

1321 ANACOSTIA RD SE
WASHINGTON, DC 20019

ISSUE FOR BZA

23 SEPTEMBER 2024

//3877

ARCHITECT: :
//3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON, DC 20007
[T] 202.350.4244

CIVIL ENGINEER :
HUSKA CONSULTING, LLC
CHRISTOPHER HUSKA
1050 30TH ST NW
WASHINGTON, DC 20007
[T] 703.425.3862

GENERAL CONTRACTOR :
PALMAR CONSTRUCTION
769 GRACE ST
HERNDON, VA 20170
[T] 703.589.4832

LEGAL :
VENABLE LLP
ZACHARY WILLIAMS
600 MASSACHUSETTS AVE, NW
WASHINGTON, DC 20001
[T] 202.344.4369

MEP ENGINEER :
KK ENGINEERING LLC
8850 COLUMBIA 100 PARKWAY, SUITE 316
COLUMBIA, MD 21405
[T] 443.393.1070

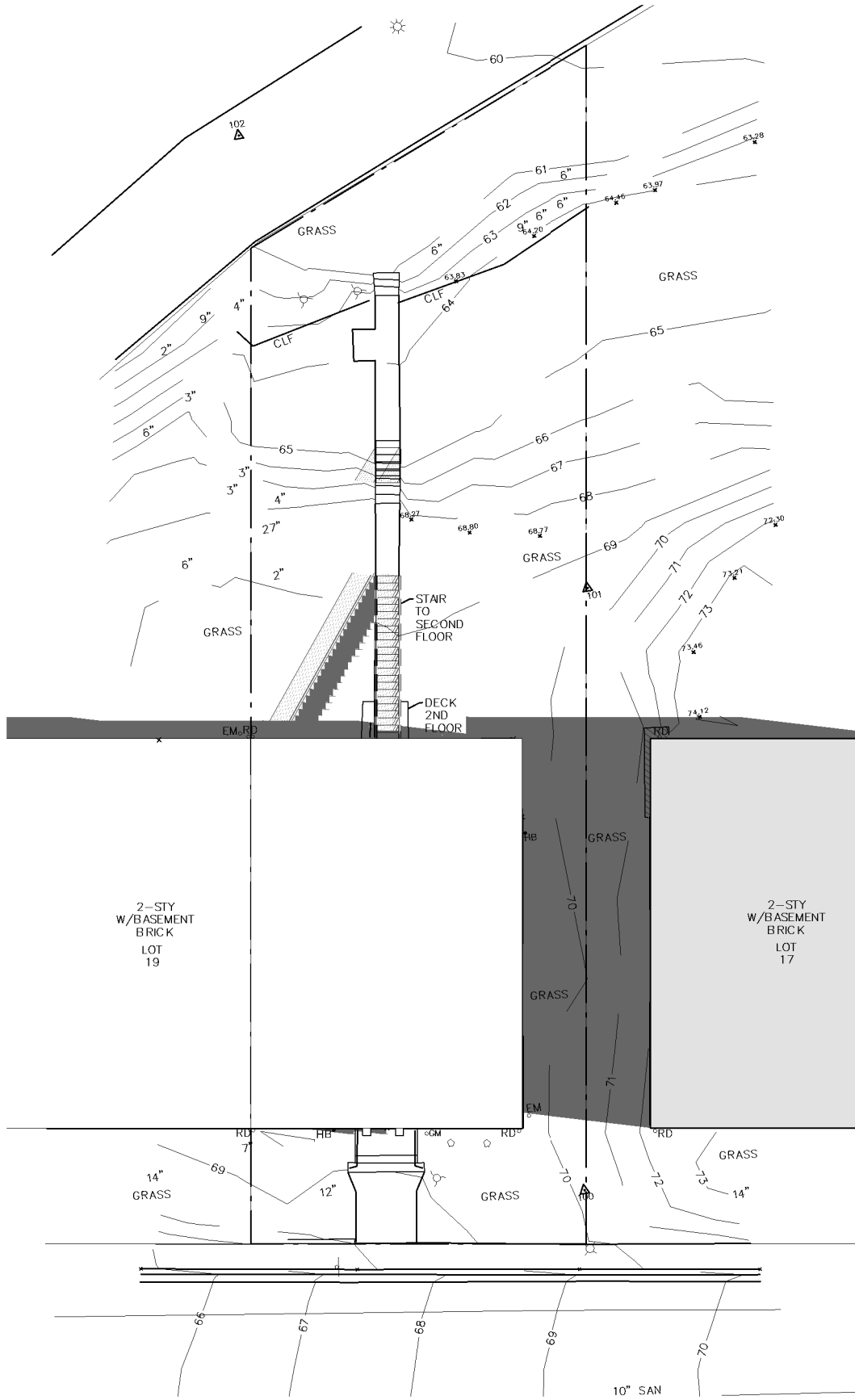
STRUCTURAL ENGINEER :
GAVIN & ASSOC STRUCTURAL ENGINEERS
CHARLES GAVIN
PO BOX 5142
MCLEAN, VA 22103
[T] 703.409.1070



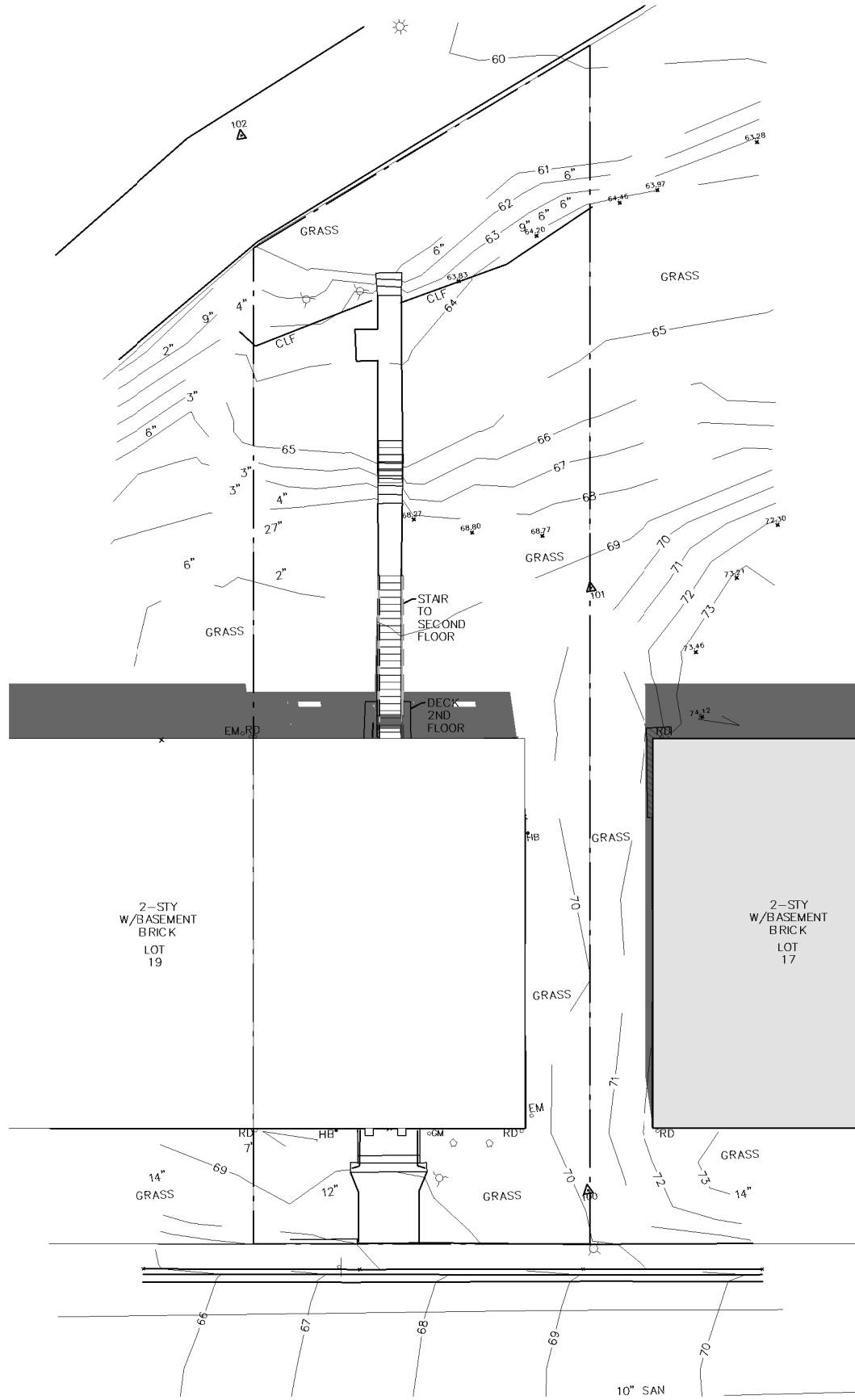
1321 ANACOSTIA RD SE - EXISTING CONDITION

1323 ANACOSTIA RD (NO SOLAR PANELS)

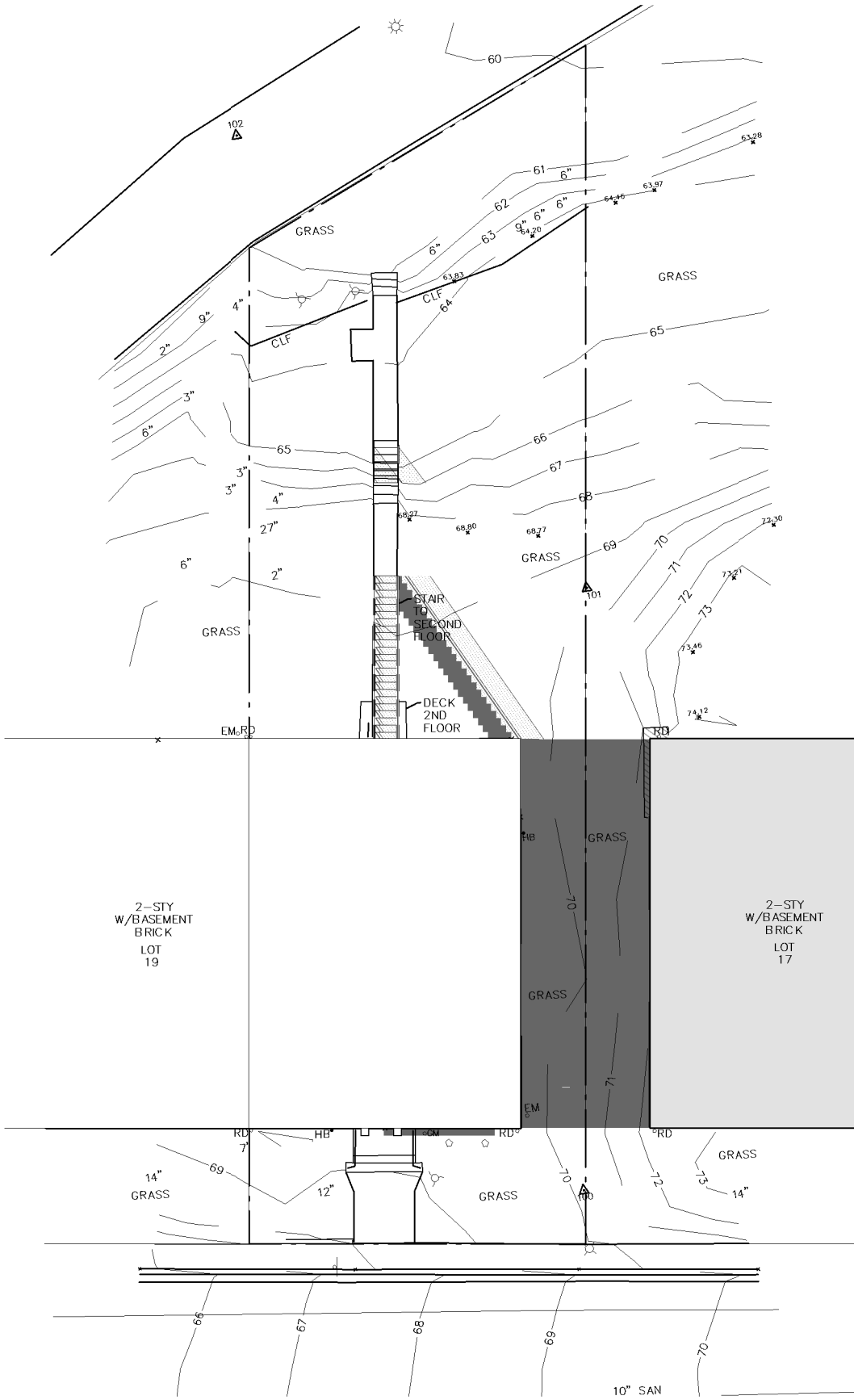
1321 ANACOSTIA RD SE



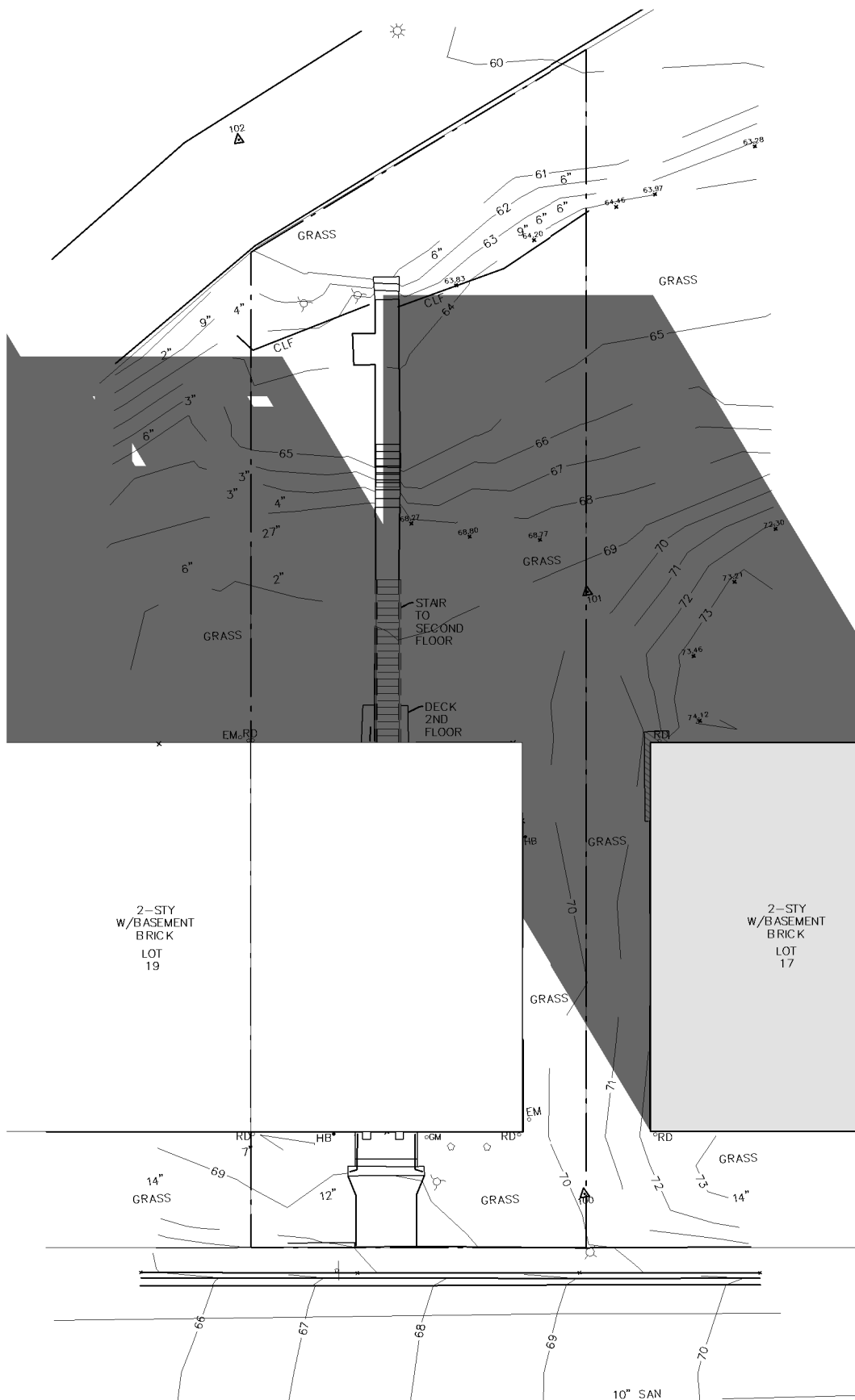
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1" = 20'-0"



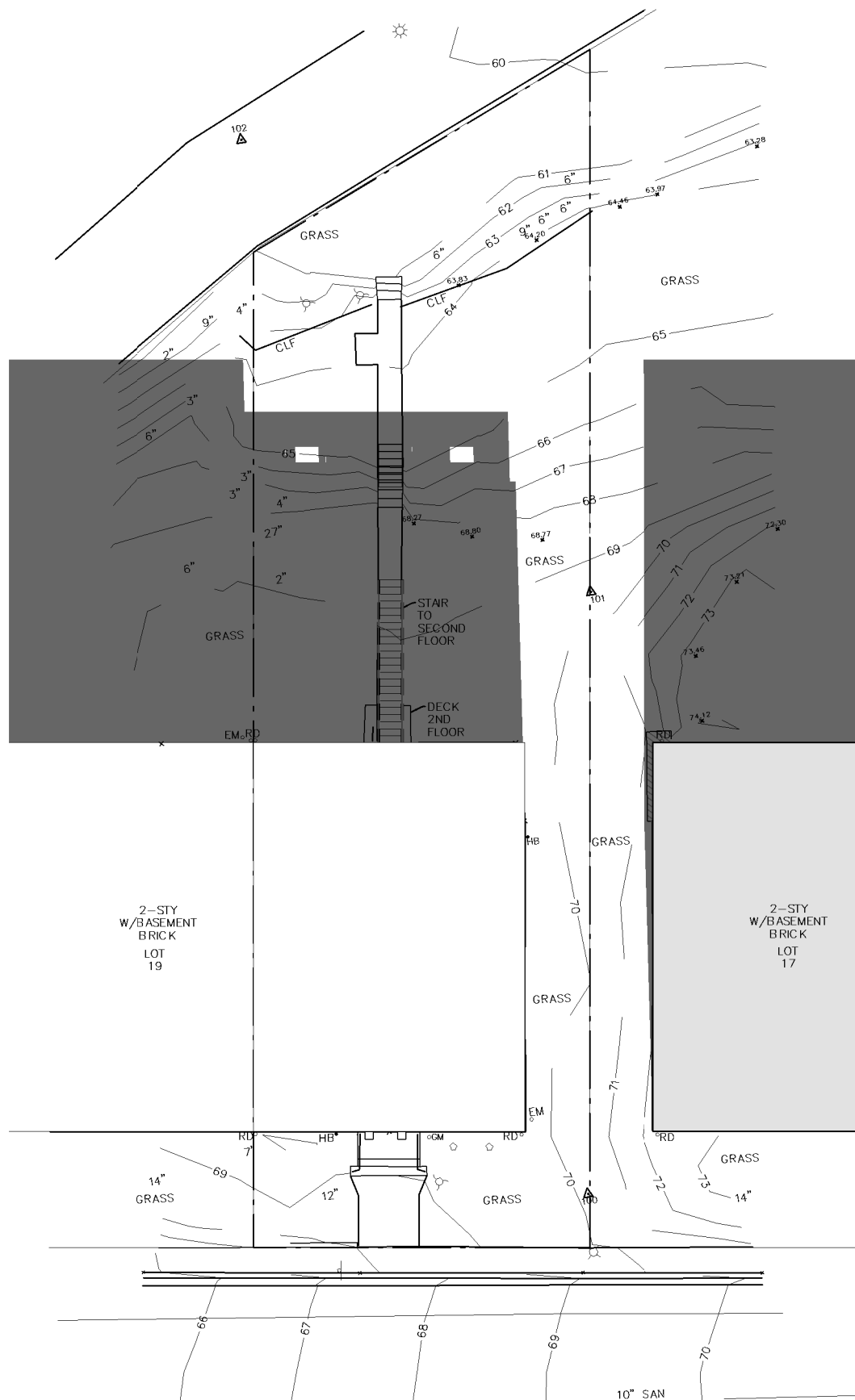
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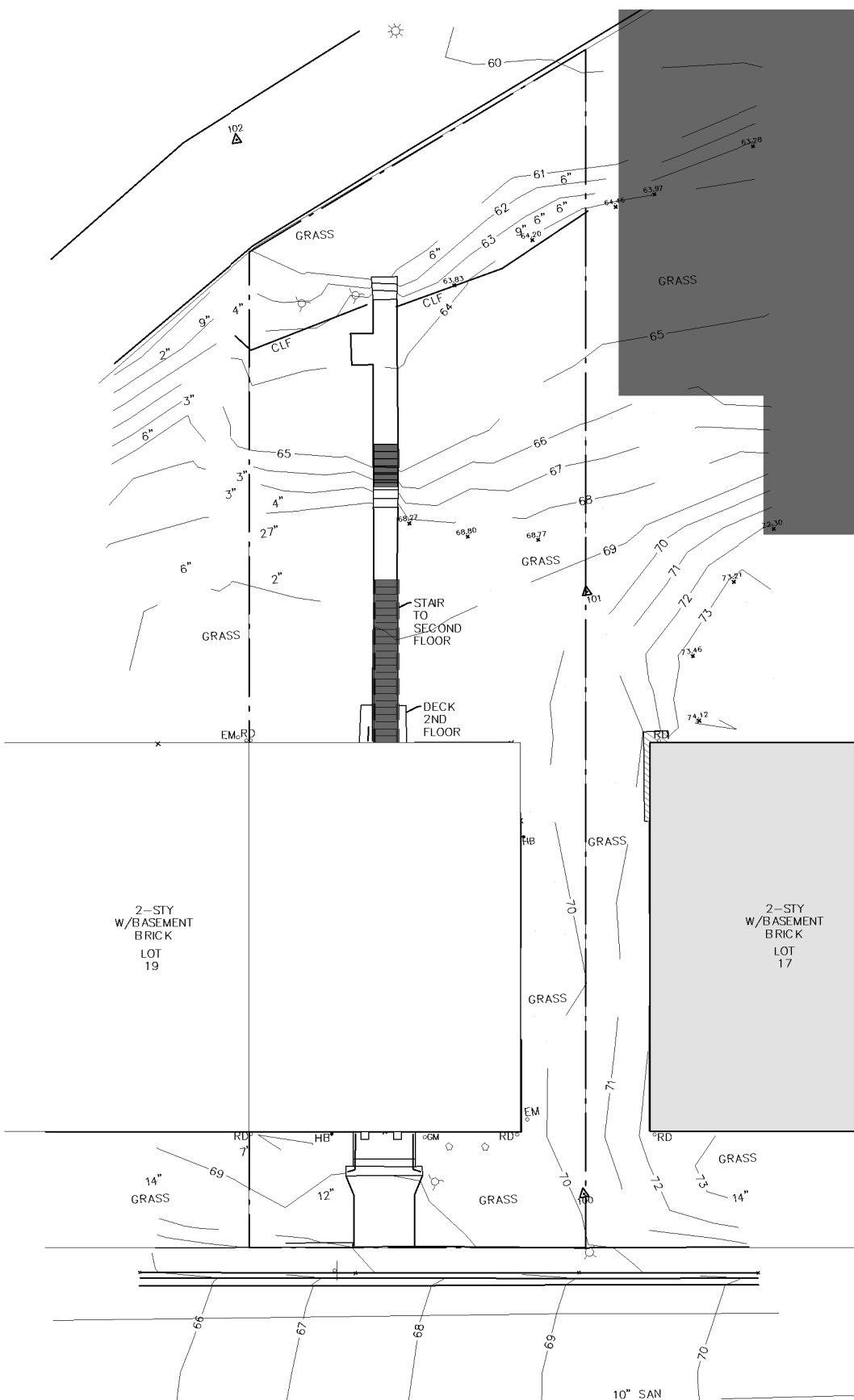
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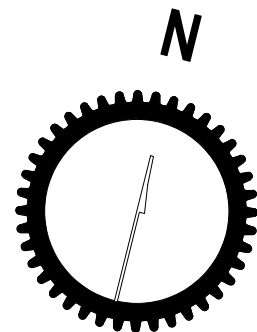
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1" = 20'-0"



5 SITE PLAN - WS - 12pm
1" = 20'-0"



6 SITE PLAN - WS - 4pm
1" = 20'-0"



DRAWING DATA

PROJECT: 1321RESIDENCES
ADDRESS: 1321 ANACOSTIA RD SE
WASHINGTON, DC 20019

SHEET SUBMISSION INDEX
ISSUE FOR BZA_30 APRIL 2024

REV. NO. REVISION DATE

SEAL & SIGNATURE:



I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.

SHEET TITLE: EXISTING SHADOW STUDIES

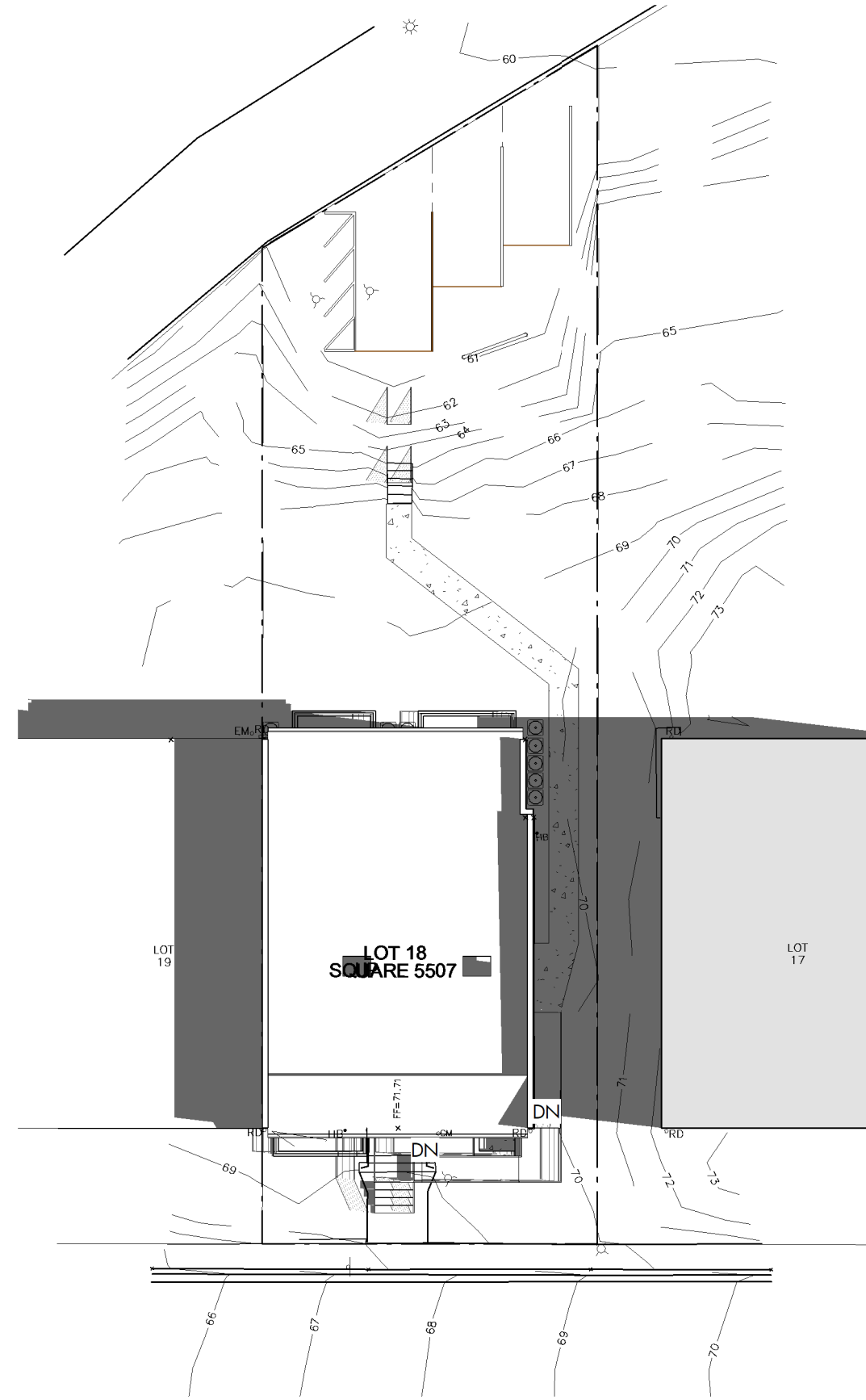
PROJECT NO: 2024.33
SCALE: 1" = 20'-0"



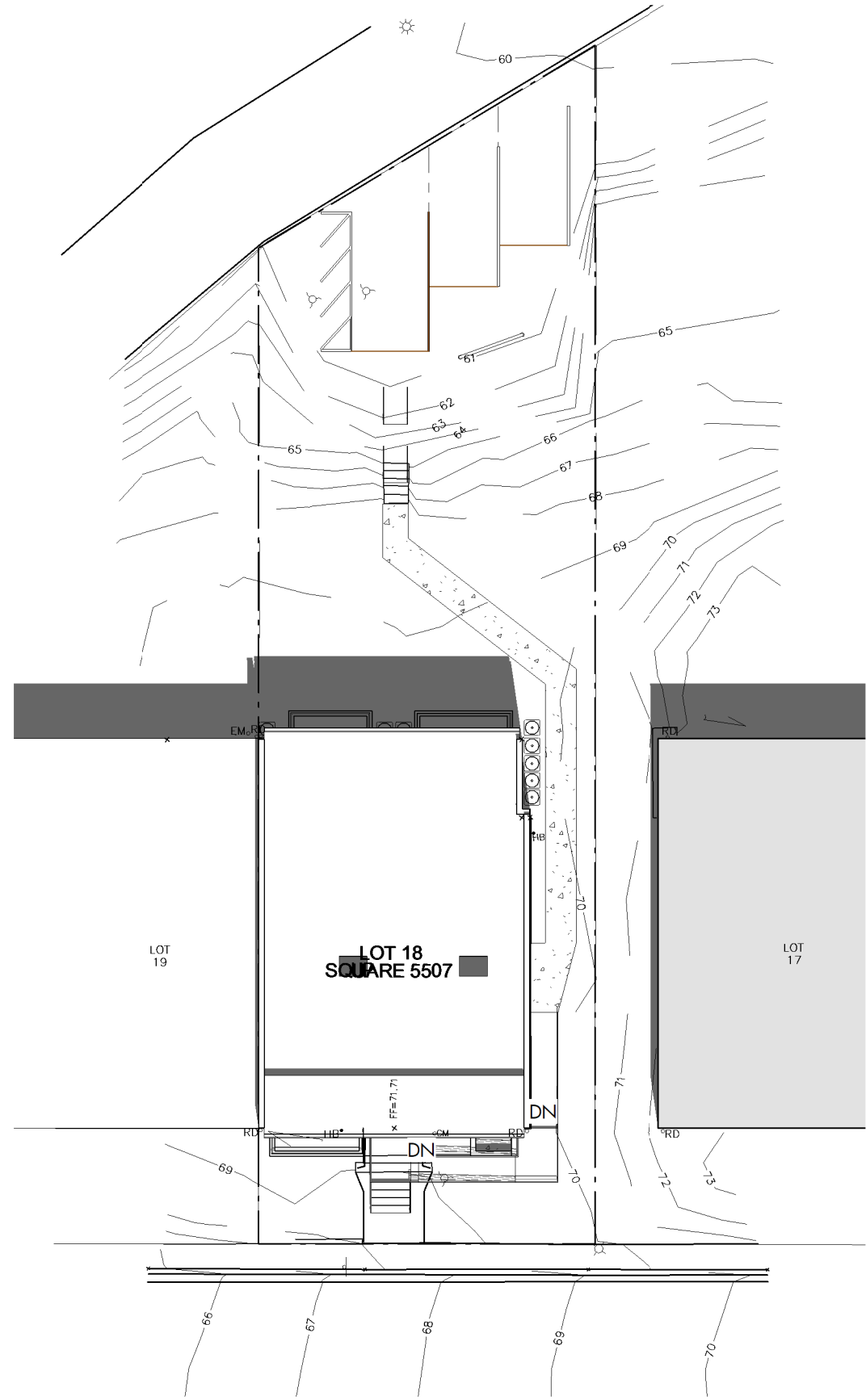
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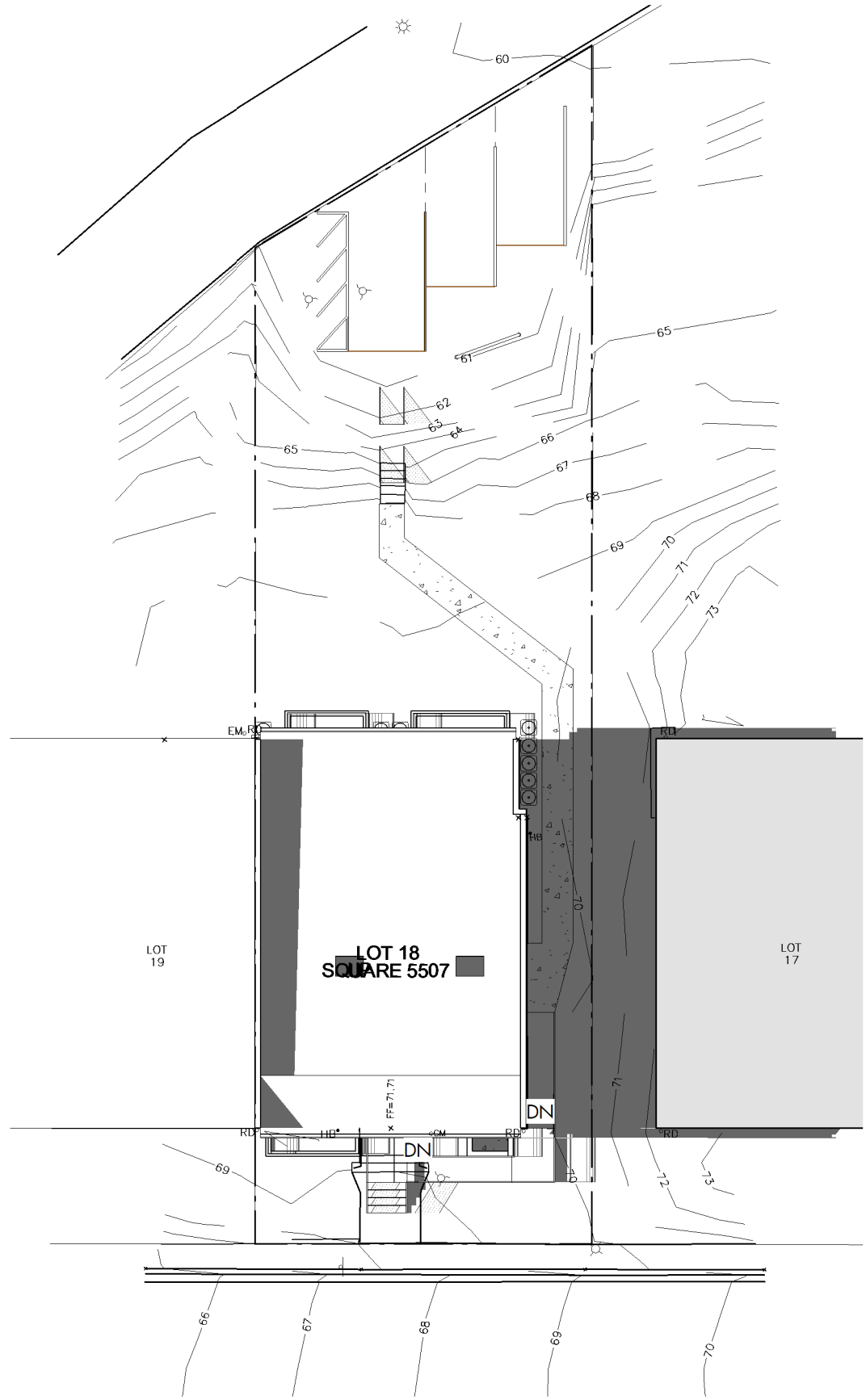
1321 ANACOSTIA RD SE



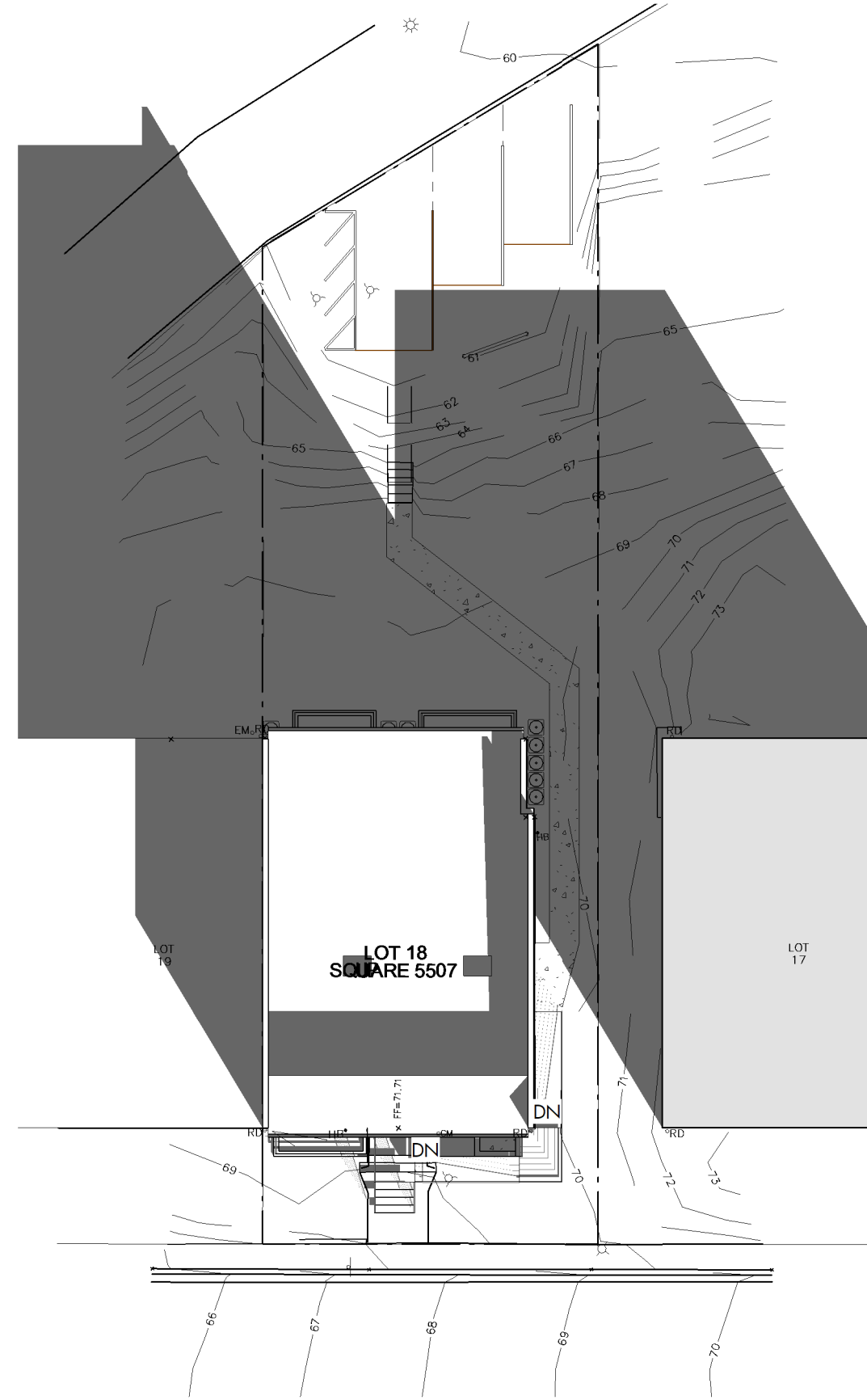
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AR041 1" = 20'-0"



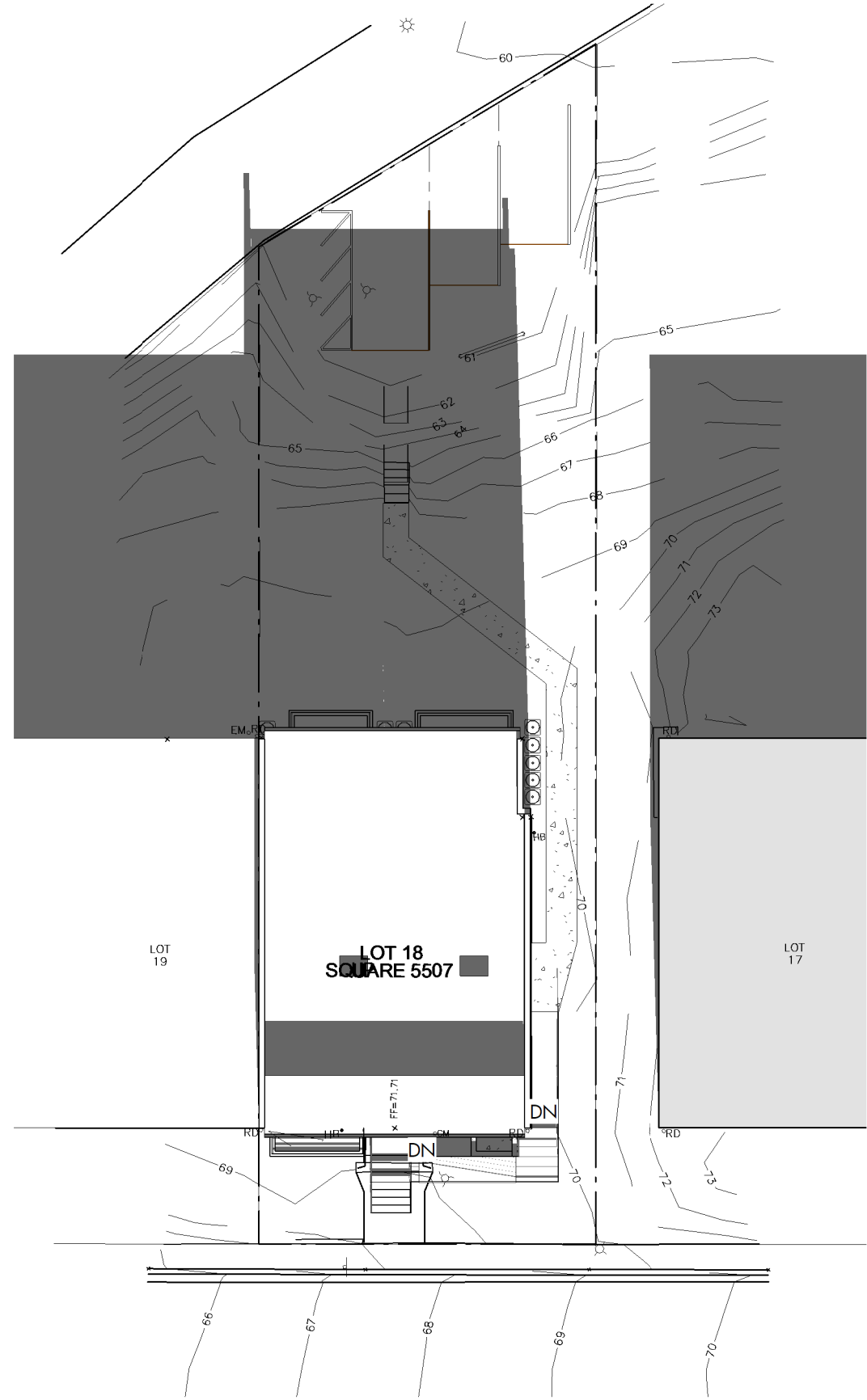
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AR041 1" = 20'-0"



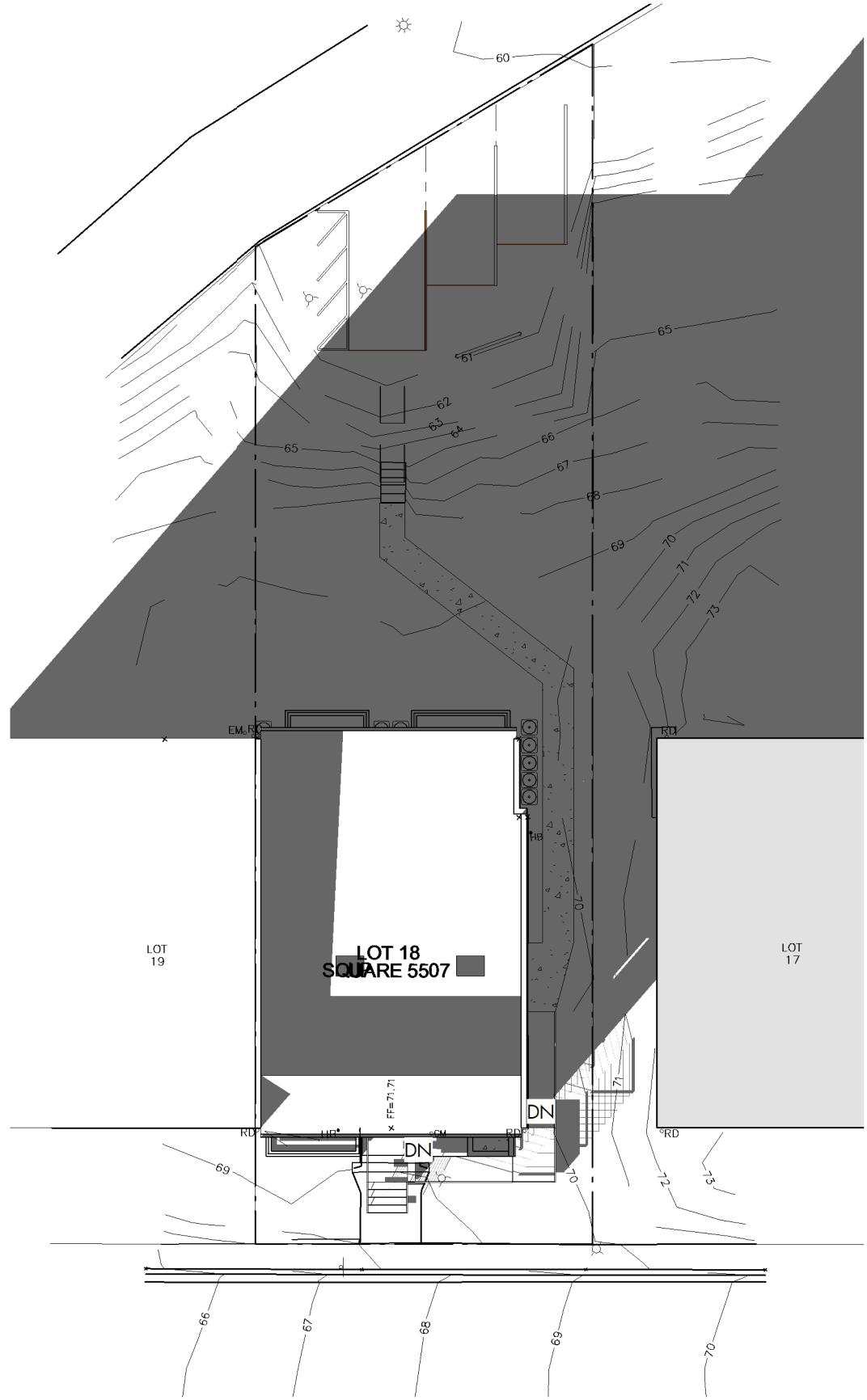
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AR041 1" = 20'-0"



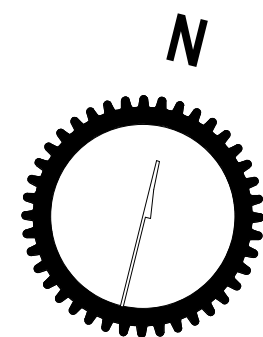
4 SITE PLAN - WS - 9am Copy 1
AR041 1" = 20'-0"



5 SITE PLAN - WS - 12pm Copy 1
AR041 1" = 20'-0"



6 SITE PLAN - WS - 4pm Copy 1
AR041 1" = 20'-0"



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3333 K Street NW, Suite 60
WASHINGTON, DC 20007
[T] 202.350.4244
[F] 202.350.4245
[W] 3877.DESIGN

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SHEET TITLE: PROPOSED SHADOW STUDIES

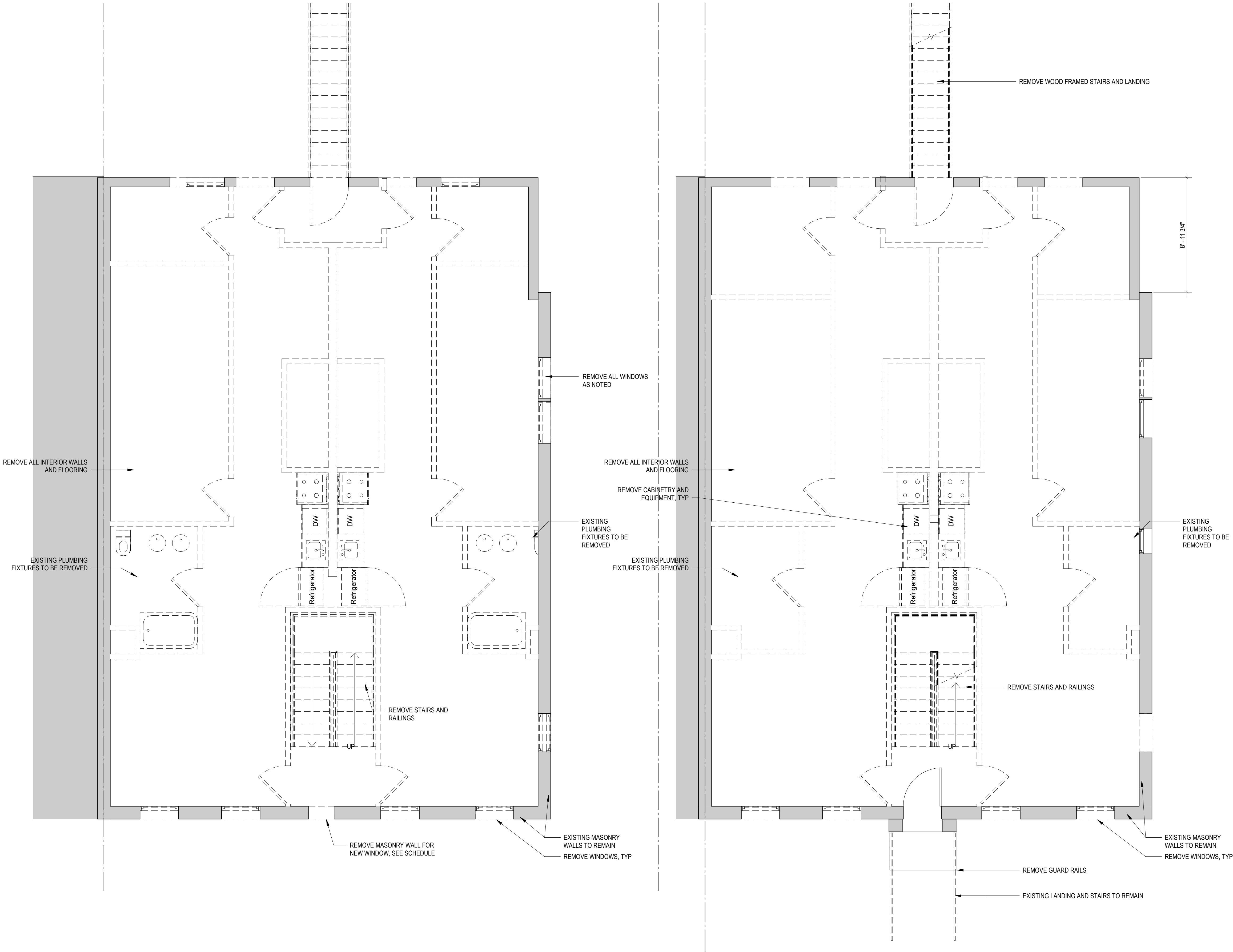
PROJECT NO: 2024.33
SCALE: 1" = 20'-0"

AR041

DEMOLITION NOTES

1. CONTRACTOR SHALL VISIT SITE TO DETERMINE AND VERIFY ALL EXISTING CONDITIONS.
2. PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED.
3. REMOVE EXISTING PARTITIONS, U.N.O.
4. REMOVE DOORS, FRAMES AND HARDWARE, U.N.O.
5. REMOVE EXISTING WINDOWS AS NOTED.
6. REMOVE ALL APPLIANCES THROUGHOUT, U.N.O.
7. REMOVE PLUMBING FIXTURES THROUGHOUT, U.N.O.
8. REMOVE ALL BRANCH WIRING REMOVED BACK TO PANEL (IDENTIFY AS SPARE) OR NEAREST JUNCTION BOX UNLESS NOTED OTHERWISE.
9. CONTRACTOR TO REMOVE/DISPOSE OF ALL REMAINING FURNITURE
10. REMOVE LIGHT FIXTURES THROUGHOUT, U.N.O.
11. REMOVE ALL EXISTING FLOOR FINSHES, SUBFLOOR TO REMAIN.

EXISTING TO REMAIN TO BE DEMOLISHED



2 LEVEL 02 - FLOOR PLAN - DEMOLITION
1/4" = 1'-0"

1 LEVEL 01 - FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



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CLIENT:
DISTRICT LINE DEVELOPMENT
MATT MEDVENE
700 RANDOLPH STREET NW
WASHINGTON DC 20011
[T] 703.589.4832

ARCHITECT:
/3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
[T] 202.350.4244
[W] WWW.3877.DESIGN

STRUCTURAL ENGINEER:
GAVIN & ASSOC. STRUCT. ENGRS, LLC
CHARLES GAVIN, P.E.
1050 30TH ST NW
MCLEAN, VA 22103
[T] 703.409.9795

LEGAL:
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ZACHARY WILLIAMS
600 MASSACHUSETTS AVE, NW
WASHINGTON DC 20001
[T] 202.344.3469

MEP ENGINEER:
KK ENGINEERING, LLC
KHALID KHALIFA, P.E. C.E.M.
5840 BANNER RD, SUITE 220
COLUMBIA, MD, 21044
[T] 443.393.1070

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CHRISTOPHER HUSKA
1050 30TH ST NW
WASHINGTON, DC 20007
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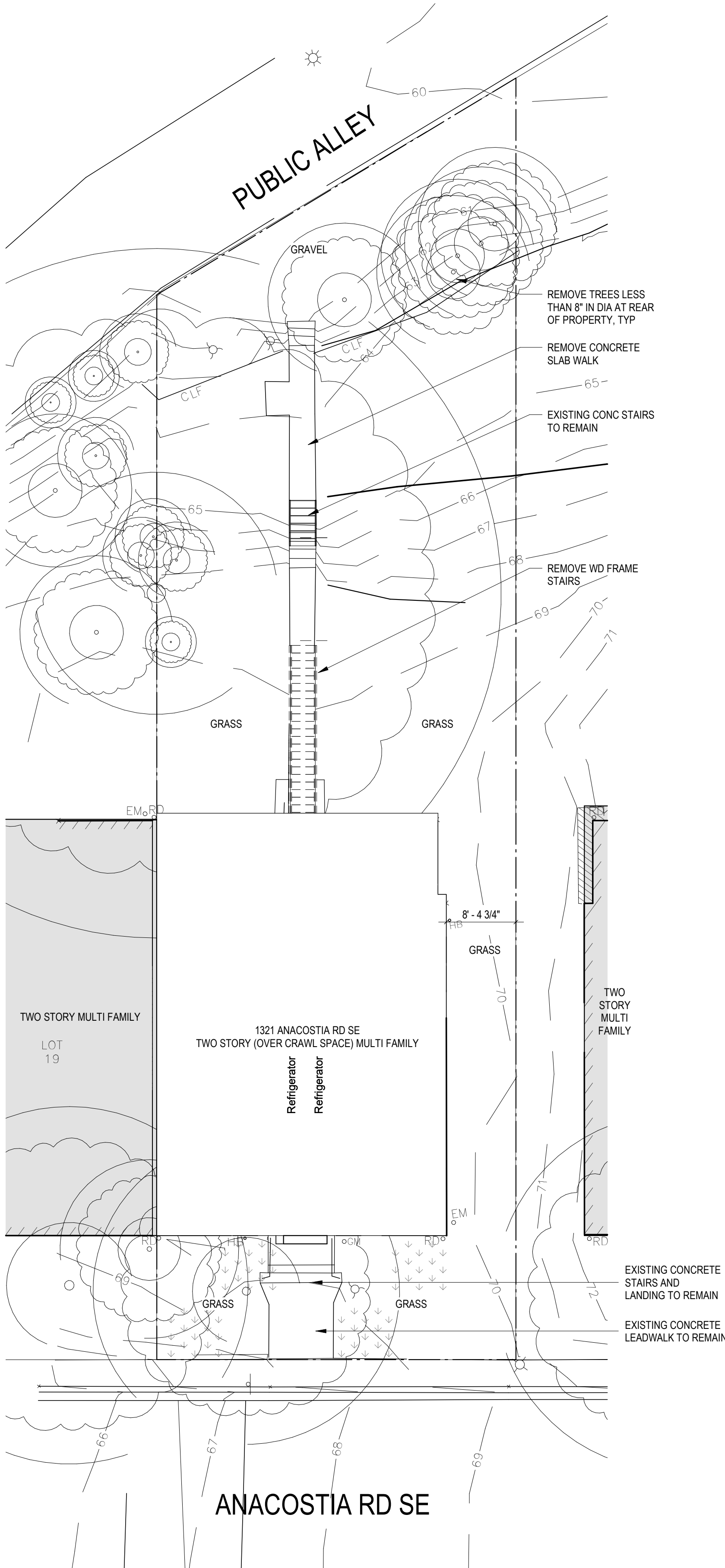
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PROJECT NO: 2024.33

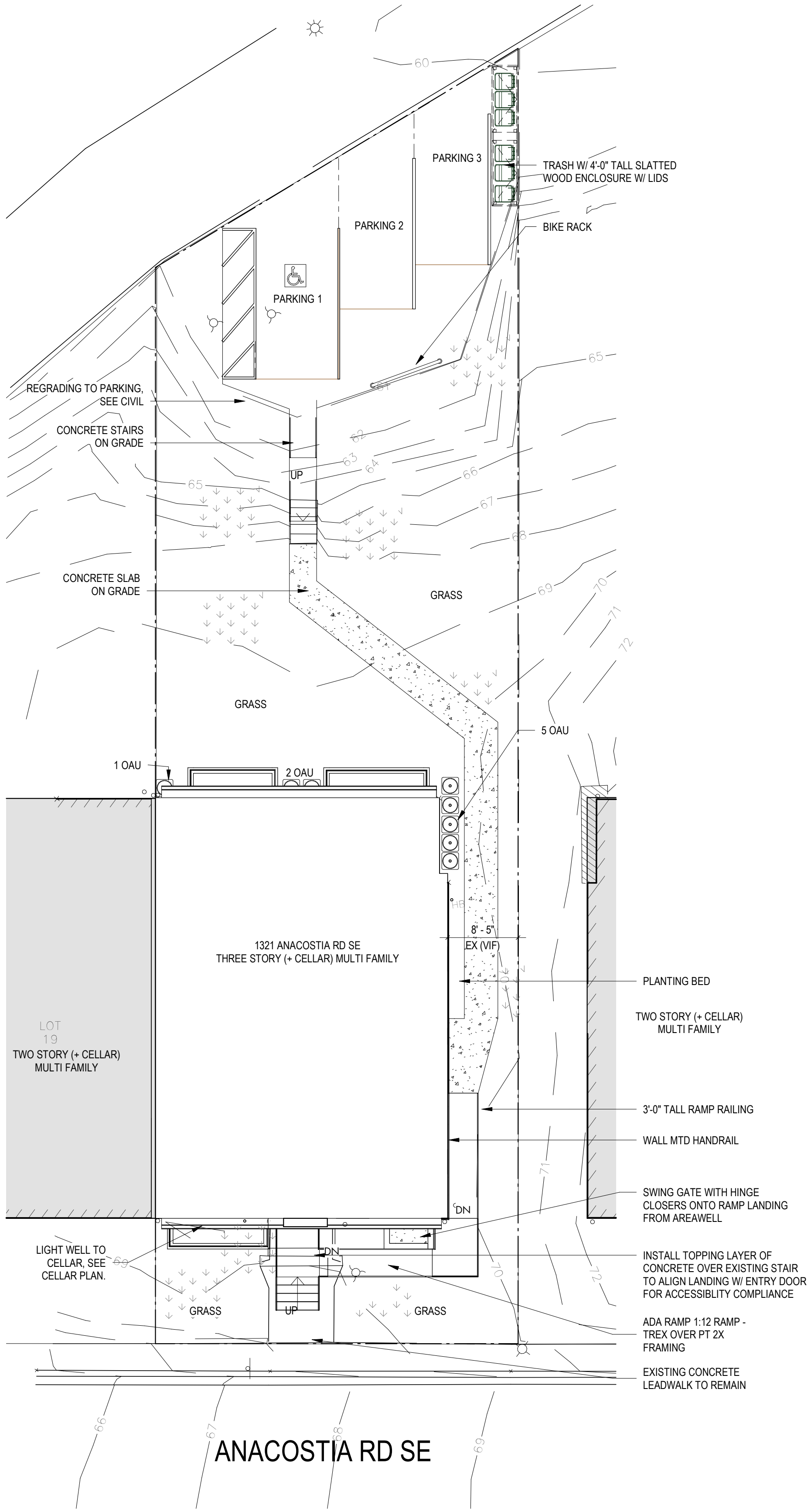
DATE ISSUED: 04/05/2022

SCALE: As indicated

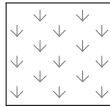
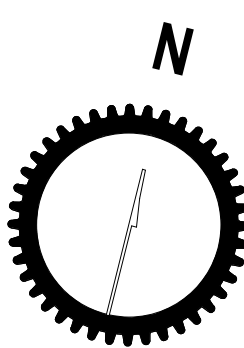
AR051



2 SITE PLAN - EXISTING
1" = 10'-0"



1 SITE PLAN - PROPOSED
1" = 10'-0"

SEQUENCE OF CONSTRUCTION	CIVIL NARRATIVE:			
SEQUENCE OF CONSTRUCTION A. CLEARING AND GRUBBING REQUIRED FOR PERIMETER CONTROLS; B. CONSTRUCTION OF PERIMETER CONTROLS; C. REMAINING CLEARING AND GRUBBING; D. ROAD GRADING; NOT APPLICABLE; E. GRADING FOR THE REMAINDER OF THE SITE; F. UTILITY INSTALLATION, INCLUDING THE USE OR BLOCKING OF STORM DRAINS AFTER CONSTRUCTION IF APPLICABLE; G. FINAL GRADING, LANDSCAPING, OR STABILIZATION; AND H. REMOVAL OF CONTROLS.	THE SITE WORK IS LIMITED TO THE INSTALLATION OF AN ADA LIFT, THE EXCAVATION OF EGRESS WELLS AT THE FRONT AND REAR FACADE AND THE INSTALLATION OF NEW CONCRETE OVER EXISTING STREET SIDE STAIR AND LANDING TO COMPLY WITH ACCESSIBILITY REQUIREMENTS. THE SCOPE ALSO INCLUDES PAVING FOR 3 PARKING SPACES AND TRASH OFF OF ALLEY			
CIVIL CALCULATION TABLE:				
	EXISTING	PROPOSED		
TOTAL LOT AREA:	6139 SF			
TOTAL PERVIOUS SURFACE SF	3632 SF	2456 SF		
TOTAL BUILDING FOOTPRINT:	1841 SF	1841 SF		
TOTAL PAVED FOOTPRINT:	666 SF	1842 SF		
CIVIL PLAN LEGEND				
<div></div> <div>- GRASS AND OTHER PERVIOUS VEGETATIVE SURFACE</div>				



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5840 BANNEKER RD, SUITE 220
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1050 30TH ST NW
WASHINGTON, DC 20007
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SHEET TITLE: SITE PLAN
PROJECT NO: 2024.33
DATE ISSUED: 04/05/2022
SCALE: 1" = 10'-0"

AR100

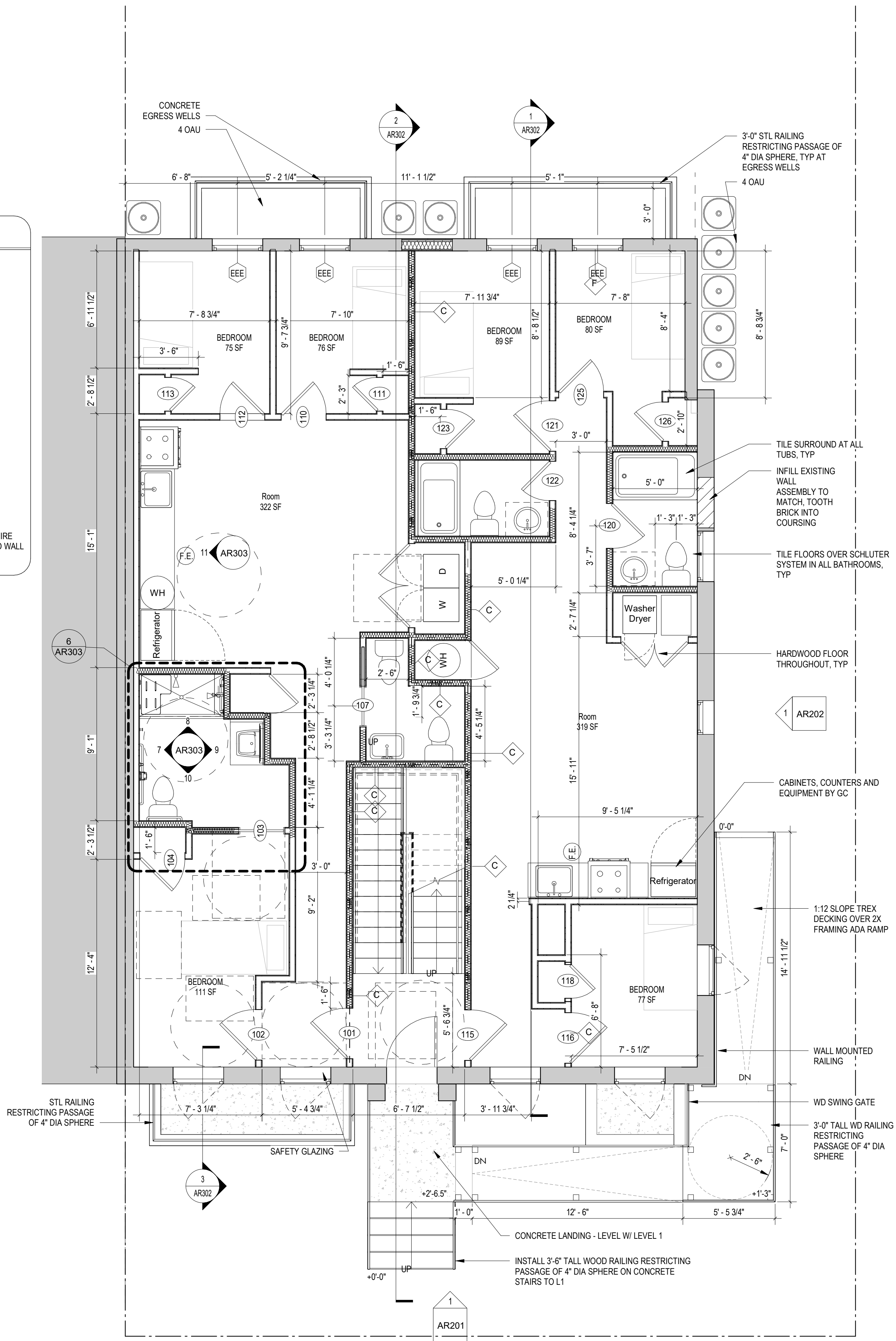
INTERIOR FINISHES (PER DCBC TABLE 803.11)

Class A = Flame spread index 0-25; smoke-developed index 0-450
Class B = Flame spread index 26-75; smoke-developed index 0-450
Class C = Flame spread index 76-200; smoke-developed index 0-450
OCCUPANCY GROUP A-2, SPRINKLERED (MOST RESTRICTIVE)
Interior exit stairways, interior exit ramps and exit passageways: Class B
Corridors and enclosure for exit access stairways and exit access ramps:
Class B
Rooms and enclosed spaces: Class C
a. Class C interior finish materials shall be permitted for wainscoting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.13.1.
b. In other than Group I-3 occupancies in buildings less than three stories above grade plane, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted in interior exit stairways and ramps.
c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.
d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than Class B materials.
e. Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.

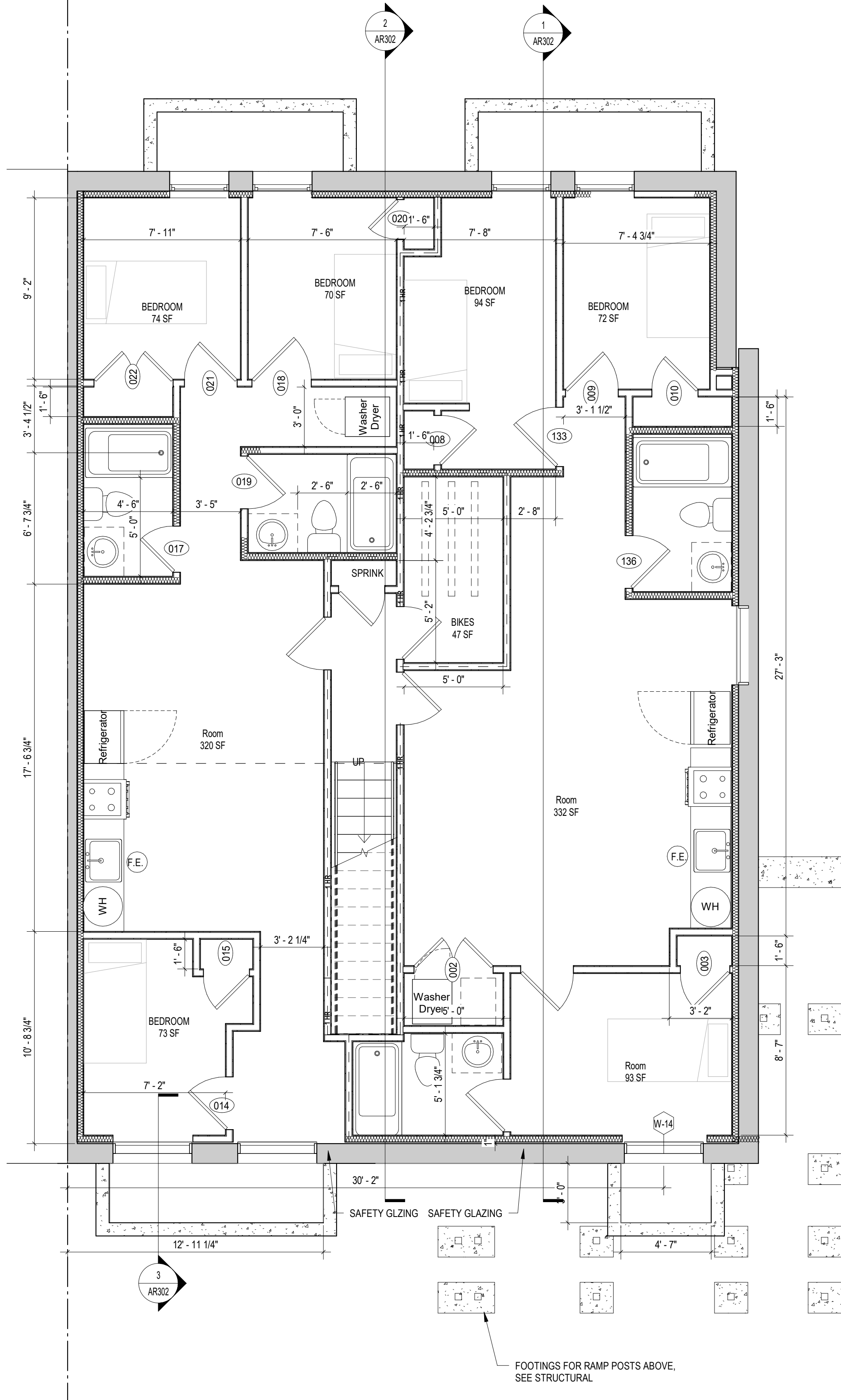
CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR PARTITION SCHEDULE.
- ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH
- ALL WALLS TO BE PAINTED - EGGSHELL FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- SEE ELEVATIONS FOR WINDOW TAGS
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY
- ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
- REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
- GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1
- AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOPE IN ACCORDANCE WITH 2017 IECC 402.4.1.2
- GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTINGUISHERS AS FOLLOWS: EA, STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.
- GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



2 LEVEL 01 - FLOOR PLAN - PROPOSED
1/4" = 1'-0"



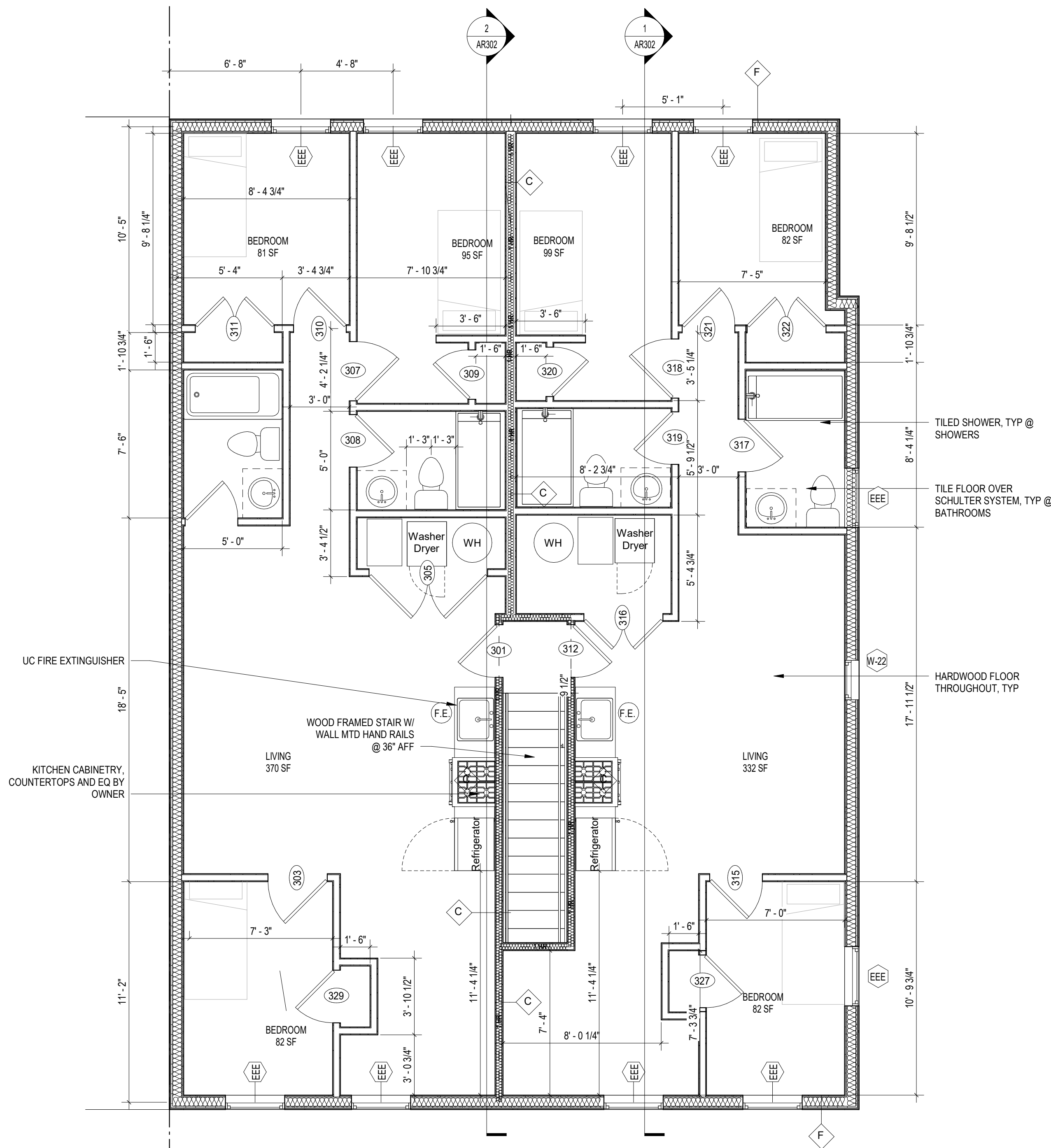
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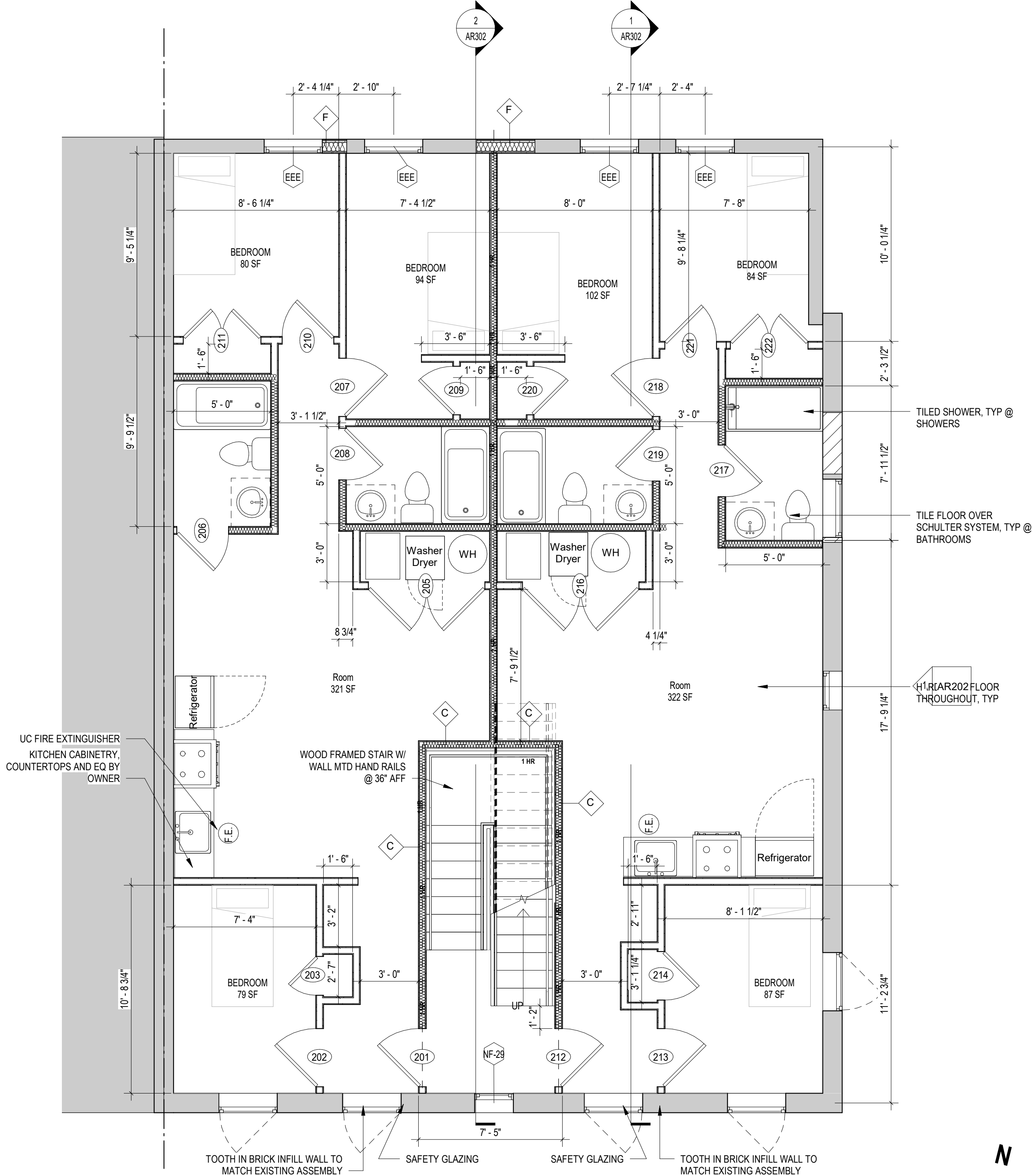
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- GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



2 LEVEL 03 - FLOOR PLAN - PROPOSED
1/4" = 1'-0"



1 LEVEL 02 - FLOOR PLAN - PROPOSED
1/4" = 1'-0"

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1	EXAMPLE REVISION DESCRIPTION	00 MMM 2000

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SHEET TITLE: FLOOR PLANS

PROJECT NO: 2024.33

DATE ISSUED: 04/05/2022

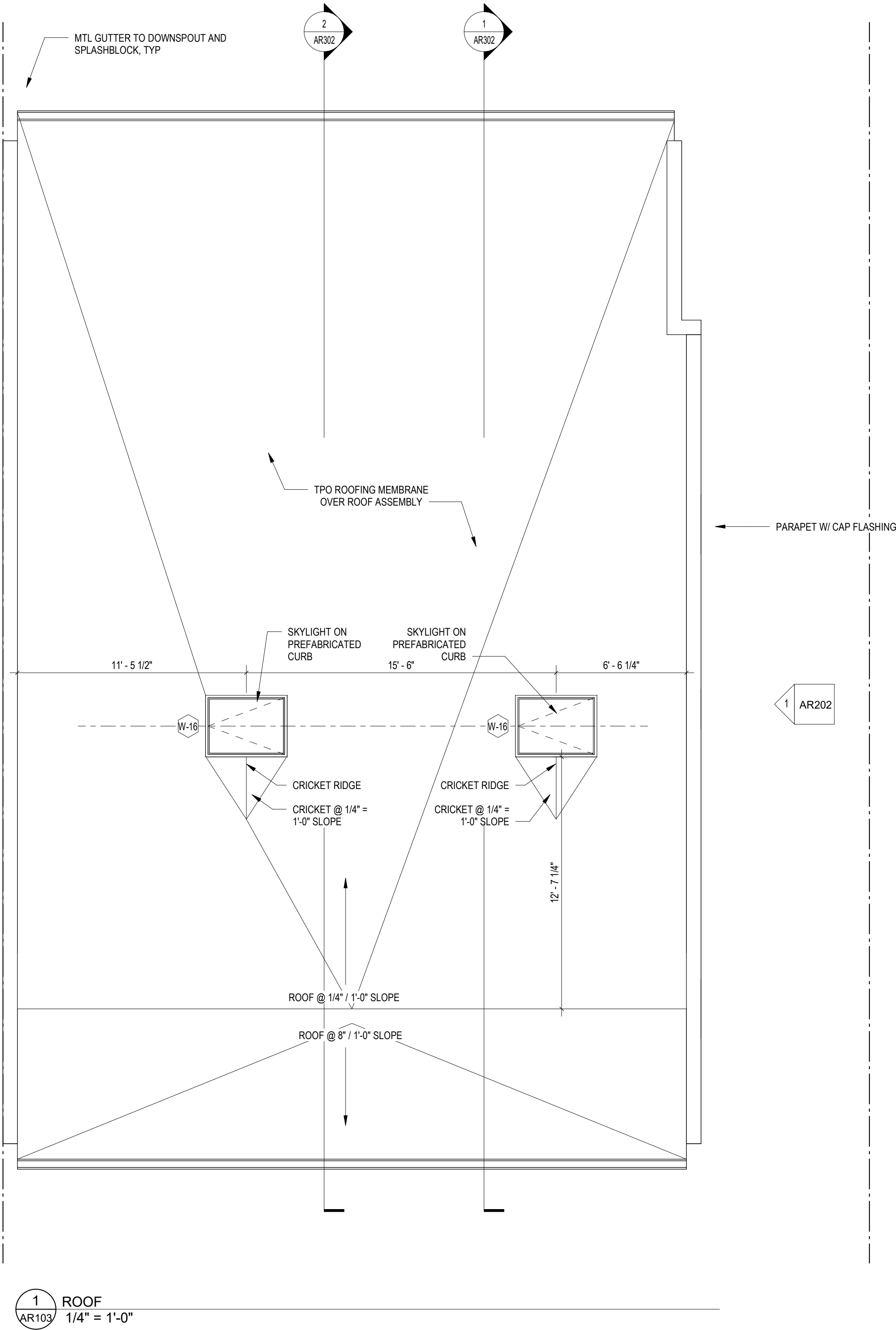
SCALE: As indicated

AR102

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE G1.01 FOR PARTITION SCHEDULE.
- ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH
- ALL WALLS TO BE PAINTED - EGGHELL FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- SEE ELEVATIONS FOR WINDOW TAGS
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY
- ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
- REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
- GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1
- AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2017 IECC 402.4.1.2
- GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTINGUISHERS AS FOLLOWS: EA. STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.
- GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



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CLIENT :
DISTRICT LINE DEVELOPMENT
MATT MEDVENE
700 RANDOLPH STREET NW
WASHINGTON DC 20011
[T] 703.589.4832

LEGAL :
VENABLE LLP
ZACHARY WILLIAMS
600 MASSACHUSETTS AVE, NW
WASHINGTON DC 20001
[T] 202.34434369

ARCHITECT :
/3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
[T] 202.350.4244
[W] WWW.3877.DESIGN

MEP ENGINEER :
KK ENGINEERING, LLC
KHALID KHALIFA, P.E. C.E.M.
5840 BANNEKER RD, SUITE 220
COLUMBIA, MD, 21044
[T] 443.393.1070

STRUCTURAL ENGINEER :
GAVIN & ASSOC. STRUCT. ENGRS, LLC
CHARLES GAVIN, P.E.
1050 30TH ST NW
MCLEAN, VA 22103
[T] 703.409.9795

CIVIL ENGINEER :
HUSKA ENGINEERING
CHRISTOPHER HUSKA
1050 30TH ST NW
WASHINGTON, DC 20007
[T] 703.425.3862

ISSUE FOR BZA

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WASHINGTON, DC 20019

SHEET SUBMISSION INDEX
ISSUE FOR BZA_30 APRIL 2024

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SHEET TITLE: FLOOR PLANS

PROJECT NO: 2024.33

DATE ISSUED: 03/03/24

SCALE: As indicated

AR103

CONSTRUCTION GENERAL NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GI.01 FOR PARTITION SCHEDULE
3. ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
4. ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH
5. ALL WALLS TO BE PAINTED - EGGSHELL FINISH
6. REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
7. SEE ELEVATIONS FOR WINDOW TAGS
8. PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY
9. ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
10. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
11. GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2017 IECC 402.1.1
12. AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP. IN ACCORDANCE WITH 2017 IECC 402.4.1.2
13. GC TO PROVIDE NO FEWER THAN ONE APPROVE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION 906. AREAS TO HAVE FIRE EXTINGUISHERS AS FOLLOWS: EA, STAIRWAY FLOOR LEVEL, STORAGE AND CONSTRUCTION SHED, WHERE SPECIAL HAZARDS EXIST. SEE PLAN FOR FIRE EXTINGUISHER (F.E.) LOCATIONS.
14. GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



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DISTRICT LINE DEVELOPMENT
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700 RANDOLPH STREET NW
WASHINGTON DC 20011
[T] 703.589.4832

LEGAL:
VENABLE LLP
ZACHARY WILLIAMS
600 MASSACHUSETTS AVE, NW
WASHINGTON DC 20001
[T] 202.344.3469

ARCHITECT:
/3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
[T] 202.350.4244
[W] WWW.3877.DESIGN

MEP ENGINEER:
KK ENGINEERING, LLC
KHALID KHALIFA, P.E. C.E.M.
5840 BANNEKER RD, SUITE 220
COLUMBIA, MD, 21044
[T] 443.393.1070

STRUCTURAL ENGINEER:
GAVIN & ASSOC. STRUCT. ENGRS, LLC
CHARLES GAVIN, P.E.
1050 30TH ST NW
MCLEAN, VA 22103
[T] 703.409.9795

CIVIL ENGINEER:
HUSKA ENGINEERING
CHRISTOPHER HUSKA
1050 30TH ST NW
WASHINGTON, DC 20007
[T] 703.425.3862

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SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2024.33

DATE ISSUED: 04/05/2022

SCALE: As indicated

AR201



2 REAR ELEVATION - NEW CONSTRUCTION
1/4" = 1'-0"



1 FRONT ELEVATION - NEW CONSTRUCTION
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE G1.01 FOR PARTITION SCHEDULE
- ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH
- ALL WALLS TO BE PAINTED - EGGSHELL FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- SEE ELEVATIONS FOR WINDOW TAGS
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY
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- GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



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ARCHITECT : /3877 DAVID TRACZ, AIA, NCARB DAVID SHOVE BROWN, AIA, NCARB 3333 K STREET NW, SUITE 60 WASHINGTON DC 20007 [T] 202.350.4244 [W] WWW.3877.DESIGN	MEP ENGINEER : KK ENGINEERING, LLC KHALID KHALIFA, P.E. C.E.M. 5840 BANNER RD, SUITE 220 COLUMBIA, MD, 21044 [T] 443.393.1070
STRUCTURAL ENGINEER : GAVIN & ASSOC. STRUCT. ENGRS, LLC CHARLES GAVIN, P.E. 1050 30TH ST NW MCLEAN, VA 22103 [T] 703-409-9795	CIVIL ENGINEER : HUSKA ENGINEERING CHRISTOPHER HUSKA 1050 30TH ST NW WASHINGTON, DC 20007 [T] 703.425.3862

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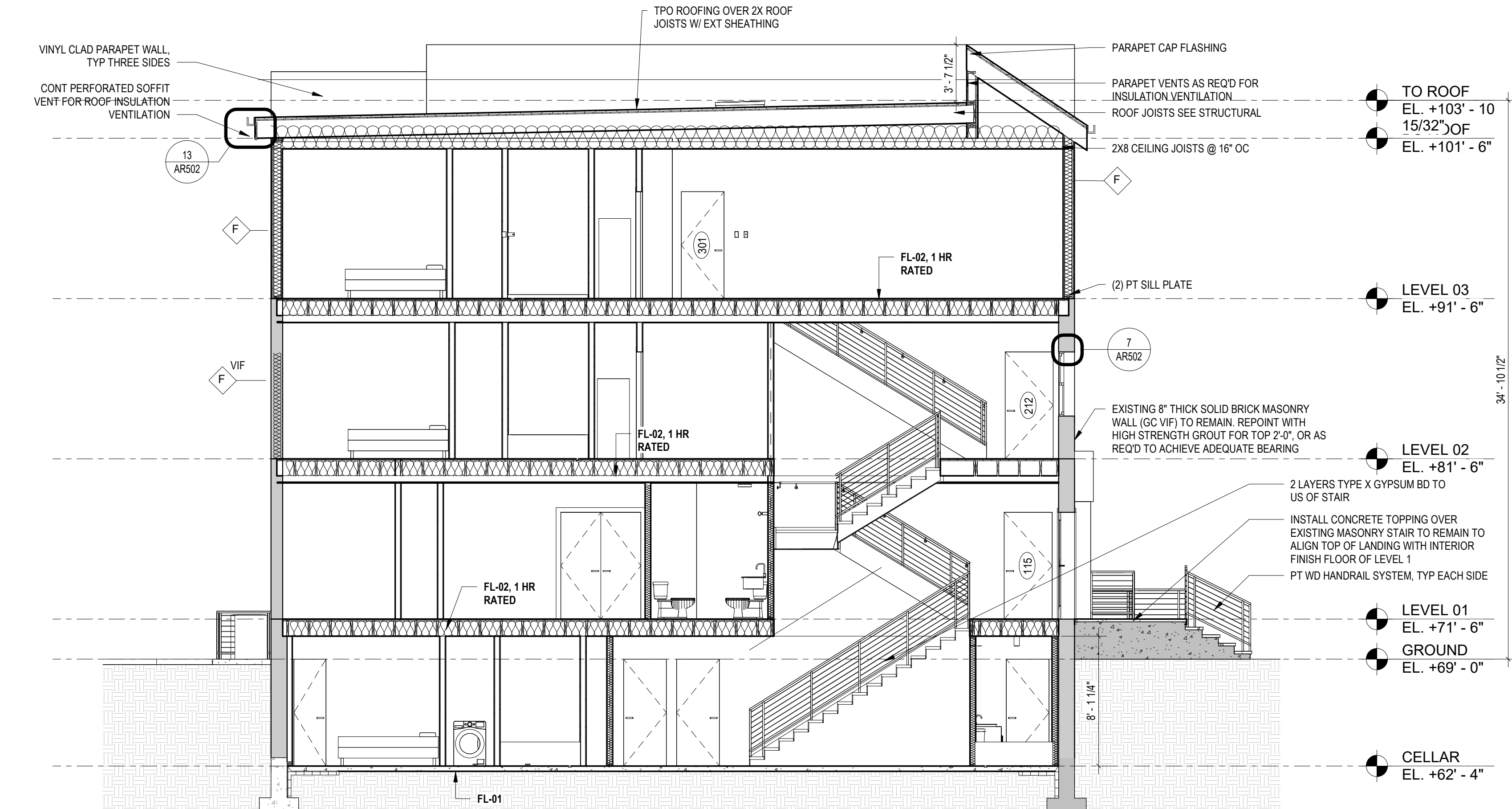
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SHEET TITLE: ELEVATIONS
PROJECT NO: 2024.33
DATE ISSUED: 04/19/24
SCALE: As indicated

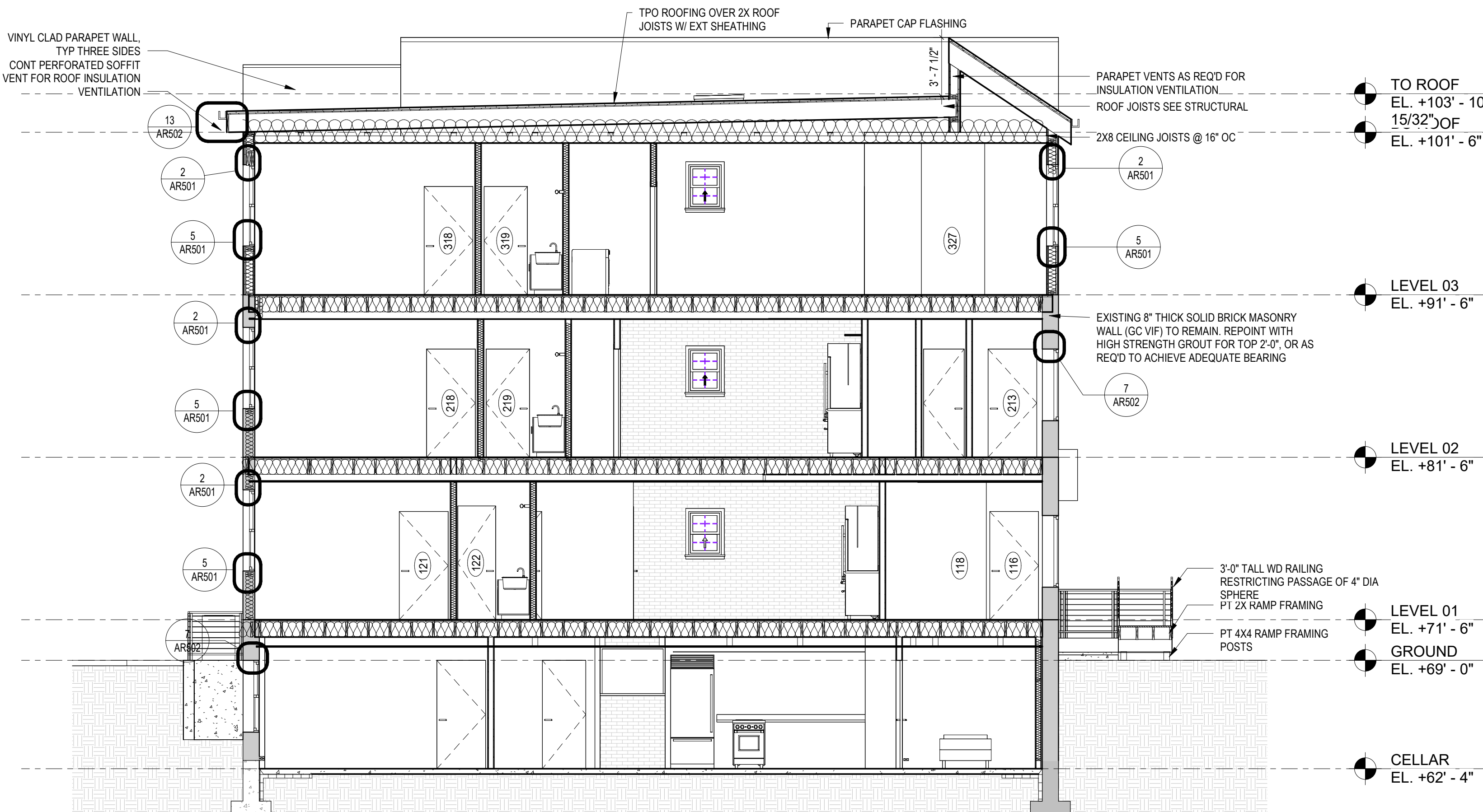
AR202



1 SIDE ELEVATION
AR202 1/4" = 1'-0"



2 Section 1
3/16" = 1'-0"

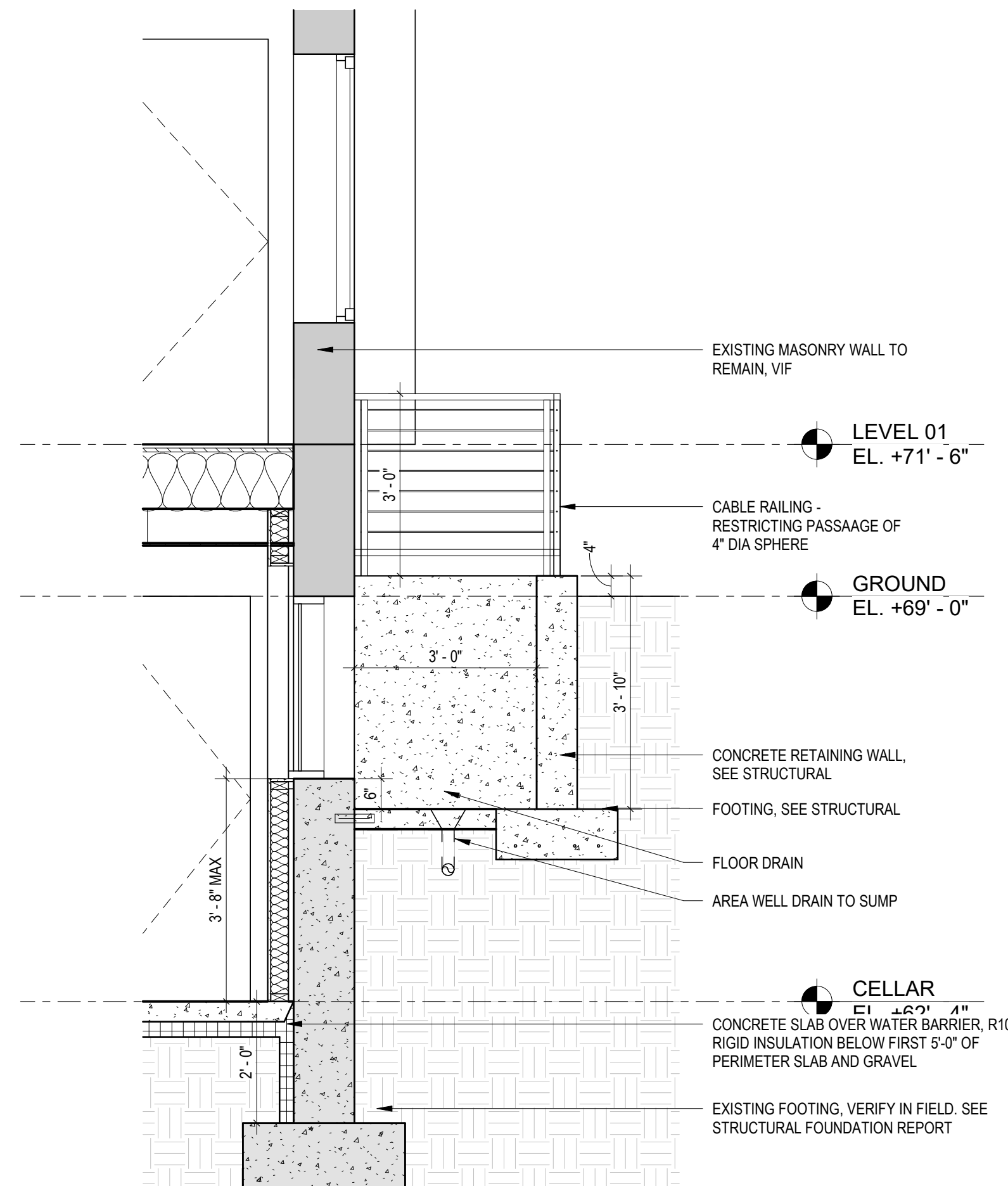


1 Section 3
3/16" = 1'-0"

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE GL01 FOR PARTITION SCHEDULE
- ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
- ALL CEILINGS TO BE 5/8" GWB - PAINTED - FLAT FINISH
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- GC TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN AREAS.

EXISTING TO REMAIN NEW CONSTRUCTION 1 HR 1 HR FIRE RATED WALL



3 AREA WELL SECTION
1/2" = 1'-0"



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[T] 703.589.4832

LEGAL:
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ZACHARY WILLIAMS
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WASHINGTON DC 20001
[T] 202.344.3469

ARCHITECT:
/3877
DAVID TRACZ, AIA, NCARB
DAVID SHOVE BROWN, AIA, NCARB
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
[T] 202.350.4244
[W] WWW.3877.DESIGN

MEP ENGINEER:
KK ENGINEERING, LLC
KHALID KHALIFA, P.E. C.E.M.
5840 BANNEKER RD, SUITE 220
COLUMBIA, MD, 21044
[T] 443.393.1070

STRUCTURAL ENGINEER:
GAVIN & ASSOC. STRUCT. ENGRS, LLC
CHARLES GAVIN, P.E.
1050 30TH ST NW
MCLEAN, VA 22103
[T] 703.409.9795

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HUSKA ENGINEERING
CHRISTOPHER HUSKA
1050 30TH ST NW
WASHINGTON, DC 20007
[T] 703.425.3862

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SHEET TITLE: BUILDING SECTIONS

PROJECT NO: 2024.33

DATE ISSUED: 03/12/24

SCALE: As indicated

AR302