

# WAYNE PLACE APARTMENTS

113 Wayne Place SE.

## CONSTRUCTION DOCUMENTS

Washington, DC  
20032

### PREPARED FOR:

Christopher Mak

113 Wayne Place SE., Washington, DC

TEL: (410) 718-1876

### PREPARED BY:

Architect : Denver Terrance

**CURE ARCHITECTS**

1401 Mercantile Lane, Suite 200FF

Largo, Maryland 20774

(O) 301.772.CURE

(C) 216-6444-4588

[www.curearchitects.com](http://www.curearchitects.com)



### DRAWING INDEX

#### GENERAL

- G000 COVER
- G001 NOTES AND LEGENDS
- G002 PROJECT INFO
- G003 WALL TYPES

#### ARCHITECTURAL

- A1.00 SITE PLAN
- A1.01 CONSTRUCTION PLANS
- A1.02 CONSTRUCTION PLANS
- A1.03 REFLECTED CEILING PLANS
- A1.04 REFLECTED CEILING PLANS
- A2.01 BUILDING ELEVATIONS
- A3.01 BUILDING SECTIONS
- A5.01 TYPICAL ENLARGED UNIT PLAN
- A6.01 MILLWORK DETAILS - UPPER AND BASE CABINETS
- A7.01 DOOR AND WINDOW SCHEDULE AND DETAILS
- A8.00 DETAILS
- A9.00 EXISTING GRADING AND LANDSCAPING PLAN
- A10.00 PROPOSED GRADING AND LANDSCAPING PLAN

### CODE INFORMATION

I. PROJECT LOCATION 113 WAYNE PLACE SE  
WASHINGTON, DC 20032

2. SCOPE OF WORK : THE PROJECT SCOPE OF WORK IS TO BUILD AN ADDITION TO THE EXISTING BUILDING. THE BUILDING WILL INCLUDE 6 UNITS ON 3 LEVELS. EACH UNIT WILL BE 3 BEDROOMS AND 1 BATHROOM.

#### II. DESCRIPTION & USER GROUP CLASSIFICATION OF BLDG

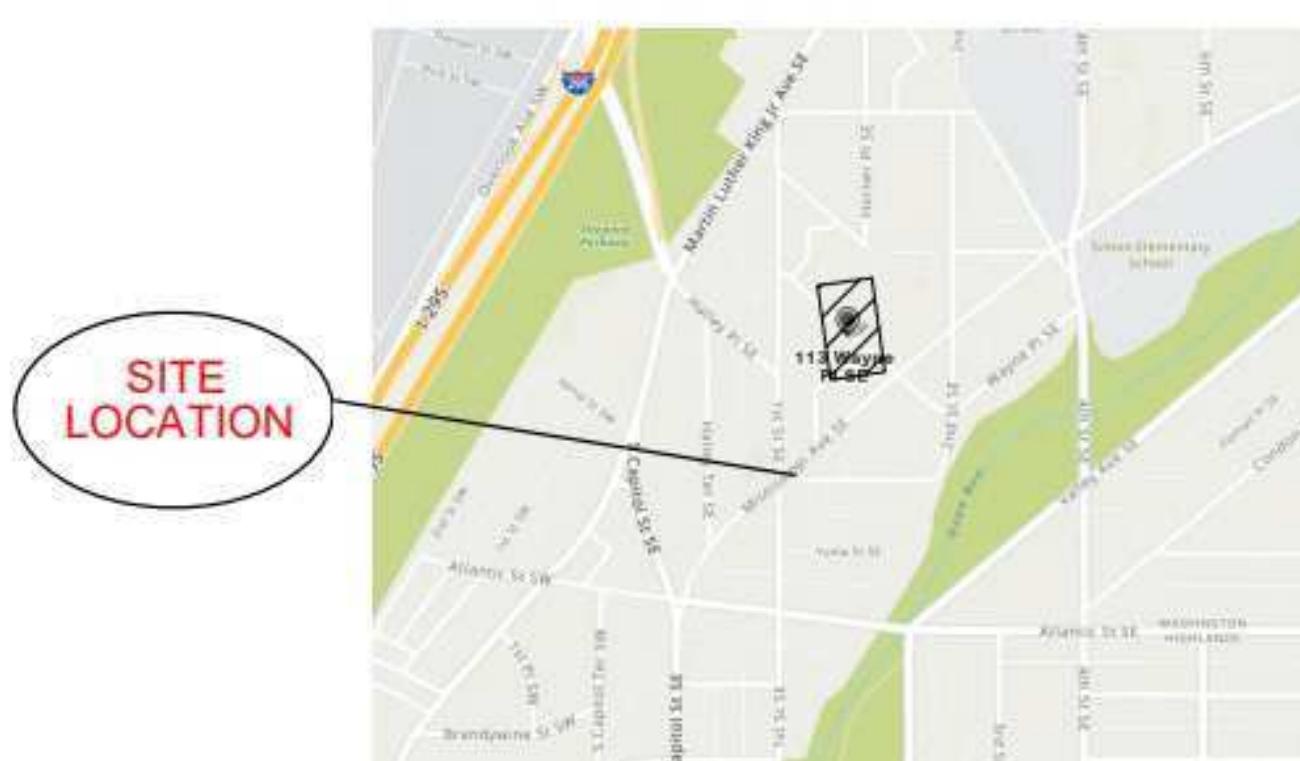
SQUARE: 6117  
SUFFIX: 0052  
ZONE: RA-1  
FUTURE LAND USE: RMOD  
GREEN AREA RATIO (GAR): .4  
FLOOR AREA RATIO (FAR): .9  
LAND AREA: 7984  
BLDG HT: 36'-8"  
NO. STORIES ABOVE GRADE: 3  
BASEMENT: YES  
BUILDING GROUP: R-2  
CONSTRUCTION TYPE: V-A

FIRE RATING:  
\*Exterior wall only due to sprinkler system per substitution in note D, Table 602, 2013 DCFC  
FULLY SPRINKLERED: YES  
FIRE/CO2 ALARM: YES

### REFERENCED CODES

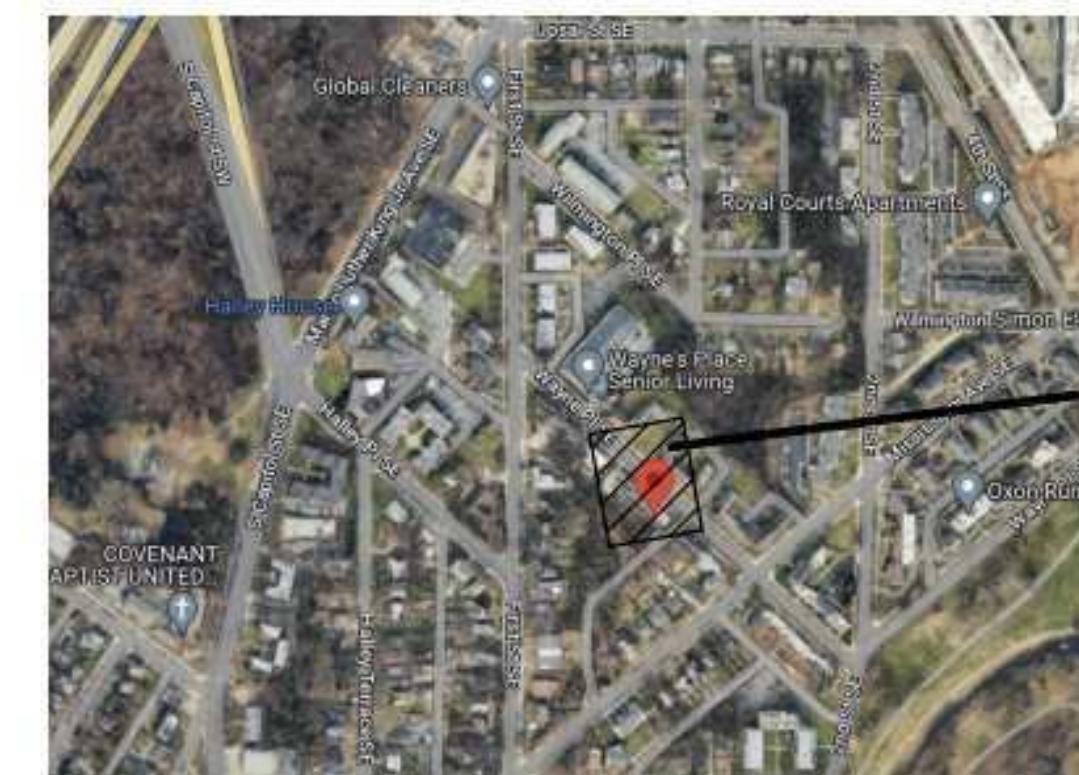
BUILDING: 2017 DC CONSTRUCTION CODES  
2017 DCMR 12A, DC BUILDING CODE AMENDMENTS

Zoning Table	Lot 1 (Front)	Lot 2 (Rear)	Total
Lot Measurements			
Lot Occupancy (Sq ft)	1,445	1,697	3,142
Floor Area (sq ft)	3,612	4,398	8,010
Lot Size	4,579	3,395	7,974
Lot Occupancy (%)	n/a	n/a	39%
Floor Area Ratio (FZ)	n/a	n/a	100%
Rear Yard	20	13	13
Side Yard	n/a	8	8
Height	37	29	37
Stories	3	3	3
RA1 Requirements			
Lot Occupancy (%)	n/a	n/a	40%
Floor Area Ratio (FZ)	n/a	n/a	108%
Rear Yard	20	20	20
Side Yard	n/a	8	8
Height	40	40	40
Stories	3	3	3
Remaining Allowance			
Lot Occupancy (%)	n/a	n/a	1%
Floor Area Ratio (FZ)	n/a	n/a	8%
Rear Yard	0	-7	-7
Side Yard	n/a	0	0
Height	3	11	3
Stories	0	0	0



VICINITY MAP

NOT TO SCALE



SITE MAP

NOT TO SCALE

MATERIAL LEGEND	
SECTIONS	AT
ACOUSTICAL TILE	ANCHOR BOLT
ALUMINUM (3/4 SCALE OR LARGER)	ACOUSTIC CEILING TILE
BATT OR BLANKET INSULATION	ADJUSTABLE
BRASS OR BRONZE (3/4 SCALE OR LARGER)	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
CERAMIC OR QUARRY TILE	ABOVE FINISH FLOOR
CONCRETE	ALTERNATE
CONCRETE MASONRY UNIT	ALUMINUM
CRUSHED STONE OR GRAVEL	ARCHITECTURAL
EARTH	BAR JOIST
E.I.F.S. (EXTERIOR INSULATION AND FINISH SYSTEM)	BLOCK
FACE BRICK	BLOCKING
FINISHED WOOD (FOR LARGE SCALE DETAILS)	BEAM
FIRE SAFING	BEARING
MEDIUM DENSITY FIBERBOARD	BRICK
PLASTER, CEMENT, MORTAR OR G.W.B.	BOTTOM
PLYWOOD VENEER	BETWEEN
PRE-CAST CONCRETE	CENTER TO CENTER
RIGID INSULATION	COLD FORMED METAL FRAMING
ROUGH WOOD (ALL BLOCKING AND FRAMING LUMBER)	CONTROL JOINT
SHIM	CIRCUIT
SPRAY-ON FIREPROOFING	CENTERLINE
SPRAY-APPLIED INSULATION	CEILING
STEEL (3/4 SCALE OR LARGER)	CONCRETE MASONRY UNIT
STONE: GRANITE OR MARBLE	COLUMN

ABBREVIATIONS	
@	AT
AB	ANCHOR BOLT
ACT	ACOUSTIC CEILING TILE
ADJ	ADJUSTABLE
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BJ	BAR JOIST
BLK	BLOCK
BLK'	BLOCKING
BM	BEAM
BRG	BEARING
BRK	BRICK
BTM	BOTTOM
BTWN	BETWEEN
C/C	CENTER TO CENTER
CFMF	COLD FORMED METAL FRAMING
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
CRS	COURSE
DBL	DOUBLE
DEM	DEMISING
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DSOWNSPOUT
DWGS	DRAWINGS
EF	EACH FACE
ELEC	ELECTRICAL
EW	EACH WAY
EXT	EXTERIOR
FIN	FINISH
FLR	FLOOR
FM	FACTORY MUTUAL
FR	FIRE RATED
FRP	FIBER REINFORCED PLASTIC
FRT	FIRE RETARDANT TREATED
FRX	WEATHER AND FIRE RETARDANT TREATED
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GL	GLASS
GYP BD	GYPSUM BOARD
GYP CLG	GYPSUM CEILING BOARD
BD	
HC	HANDICAPPED
HM	HOLLOW METAL
HOR.	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
INSUL	INSULATION
JB	JUNCTION BOX
LF	LINEAL FEET
LG	LONG
LLH	LONG LEG HORIZONTAL
LLR	LONG LEG VERTICAL
MASY	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MOD	MODULAR
MTL	METAL
N.I.C.	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
O/C	ON CENTER
OPEN	OPENING
PL	PLATE, PROPERTY LINE
PLYWD	PLYWOOD
POLY ISO	POLYISOCYANURATE
PR	PAIR
PRE-FAB	PRE-FABRICATED
PT	PRESERVATIVE TREATED
PTD	PAINTED
R	RESISTANCE VALUE
RAD	RADIUS
RCP	REFLECTED CEILING PLANS
REINF	REINFORCE (ED) (ING)
REP	REPRESENTATIVE
REQ'D	REQUIRED
SCH	SCHEDULED
SF	SQUARE FEET
SPECS	SPECIFICATIONS
SS	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURAL
T&G	TONGUE & GROOVE
T/BM	TOP OF BEAM
T/JST	TOP OF JOIST
T/ST	TOP OF STEEL
TEMP	TEMPERED
TERM.	TERMINATION
TG	TRUSS GIRDERS
TOM	TOP OF MASONRY
TOS	TOP OF SLAB
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VT	VINYL TILE
VWC	VINYL WALL COVERING
W/	WITH
W/O	WITHOUT
WD	WOOD

SYMBOL LEGEND	
ROOM INDICATION	LINETYPE SYMBOLS
ROOM NAME 101 150 SF XX OCC POR 1	ROOM NAME ROOM NUMBER SQUARE FOOTAGE OCCUPANCY LOAD POR
NORTH ARROW	EXISTING COLUMN GRID DENOTED WITH AN E/ PREFIX COLUMN GRID
DOOR SYMBOL	LIMIT OF WORK PROPERTY LINE CENTER LINE / ELEVATION LINE WORK ABOVE, BEYOND OR TO BE REMOVED BUMPER GUARD, CHAIR RAIL, HAND RAIL FOR LOCATION SEE PLANS BREAK LINE
WINDOW SYMBOL	KEYNOTE SYMBOL
W1 ON ELEVATION IN PLAN	KEYNOTE INDICATOR
BUILDING WALL SECTION INDICATION	EXISTING DOOR DESIGNATION
SECTION NUMBER A101 SIM SHEET WHERE SHOWN	EXISTING DOOR
ELEVATION INDICATION	NEW DOOR DESIGNATION
1 A101 EXTERIOR MULTIPLE INTERIOR	NEW DOOR
FIRE EXTINGUISHER CABINET	EMERGENCY DOOR DESIGNATION
F.E.C.	NEW DOOR EMERGENCY SWING
DETAIL INDICATION	DOUBLE EGRESS DOOR DESIGNATION
AREA DETAILED SIM A101 DETAIL NUMBER SHEET WHERE SHOWN	NEW DOOR
REVISION INDICATION	STARTING POINT
1 REVISION NUMBER	STARTING POINT
ALIGN WITH EXISTING CONSTRUCTION	ELEVATION TAG
A	
WALL TYPE SYMBOL	GENERAL DIMENSIONING
XXX	0'-0" COLUMN GRID CENTERLINE INDICATOR 0'-0" FACE OF SURFACE INDICATOR
EQUIPMENT DESIGNATION (SEE EQUIPMENT MANUAL)	NOTE: DIMENSIONS ARE TAKEN FROM/TO FINISH SURFACE, UNLESS OTHERWISE NOTED.
001 EQUIPMENT TYPE	
CEILING HEIGHT	NOTE: THE ± INDICATES A DIMENSION THAT CAN VARY. (NOTIFY THE ARCHITECT OF ANY CHANGE IN THAT DIMENSION IF IT IS GREATER THAN 1")
10'-0" CL1	0'-0" ±
FINISH SYMBOLS	
CG DENOTES CORNER GUARD LOCATION	NOTE: EXISTING DIMENSIONS INDICATED AS [0'-0"] OR WITH (V/F) ARE SUPPLIED TO THE ARCHITECT BY OTHERS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. (SEE "GENERAL CONTRACTOR RESPONSIBILITIES WITH RESPECT TO EXISTING CONDITION NOTES")
MATCHLINE	0'-0" CLEAR NOTE: CLEAR = THE ACTIVE DIMENSION MAY NEVER BE LESS THAN THE CLEAR DIMENSION, BUT MAY BE GREATER BY 1" MAX.
AREA A INDICATOR OF AREA SHOWN ON DRAWING A102 SHEET NUMBER OF ADJACENT DRAWING	0'-0" HOLD NOTE: HOLD = THE ACTUAL DIMENSION IS THAT DIMENSION AND MUST BE MAINTAINED
CODE REVIEW - OCCUPANCY LOAD	
W X Y Z ↑↑↑	

GENERAL NOTES - ARCHITECTURAL	
APPLICABLE TO ALL CONTRACTORS	
1. DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER SPECIFIC CODES.	
2. DRAWINGS:	
a. DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW APPROXIMATE LOCATIONS. DIMENSIONS GIVEN ON THE PLANS IN FIGURES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS; AND ALL DIMENSIONS, WHETHER FIGURED OR SCALED, SHALL BE VERIFIED IN THE FIELD.	
b. THE EXACT LOCATION OF WALLS, DOORS, WINDOWS, APPARATUS, EQUIPMENT, PIPING, CONDUIT AND ELECTRICAL EQUIPMENT, ETC., SHALL BE ASCERTAINED FROM THE ARCHITECT OR HIS REPRESENTATIVE IN THE FIELD, AND THE WORK SHALL BE Laid OUT ACCORDINGLY. SHOULD THE CONTRACTOR FAIL TO ASCERTAIN SUCH LOCATIONS THE WORK SHALL BE CHANGED AT HIS OWN EXPENSE WHEN REQUESTED BY THE ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR CHANGES IN LOCATION UP TO THE TIME OF INSTALLING WITHOUT ADDITIONAL COST.	
c. THE DRAWINGS AND PROJECT MANUAL, WHERE APPLICABLE, ARE INTENDED TO COVER A COMPLETE PROJECT IN EVERY RESPECT. EACH AND EVERY ITEM, SYSTEM, ETC., IS TO BE COMPLETE UNLESS OTHERWISE DEFINITELY INDICATED.	
d. THE DRAWINGS AND PROJECT MANUAL, WHERE APPLICABLE, ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH.	
e. DEMOLITION AND/OR REMOVAL OF EXISTING FLOORS, WALLS, ROOFING, ETC. MAY NECESSITATE THE REMOVAL OR RELOCATION OF EXISTING PIPING, CONDUIT, SERVICES, ETC. SUCH REMOVAL AND RELOCATION SHALL BE CONSIDERED PART OF THE DEMOLITION WORK WITHOUT ADDITIONAL COST, WHETHER OR NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR LISTED IN THE SPECIFICATIONS.	
3. CONTRACTOR TO CONTACT LOCAL UTILITIES, IF NECESSARY, SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT TO SUBMIT DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW, HOWEVER, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.	
4. CONTRACTOR TO CONTACT LOCAL UTILITIES, IF NECESSARY, SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT TO SUBMIT DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW, HOWEVER, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.	
5. THE CONTRACTOR SHALL SCHEDULE HIS WORK AND MATERIAL AND EQUIPMENT DELIVERIES SO AS NOT TO INTERFERE WITH THE DAILY OPERATIONS OF THE FACILITY.	
6. THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, EQUIPMENT, FIXTURES, ETC. FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.	
7. ALL DAMAGED SURFACES AND/OR FINISHES AS A RESULT OF AND ADJACENT TO THE WORK SHALL BE REPAIRED AND FINISHED TO THEIR ORIGINAL CONDITION. THIS INCLUDES, BUT IS NOT LIMITED TO, ADJACENT SPACES, STOREFRONTS, WALKS, ETC.	
8. THE CONTRACTOR SHALL PROVIDE THE NECESSARY ENCLOSURES OR BARRICADES TO ISOLATE THE WORK FROM THE REST OF THE FACILITY. AREAS ADJACENT TO THE CONSTRUCTION SHALL BE SWEEP CLEAN DAILY.	
9. DEMOLITION OF WALLS MEANS DEMOLITION OF ALL FINISHES, FRAMING, STRUCTURAL MEMBERS, ELECTRICAL, PLUMBING, AND MECHANICAL ITEMS WHETHER KNOWN OR UNKNOWN AND WHETHER OR NOT INDICATED ON THESE DRAWINGS.	
10. PARKING AT THE SITE BY ALL CONSTRUCTION STAFF SHALL BE LIMITED TO ONLY THE AREAS DESIGNATED BY THE OWNER.	
11. THE AREA OF WORK SHALL MAINTAIN A WEATHER TIGHT CONDITION AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SECURE THE AREA OF WORK.	
12. THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.	
13. WHERE MATERIALS REFERENCED ON DRAWINGS, OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED HEREIN, PROVIDE BEST QUALITY MATERIALS. ALL ITEMS AND WORK ON DRAWINGS ARE NEW. ALL WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. WHERE ITEMS CAN NOT BE REPAIRED TO A "NEW CONDITION", OR WHERE THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.	
14. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT / ENGINEER AND REQUEST CLARIFICATION.	
15. CONTRACTOR SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER EXACT LOCATION OF ALL ITEMS.	
16. ALL CONTRACTORS ARE TO COORDINATE THE WORK OF EACH OTHER, SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT, DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER AND WELL COORDINATED INSTALLATION. PRIOR TO INSTALLATION OF ITEMS, VERIFY AND CONFIRM WITH EACH CONTRACTOR EXACT LOCATION OF ALL ITEMS.	
17. ALL PENETRATIONS THROUGH FLOORS AND FULL HEIGHT WALLS TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS AND WALLS TO BE FIRE & SMOKE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK, WALL TO BEAMS, AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FORM OR PACKING MATERIAL AND THE FILL, VOID OR CAVITY MATERIAL.	
18. EXTERIOR PERIMETER OF ALL WINDOWS, DOOR FRAMES, LOUVERS OR OTHER ITEMS INSERTED IN AN EXTERIOR WALL SHALL BE SEALED WEATHER TIGHT WHETHER INDICATED ON DRAWINGS OR NOT.	
19. WOOD USED FOR BLOCKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK, WITHIN 2'-0" OF GRADE AND OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER, SHALL BE PRESSURE TREATED TYPE. ALL INTERIOR WOOD FOR BLOCKING OR OTHER PURPOSES SHALL BE FIRE RETARDANT TYPE.	
20. ON THE "PULL" SIDE OF A FINISHED DOOR OPENING, THE STRIKE SIDE SHALL BE NOMINAL 18" FROM A PERPENDICULAR WALL. ON THE "PUSH" SIDE OF A DOOR OPENING EQUIPPED WITH BOTH A CLOSER AND LATCH, THE STRIKE SIDE SHALL BE NOMINAL 12" FROM A PERPENDICULAR WALL.	
21. SUSPENDED GRID CEILINGS SHALL BE ARRANGED SO THAT A GRID IS SPACED EQUALLY FROM EACH MOST REMOTE WALL, IN EACH DIRECTION, WITH NO TILE LESS THAN 6" UNLESS OTHERWISE INDICATED. CEILING MOUNTED ITEMS TO BE CENTERLINE OF CEILING TILES, UNLESS OTHERWISE NOTED.	
22. INTERIOR AND EXTERIOR CONCRETE SLABS SHALL BE SEPARATED FROM ANY VERTICAL SURFACE WITH AN ISOLATION JOINT. ALL SLAB ON-GRADE (CONTROL, EXPANSION, CONSTRUCTION (COLD), ETC.) JOINTS TO RECEIVE SEALANT. ALL EXTERIOR SLABS TO SLOPE TO DRAIN AWAY FROM BUILDING AT 1/8" PER 1'-0" U.N.O.	
23. PROVIDE BUILDING EXPANSION JOINT AND CONTROL JOINTS AT INTERIOR AND EXTERIOR MASONRY WALLS PER LOCATIONS ON ARCHITECTURAL PLANS AND ELEVATIONS AND AS REQUIRED BY THE BRICK INSTITUTE OF AMERICA AND THE NATIONAL CONCRETE MASONRY ASSOCIATION SPECIFICATIONS AND RECOMMENDATIONS. AT RATED WALLS, EXPANSION JOINT OR CONTROL JOINT TO EQUAL WALL RATING.	
24. REMOVE DEBRIS AND OTHER MATERIALS FROM SITE AS WORK PRO	

# AIR BARRIER & INSULATION INSTALLATION:

SEE IECC 2012 TABLE R402.4.1.1

AIR & THERMAL BARRIER	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR SEALS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
WALLS	CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
WINDOWS, SKYLIGHTS, & DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
FLOORS	INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRAWL SPACE WALLS	WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPE.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSULATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
PLUMBING & WIRING	BATT INSULATION SHALL BE CUT NEATLY TO AROUND WIRING AND PLUMBING IN EXTERIOR WALL, OR INSULATION THAT ON INSULATION RADILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
ELEC/PHONE BOX ON EXT. WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

## THERMAL ENVELOPE (TABLE : N1102.1.1 / R402.1.1)

ROOF:	R-49
EXTERIOR WALLS:	R-20 OR 13+5 6" DEEP CAVITY WITH BATT INSULATION
FENESTRATION:	.35/.40 (U-FACTOR / SHGC)
SKYLIGHT	.55 (U-FACTOR)
UNVENTED ATTIC:	R-15 AIR IMPERMEABLE INSULATION EITHER RIGID FOAM BOARD (R = 5) OR SPRAY FOAM INSULATION (R = 3.2 TO 3.8)
FLOOR:	R-19
CRAWL SPACE WALL:	R- 10/13
U-FACTOR - WINDOW:	0.35/ SHGC: 0.4
U-FACTOR - DOOR:	0.35/ SHGC:04
U-FACTOR - SKYLIGHT:	0.55
ROOF COVERING:	BUILT UP ROOF
BELOW GRADE:	R-10 CONTINUOUS
BASEMENT WALLS:	N/A
MIN. SOUND TRANSMISSION RATING:	

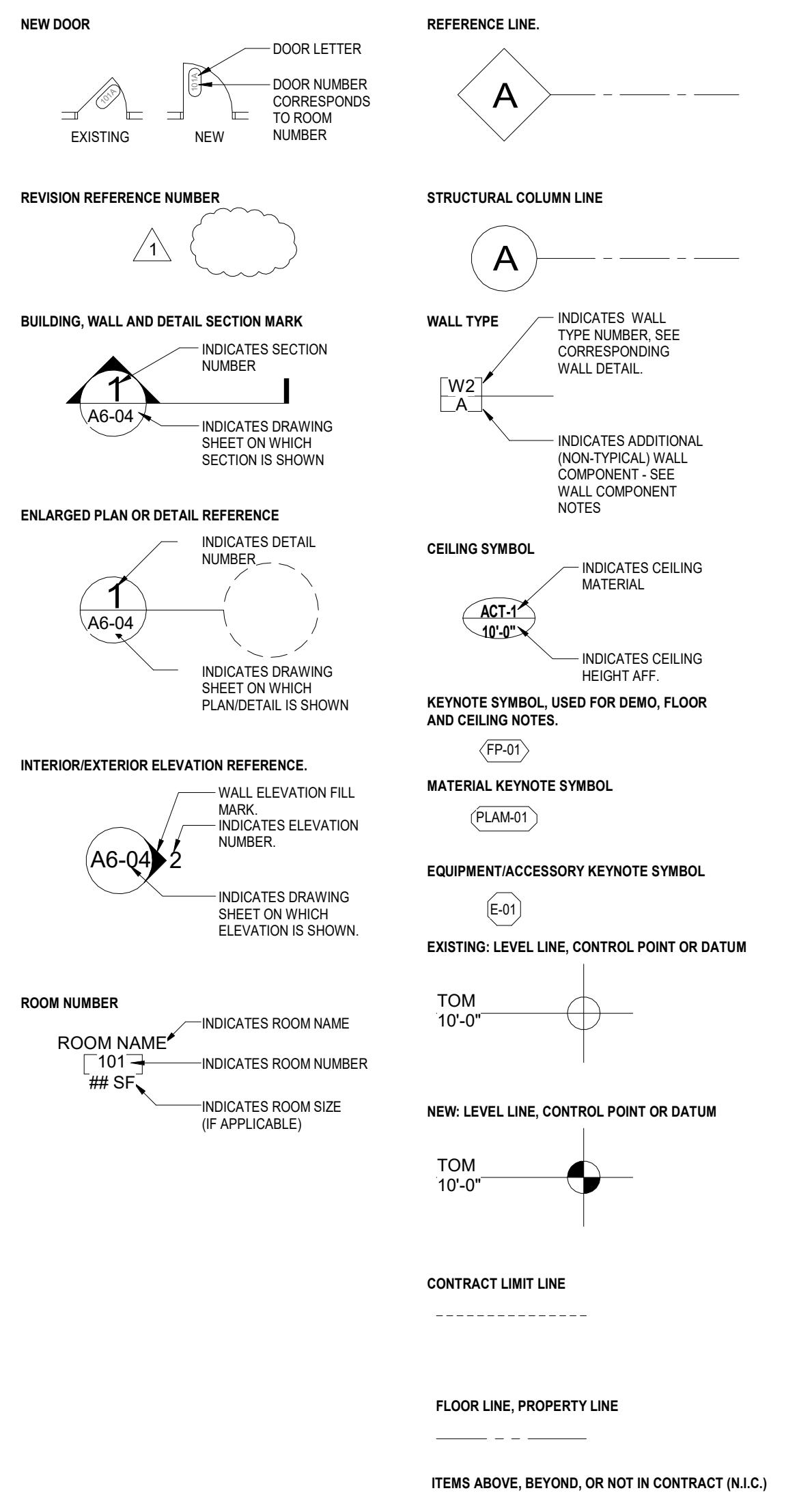
## ENERGY NOTES: SEE N1101.8

- BUILDING LEAKAGE TEST TO BE PERFORMED TO ENSURE BUILDING LEAKAGE NOT EXCEED 2 PFC UNITS PER 100 SF
- TEST TO BE PERFORMED BY THIRD PARTY CONTRACTOR
- THERE SHALL BE PROGRAMMABLE THERMOSTATS INSTALLED THRU-OUT
- A DUCT LEAKAGE TEST SHOWING A PASSING RATING OF <3 CFM PER 100 SF CONDITIONED FLOOR AREA AT A PRESSURE OF 25 PASCAL
- SUPPLY DUCTS IN ATTIC ARE TO BE INSULATED WITH R-8; ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE TO BE R-6
- GRAVITY DAMPERS TO BE INSTALLED AT ALL INTAKES/EXHAUST
- HVAC LINE SET PIPING TO BE INSTALLED WITH UV PROTECTANT AND WRAPPED IN MINIMUM R-3 INSULATION
- ALL HOT WATER PIPES TO BE WRAPPED IN MINIMUM R-3 INSULATION
- ALL AIR DUCTS SHALL NOT EXCEED LEAKAGE RATE OF 2%
- VENTILATION AND EFFICACY FLOW REQUIREMENTS EXHAUST FANS MIN. 50 CFM AND 48 WATTS
- 75% OF ALL PERMANENT FIXTURES OR 75% LAMPS IN PERMANENT FIXTURES USED ARE TO BE HIGH EFFICIENT LAMPS
- U FACTORS = DOORS/WINDOWS = 0.35 - SKYLIGHTS = 0.55

## DESIGN CRITERIA:

FLOOR LIVE LOAD (2nd/1st Floor):	30/40 psf
FLOOR DEAD LOAD (Wood/Tile)	18/32 psf
ROOF LIVE LOAD:	30 psf
ROOF DEAD LOAD:	32 psf
SNOW LOAD (ROOF)	30 psf
SNOW LOAD (GROUND)	25 psf
WIND LOAD:	20 psf, EXPOSURE CAT: B
CONCRETE STRENGTH:	3000 psi
DOUGLASS FIR No. 1:	1600 psf
SOIL BEARING CAPACITY:	1500 psf (was used for calculations, soil is untested.)
BASIC WIND SPEED:	90 MPH, 3 second gust, seismic design category = B
FROST LINE:	30 inches
FOOTING DEPTH	30 inches (B.O.F.)
CLIMATE ZONE	4A

# SYMBOLS:



# CODE INFORMATION:

PROJECT DESCRIPTION: NEW 3-STORY APARTMENT	CHAPTER 10	MEANS OF EGRESS
GOVERNING CODES: 2017 DC CONSTRUCTION CODES 2017 DCMR 12A, DC BUILDING CODE AMENDMENTS	1004.3	POSTING OCCUPANT LOAD REQUIRE FOR ALL ASSEMBLY SPACES FUNCTION SF PER OCCUPANT
CHAPTER 3	TABLE 1004.2.1	SLEEPING UNITS - CELLAR FLOOR (R2) 1,695 / 200 = 9 PPL SLEEPING UNITS - 1ST FLOOR (R2) 1,695 / 200 = 9 PPL SLEEPING UNITS - 2ND FLOOR (R2) 1,695 / 200 = 9 PPL TOTAL PER FLOOR (CELLAR-2ND) 27 PPL TOTAL OCCUPANTS 27 PPL
310.4	1005.1 & 1005.3.2	EGRESS WIDTH PER OCCUPANT SERVED STAIRWAYS: REQUIRED: 132 OCCUPANTS PER FLOOR x 3 = 39.6" PROVIDED: 44" PER STAIRWAY OTHER EGRESS COMPONENTS (DOORS): CELLAR - 2ND FLOORS REQUIRED: 132 OCCUPANTS PER FLOOR x 2 = 66.2" PROVIDED: 36" EXIT DOORS (32" CLR) X 2 = 64"
CHAPTER 5	TABLE 1006.2.1	COMMON PATH OF EGRESS TRAVEL: SHALL NOT EXCEED 125 FT. STORIES OF ONE EXIT OR ACCESS TO ONE EXIT FOR R-2 OCCUPANCIES.
ACTUAL	1009.1	ACCESSIBLE MEANS OF EGRESS REQUIRED, NOT LESS THAN ONE, WHERE MORE THAN ONE MEANS IS REQUIRED FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS.
3 STORIES	1009.3	STAIRWAYS: EXIT STAIR MUST HAVE 48" MIN WIDTH BETWEEN HANDRAILS AND INCORPORATE EITHER AN AREA OF REFUGE OR SHALL BE ACCESSED FROM AN AREA OF REFUGE EXCEPTION 1: BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM EXCEPTION 8: AREAS OF REFUGE NOT REQUIRED IN GROUP R-2 OCCUPANCIES
CELLAR, 1ST, 2ND FLOOR GROUP R1 1,695 SF PER FLOOR	1010.1.1	MINIMUM WIDTH OF EACH DOOR OPENING - CLEAR WIDTH = 32" EXCEPTION 1: SHALL NOT APPLY TO DOOR OPENINGS THAT NOT PART OF THE REQUIRED MEANS OF EGRESS IN GROUP R-2 OCCUPANCIES.
TOTAL SF 5,085 SF	1011.2	STAIR WIDTH: AS DETERMINED BY SECTION 1005.1 BUT NOT LESS THAN 44 INCHES
TABLES 504.3, 504.4, 506.2	1013.1	EXIT SIGNS ARE NOT REQUIRED IN GROUP R-2.
GROUP R-2, CONSTRUCTION TYPE V-A - ALLOWED = 48,000 SF, 3 STORIES, 70 FT WHEN EQUIPPED WITH A NFPA 13 AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.1	TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM OCCUPANCY R-2 = 250 FT
CHAPTER 6	TABLE 1020.1	OCCUPANT LOAD SERVED BY CORRIDOR WITH SPRINKLER SYSTEM R-2 GREATER THAN 10 = 1/2 HOUR
T 601	1020.2	WITHIN DWELLING UNIT 36 INCHES
BUILDING ELEMENT	1020.4	DEAD END CORRIDORS: GROUP R-2 = 50 FT MAX W/ SPRINKLER SYSTEM
TYPE V	CHAPTER 11	ACCESSIBILITY
A	1104.1	SITE ARRIVAL POINTS - ACCESSIBILITY PROVIDED
PRIMARY STRUCTURAL FRAME	1104.3	CONNECTED SPACES - ACCESSIBLE PATH MUST BE PROVIDED TO EACH PORTION OF THE BUILDING
BEARING WALLS	1104.4	MULTILEVEL BUILDING: ONE ACCESSIBLE ROUTE CONNECTING STORIES REQUIRED
EXTERIOR	1105.1	AT LEAST 60% OF PUBLIC ENTRANCES SHALL BE ACCESSIBLE
INTERIOR	TABLE 1106.2	ACCESSIBLE PARKING SPACES: ACCESSIBLE SPACES REQUIRED IN GROUP R-2, AT LEAST 2%, BUT NOT LESS THAN ONE, OF EACH TYPE OF PARKING SPACE PROVIDED SHALL BE ACCESSIBLE
NONBEARING WALLS AND PARTITIONS EXTERIOR	1107.6.2	ACCESSIBLE DWELLING UNITS: TYPE B UNITS SHALL BE PROVIDED IN GROUP R-2.
SEE T 602	1109.2	TOILET FACILITIES: AT LEAST ONE OF EACH TYPE OF FIXTURE AND ACCESSORIES SHALL BE ACCESSIBLE
NONBEARING WALLS AND PARTITIONS INTERIOR	1111.1	SIGNS NOT REQUIRED IN GROUP R-2.
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	CHAPTER 12	INTERIOR ENVIRONMENT
ROOF CONSTRUCTION AND SECONDARY MEMBERS	1210.2.2	FLOORS AND WALL BASE FINISH MATERIAL, RESTROOMS: SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES
CHAPTER 8	CHAPTER 13	ENERGY EFFICIENCY
TABLE 803.11	1301.1.1	BUILDING IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH INTERNATIONAL ENERGY CONSERVATION CODE OR ASHRAE 90.1
SPRINKLERED	903.2.8	SPRINKLER SYSTEM REQUIRED, USE GROUP R
EXIT ENCLOSURES	903.4	SPRINKLER SYSTEM SUPERVISION & ALARMS: REQUIRED
CORRIDORS	906.1	IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATION SPECIFIED ITEMS 2 THROUGH 6 WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A: 10-B:C.
ROOMS AND ENCLOSED SPACES	907.2.9	GROUP R-2: MANUAL FIRE ALARM SYSTEM: REQUIRED
USE GROUP R-2	907.2.9.3	GROUP R-2: AUTOMATIC SMOKE DETECTION SYSTEM: REQUIRED FOR ALL INTERIOR CORRIDORS SERVICING SLEEPING UNITS
C	907.2.11.2	SINGLE AND MULTIPLE STATION SMOKE ALARMS: USE GROUP R-2: REGARDLESS OF OCCUPANT LOAD ON THE CEILING OR WALL OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
C	907.5.2	ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED, LOCATED, AND INSTALLED PER THIS SECTION

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1 ISSUE FOR PERMIT 01/22/2021

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Sheet Revisions

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## SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, D.C.

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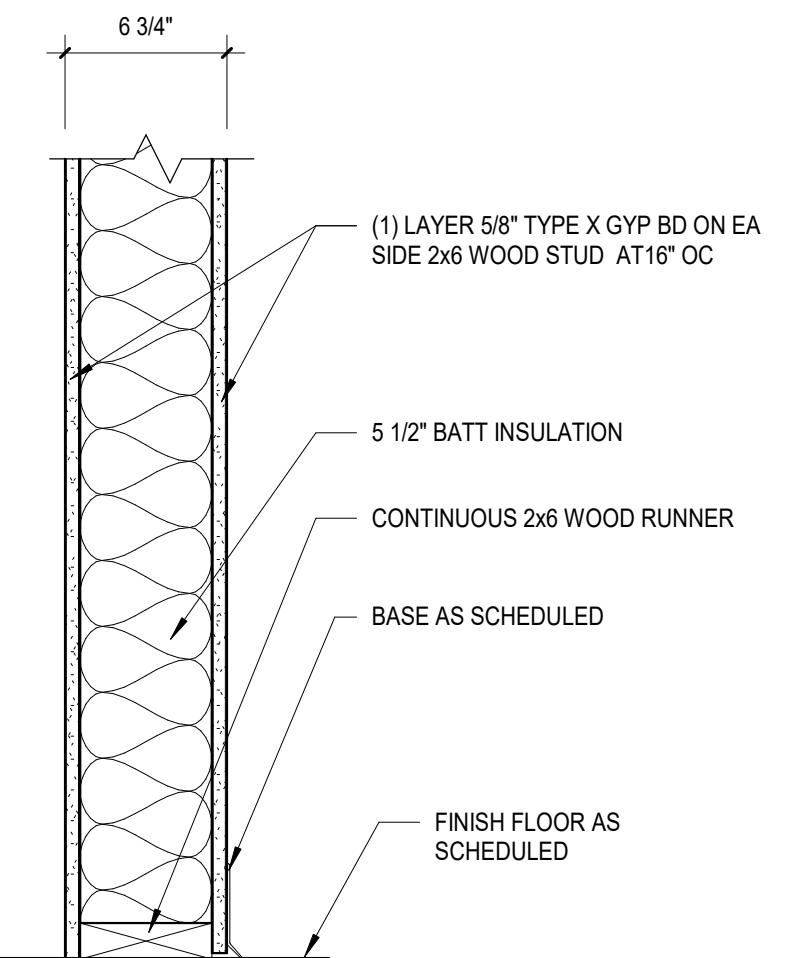
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drawn by: TR

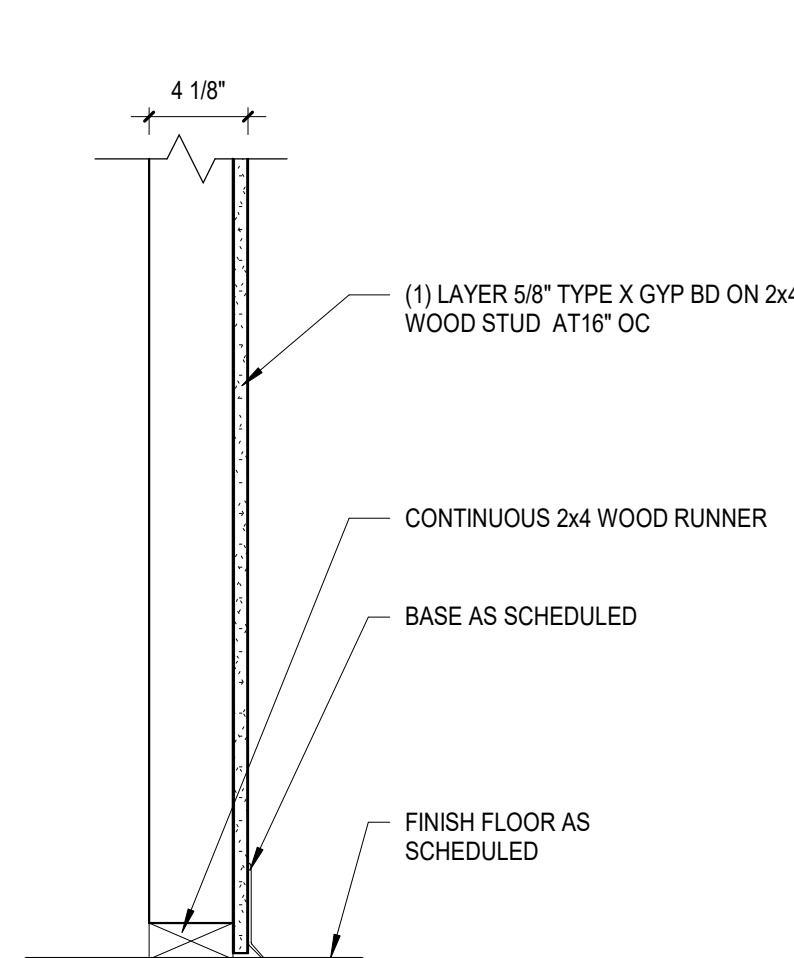
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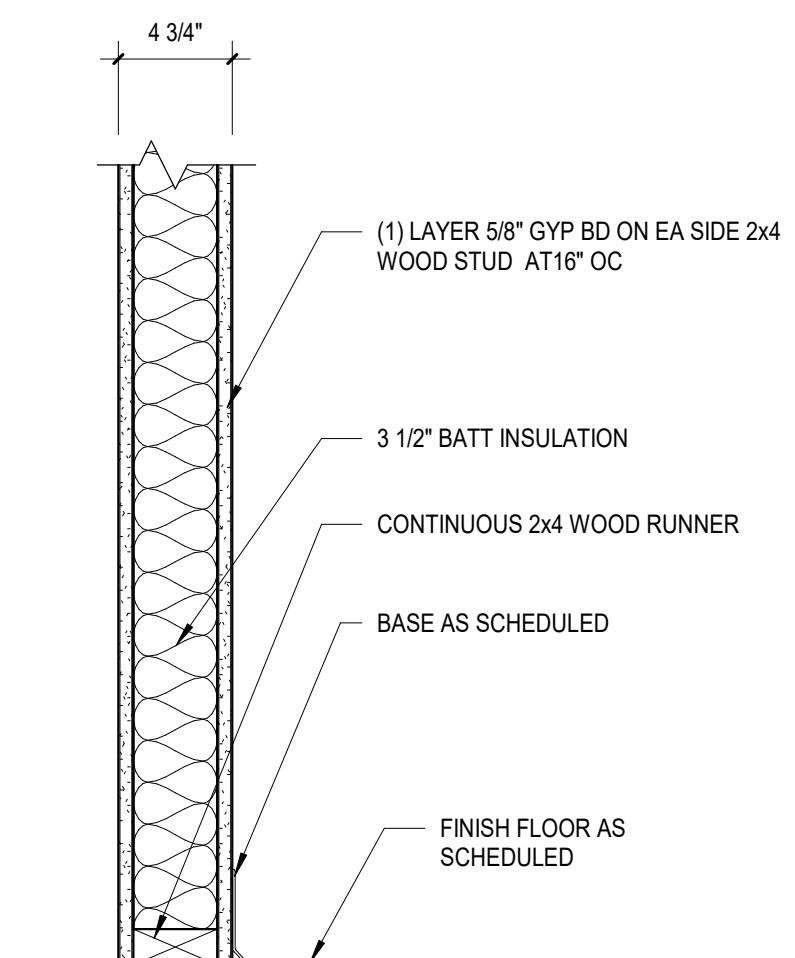
job number: Project Number



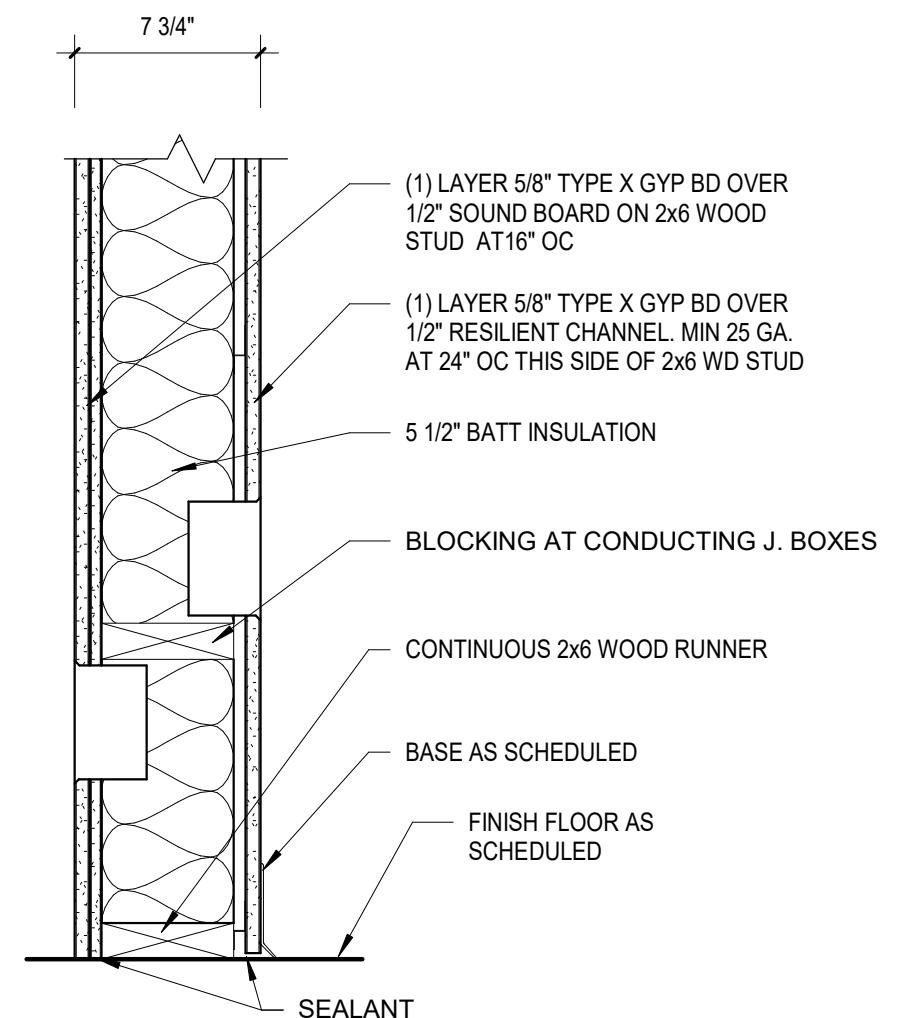
NOTE: COORDINATE WALL TAG WITH WALL  
COMPONENT NOTES FOR ADDITIONAL INFORMATION



NOTE: COORDINATE WALL TAG WITH WALL  
COMPONENT NOTES FOR ADDITIONAL INFORMATION



NOTE: COORDINATE WALL TAG WITH WALL  
COMPONENT NOTES FOR ADDITIONAL INFORMATION



NOTE: COORDINATE WALL TAG WITH WALL  
COMPONENT NOTES FOR ADDITIONAL INFORMATION

W4  
INTERIOR NON-LOAD BEARING WALL  
FIRE RATING: N/A  
STC:  
NOTES:

W3  
INTERIOR NON-LOAD BEARING WALL  
FIRE RATING: N/A  
STC:  
NOTES:

W2  
INTERIOR NON LOAD-BEARING WALL  
FIRE RATING: N/A  
STC:  
NOTES:

W1  
INTERIOR NON-LOAD BEARING WALL  
FIRE RATING: 1 HOUR (UL U305)  
STC: 58  
NOTES: SCREWS FASTENING MATERIALS TO RESILIENT CHANNEL  
MUST NOT TOUCH STUD

### WALL TYPE GENERAL NOTES:

1. BRACE ALL INTERIOR PARTITIONS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED TO PREVENT WALLS FROM FLEXING.
2. ALL FULL HEIGHT METAL STUD FRAMING SHALL BE BRACED TO THE ROOF STRUCTURE AND SHALL NOT BE FASTENED IN ANY WAY TO PANELS OR ROOF DECK (UNO).
3. FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED WITHIN WALLS AND ROUGH OPENINGS AS REQUIRED FOR MILLWORK SUPPORT, GRAB BARS, CLOSET SHELVING/RODS, TOILET ACCESSORIES, ETC. COORDINATE BLOCKING LOCATIONS AND REQUIREMENTS WITH PLANS AND G.C. PRIOR TO INSTALLATION OF GYP. BD.
4. CAULK PERIMETER OF ALL SOUND INSULATED WALLS WITH AN ACOUSTICAL SEALANT.
5. SEE FLOOR PLAN WALL TAG AND WALL COMPONENT NOTES FOR ADDITIONAL INFORMATION.

### WALL COMPONENT NOTES

X	ADDITIONAL WALL WALL TYPE TAG
COMPONENT LETTER	COMPONENT NOTE/DESCRIPTION
A	INSULATION OCCURS FROM FLOOR SLAB TO MIN 6" ABOVE FINISHED CEILING
B	INSULATION OCCURS FROM FLOOR SLAB TO DECK ABOVE
C	MOLD/MOISTURE RESISTANT GYP BD ON WET WALL SIDE
D	FACE APPLIED ACRYLIC COATING SYSTEM MOLD/MOISTURE RESISTANT GYP BD.

### GENERAL NOTES

1. FOIL FACED HIGH DENSITY INSULATION TO BE USED AT ALL LEVEL ONE EXTERIOR WALLS. FOIL FACED BATT INSULATION MEETING MINIMUM R VALUE IS ACCEPTABLE AT LEVELS 2 AND 3.
2. ALL CMU SHALL CONTAIN WATER REPELLANT ADMIXTURE (DRY-BLOCK SYSTEM). MORTAR SHALL HAVE SAME ADMIXTURE.
3. AT THE EXTERIOR FACE OF CMU, AND ONLY FOR THE EXTENT (HEIGHT AND WIDTH) OF THE BIORETENTION PONDS, APPLY PVC GEOMEMBRANE PER CIVIL DOCUMENTS.
4. EXTERIOR FACE OF CMU SHALL HAVE BREATHABLE ELASTOMERIC CLEAR COATING TO SPAN ALL EXTERIOR EXPOSED FACES OF CMU.
5. INTERIOR FINISHES TO BE SELECTED BY OWNER.
6. ONE SMOKE/CO ALARM SHALL BE INSTALLED IN EACH ROOM.
7. AT WALLS WITH RAILS OR GRAB BARS, PROVIDE REINFORCEMENT IN THE WALL AT THE LOCATION OF RAILING.

### WALL CONSTRUCTION:

EXTERIOR WALLS (R-20 or R-15+5)  
IN ORDER FROM EXTERIOR TO INTERIOR,  
• 8" CMU FULL BLOCK - SMOOTH FINISH  
• 2 X 6" WOOD STUDS @ 16"o.c. WITH 6" FOIL FACED BATT  
INSULATION, R-21  
• 1/2" INTERIOR GYPSUM BOARD

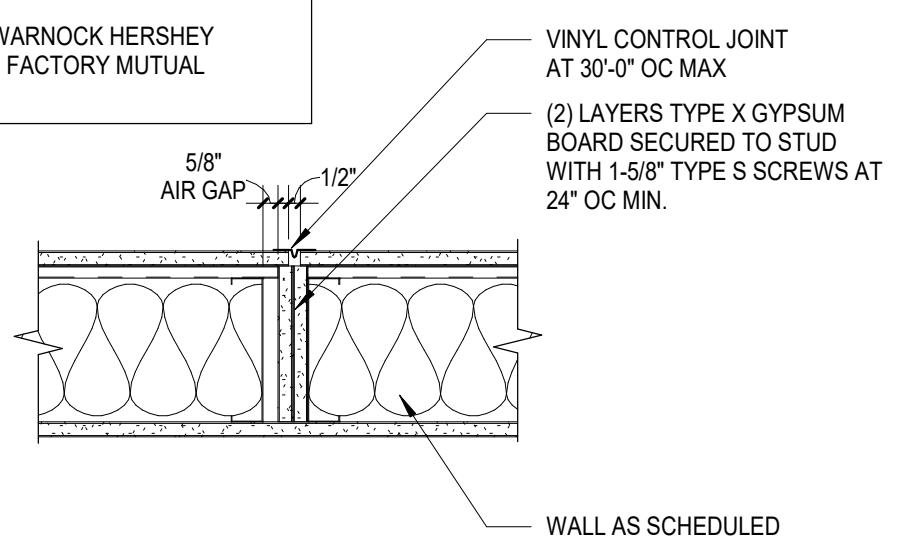
### OPENING SCHEDULE

- A. 36" X 48" WINDOW, 1" DOUBLE INSULATED, 30" A.F.F.
- B. 24" X 48" WINDOW, 1" DOUBLE INSULATED, 30" A.F.F.
1. 36" X 84" DOOR HM, INSULATED
2. 30" X 84" DOOR WD, FLUSH
3. 34" X 84" SLIDING DOOR WD, FLUSH
4. 48" X 84" SLIDING DOOR WD, FLUSH
5. 68" X 84" SLIDING DOOR WD, FLUSH

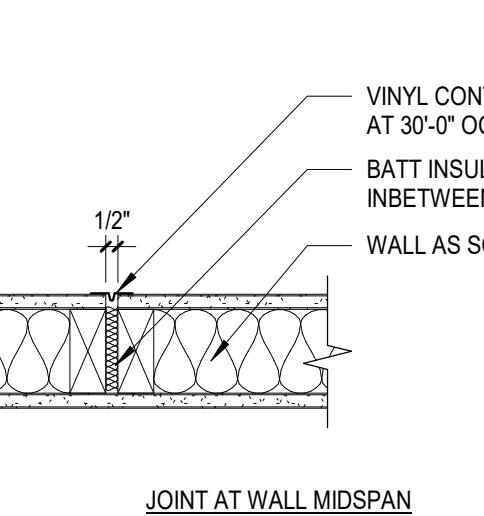
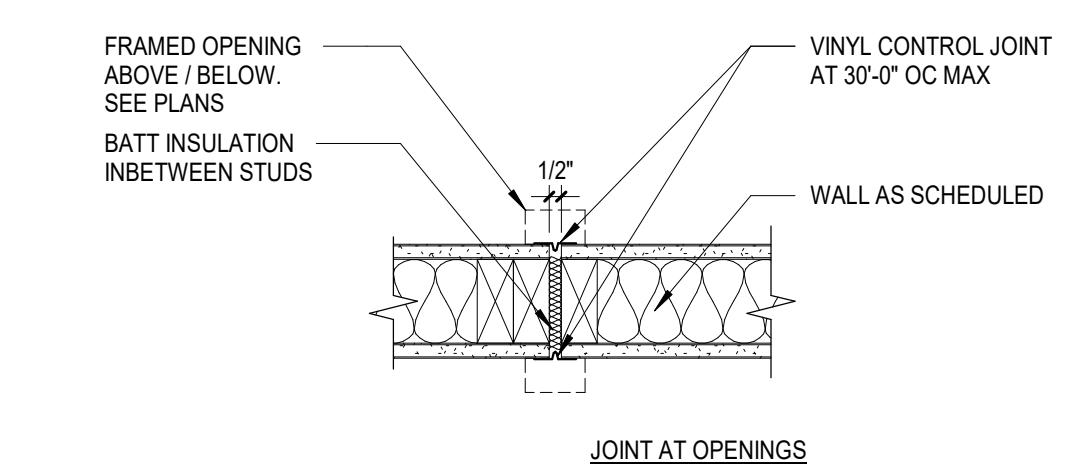
### ROOF CONSTRUCTION: R-49 ASSEMBLY (LISTED EXTERIOR TO INTERIOR)

- BUILT UP ROOFING SYSTEM
- 3" RIGID INSULATION
- VAPOR RETARDER
- 1" PLYWOOD
- 12" WOODEN STUDS @ 16"o.c. w/ 10" BATT  
INSULATION
- 5/8" INTERIOR GYPSUM BOARD\*

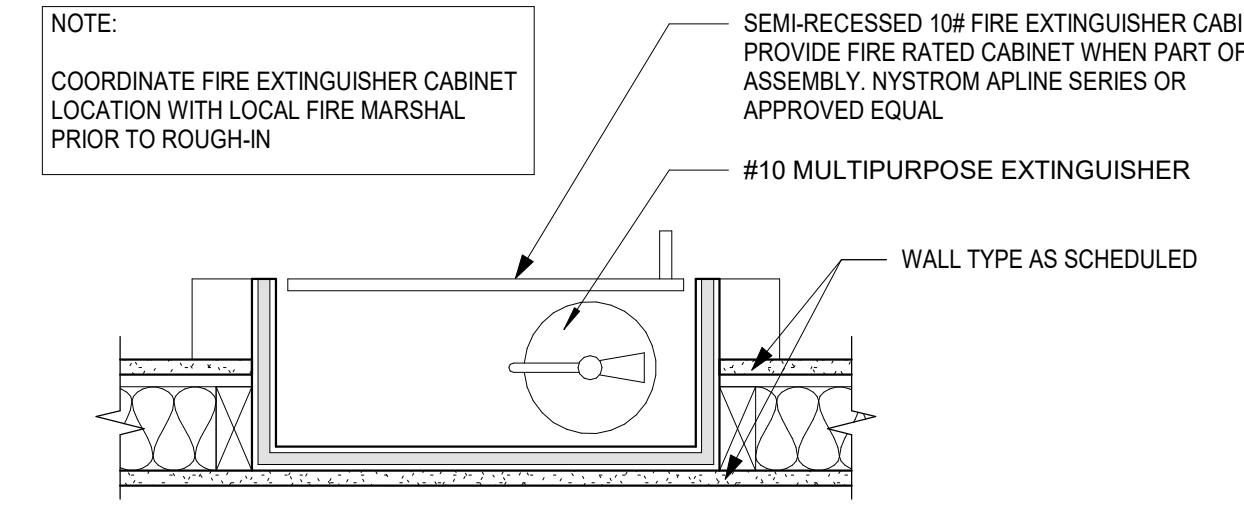
NOTE:  
1. VINYL CONTROL JOINT MAY OCCUR ON BOTH SIDES OF  
WALL. SEE PLAN  
2. WHERE OPENINGS OCCUR, PROVIDE DOUBLE STUD ON  
JAMB SIDE OF OPENING  
3. THIS DETAIL IS BASED UPON WARNOCK HERSHY  
REPORT NO. WH-651-0318.1 AND FACTORY MUTUAL  
DESIGN NO. WIB-1 HR.



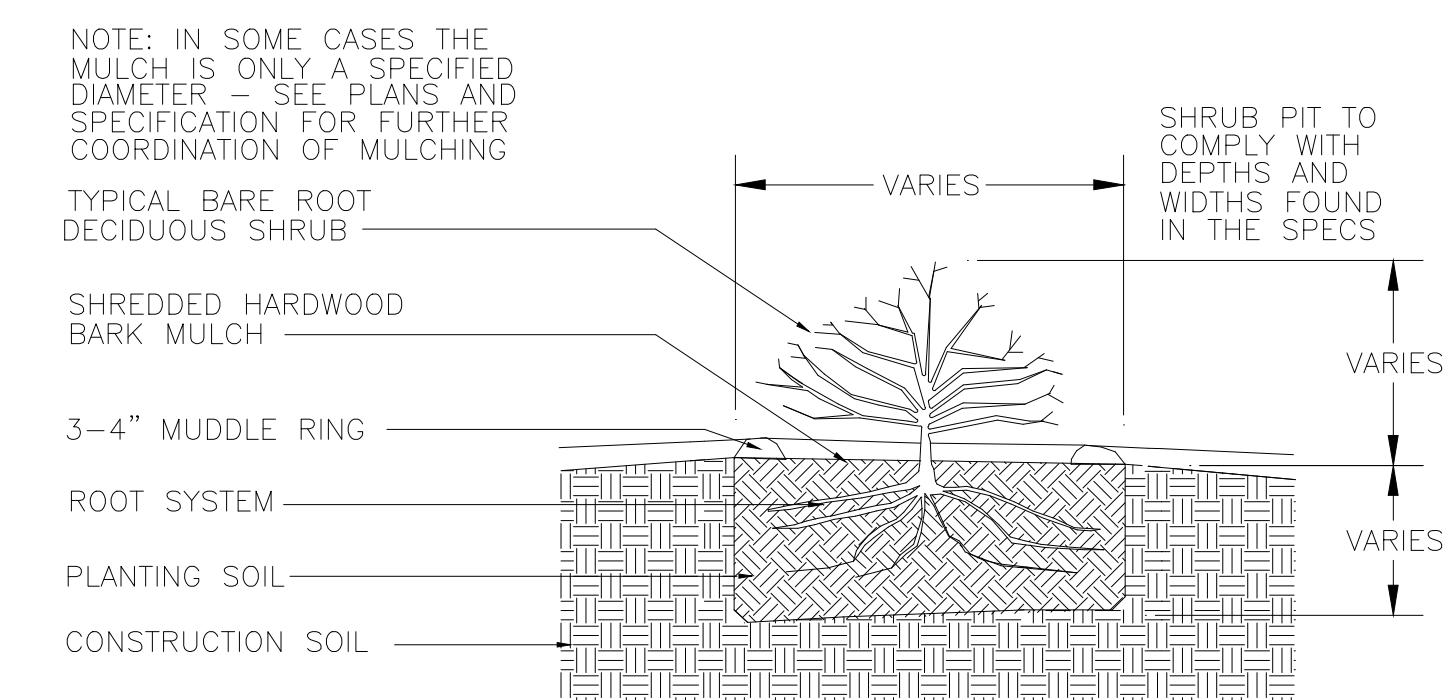
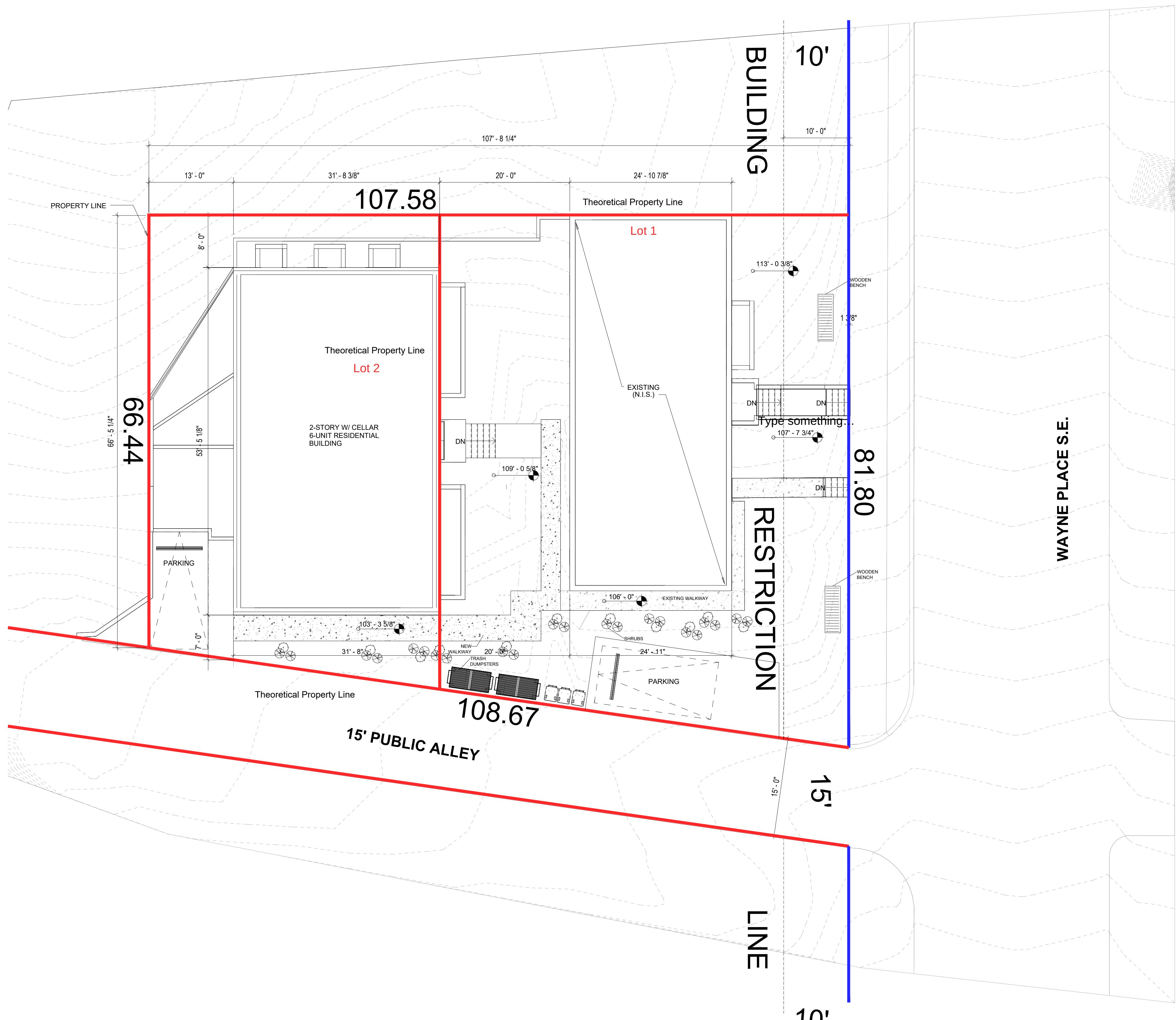
RATED GYP BD CONTROL JOINT DETAIL (3)  
1 1/2" = 1'-0" G003



GYP BD CONTROL JOINT DETAILS (2)  
1 1/2" = 1'-0" G003

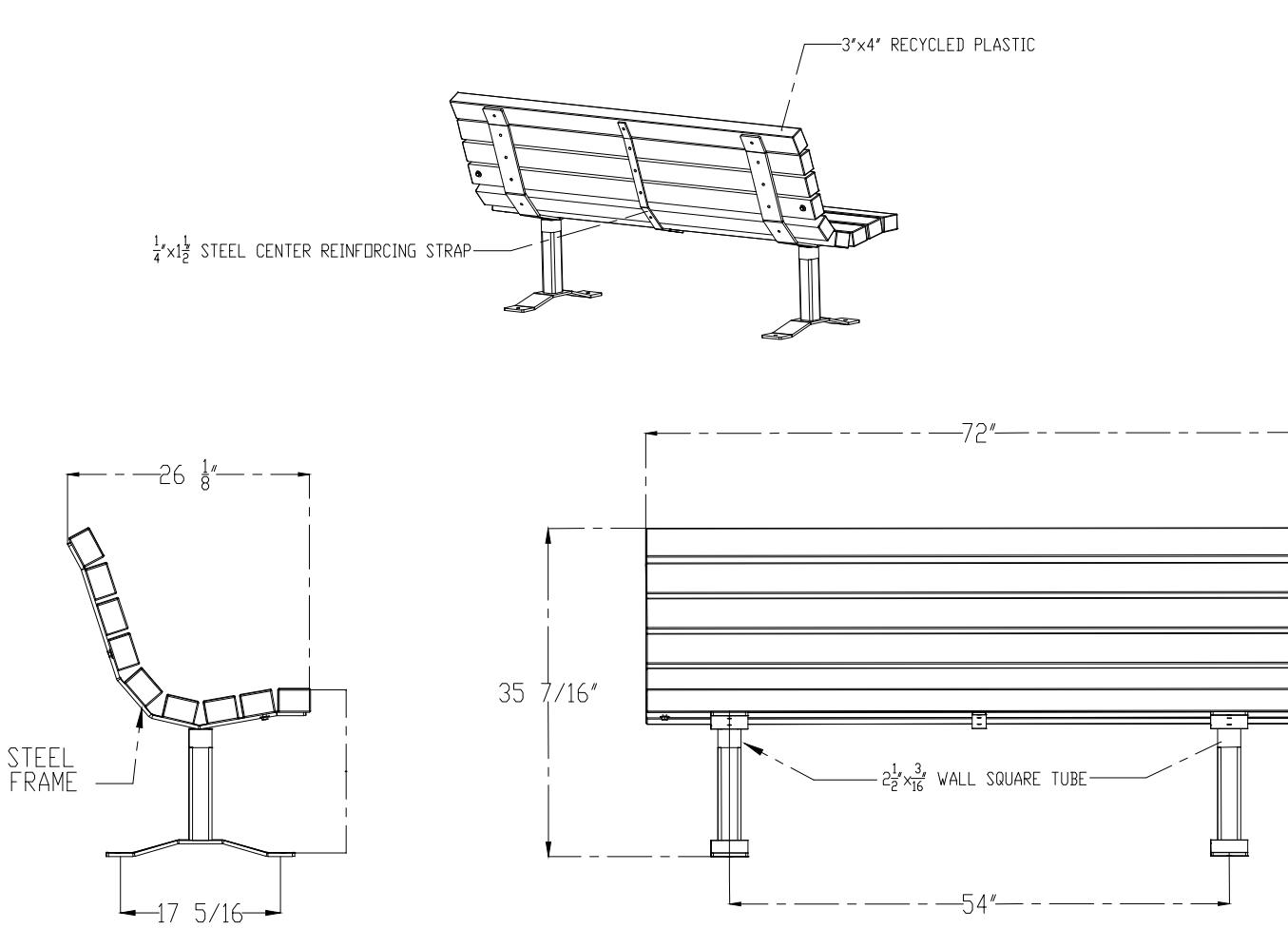


FEC DETAIL (1)  
1 1/2" = 1'-0" G003



# BARE ROOT PLANTING DETAIL

N.T.S.



BENCH DETAIL  
N.T.S.

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SITE PLAN

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**Project Number**

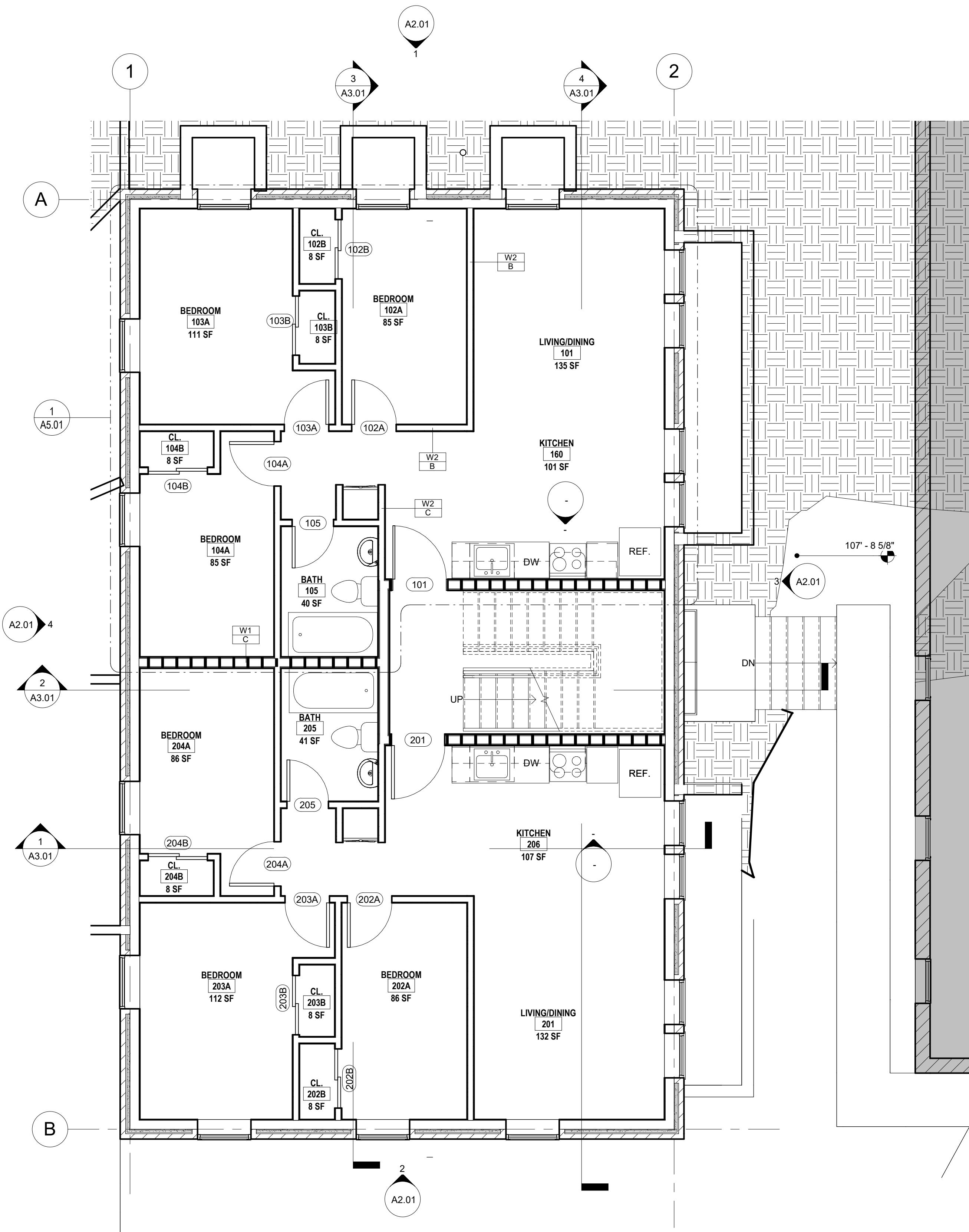
## SHEET NOTES

CONSTRUCTION KEYNOTES	
Keynote Number	Description

CURE ARCHITECTS

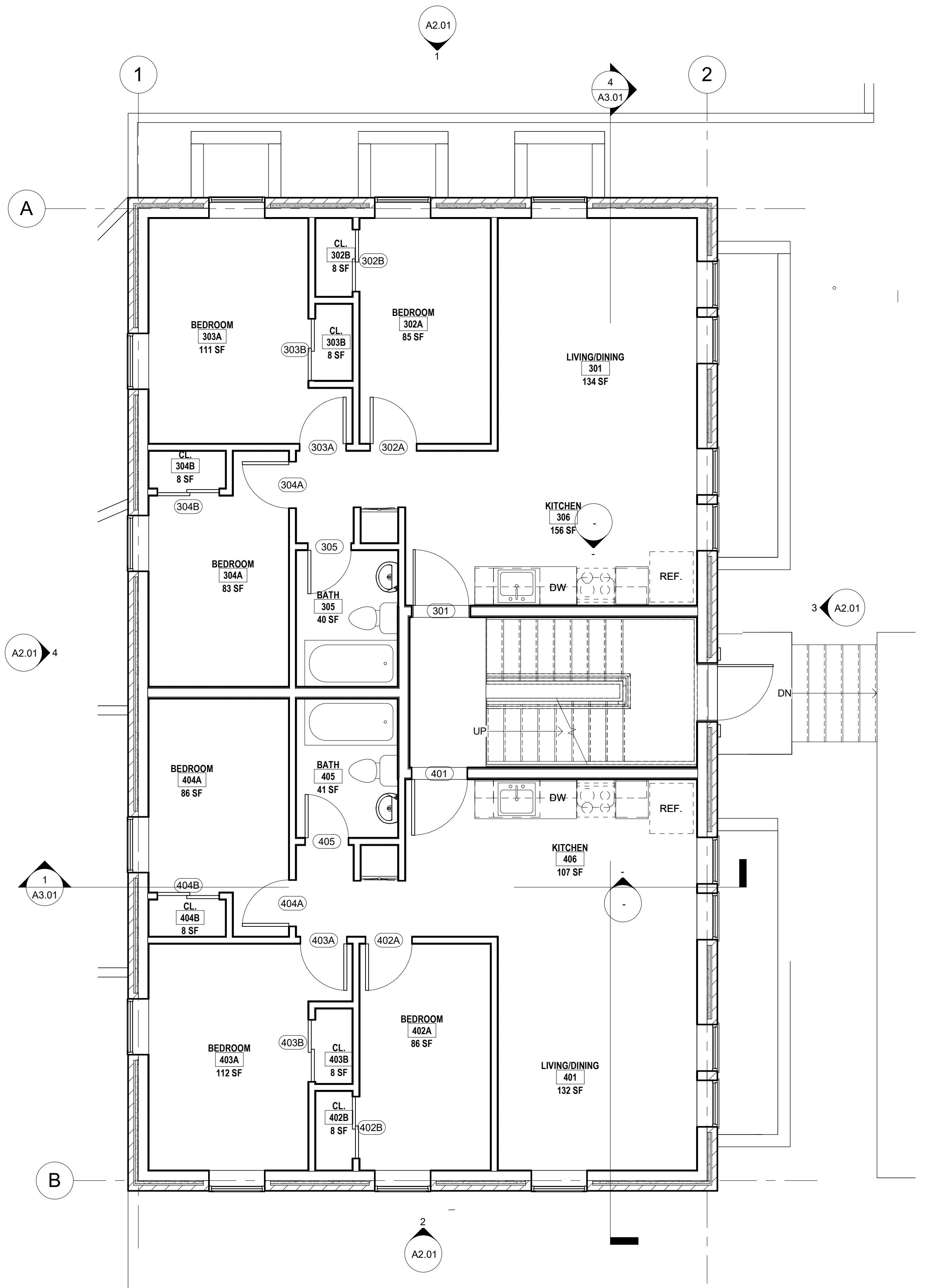
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1 Cellar  
A1.01

SCALE: 1/4" = 1'-0"



2 Level 1  
A1.01

SCALE: 1/4" = 1'-0"

## GENERAL NOTES

CONSTRUCTION LEGEND	
	NEW WALL CONSTRUCTION - SEE PARTITION TYPES
	NEW DOOR CONSTRUCTION. SEE DOOR AND FRAME TYPES, DOOR ELEVATIONS AND DOOR SCHEDULE. (SEE KEYNOTE AS SHOWN ON PLAN)

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CONSTRUCTION PLANS

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Project Number

## KEY PLAN

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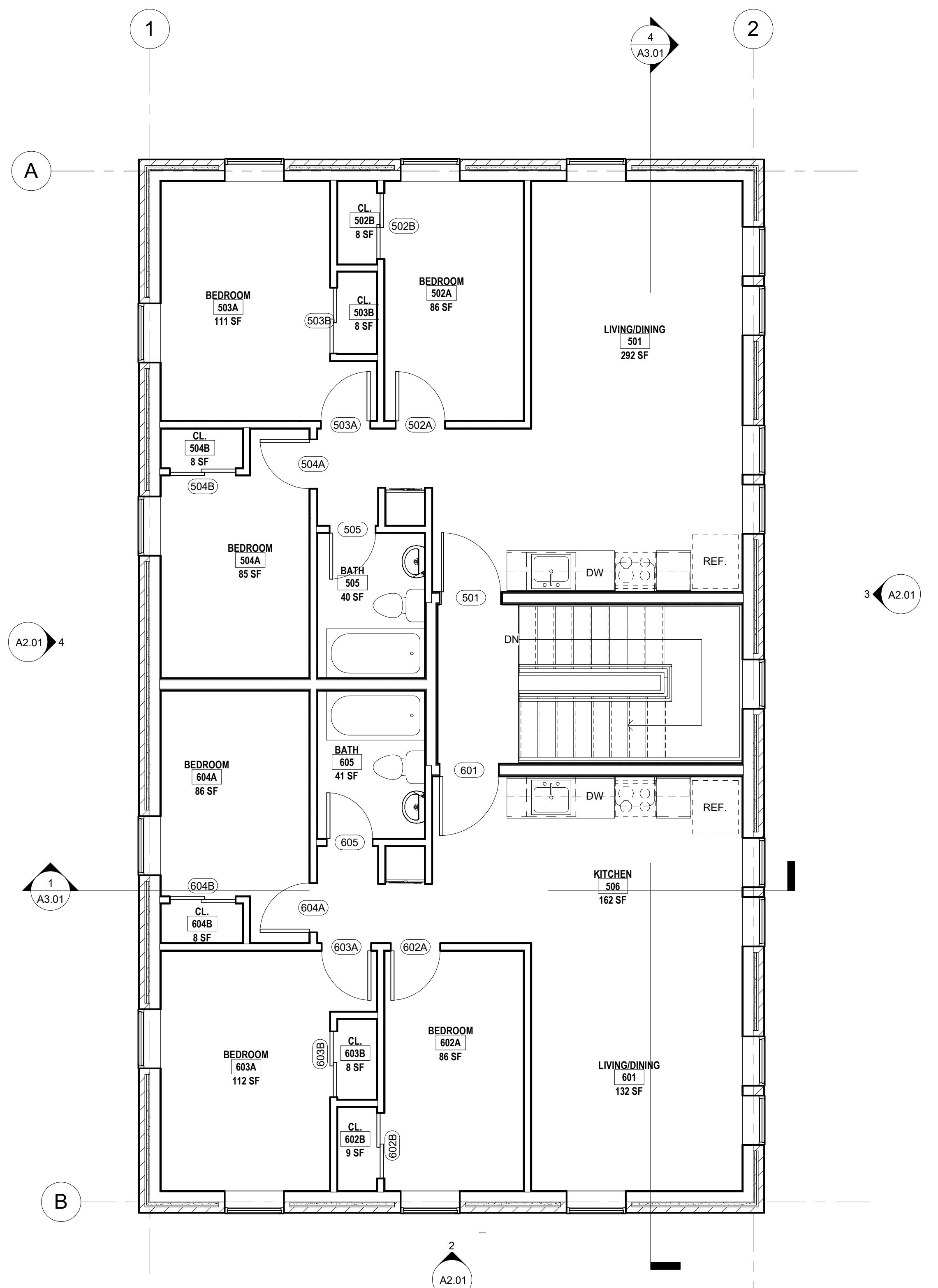
## SHEET NOTES

**CURE ARCHITECTS**

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## KEY PLAN

## SHEET NOTES

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Author

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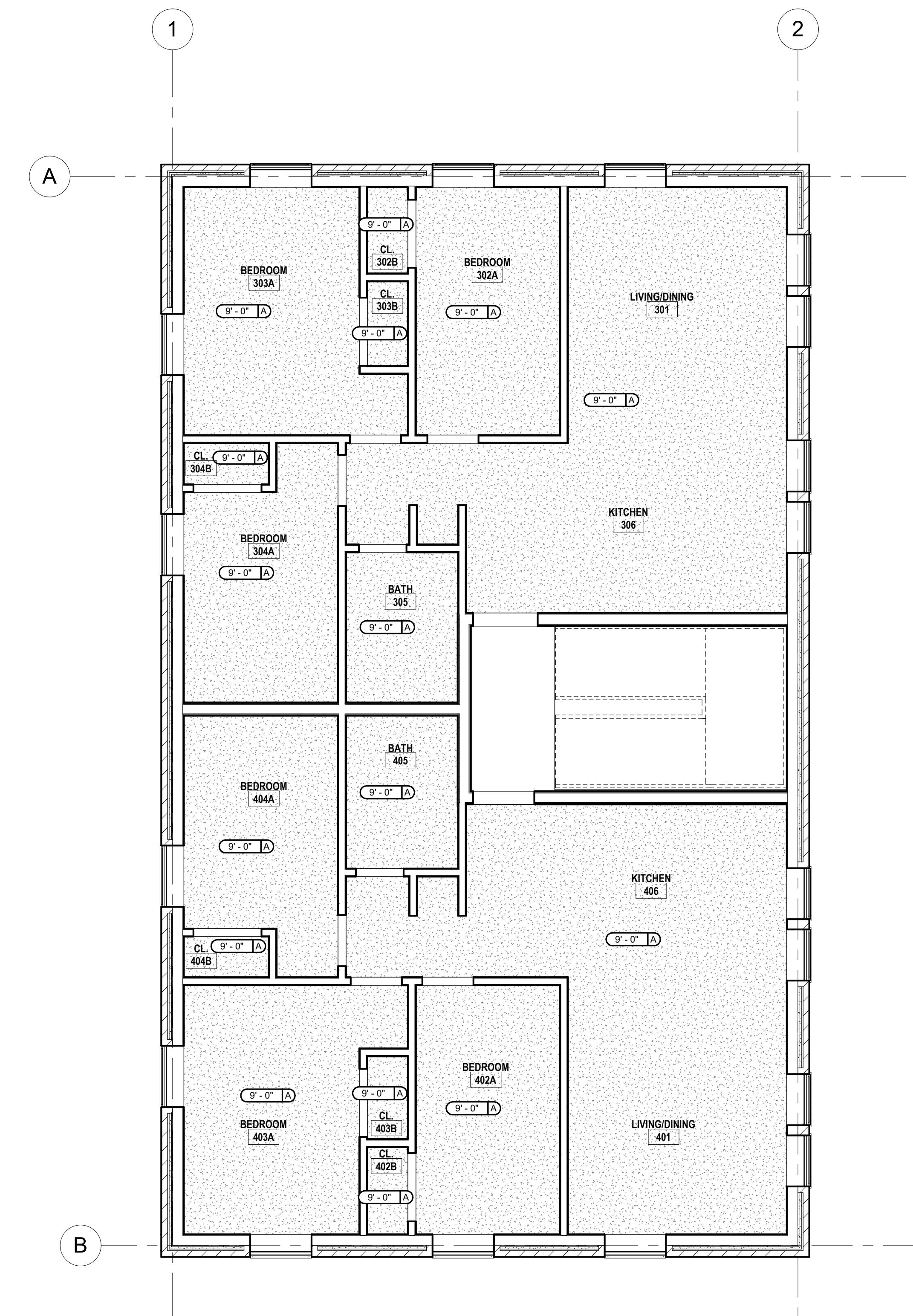
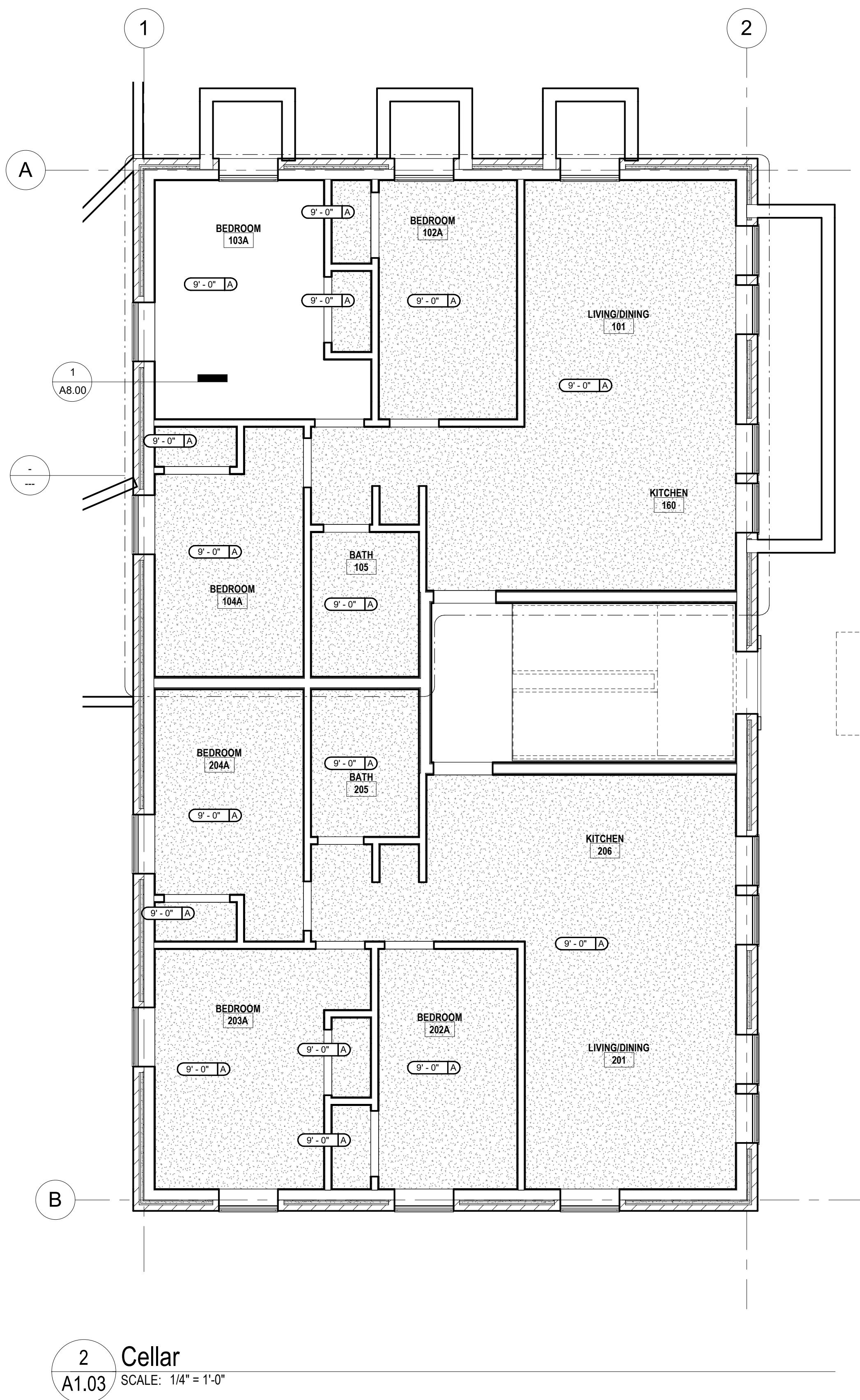
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Project Number



### CEILING LEGEND:

	CEILING HEIGHT 9'-6" A - CEILING FINISH
	PRIMED & PAINTED GYPSUM BOARD
	PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
	PRIMED & PAINTED GYPSUM BOARD ON UNDERSIDE OF FLOOR/ROOF SYSTEM ABOVE. ELEVATION LISTED IS APPROXIMATE.
	2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.
	2x2 LAY-IN ACOUSTICAL CLG. TILE WITH VINYL FACING. TILE SUSPENDED FROM STRUCT.
	PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT - PAINTED WITH EPOXY PAINT
	WOOD LOOK CEILING PANELS
	H. FACE APPLIED ACRYLIC COATING SYSTEM OVER 5/8" DENSGLAS GOLD SHEATHING

### CEILING - FIXTURE LEGEND:

	2 x 2 RECESSED LIGHTING FIXTURE
	2 x 4 RECESSED LIGHTING FIXTURE
	1' x 4' RECESSED LIGHTING FIXTURE
	4' STRIP LIGHTING FIXTURE, SURFACE MOUNTED
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHTING FIXTURE
	CEILING MOUNTED DECORATIVE LIGHTING FIXTURE.
	PENDANT LIGHT - SEE PLANS FOR CONFIGURATION & SIZE
	TRACK W/ADJUSTABLE TRACK HEADS
	LED COVE LIGHTING STRIP FIXTURE
	SPEAKER
	WIRELESS ACCESS POINT
	* PROVIDE EMERGENCY LIGHTING AS REQUIRED BY LOCAL CODE

### GENERAL NOTES

1. FIELD VERIFY EXISTING CONDITIONS / DIMENSIONS PRIOR TO START OF WORK.
2. EXISTING GATEWAY AND VEHICLE ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION.
3. REFER TO CIVIL DRAWINGS FOR SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO: SIGNAGE, SIDEWALKS, CURBS, SITE SIGNAGE, IRRIGATION, AND STORM WATER MANAGEMENT.
4. ALL DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
5. VERIFY ALL ROUGH OPENINGS OF ALL DOORS AND WINDOWS WITH THE MANUFACTURER'S REQUIREMENTS.
6. COORDINATE LOCATIONS OF FIRE EXTINGUISHERS AND SEMI-RECESSED WALL CABINETS (DESIGNATED AS FE OR FEW) WITH THE LOCAL FIRE MARSHAL. COORDINATE WALL DEPTH REQUIRED FOR CABINET W/MFR'S REQUIREMENTS.
7. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.
8. ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.

Sheet Revisions

Project Issues

**SHEET NOTES****CURE ARCHITECTS**

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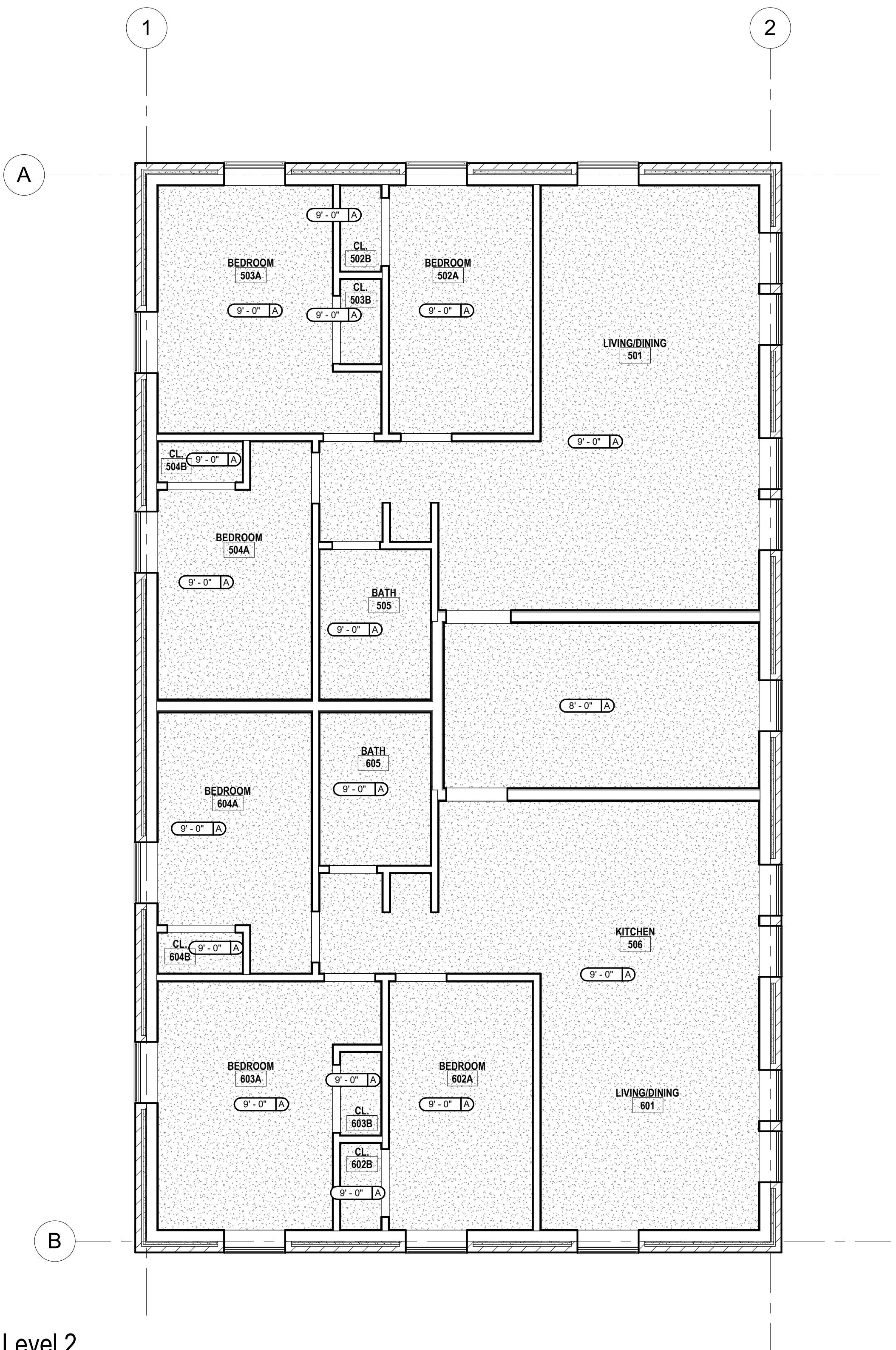
**CURE ARCHITECTS****GENERAL NOTES**

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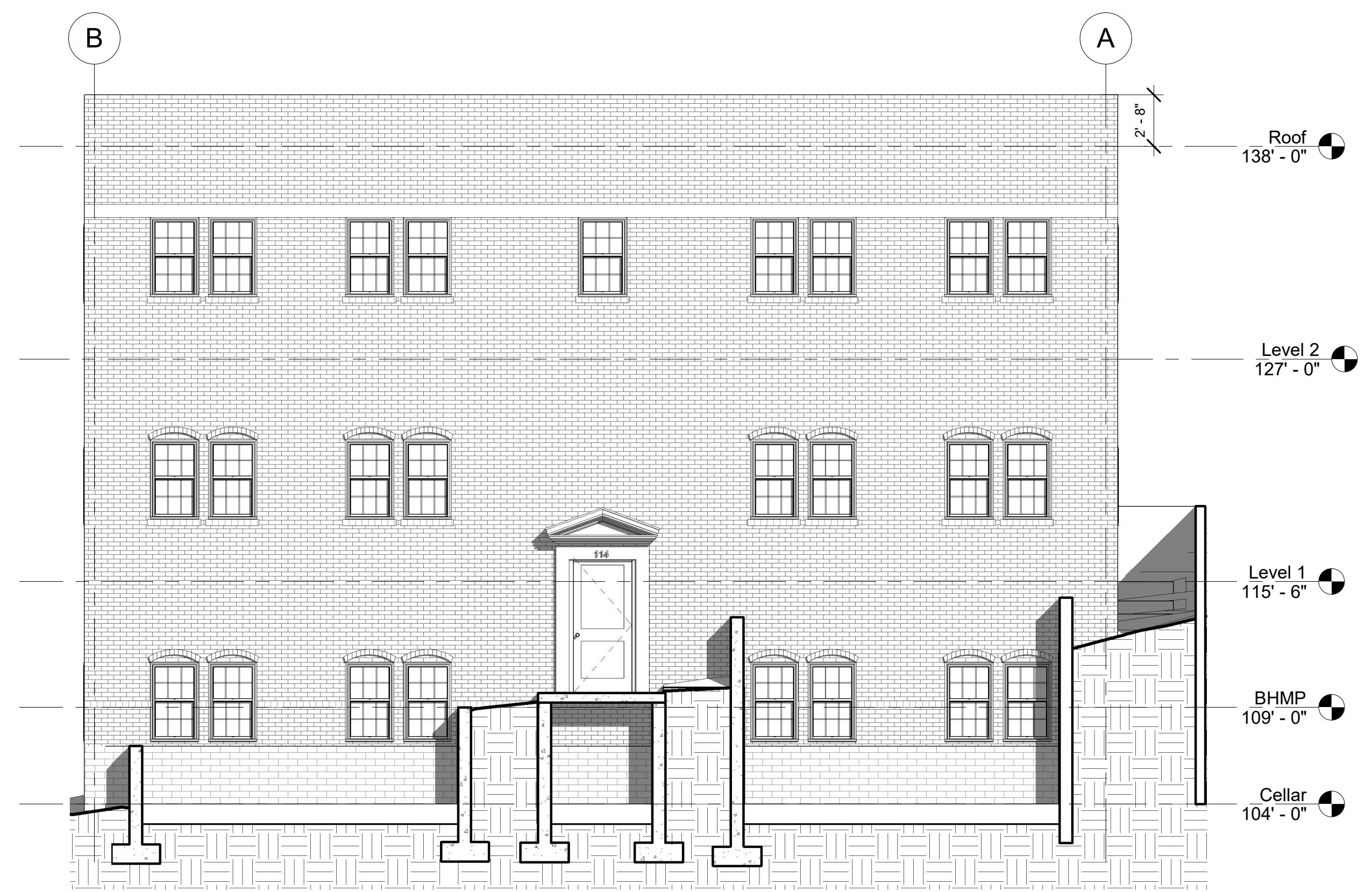
REFLECTED CEILING PLANS

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Author \_\_\_\_\_  
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Checker \_\_\_\_\_  
sheet number: \_\_\_\_\_  
job number: \_\_\_\_\_  
Project Number \_\_\_\_\_



1  
A1.04  
Level 2  
SCALE: 1/4" = 1'-0"

**A1.04**



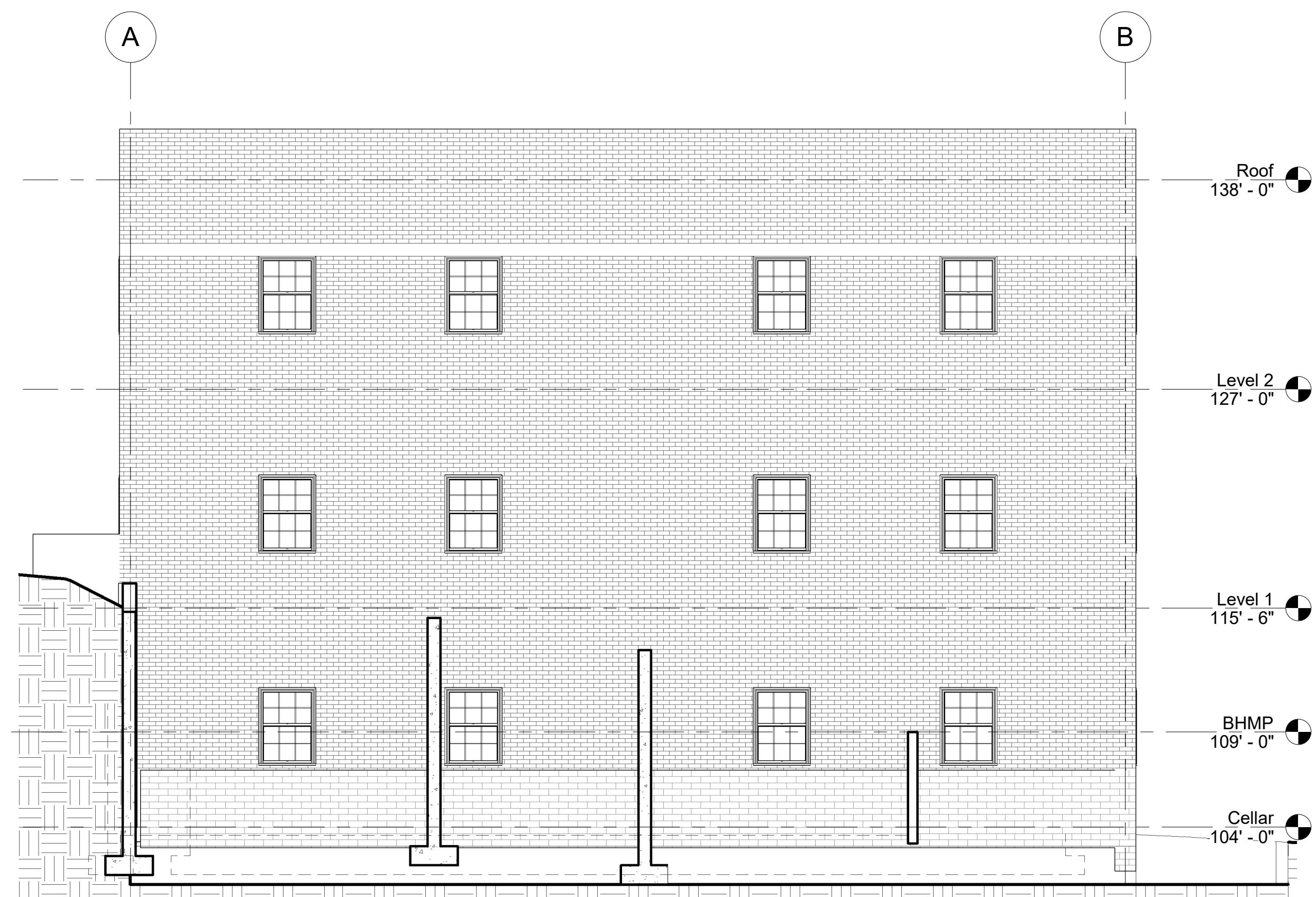
3 EAST ELEVATION  
A2.01

SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION  
A2.01

SCALE: 3/16" = 1'-0"



4 WEST ELEVATION  
A2.01

SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION  
A2.01

SCALE: 3/16" = 1'-0"

## SHEET NOTES

EXTERIOR KEYNOTES	
Keynote Number	Description

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

1113 WAYNE PLACE SE, WASHINGTON, D.C.

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Author  
checked by:  
Checker

sheet number:

BUILDING ELEVATIONS  
A2.01  
job number:  
Project Number

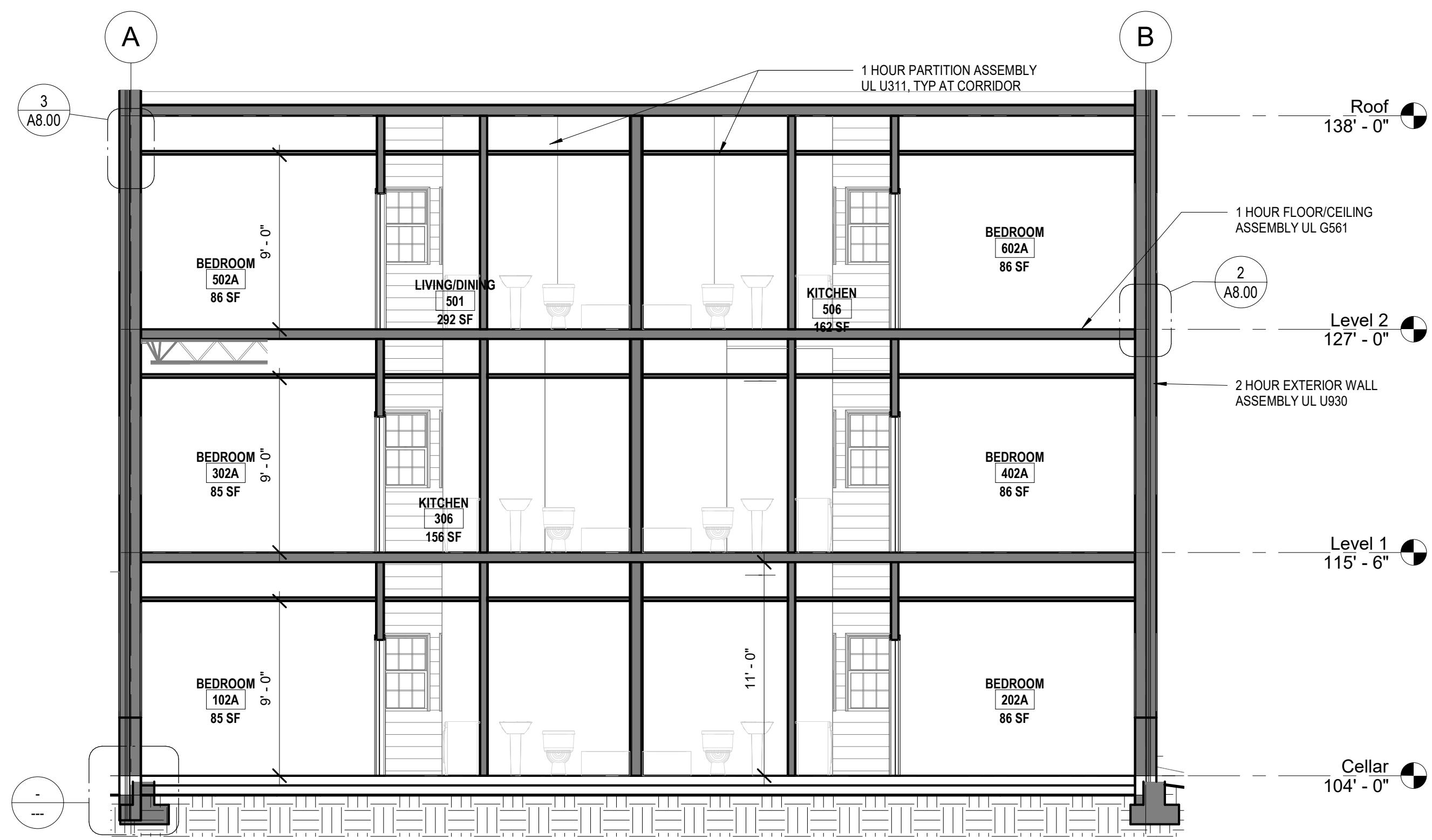
## SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

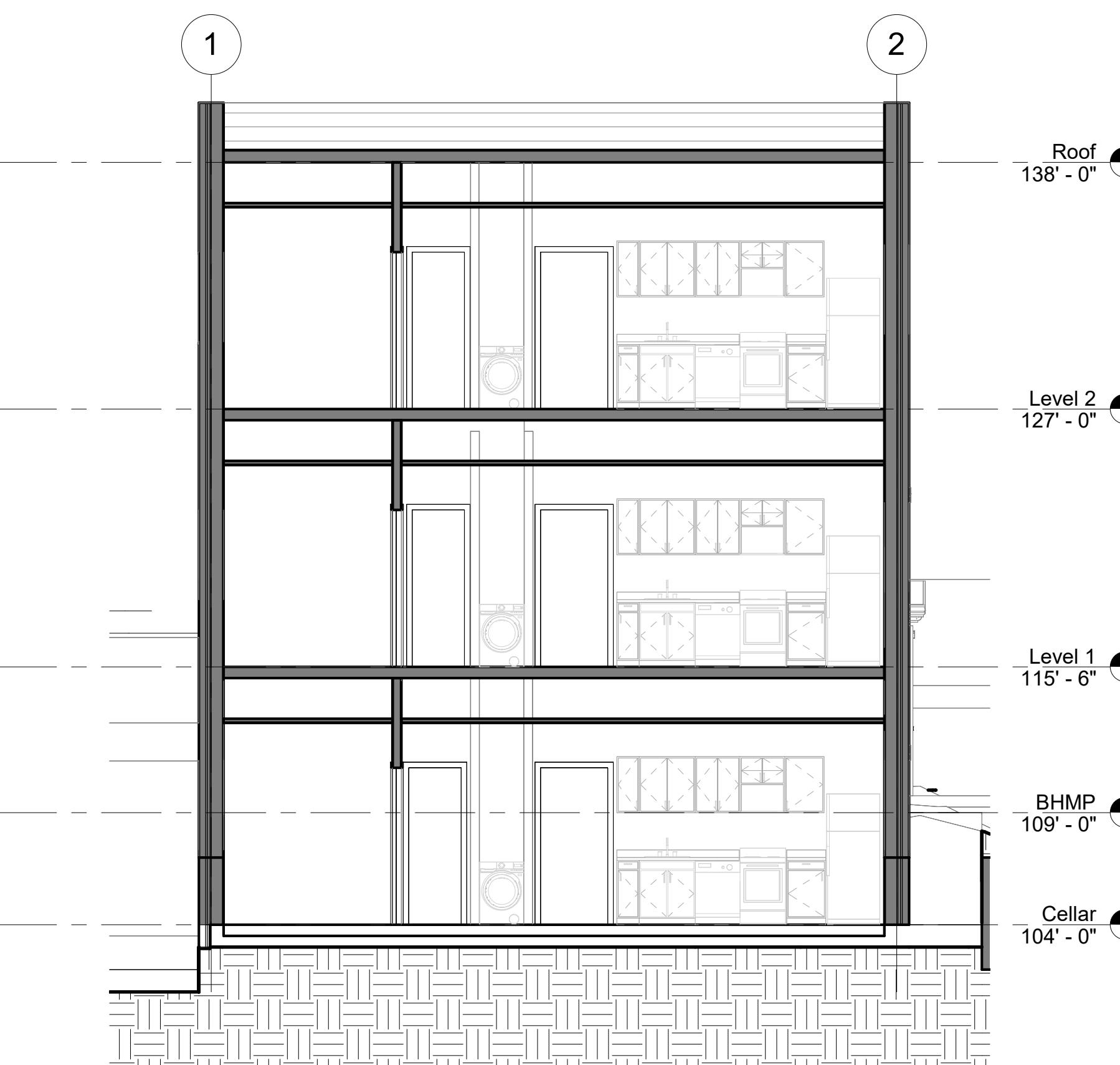
1113 WAYNE PLACE SE, WASHINGTON, D.C.



3 EAST SECTION A

A3.01

SCALE: 3/16" = 1'-0"

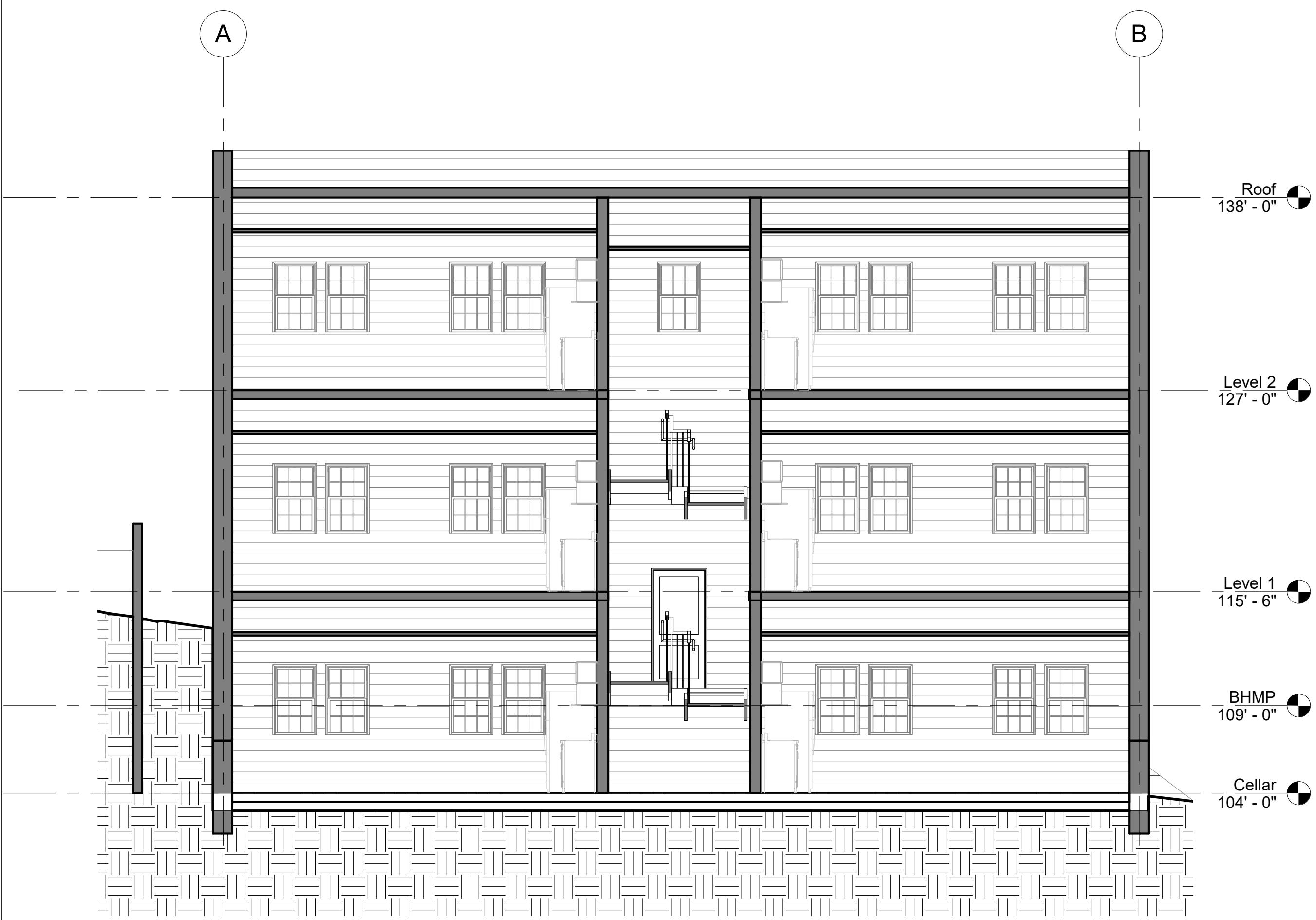


1 NORTH SECTION A

A3.01

SCALE: 3/16" = 1'-0"

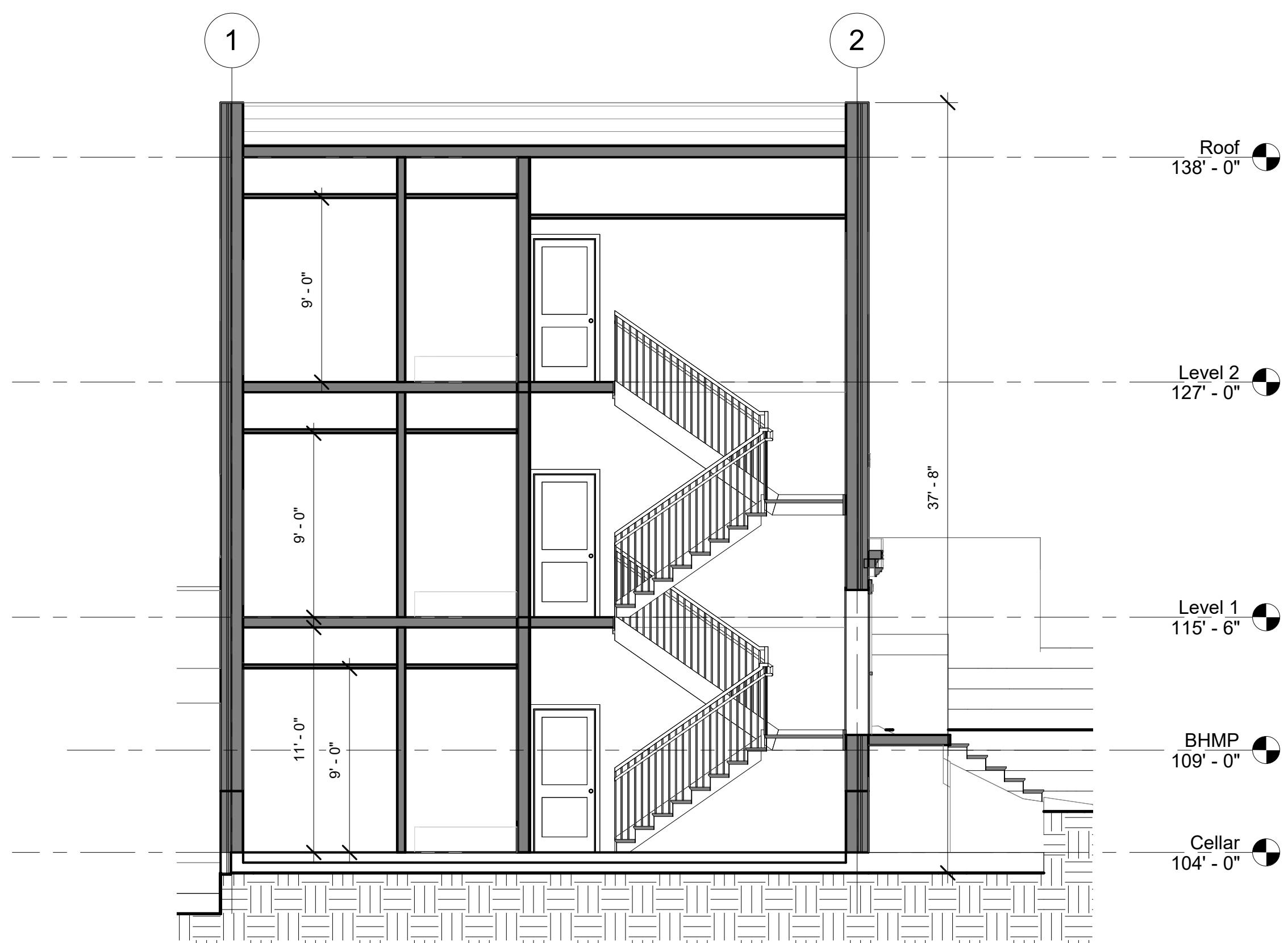
## GENERAL NOTES



4 EAST SECTION B

A3.01

SCALE: 3/16" = 1'-0"



2 NORTH SECTION B

A3.01

SCALE: 3/16" = 1'-0"

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sheet name:  
BUILDING SECTIONS

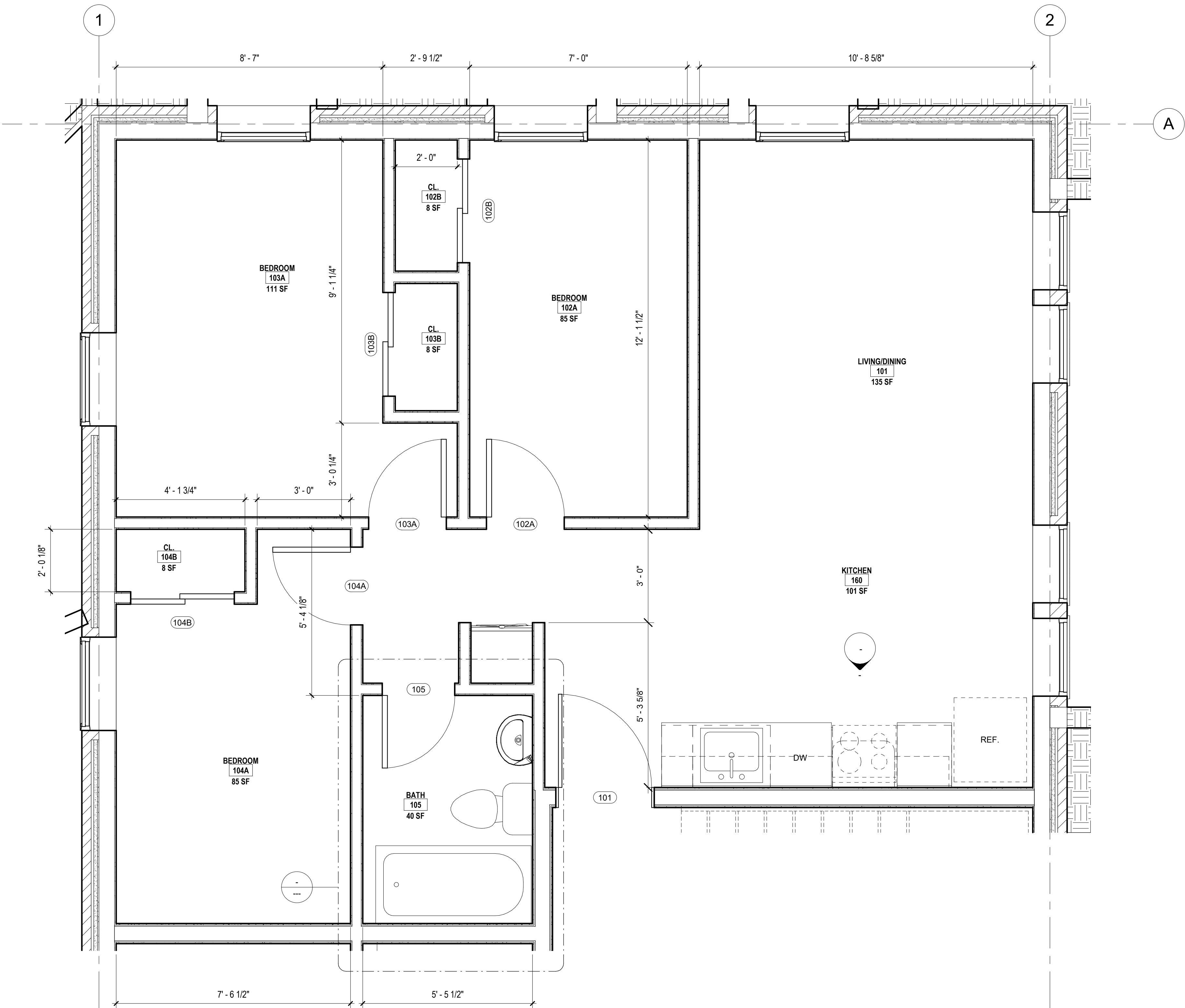
drawn by:  
Author

checked by:  
Checker

sheet number:  
A3.01

job number:  
Project Number

1000



1 TYPICAL UNIT LAYOUT  
A5.01 SCALE: 1/2" = 1'-0"

## SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS  
CHRISTOPHER MAK  
113 WAYNE PLACE SE, WASHINGTON, D.C.

CURE ARCHITECTS

## GENERAL NOTES

### WALL TYPE GENERAL NOTES:

1. BRACE ALL INTERIOR PARTITIONS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED TO PREVENT WALLS FROM FLEXING.
2. ALL FULL HEIGHT METAL STUD FRAMING SHALL BE BRACED TO THE ROOF STRUCTURE AND SHALL NOT BE FASTENED IN ANY WAY TO PANELS OR ROOF DECK (UNO).
3. FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED WITHIN WALLS AND ROUGH OPENINGS AS REQUIRED FOR MILLWORK SUPPORT, GRAB BARS, CLOSET SHELVING/RODS, TOILET ACCESSORIES, ETC. COORDINATE BLOCKING LOCATIONS AND REQUIREMENTS WITH PLANS AND G.C. PRIOR TO INSTALLATION OF GYP BD.
4. CAULK PERIMETER OF ALL SOUND INSULATED WALLS WITH AN ACOUSTICAL SEALANT.
5. SEE FLOOR PLAN WALL TAG AND WALL COMPONENT NOTES FOR ADDITIONAL INFORMATION.

### WALL COMPONENT NOTES

WALL TYPE TAG		ADDITIONAL WALL COMPONENT - SEE BELOW.
COMPONENT LETTER	COMPONENT NOTE/DESCRIPTION	Project Issues
A	INSULATION OCCURS FROM FLOOR SLAB TO MIN 6" ABOVE FINISHED CEILING.	
B	INSULATION OCCURS FROM FLOOR SLAB TO DECK ABOVE.	
C	MOLD/MOISTURE RESISTANT GYP BD ON WET WALL SIDE.	
D	FACE APPLIED ACRYLIC COATING SYSTEM MOLD/MOISTURE RESISTANT GYP BD.	

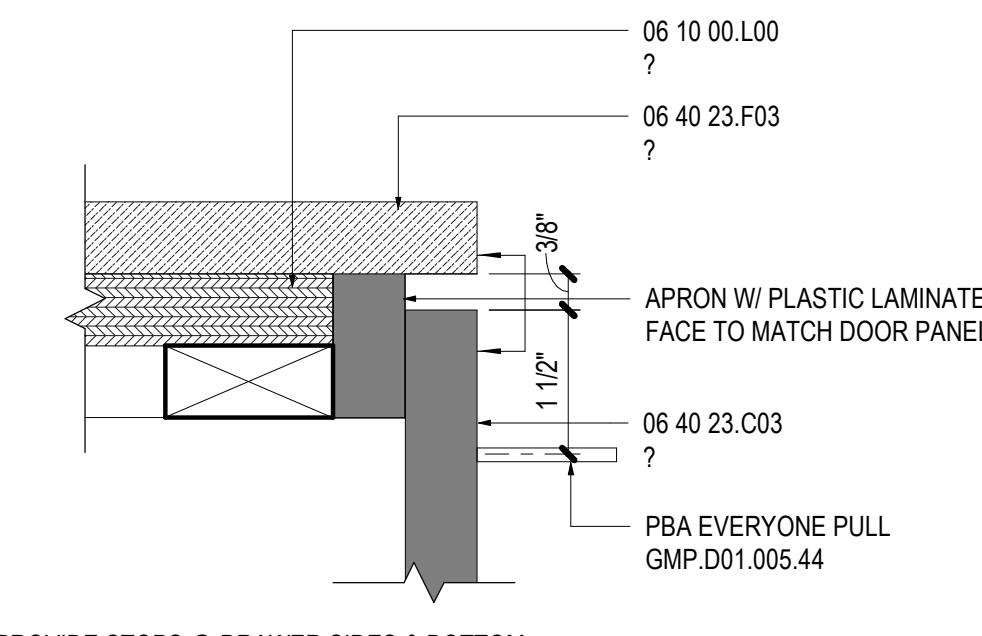
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checked by: \_\_\_\_\_  
sheet number: \_\_\_\_\_  
job number: \_\_\_\_\_  
Project Number: \_\_\_\_\_

drawn by:  
Author  
checked by:  
Checker  
sheet number:  
job number:  
Project Number

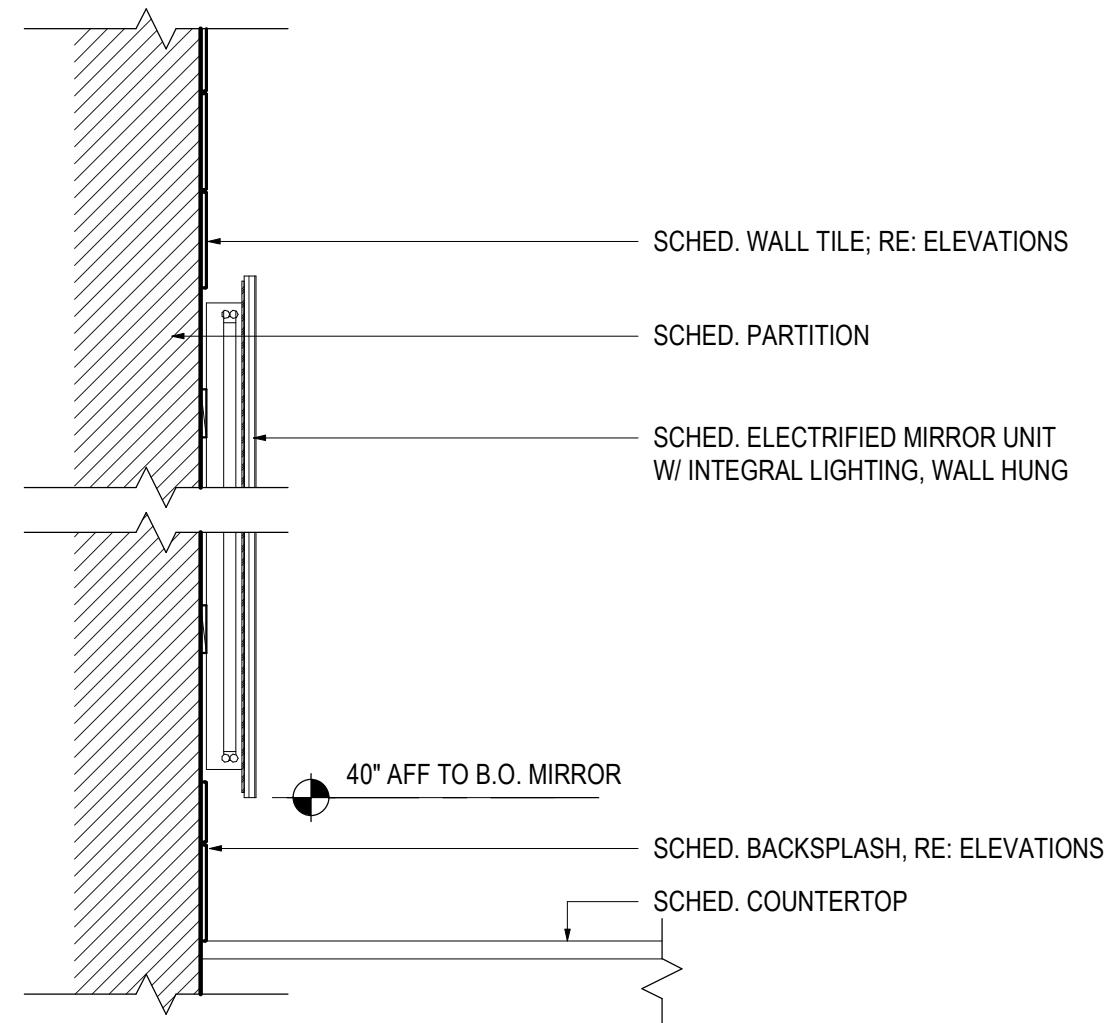
A5.01  
job number:  
Project Number

10 DETAIL - BASE CABINET FINGER PULL1  
A6.01

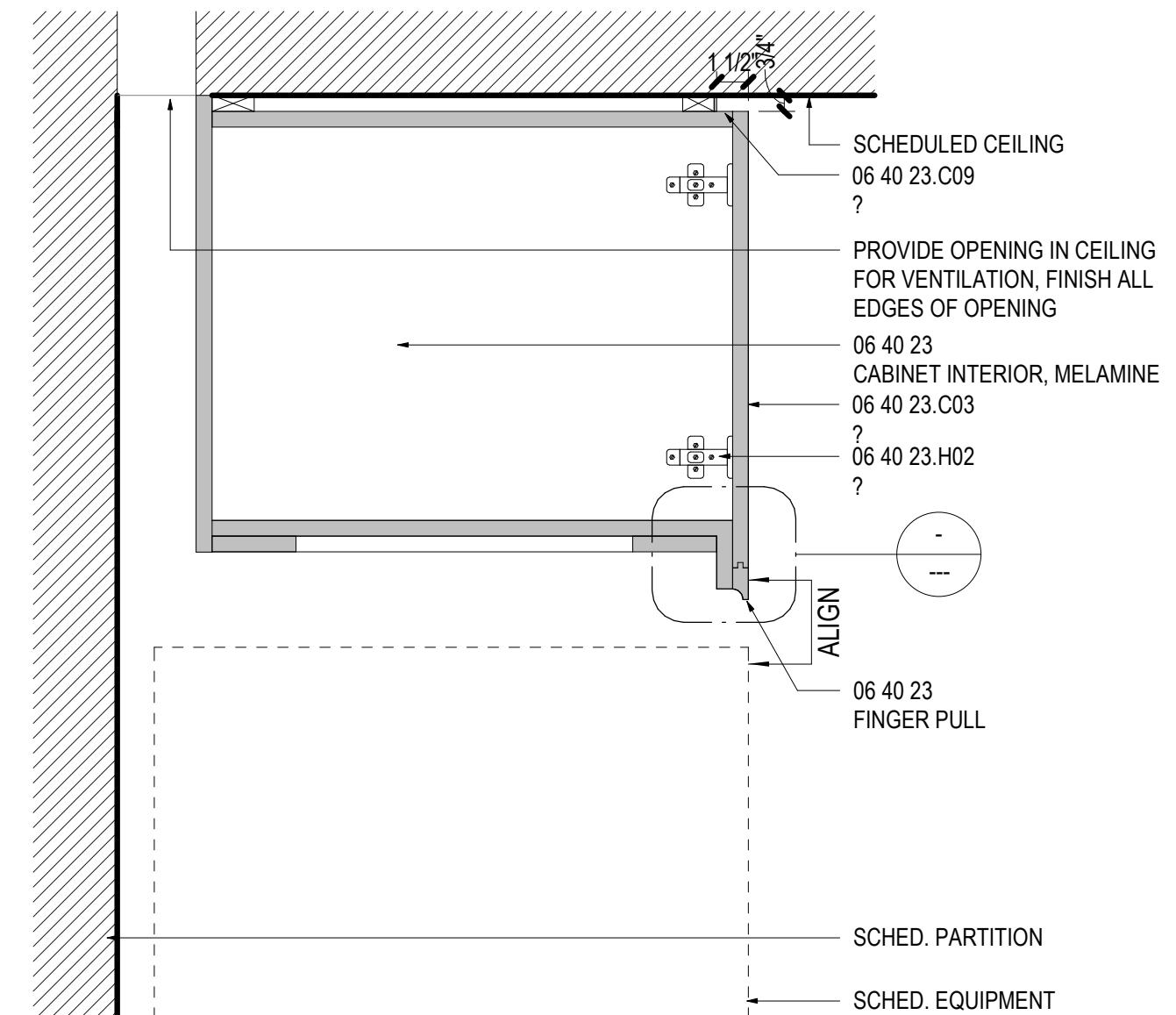
SCALE: 6" = 1'-0"

07 SECTION - ELECTRIFIED MIRROR  
A6.01

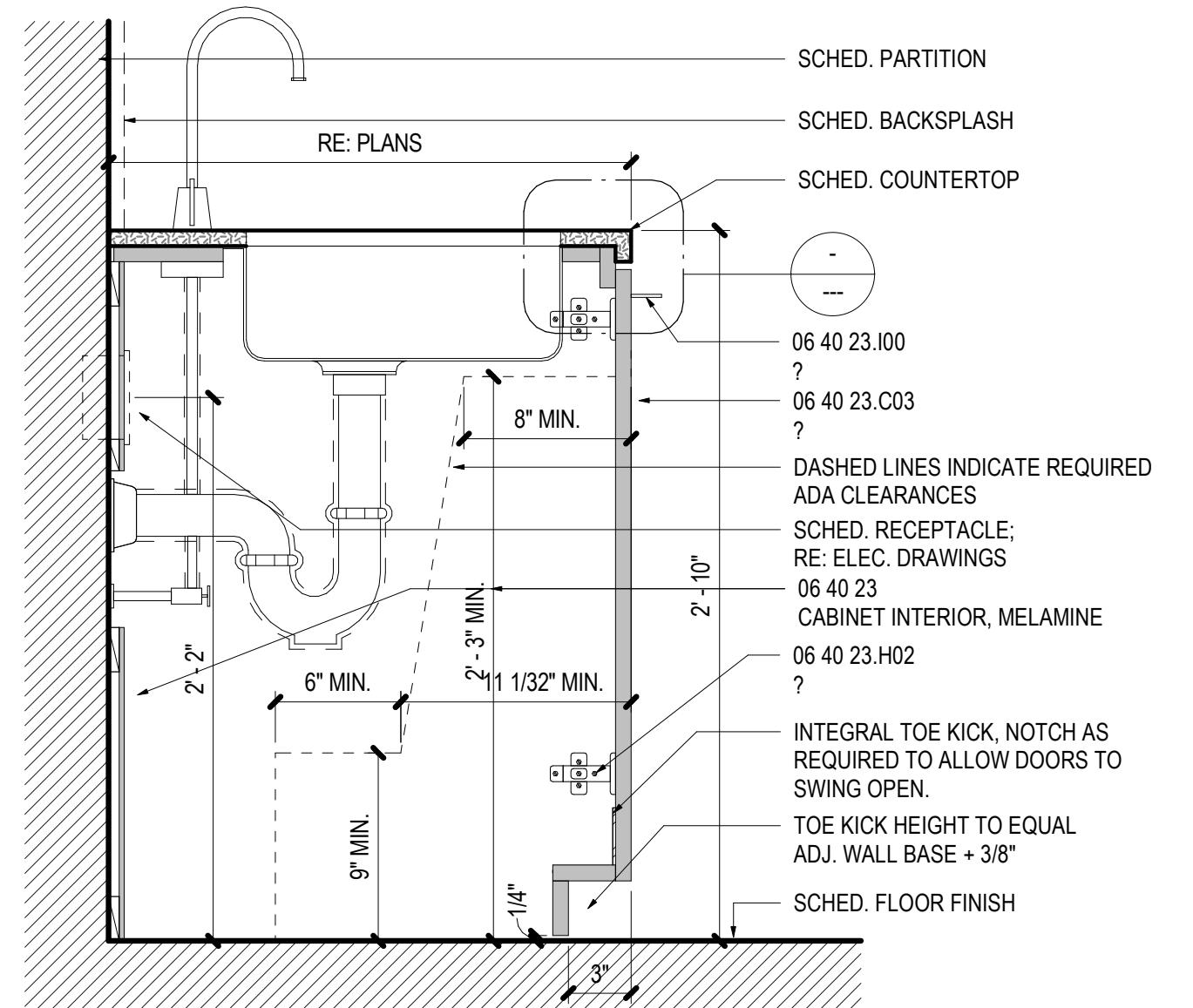
SCALE: 1 1/2" = 1'-0"

04 UPPER CABINET - CLOSED, NO SOFFIT  
A6.01

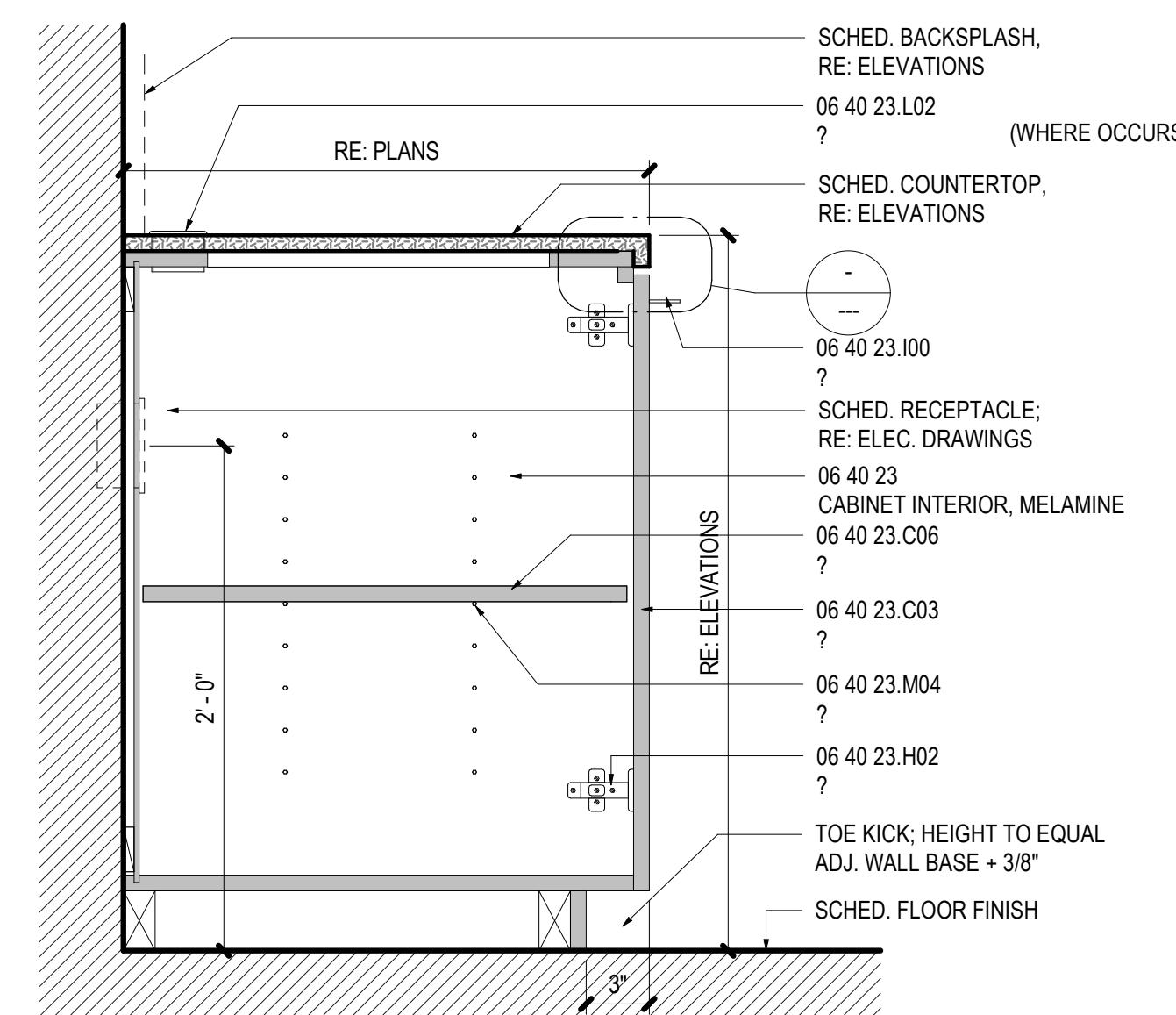
SCALE: 1 1/2" = 1'-0"

01 UPPER CABINET - CLOSED  
A6.01

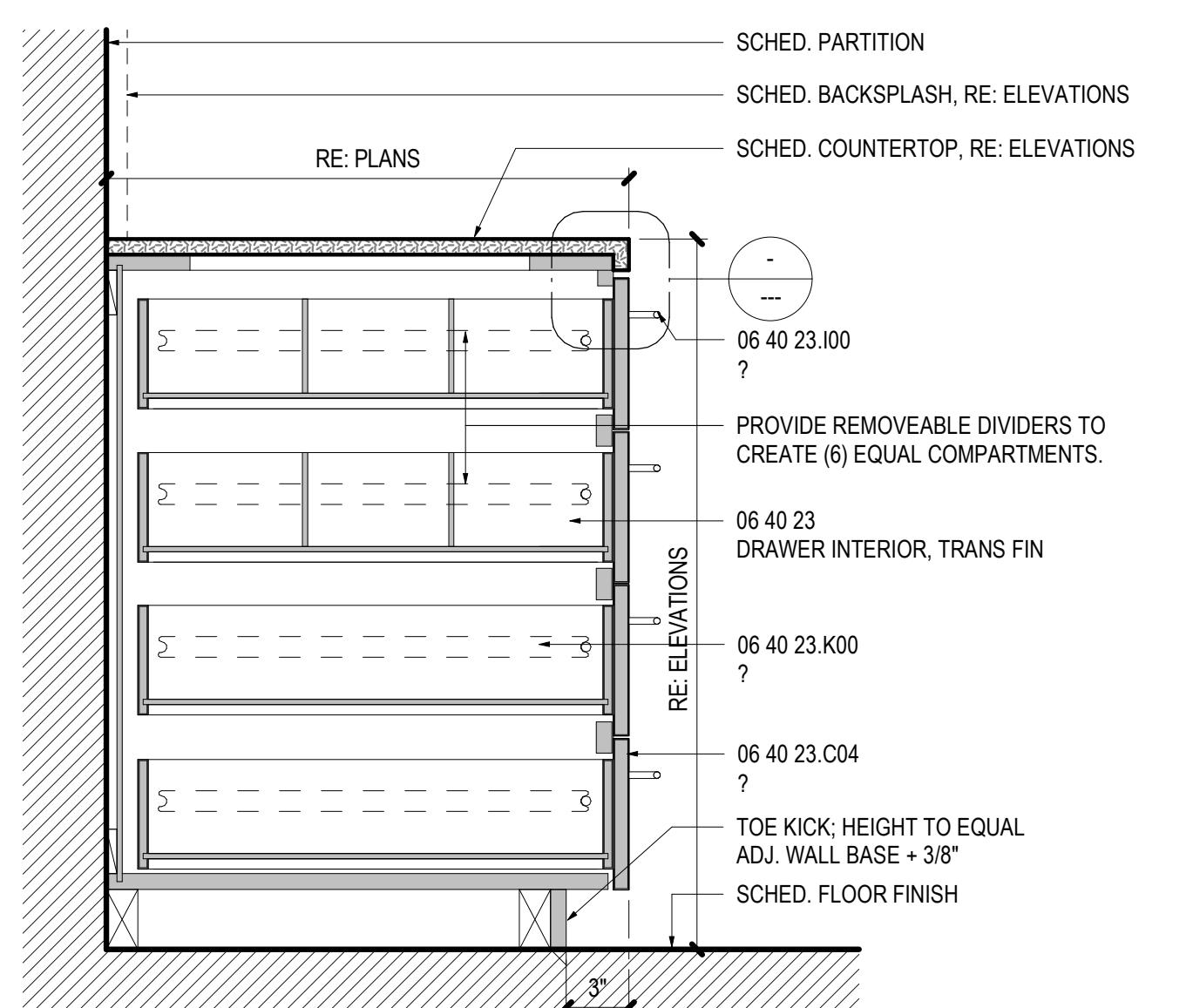
SCALE: 1 1/2" = 1'-0"

05 UPPER CABINET - ABOVE REFRIGERATOR  
A6.01

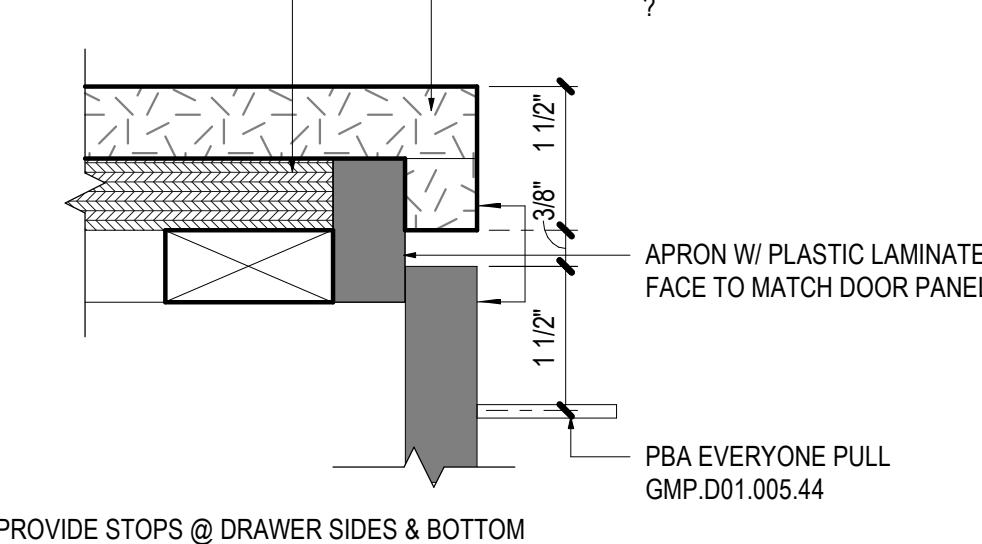
SCALE: 1 1/2" = 1'-0"

02 BASE CABINET - ADA SINK  
A6.01

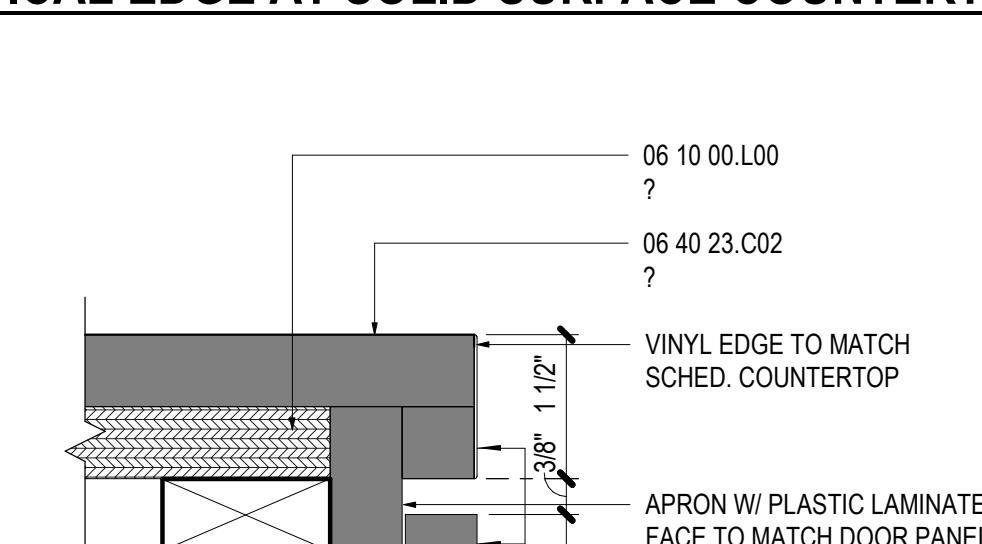
SCALE: 1 1/2" = 1'-0"

11 DETAIL - TYP. COUNTERTOP EDGES1  
A6.01

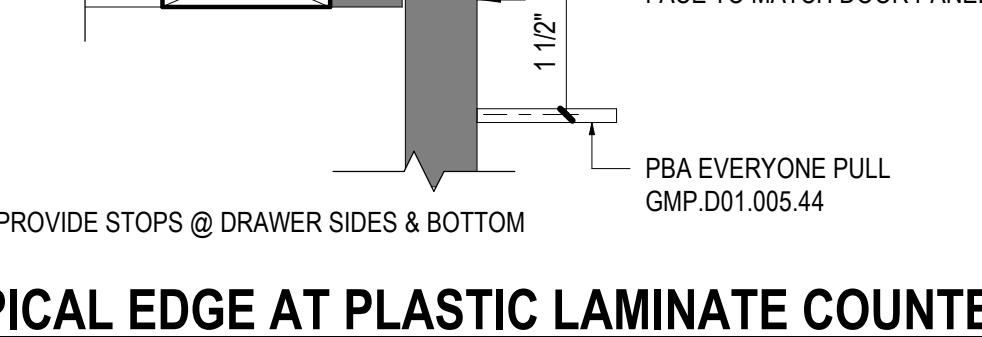
SCALE: 6" = 1'-0"



TYPICAL EDGE AT SOLID SURFACE COUNTERTOPS



TYPICAL EDGE AT PLASTIC LAMINATE COUNTERTOPS

06 BASE CABINET - ADJ. SHELVES  
A6.01

SCALE: 1 1/2" = 1'-0"

03 BASE CABINET - DRAWERS  
A6.01

SCALE: 1 1/2" = 1'-0"



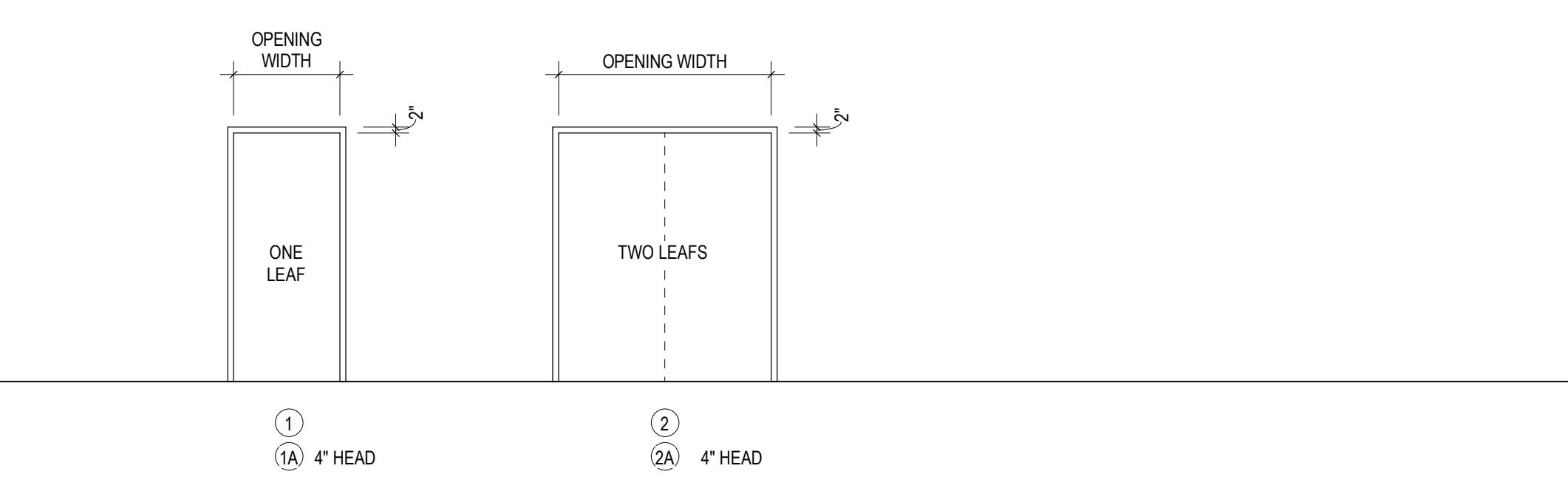
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checked by:  TR

sheet number:  A6.01

job number:  Project Number

DOOR/FRAME SCHEDULE										
DOOR DOOR NO.	TYPE	LOCATION	DOOR		FRAME			FIRE RATING	HDWR SET NO.	REMARKS
			WIDTH	HEIGHT	MATERIAL	Frame Type	FINISH			
101			3'-0"	7'-0"						
102A	BEDROOM		2'-6"	7'-0"						
102B	BEDROOM		3'-4"	7'-0"						
103A	BEDROOM		2'-6"	7'-0"						
103B	CL.		3'-4"	7'-0"						
104A	BEDROOM		2'-6"	7'-0"						
104B	BEDROOM		3'-4"	7'-0"						
105	BATH		2'-4"	7'-0"						
201			3'-0"	7'-0"						
202A	BEDROOM		2'-6"	7'-0"						
202B	CL.		3'-4"	7'-0"						
203A	BEDROOM		2'-6"	7'-0"						
203B	BEDROOM		3'-4"	7'-0"						
204A	BEDROOM		2'-6"	7'-0"						
204B	CL.		3'-4"	7'-0"						
205	BATH		2'-4"	7'-0"						
301	KITCHEN		3'-0"	7'-0"						
302A	KITCHEN		2'-6"	7'-0"						
302B	BEDROOM		3'-4"	7'-0"						
303A	BEDROOM		2'-6"	7'-0"						
303B	CL.		3'-4"	7'-0"						
304A	KITCHEN		2'-6"	7'-0"						
304B	BEDROOM		3'-4"	7'-0"						
305	KITCHEN		2'-4"	7'-0"						
317			3'-0"	7'-0"						
334			3'-0"	7'-0"						
401			3'-0"	7'-0"						
402A	BEDROOM		2'-6"	7'-0"						
402B	CL.		3'-4"	7'-0"						
403A	BEDROOM		2'-6"	7'-0"						
403B	BEDROOM		3'-4"	7'-0"						
404A	BEDROOM		2'-6"	7'-0"						
404B	CL.		3'-4"	7'-0"						
405	BATH		2'-4"	7'-0"						
501	LIVING/DINING		3'-0"	7'-0"						
502A	LIVING/DINING		2'-6"	7'-0"						
502B	BEDROOM		3'-4"	7'-0"						
503A	BEDROOM		2'-6"	7'-0"						
503B	CL.		3'-4"	7'-0"						
504A	LIVING/DINING		2'-6"	7'-0"						
504B	BEDROOM		3'-4"	7'-0"						
505	LIVING/DINING		2'-4"	7'-0"						
601	KITCHEN		3'-0"	7'-0"						
602A	BEDROOM		2'-6"	7'-0"						
602B	CL.		3'-4"	7'-0"						
603A	KITCHEN		2'-6"	7'-0"						
603B	BEDROOM		3'-4"	7'-0"						
604A	BEDROOM		2'-6"	7'-0"						
604B	CL.		3'-4"	7'-0"						
605	BATH		2'-4"	7'-0"						



SEE DOOR SCHEDULE FOR DOOR DIMENSIONS

3. DOOR SIZE:

SEE SCHEDULE FOR WIDTH, HEIGHT AND THICKNESS

4. DOOR MATERIAL:

SEE HOLLOW METAL ELEVATION LEGEND

NOTE: FRAMES DESIGNATED WITH "A" SUFFIX HAVE 4" HEAD FRAME FOR CMU WALLS

ALUM ALUMINUM

HM HOLLOW METAL

STL INSULATED STEEL

SCW SOLID CORE WOOD

HCW SOLID CORE WOOD

GL GLASS

TEMP TEMPERED GLASS

F FLUSH DOOR

FG FULL GLASS DOOR

HG HALF GLASS DOOR

NL NARROW LIGHT DOOR

VL VISION LIGHT DOOR

LV DOOR WITH LOUVER

EX EXISTING DOOR TO REMAIN

FRP FIBER REINFORCED PLASTIC

- NOT APPLICABLE

SCH = SOLID CORE W/ WOOD VENEER FACES

SCP = SOLID CORE W/ HARBORD FACES

SCA = SOLID CORE PLASTIC LAMINATE FACES

SCA = SOLID CORE ACROVYN FACES

HM = HOLLOW METAL

GHM = GALVANIZED HOLLOW METAL

AL = ALUMINUM & GLASS

LL = LEAD LINED

WTF = WOOD TRANSPARENT FINISH

WOF = WOOD OPAQUE FINISH

MGP = METAL GALVANIZED PAINTED

MP = METAL PAINTED

AL = ANODIZED ALUMINUM

PL = PLASTIC LAMINATE

WG = 1/4" WIRE GLASS

CTG = 1/4" CLEAR TEMPERED GLASS

LG = 1/4" LEADED GLASS

FRG = 1/4" FIRE RATED GLASS

5. DOOR FINISH:

SEE FRAME DETAILS ON SHEET

6. GLASS TYPE:

SEE FRAME DETAILS ON SHEET

7. FRAME ELEVATION:

SEE HOLLOW METAL ELEVATION LEGEND

8. FRAME MATERIAL:

SEE HOLLOW METAL ELEVATION LEGEND

9. FRAME FINISH:

SEE FRAME DETAILS ON SHEET

10. FRAME DETAILS:

SEE FRAME DETAILS ON SHEET

11. UL RATING:

20 M; 45 M; 1 H; 1.5 H; 2 H; 3 H

12. HARDWARE SET:

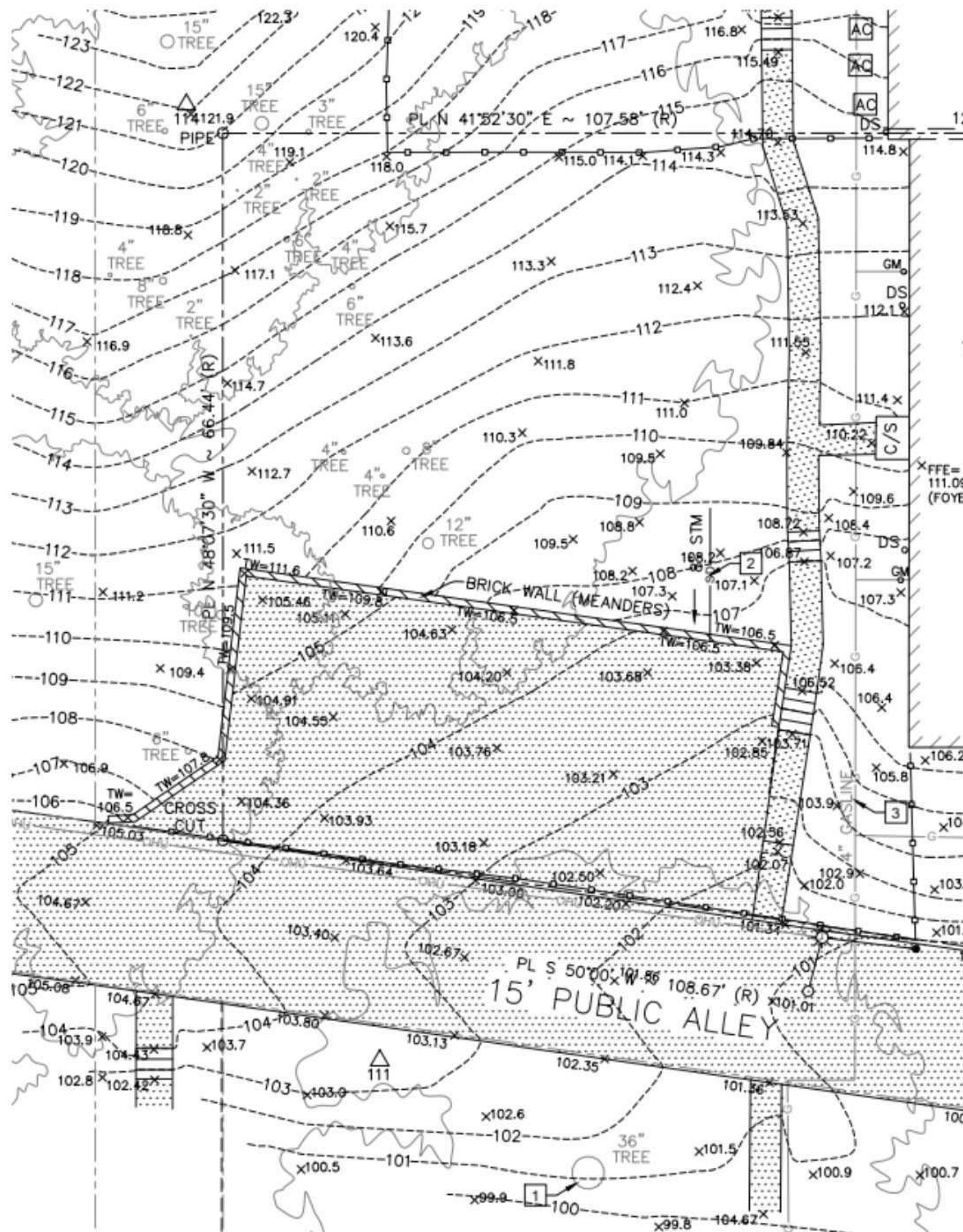
SEE HARDWARE SETS IN SPECIFICATIONS.

### J1 JAMB DETAIL

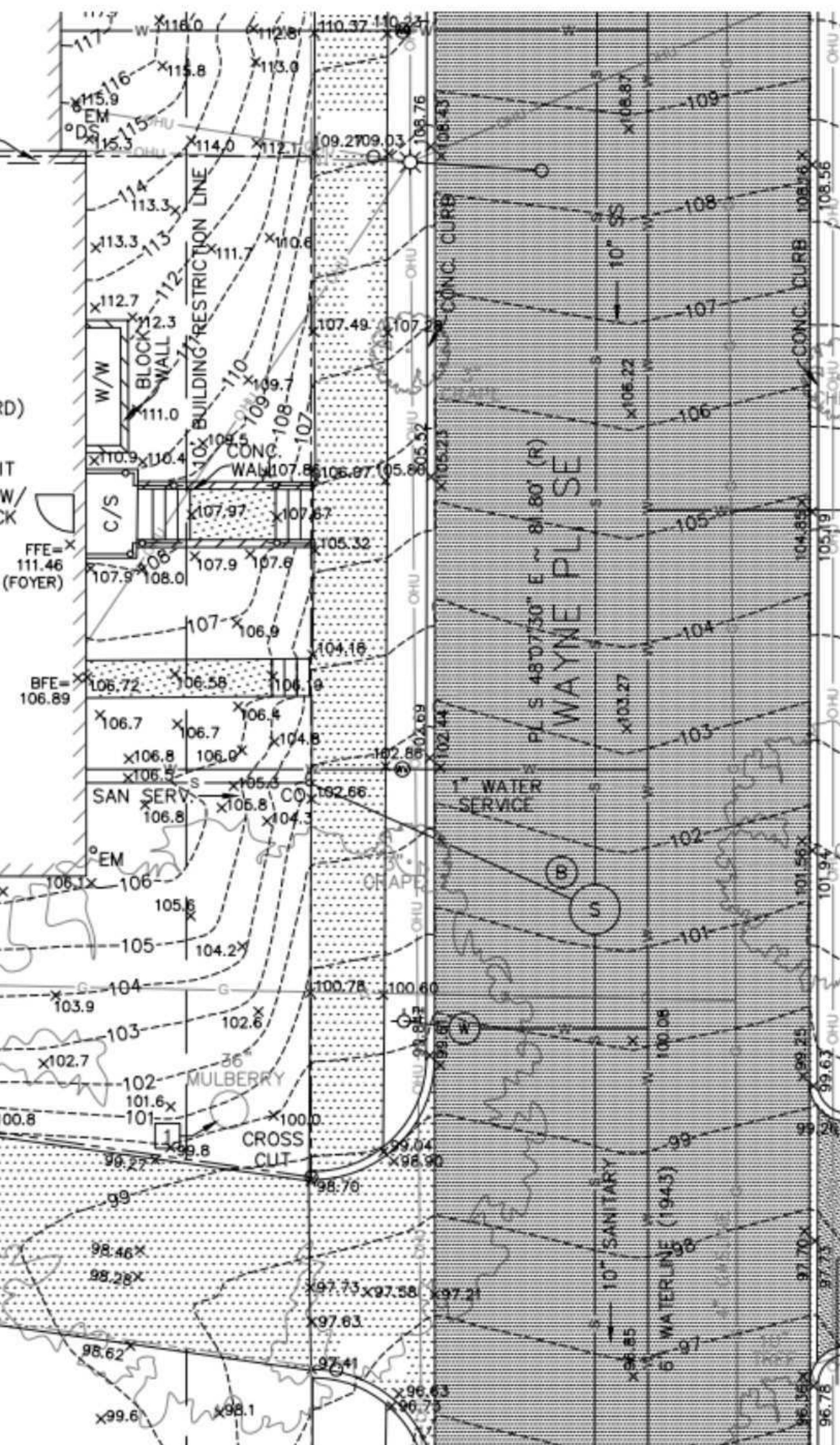
A7.01

SCALE: 1 1/2" = 1'-0"

SEE HARDWARE SETS IN SPECIFICATIONS.



## 1 Existing Landscaping and Grading



# WAYNE PLACE APARTMENTS CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, DC.

no.	description	date
Sheet Revisions		
no.	description	date
Project Issues		
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