

A

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1

723 ONEIDA PL NW

DETACHED ADU ADDITION



SHEET INDEX

CS01	-	COVER SHEET
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A101	-	DETACHED ADU

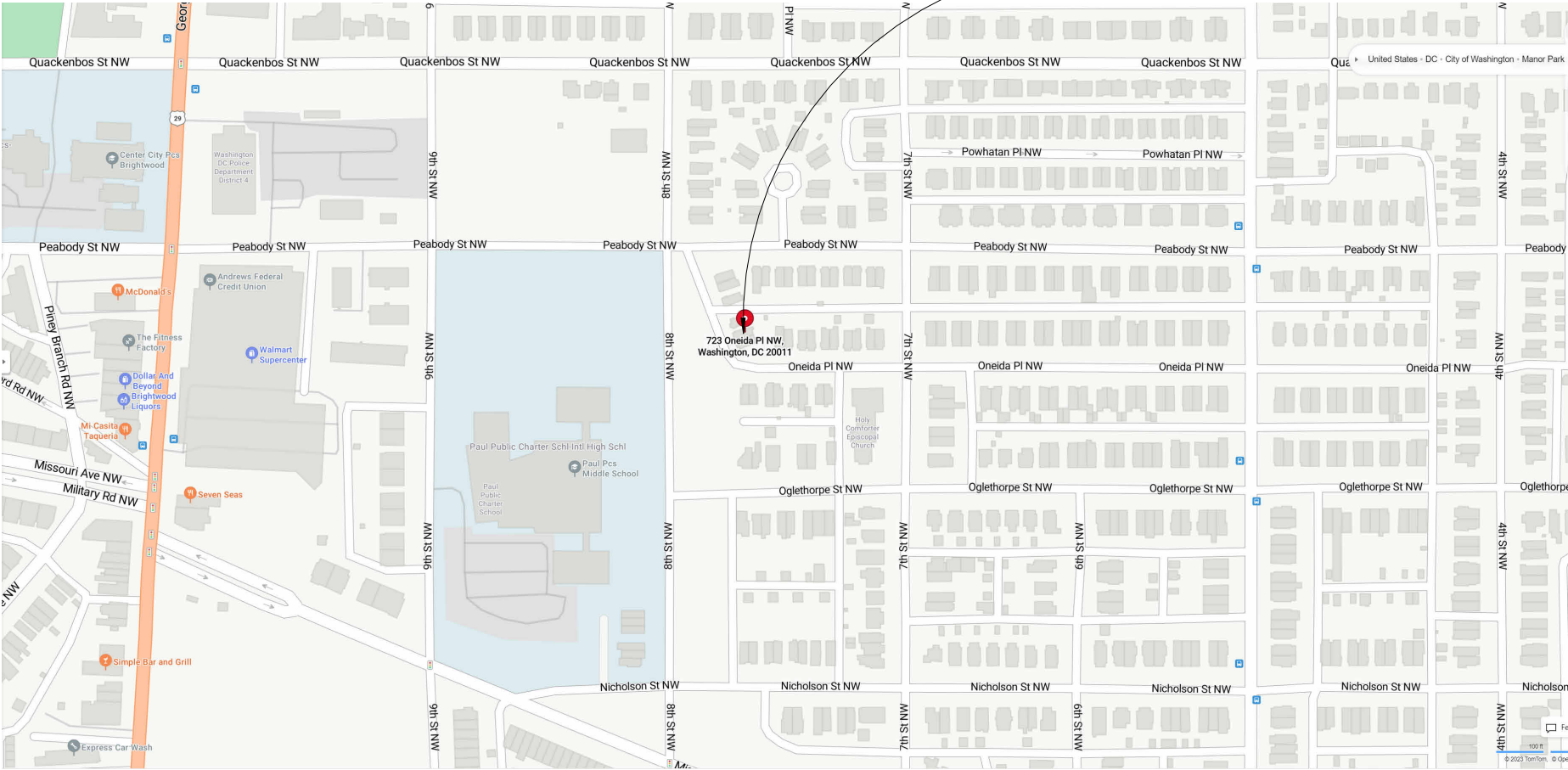
PROJECT LOCATION

PROJECT ADDRESS:	723 ONEIDA PL NW, D.C. 20011
NEIGHBORHOOD:	17 - BRIGHTWOOD
ZONING:	R-2
SQUARE // LOT	3158 // 0042

PROJECT DESCRIPTION

DETACHED ACCESSORY DWELLING UNIT ADDITION TO EXISTING SINGLE-FAMILY SEMI-DETACHED RESIDENCE

VICINITY MAP



C

723 ONEIDA PL NW

SEMI-DETACHED SINGLE-FAMILY
DETACHED ADU ADDITION

DATE	DESCRIPTION
2024-05-02	REVISED ADU DESIGN

DRAWING TITLE
COVER SHEET

STAMP

A

PROJECT NO.
FS2024001
DRAWN BY:
Author
SCALE:

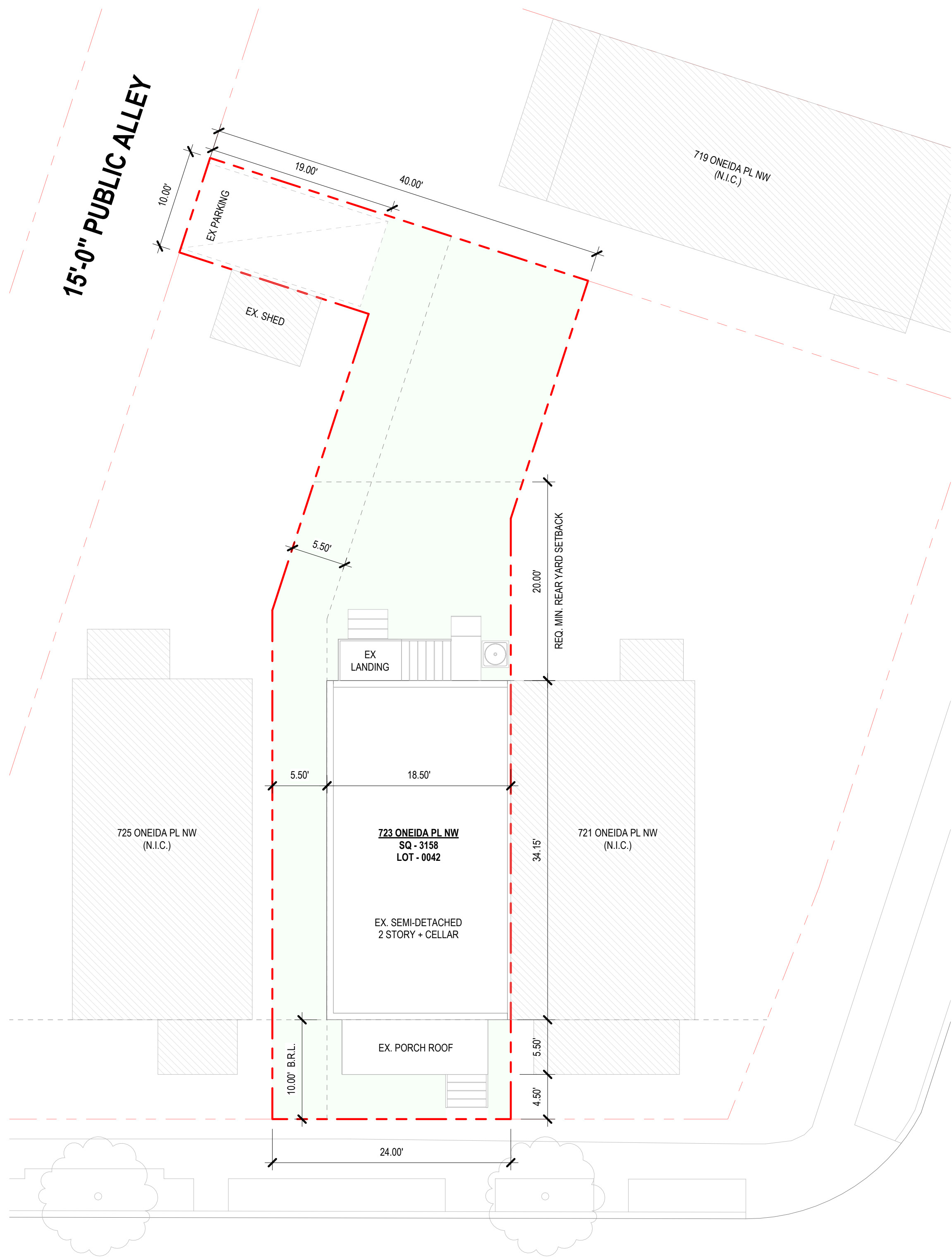
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DWG. NO.

CS01

C

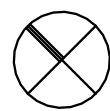
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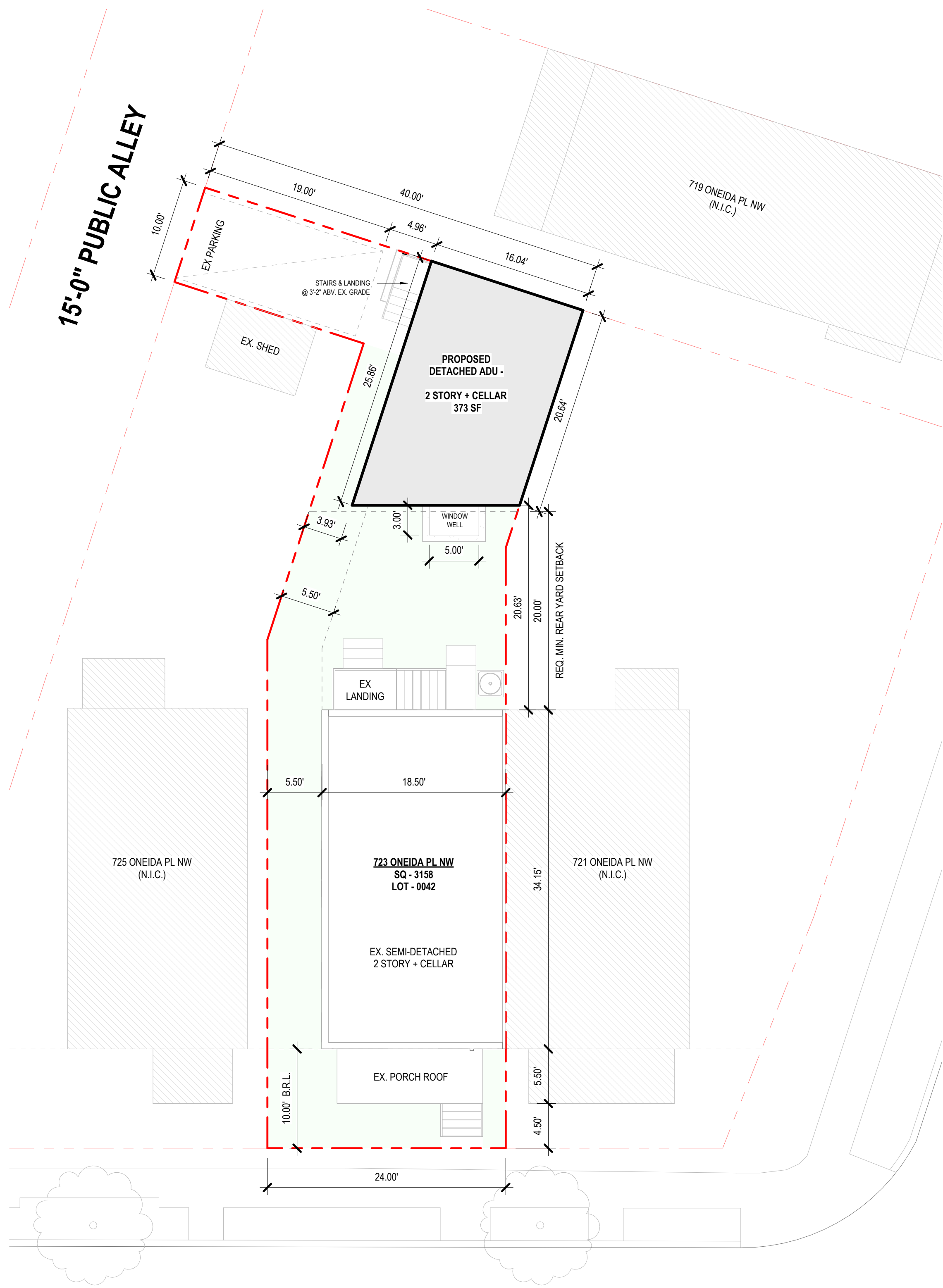


ONEIDA PLACEN.W.

1 EXISTING SITE PLAN
1/8" = 1'-0"

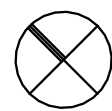


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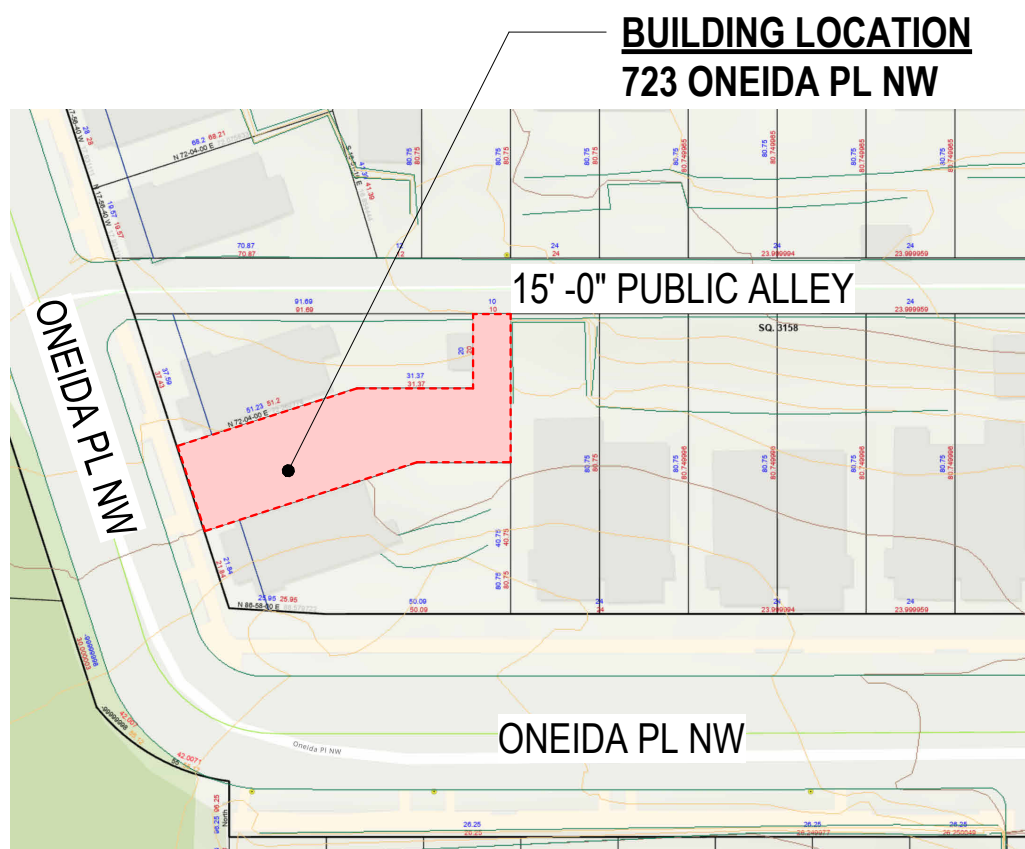


ONEIDA PLACEN.W.

2 PROPOSED SITE PLAN
1/8" = 1'-0"



2



A - VICINITY MAP



PROJECT NARRATIVE

ADDITION OF A DETACHED 2-STORY PLUS CELLAR ACCESSORY DWELLING UNIT (ADU) SUBJECT TO BZA APPROVAL FOR RELIEF FROM THE 40% MAXIMUM LOT OCCUPANCY (ZONE R-2)

BUILDING INFORMATION

BUILDING AREA AND INFO

ADDRESS: 723 ONEIDA PL NW
SQ // LOT: 3158 // 0042
ZONE: R-2

EXISTING LOT AREA: 2,206 SF

EX. MAIN BLDG.: 650 SF

EX. PORCH ROOF: 80 SF

LOT COVERAGE: 730 SF (33.09%)

PROPOSED ADU: 373 SF

LOT COVERAGE: 1,103 SF (50.00%)

*ADDITION OF THE ADU WILL PUT THE LOT OCCUPANCY OVER THE ALLOWED LIMIT OF 40%. ANY ADDITION BEYOND THE MAX. ALLOWED LOT OCCUPANCY IS SUBJECT TO BZA REVIEW & APPROVAL.

ZONING INFO / ANALYSIS

BUILDING HEIGHT ALLOWABLE:	MAX. ALLOWED: 40'-0"
	UNCHANGED: 23'-6"
STORIES:	ALLOWABLE: 3
	EXISTING: 2 PLUS CELLAR
FRONT YARD:	MIN. REQUIRED: WITHIN RANGE OF EXST.
	PROPOSED: N/A
SIDE YARD:	MIN. REQUIRED: 8'-0" (ONE SIDE)
	EXISTING: 5'-6" (UNCHANGED)
REAR YARD:	MIN. REQUIRED: 20'-0"
	PROPOSED: 20'-7 1/2"
LOT OCCUPANCY:	MAX ALLOWED: 40% (882 SF)
	PROPOSED: 50.00 % (1,103 SF)
PERVIOUS AREA:	MIN. REQUIRED: 30% (662 SF)
	PROVIDED: 43.06 % (950 SF)
PARKING:	REQUIRED: N/A
	EXISTING: 1 VIA PUBLIC ALLEY

ACCESSORY DWELLING UNIT PER:
DCMR 11 SUBTITLE D, CHAPTER 50
DCMR 11 SUBTITLE U - 253

BUILDING HEIGHT ALLOWABLE: MAX ALLOWED: 22'-0"
PROPOSED: 22'-0" TO ROOF H.P.
OF STORIES PROPOSED: 2 STORIES + CELLAR

DISTANCE FROM MAIN BLDG. MIN. REQUIRED: 20'-0"
PROPOSED: 20'-0"

MAX. FOOTPRINT (SF): MAX ALLOWED: 450 SF
PROPOSED: 373 SF

DIST. TO ADJACENT: < 300 FT. (SEE VICINITY PLAN ABOVE)
PUBLIC STREET - ONEIDA PL NW EX. ALLEY WIDTH: 15'-0"



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723 ONEIDA PL NW
SEMI-DETACHED SINGLE-FAMILY
DETACHED ADU ADDITION

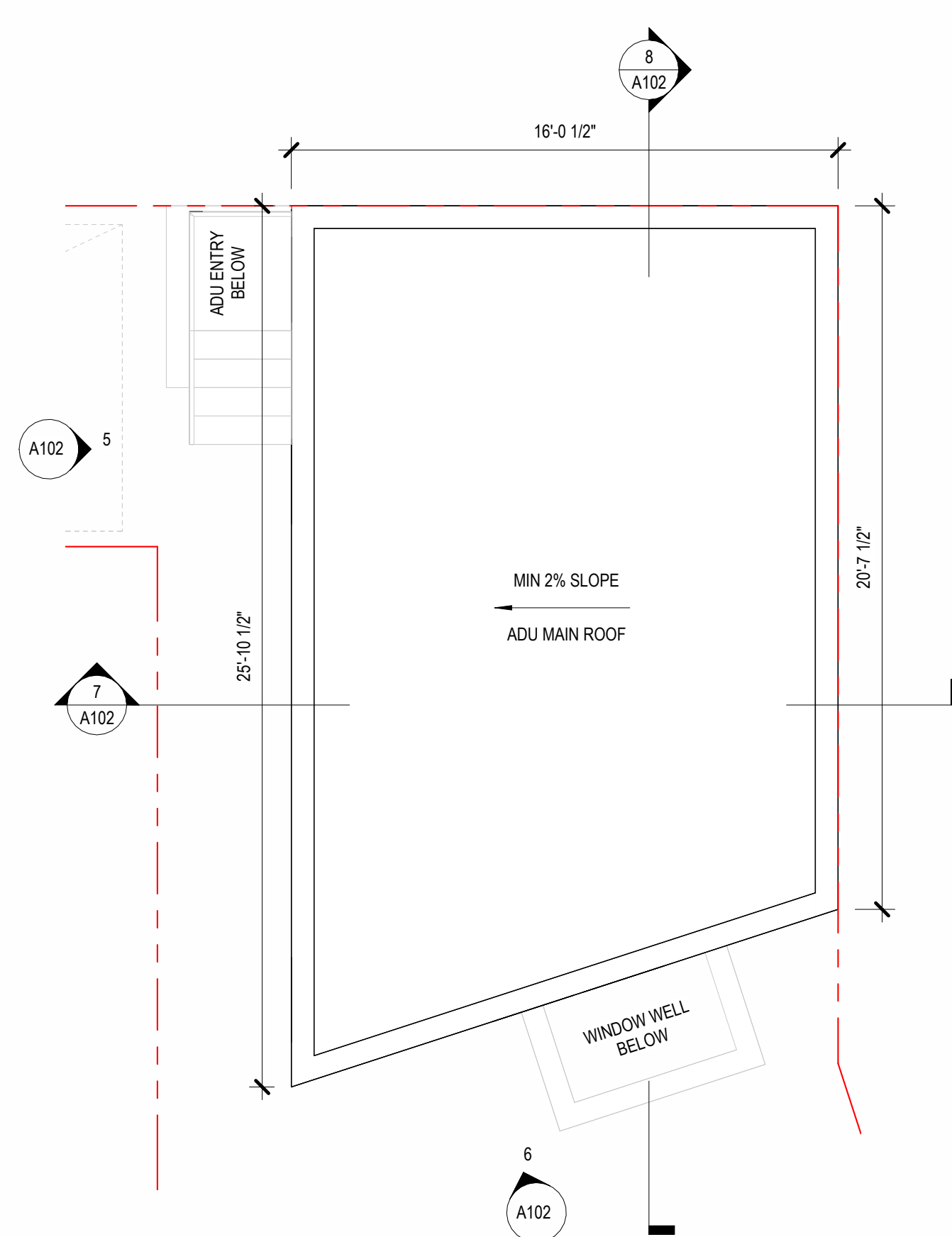
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2024-05-02	REVISED ADU DESIGN

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SITE PLAN AND
ZONING INFO

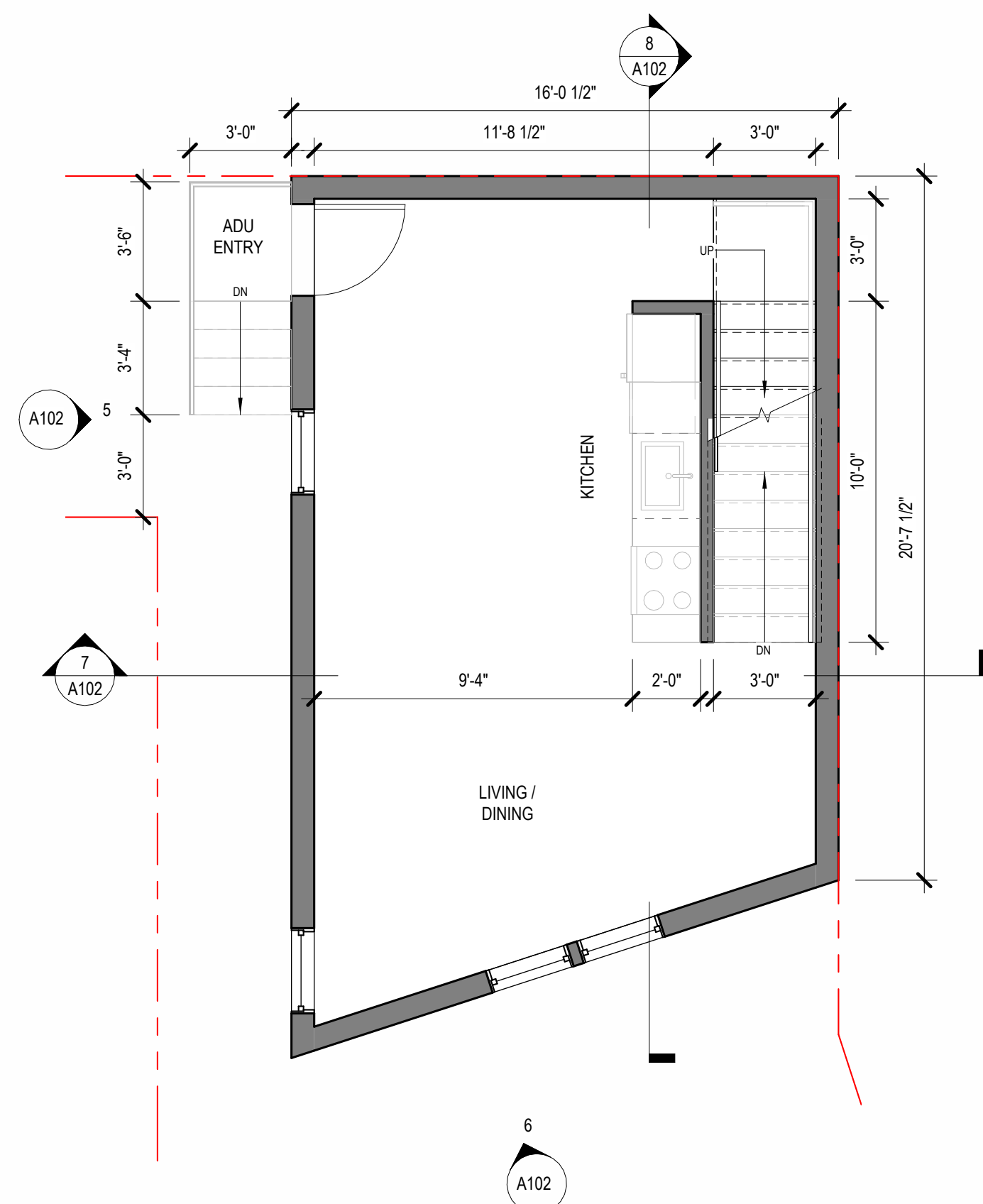
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FS2024001
DRAWN BY:
Author
SCALE:
As indicated
DATE:
2024-05-02
DWG. NO.

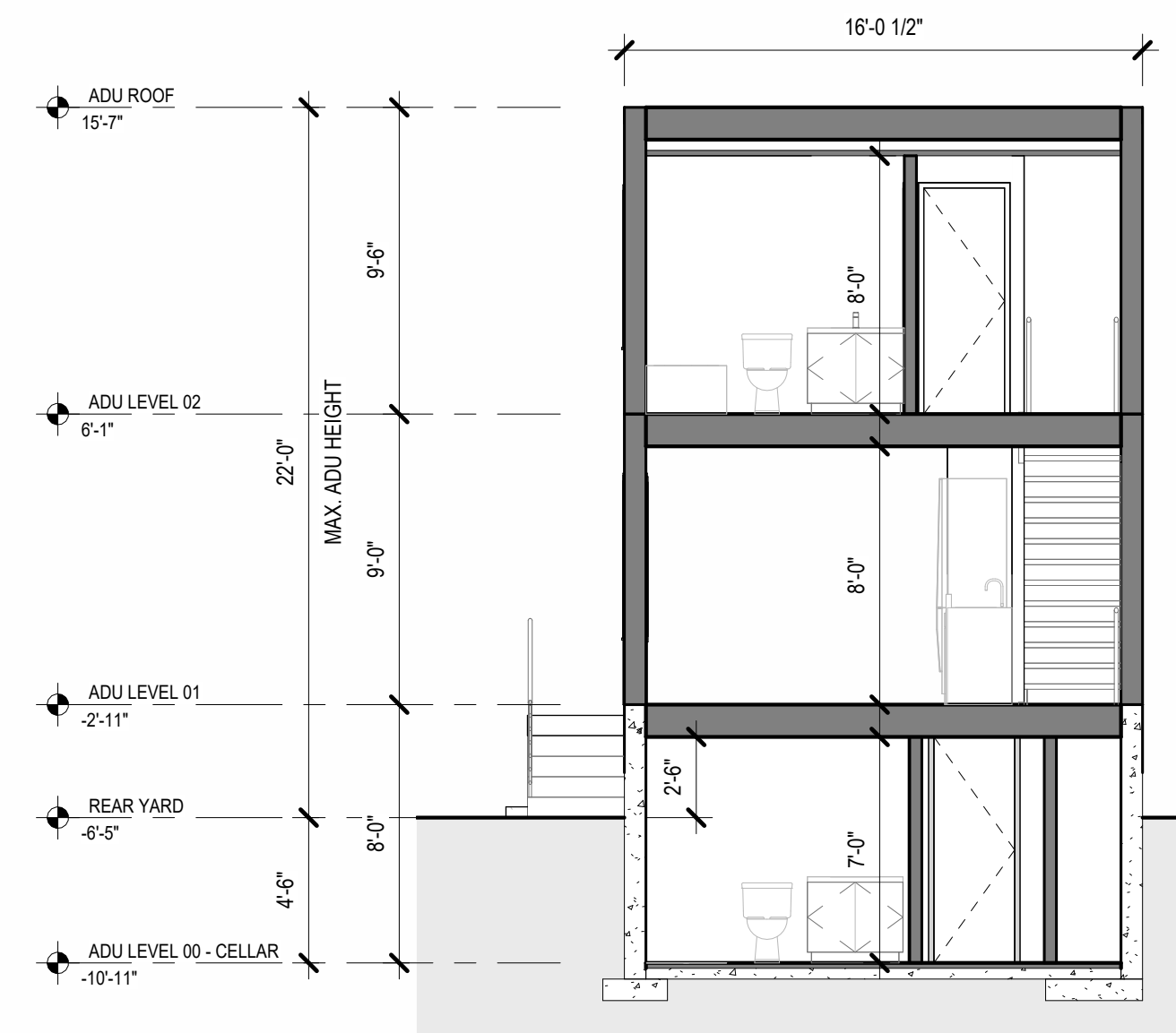
0006



4 ADU ROOF PLAN
1/4" = 1'-0"



2 ADU 1ST FLOOR PLAN
1/4" = 1'-0"



7 ADU SECTION A
3/16" = 1'-0"



5 ADU ELEV - NORTH
1/4" = 1'-0"