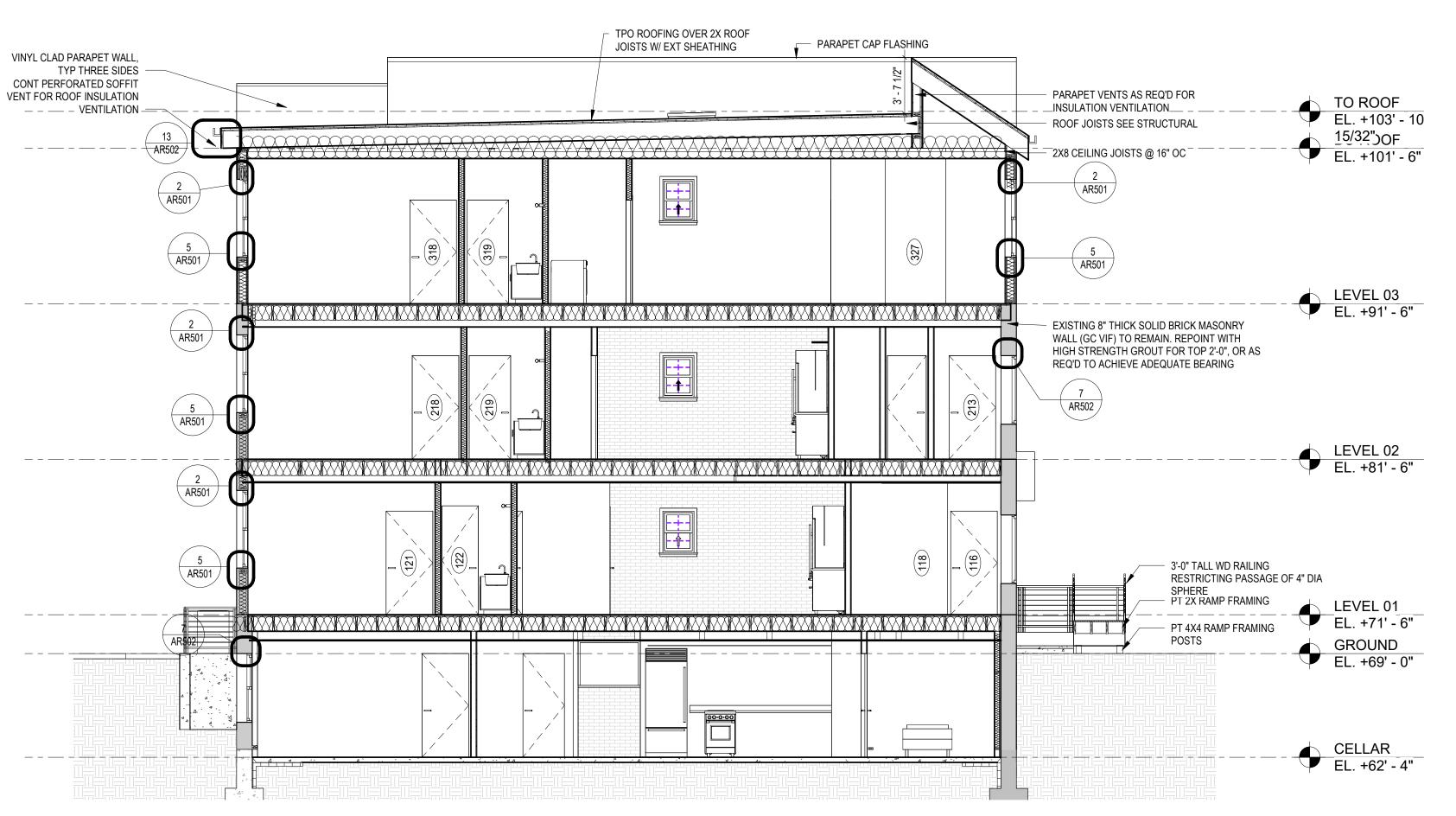
REV NO.

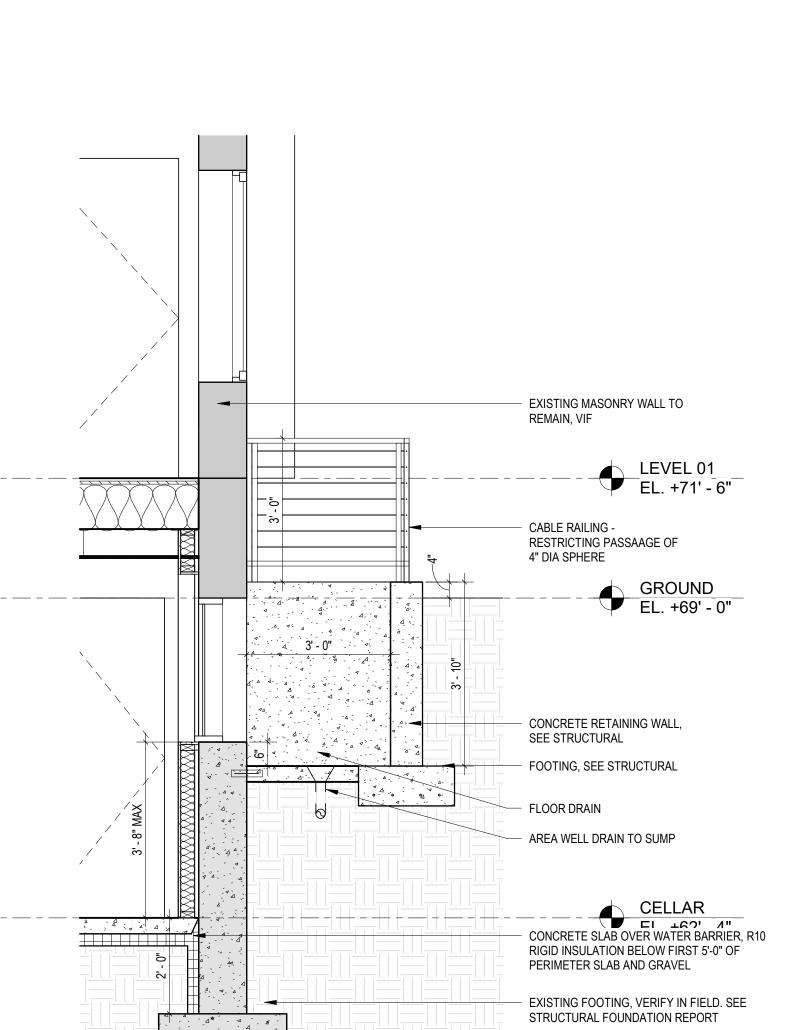
I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.

SHEET TITLE: ELEVATIONS

PROJECT NO: 2024.33 DATE ISSUED: 04/19/24







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CONSTRUCTION GENERAL NOTES

ALL DIMENSIONS TO FINISH FACE, U.N.O. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR

PARTITION SCHEDULE ALL INTERIOR WALLS TO BE PAINTED, U.N.O.

ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH ALL WALLS TO BE PAINTED - EGGSHELL FINISH REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED SEE ELEVATIONS FOR WINDOW TAGS

PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY

ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY

OWNER, U.N.O. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO

REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1 AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017 IECC 402.4.1.2

GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTIGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.

GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN

NEW CONSTRUCTION — 1 HR —

1 HR FIRE

WASHINGTON, DC 20007 [T] 202.350.4244 202.350.4245

3877.DESIGN

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SHEET TITLE: BUILDING SECTIONS

PROJECT NO: 2024.33

DATE ISSUED: 03/12/24 SCALE: As indicated