

WAYNE PLACE APARTMENTS

113 Wayne Place SE.

CONSTRUCTION DOCUMENTS

Washington, DC
20032

PREPARED FOR:

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CODE INFORMATION

I. PROJECT LOCATION 113 WAYNE PLACE SE
WASHINGTON, DC 20032

2. SCOPE OF WORK : THE PROJECT SCOPE OF WORK IS TO BUILD AN ADDITION TO THE EXISTING BUILDING. THE BUILDING WILL INCLUDE 6 UNITS ON 3 LEVELS. EACH UNIT WILL BE 3 BEDROOMS AND 1 BATHROOM.

II. DESCRIPTION & USER GROUP CLASSIFICATION OF BLDG

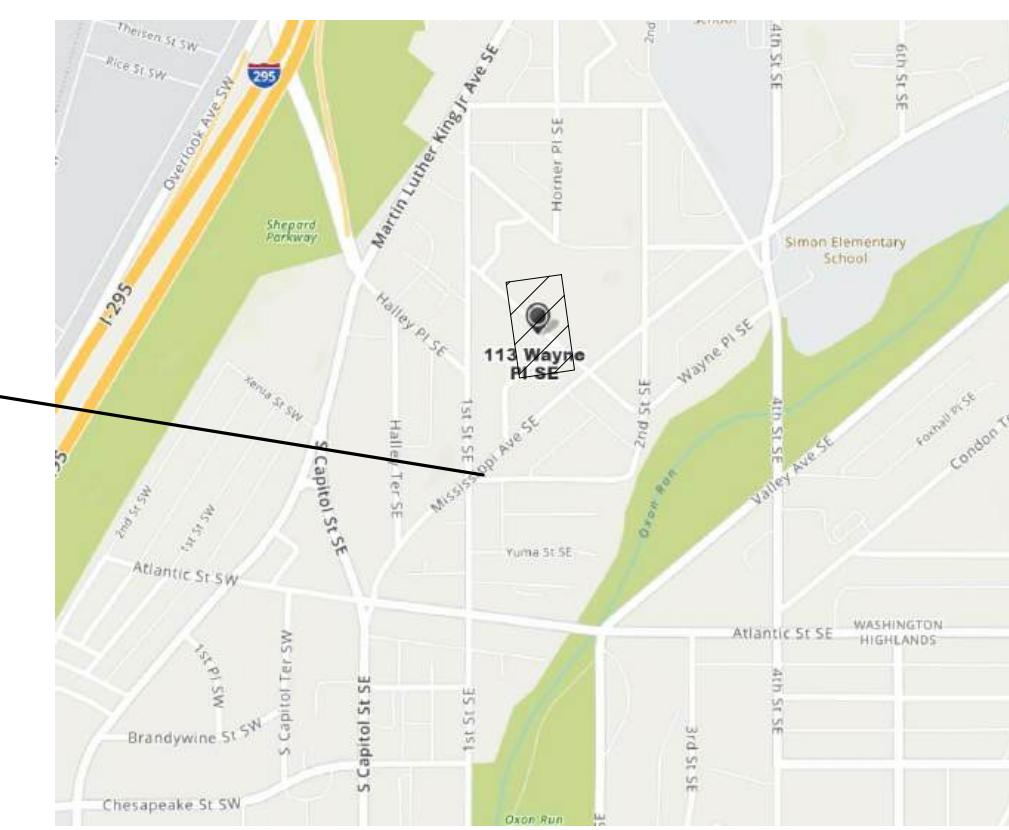
SQUARE: 6117
SUFFIX: 0052
ZONE: RA-1
FUTURE LAND USE: RMOD
GREEN AREA RATIO (GAR): .4
FLOOR AREA RATIO (FAR): .9
LAND AREA: 7984
BLDG HT: 36'-8"
NO. STORIES ABOVE GRADE: 3
BASEMENT: YES
BUILDING GROUP: R-2
CONSTRUCTION TYPE: V-A
FIRE RATING:

REFERENCED CODES

BUILDING: 2017 DC CONSTRUCTION CODES
2017 DCMR 12A, DC BUILDING CODE AMENDMENTS

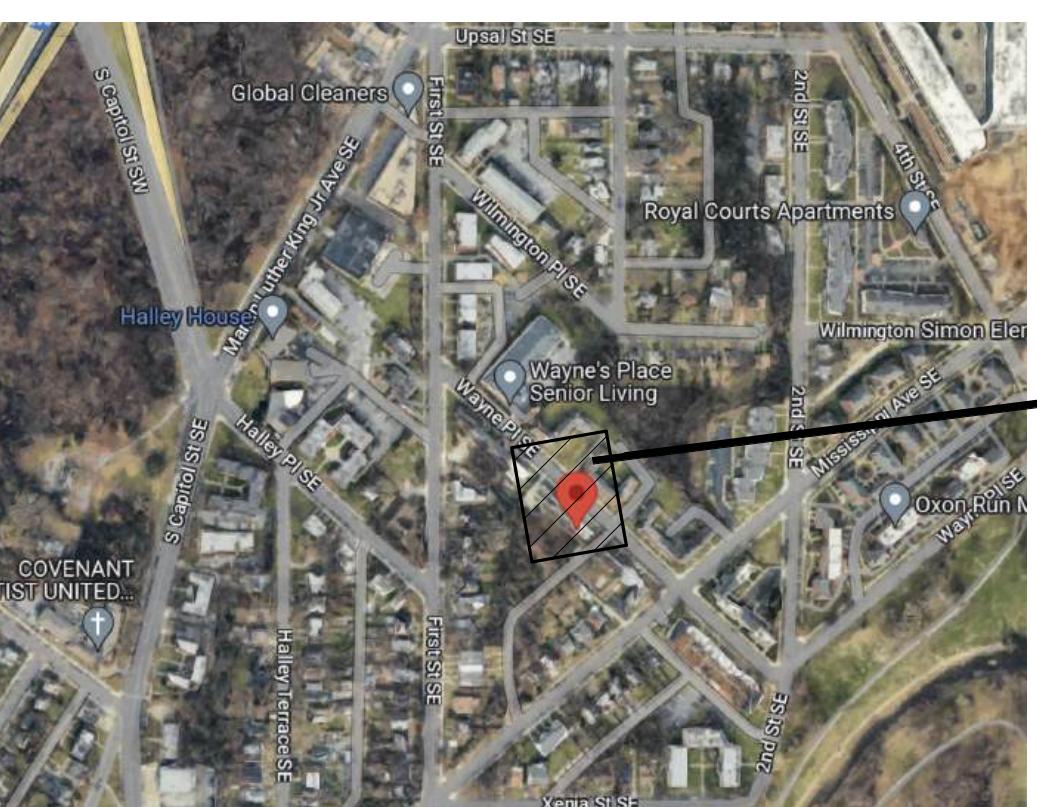
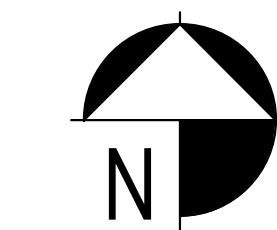
BUILDING AREA	LOT OCCUPANCY
OLD 2,880 SF	0.36 36%
NEW 3,370 SF	0.42 42%
TOTAL 6,250 SF	0.78 78%
TOTAL ALLOWABLE BUILDABLE SQ.FT. ON LOT	
LOT AREA 7,974 SF x .9(FAR FOR RA-1) = 7,176.6 SF	

SITE
LOCATION



VICINITY MAP

NOT TO SCALE



SITE MAP

NOT TO SCALE

PROJECT
SITE

*Exterior wall only due to sprinkler system per substitution in note D, Table 602, 2013 DCFC
FULLY SPRINKLERED: YES
FIRE/CO2 ALARM: YES

MATERIAL LEGEND	
	SECTIONS
	ACOUSTICAL TILE
	ALUMINUM (3/4 SCALE OR LARGER)
	BATT OR BLANKET INSULATION
	BRASS OR BRONZE (3/4 SCALE OR LARGER)
	CERAMIC OR QUARRY TILE
	CONCRETE
	CONCRETE MASONRY UNIT
	CRUSHED STONE OR GRAVEL
	EARTH
	E.I.F.S. (EXTERIOR INSULATION AND FINISH SYSTEM)
	FACE BRICK
	FINISHED WOOD (FOR LARGE SCALE DETAILS)
	FIRE SAFING
	MEDIUM DENSITY FIBERBOARD
	PLASTER, CEMENT, MORTAR OR G.W.B.
	PLYWOOD VENEER
	PRE-CAST CONCRETE
	RIGID INSULATION
	ROUGH WOOD (ALL BLOCKING AND FRAMING LUMBER)
	SHIM
	SPRAY-ON FIREPROOFING
	SPRAY-APPLIED INSULATION
	STEEL (3/4 SCALE OR LARGER)
	STONE: GRANITE OR MARBLE

ABBREVIATIONS	
@	AT
AB	ANCHOR BOLT
ACT	ACOUSTIC CEILING TILE
ADJ	ADJUSTABLE
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BJ	BAR JOIST
BLK	BLOCK
BLK'	BLOCKING
BM	BEAM
BRG	BEARING
BRK	BRICK
BTM	BOTTOM
BTWN	BETWEEN
C.C.	CENTER TO CENTER
CFMF	COLD FORMED METAL FRAMING
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
CRS	COURSE
DBL	DOUBLE
DEM	DEMISING
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWSNOUT
DWGS	DRAWINGS
EF	EACH FACE
ELEC	ELECTRICAL
EW	EACH WAY
EXT	EXTERIOR
FIN	FINISH
FLR	FLOOR
FM	FACTORY MUTUAL
FR	FIRE RATED
FRP	FIBER REINFORCED PLASTIC
FRT	FIRE RETARDANT TREATED
FRX	WEATHER AND FIRE RETARDANT TREATED
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GL	GLASS
GYP BD	GYPSUM BOARD
GYP CLG	GYPSUM CEILING BOARD
BD	HANDICAPPED
HM	HOLLOW METAL
HOR.	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
INSUL	INSULATION
JB	JUNCTION BOX
LF	LINEAL FEET
LG	LONG
LLH	LONG LEG HORIZONTAL
LLR	LONG LEG VERTICAL
MASY	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MOD	MODULAR
MTL	METAL
N.I.C.	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
O/C	ON CENTER
OPEN	OPENING
PL	PLATE, PROPERTY LINE
PLYWD	PLYWOOD
POLY ISO	POLYISOCYANURATE
PR	PAIR
PRE-FAB	PRE-FABRICATED
PT	PRESERVATIVE TREATED
PTD	PAINTED
R	RESISTANCE VALUE
RAD	RADIUS
RCP	REFLECTED CEILING PLANS
REINF	REINFORCE (ED) (ING)
REP	REPRESENTATIVE
REQ'D	REQUIRED
SCH	SCHEDULED
SF	SQUARE FEET
SPECS	SPECIFICATIONS
SS	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURAL
T&G	TONGUE & GROOVE
T/BM	TOP OF BEAM
T/JST	TOP OF JOIST
T/ST	TOP OF STEEL
TEMP	TEMPERED
TERM.	TERMINATION
TG	TRUSS GIRDERS
TOM	TOP OF MASONRY
TOS	TOP OF SLAB
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VT	VINYL TILE
VWC	VINYL WALL COVERING
W/	WITH
W/O	WITHOUT
WD	WOOD

SYMBOL LEGEND	
ROOM INDICATION	LINETYPE SYMBOLS
ROOM NAME 101 150 SF XX OCC POR 1	ROOM NAME ROOM NUMBER SQUARE FOOTAGE OCCUPANCY LOAD POR
NORTH ARROW	EXISTING COLUMN GRID EXISTING COLUMN GRID DENOTED WITH AN E/ PREFIX COLUMN GRID
DOOR SYMBOL 101	LIMIT OF WORK PROPERTY LINE
WINDOW SYMBOL	CENTER LINE / ELEVATION LINE WORK ABOVE, BEYOND OR TO BE REMOVED
BUILDING WALL SECTION INDICATION	BUMPER GUARD, CHAIR RAIL, HAND RAIL FOR LOCATION SEE PLANS
ELEVATION INDICATION	BREAK LINE
KEYNOTE SYMBOL	KEYNOTE INDICATOR
EXISTING DOOR DESIGNATION	EXISTING DOOR
NEW DOOR DESIGNATION	NEW DOOR
EMERGENCY DOOR DESIGNATION	EMERGENCY SWING
DOUBLE EGGS DOOR DESIGNATION	NEW DOOR
REVISION INDICATION	STARTING POINT
ALIGN WITH EXISTING CONSTRUCTION	ELEVATION TAG
WALL TYPE SYMBOL	GENERAL DIMENSIONING
EQUIPMENT DESIGNATION (SEE EQUIPMENT MANUAL)	COLUMN GRID CENTERLINE INDICATOR FACE OF SURFACE INDICATOR NOTE: DIMENSIONS ARE TAKEN FROM/TO FINISH SURFACE, UNLESS OTHERWISE NOTED.
CEILING HEIGHT 10'-0" CL1	0'-0" ± NOTE: THE ± INDICATES A DIMENSION THAT CAN VARY. (NOTIFY THE ARCHITECT OF ANY CHANGE IN THAT DIMENSION IF IT IS GREATER THAN 1")
FINISH SYMBOLS	0'-0" VIF
CG DENOTES CORNER GUARD LOCATION	NOTE: EXISTING DIMENSIONS INDICATED AS [0'-0"] OR WITH (VIF) ARE SUPPLIED TO THE ARCHITECT BY OTHERS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. (SEE "GENERAL CONTRACTOR RESPONSIBILITIES WITH RESPECT TO EXISTING CONDITION NOTES")
MATCHLINE	0'-0" CLEAR
AREA A INDICATOR OF AREA SHOWN ON DRAWING A102	NOTE: CLEAR = THE ACTIVE DIMENSION MAY NEVER BE LESS THAN THE CLEAR DIMENSION, BUT MAY BE GREATER BY 1" MAX.
CODE REVIEW - OCCUPANCY LOAD	0'-0" HOLD
W X Y Z	NOTE: HOLD = THE ACTUAL DIMENSION IS THAT DIMENSION AND MUST BE MAINTAINED

GENERAL NOTES - ARCHITECTURAL	
APPLICABLE TO ALL CONTRACTORS	
1. DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER SPECIFIC CODES.	
2. DRAWINGS:	
a. DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW APPROXIMATE LOCATIONS. DIMENSIONS GIVEN ON THE PLANS IN FIGURES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS; AND ALL DIMENSIONS, WHETHER FIGURED OR SCALED, SHALL BE VERIFIED IN THE FIELD.	
b. THE EXACT LOCATION OF WALLS, DOORS, WINDOWS, APPARATUS, EQUIPMENT, PIPING, CONDUIT AND ELECTRICAL EQUIPMENT, ETC., SHALL BE ASCERTAINED FROM THE ARCHITECT OR HIS REPRESENTATIVE IN THE FIELD, AND THE WORK SHALL BE Laid OUT ACCORDINGLY. SHOULD THE CONTRACTOR FAIL TO ASCERTAIN SUCH LOCATIONS THE WORK SHALL BE CHANGED AT HIS OWN EXPENSE WHEN REQUESTED BY THE ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR CHANGES IN LOCATION UP TO THE TIME OF INSTALLING WITHOUT ADDITIONAL COST.	
c. THE DRAWINGS AND PROJECT MANUAL, WHERE APPLICABLE, ARE INTENDED TO COVER A COMPLETE PROJECT IN EVERY RESPECT. EACH AND EVERY ITEM, SYSTEM, ETC., IS TO BE COMPLETE UNLESS OTHERWISE DEFINITELY INDICATED.	
d. THE DRAWINGS AND PROJECT MANUAL, WHERE APPLICABLE, ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH.	
e. DEMOLITION AND/OR REMOVAL OF EXISTING FLOORS, WALLS, ROOFING, ETC. MAY NECESSITATE THE REMOVAL OR RELOCATION OF EXISTING PIPING, CONDUIT, SERVICES, ETC. SUCH REMOVAL AND RELOCATION SHALL BE CONSIDERED PART OF THE DEMOLITION WORK WITHOUT ADDITIONAL COST, WHETHER OR NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR LISTED IN THE SPECIFICATIONS.	
3. CONTRACTOR TO CONTACT LOCAL UTILITIES, IF NECESSARY, SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT TO SUBMIT DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW, HOWEVER, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.	
4. CONTRACTOR TO CONTACT LOCAL UTILITIES, IF NECESSARY, SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT TO SUBMIT DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW, HOWEVER, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.	
5. THE CONTRACTOR SHALL SCHEDULE HIS WORK AND MATERIAL AND EQUIPMENT DELIVERIES SO AS NOT TO INTERFERE WITH THE DAILY OPERATIONS OF THE FACILITY.	
6. THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, EQUIPMENT, FIXTURES, ETC. FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.	
7. ALL DAMAGED SURFACES AND/OR FINISHES AS A RESULT OF AND ADJACENT TO THE WORK SHALL BE REPAIRED AND FINISHED TO THEIR ORIGINAL CONDITION. THIS INCLUDES, BUT IS NOT LIMITED TO, ADJACENT SPACES, STOREFRONTS, WALKS, ETC.	
8. THE CONTRACTOR SHALL PROVIDE THE NECESSARY ENCLOSURES OR BARRICADES TO ISOLATE THE WORK FROM THE REST OF THE FACILITY. AREAS ADJACENT TO THE CONSTRUCTION SHALL BE SWEEP CLEAN DAILY.	
9. DEMOLITION OF WALLS MEANS DEMOLITION OF ALL FINISHES, FRAMING, STRUCTURAL MEMBERS, ELECTRICAL, PLUMBING, AND MECHANICAL ITEMS WHETHER KNOWN OR UNKNOWN AND WHETHER OR NOT INDICATED ON THESE DRAWINGS.	
10. PARKING AT THE SITE BY ALL CONSTRUCTION STAFF SHALL BE LIMITED TO ONLY THE AREAS DESIGNATED BY THE OWNER.	
11. THE AREA OF WORK SHALL MAINTAIN A WEATHER TIGHT CONDITION AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SECURE THE AREA OF WORK.	
12. THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.	
13. WHERE MATERIALS REFERENCED ON DRAWINGS, OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED HEREIN, PROVIDE BEST QUALITY MATERIALS. ALL ITEMS AND WORK ON DRAWINGS ARE NEW. ALL WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. WHERE ITEMS CAN NOT BE REPAIRED TO A "NEW CONDITION", OR WHERE THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.	
14. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT / ENGINEER AND REQUEST CLARIFICATION.	
15. CONTRACTOR SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER EXACT LOCATION OF ALL ITEMS.	
16. ALL CONTRACTORS ARE TO COORDINATE THE WORK OF EACH OTHER, SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT, DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER AND WELL COORDINATED INSTALLATION. PRIOR TO INSTALLATION OF ITEMS, VERIFY AND CONFIRM WITH EACH CONTRACTOR EXACT LOCATION OF ALL ITEMS.	
17. ALL PENETRATIONS THROUGH FLOORS AND FULL HEIGHT WALLS TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS AND WALLS TO BE FIRE & SMOKE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK, WALL TO BEAMS, AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FORM OR PACKING MATERIAL AND THE FILL, VOID OR CAVITY MATERIAL.	
18. EXTERIOR PERIMETER OF ALL WINDOWS, DOOR FRAMES, LOUVERS OR OTHER ITEMS INSERTED IN AN EXTERIOR WALL SHALL BE SEALED WEATHER TIGHT WHETHER INDICATED ON DRAWINGS OR NOT.	
19. WOOD USED FOR BLOCKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK, WITHIN 2'-0" OF GRADE AND OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER, SHALL BE PRESSURE TREATED TYPE. ALL INTERIOR WOOD FOR BLOCKING OR OTHER PURPOSES SHALL BE FIRE RETARDANT TYPE.	
20. ON THE "PULL" SIDE OF A FINISHED DOOR OPENING, THE STRIKE SIDE SHALL BE NOMINAL 18" FROM A PERPENDICULAR WALL. ON THE "PUSH" SIDE OF A DOOR OPENING EQUIPPED WITH BOTH A CLOSER AND LATCH, THE STRIKE SIDE SHALL BE NOMINAL 12" FROM A PERPENDICULAR WALL.	
21. SUSPENDED GRID CEILINGS SHALL BE ARRANGED SO THAT A GRID IS SPACED EQUALLY FROM EACH MOST REMOTE WALL, IN EACH DIRECTION, WITH NO TILE LESS THAN 6" UNLESS OTHERWISE INDICATED. CEILING MOUNTED ITEMS TO BE CENTERLINE OF CEILING TILES, UNLESS OTHERWISE NOTED.	
22. INTERIOR AND EXTERIOR CONCRETE SLABS SHALL BE SEPARATED FROM ANY VERTICAL SURFACE WITH AN ISOLATION JOINT. ALL SLAB ON-GRADE (CONTROL, EXPANSION, CONSTRUCTION (COLD), ETC.) JOINTS TO RECEIVE SEALANT. ALL EXTERIOR SLABS TO SLOPE TO DRAIN AWAY FROM BUILDING AT 1/8" PER 1'-0" U.N.O.	
23. PROVIDE BUILDING EXPANSION JOINT AND CONTROL JOINTS AT INTERIOR AND EX	

SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, D.C.

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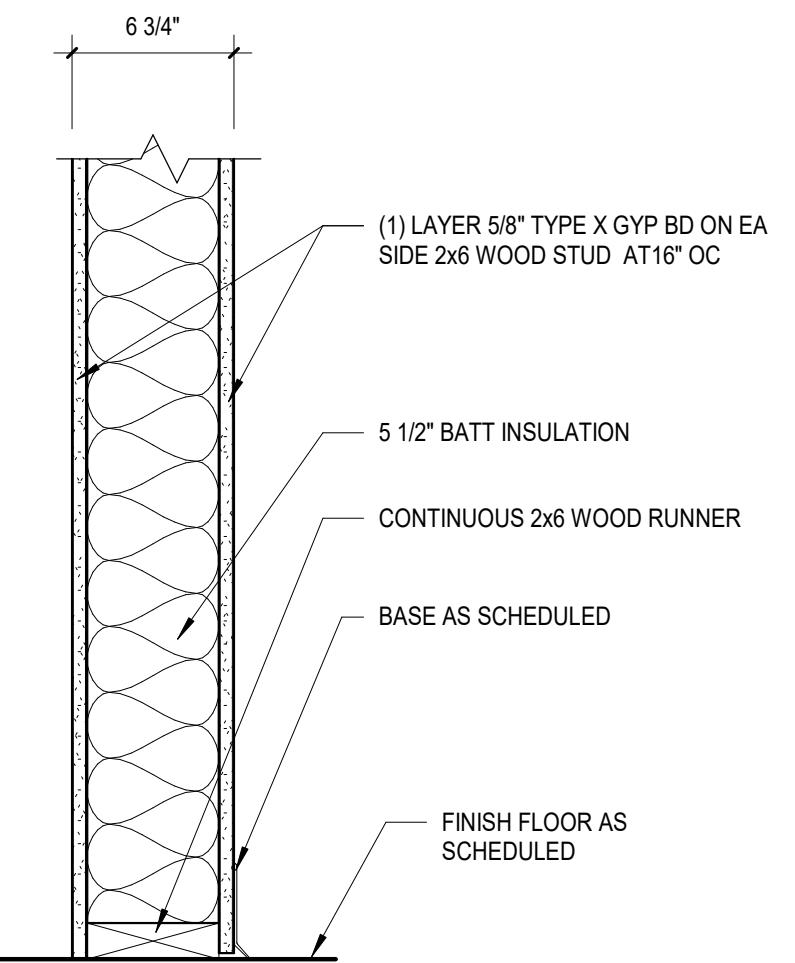
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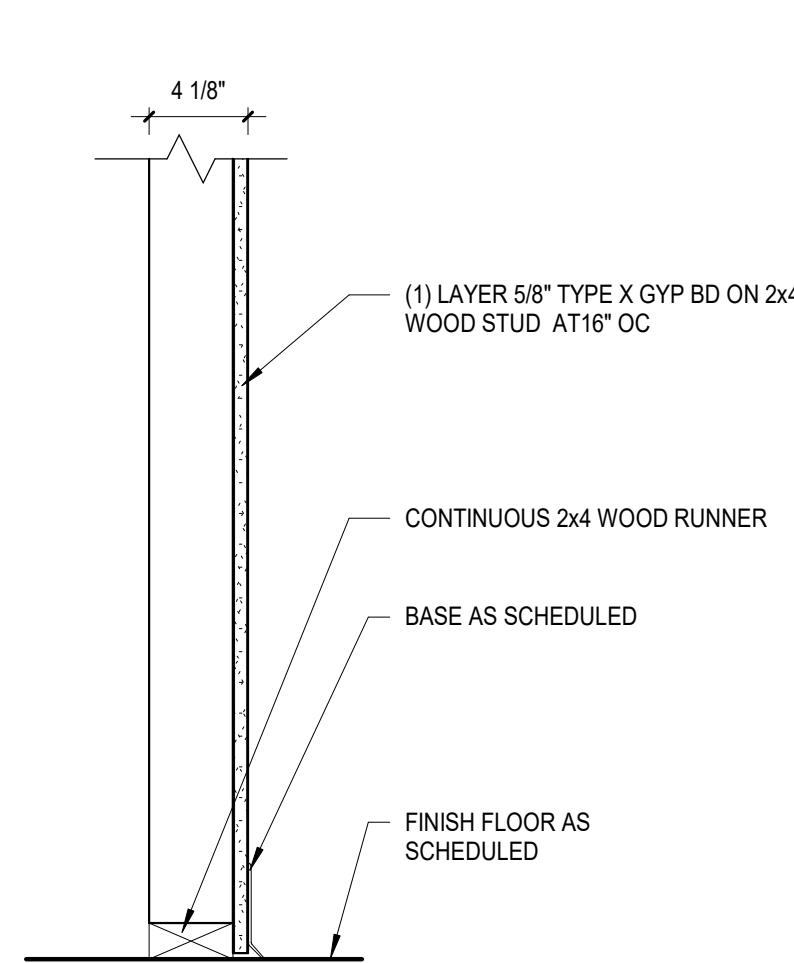
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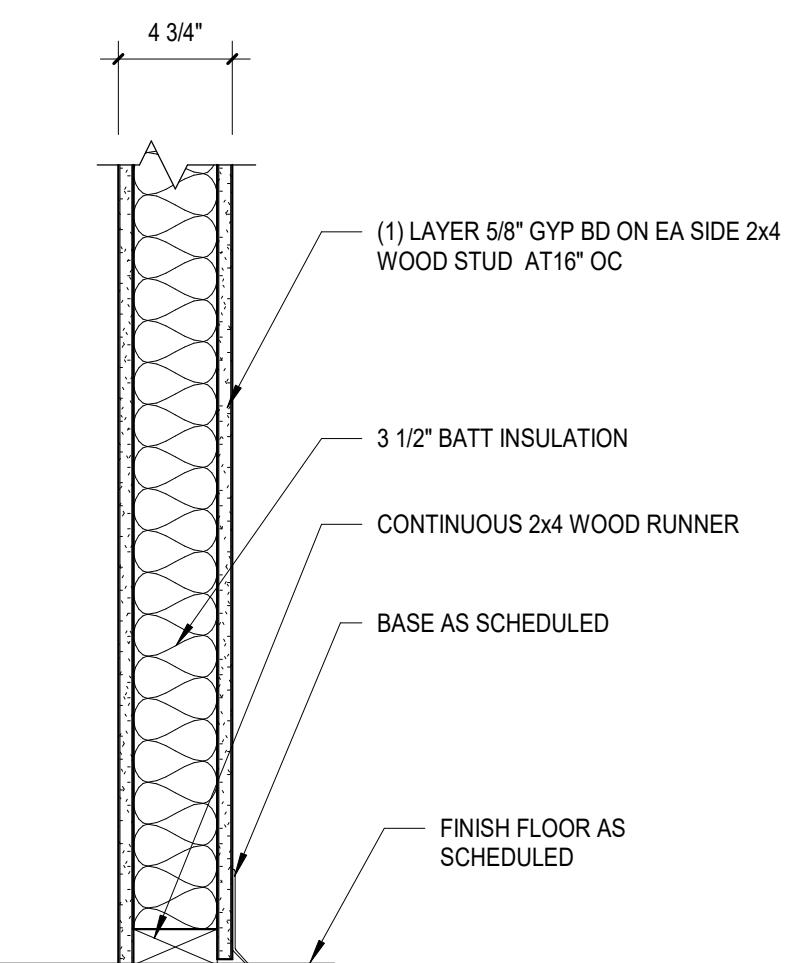
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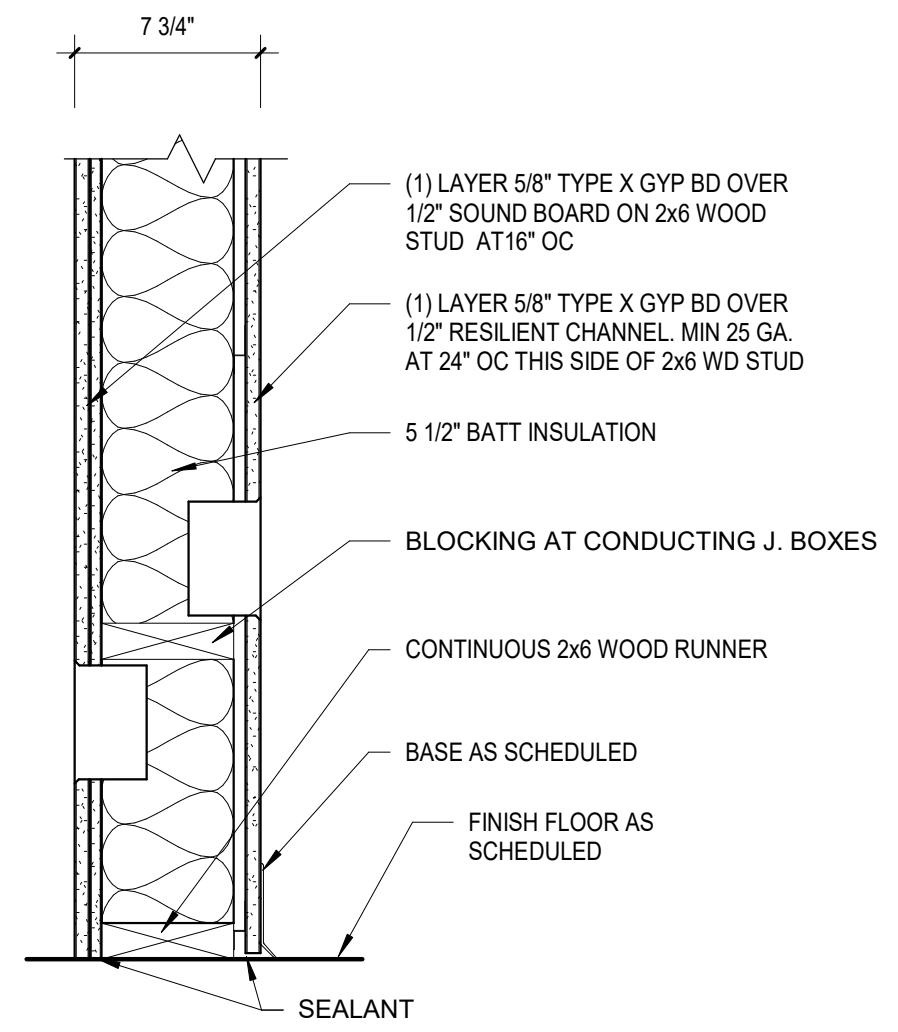
NOTE: COORDINATE WALL TAG WITH WALL
COMPONENT NOTES FOR ADDITIONAL INFORMATION



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COMPONENT NOTES FOR ADDITIONAL INFORMATION



NOTE: COORDINATE WALL TAG WITH WALL
COMPONENT NOTES FOR ADDITIONAL INFORMATION

W4 INTERIOR NON-LOAD BEARING WALL
FIRE RATING: N/A
STC: 58
NOTES:

W3 INTERIOR NON-LOAD BEARING WALL
FIRE RATING: N/A
STC: 58
NOTES:

W2 INTERIOR NON LOAD-BEARING WALL
FIRE RATING: N/A
STC: 58
NOTES:

W1 INTERIOR NON-LOAD BEARING WALL
FIRE RATING: 1 HOUR (UL U305)
STC: 58
NOTES: SCREWS FASTENING MATERIALS TO RESILIENT CHANNEL
MUST NOT TOUCH STUD

WALL TYPE GENERAL NOTES:

1. BRACE ALL INTERIOR PARTITIONS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED TO PREVENT WALLS FROM FLEXING.
2. ALL FULL HEIGHT METAL STUD FRAMING SHALL BE BRACED TO THE ROOF STRUCTURE AND SHALL NOT BE FASTENED IN ANY WAY TO PANELS OR ROOF DECK (UNO).
3. FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED WITHIN WALLS AND ROUGH OPENINGS AS REQUIRED FOR MILLWORK SUPPORT, GRAB BARS, CLOSET SHELVING/RODS, TOILET ACCESSORIES, ETC. COORDINATE BLOCKING LOCATIONS AND REQUIREMENTS WITH PLANS AND G.C. PRIOR TO INSTALLATION OF GYP. BD.
4. CAULK PERIMETER OF ALL SOUND INSULATED WALLS WITH AN ACOUSTICAL SEALANT.
5. SEE FLOOR PLAN WALL TAG AND WALL COMPONENT NOTES FOR ADDITIONAL INFORMATION.

WALL COMPONENT NOTES

X	ADDITIONAL WALL WALL TYPE TAG
COMPONENT LETTER	COMPONENT NOTE/DESCRIPTION
A	INSULATION OCCURS FROM FLOOR SLAB TO MIN 6" ABOVE FINISHED CEILING
B	INSULATION OCCURS FROM FLOOR SLAB TO DECK ABOVE
C	MOLD/MOISTURE RESISTANT GYP BD ON WET WALL SIDE
D	FACE APPLIED ACRYLIC COATING SYSTEM MOLD/MOISTURE RESISTANT GYP BD.

GENERAL NOTES

1. FOIL FACED HIGH DENSITY INSULATION TO BE USED AT ALL LEVEL ONE EXTERIOR WALLS. FOIL FACED BATT INSULATION MEETING MINIMUM R VALUE IS ACCEPTABLE AT LEVELS 2 AND 3.
2. ALL CMU SHALL CONTAIN WATER REPELLANT ADMIXTURE (DRY-BLOCK SYSTEM). MORTAR SHALL HAVE SAME ADMIXTURE.
3. AT THE EXTERIOR FACE OF CMU, AND ONLY FOR THE EXTENT (HEIGHT AND WIDTH) OF THE BIORETENTION PONDS, APPLY PVC GEOMEMBRANE PER CIVIL DOCUMENTS.
4. EXTERIOR FACE OF CMU SHALL HAVE BREATHABLE ELASTOMERIC CLEAR COATING TO SPAN ALL EXTERIOR EXPOSED FACES OF CMU.
5. INTERIOR FINISHES TO BE SELECTED BY OWNER.
6. ONE SMOKE/CO ALARM SHALL BE INSTALLED IN EACH ROOM.
7. AT WALLS WITH RAILS OR GRAB BARS, PROVIDE REINFORCEMENT IN THE WALL AT THE LOCATION OF RAILING.

WALL CONSTRUCTION:

EXTERIOR WALLS (R-20 or R-15+5)
IN ORDER FROM EXTERIOR TO INTERIOR,
• 8" CMU FULL BLOCK - SMOOTH FINISH
• 2 X 6" WOOD STUDS @ 16"o.c. WITH 6" FOIL FACED BATT
INSULATION, R-21
• 1/2" INTERIOR GYPSUM BOARD

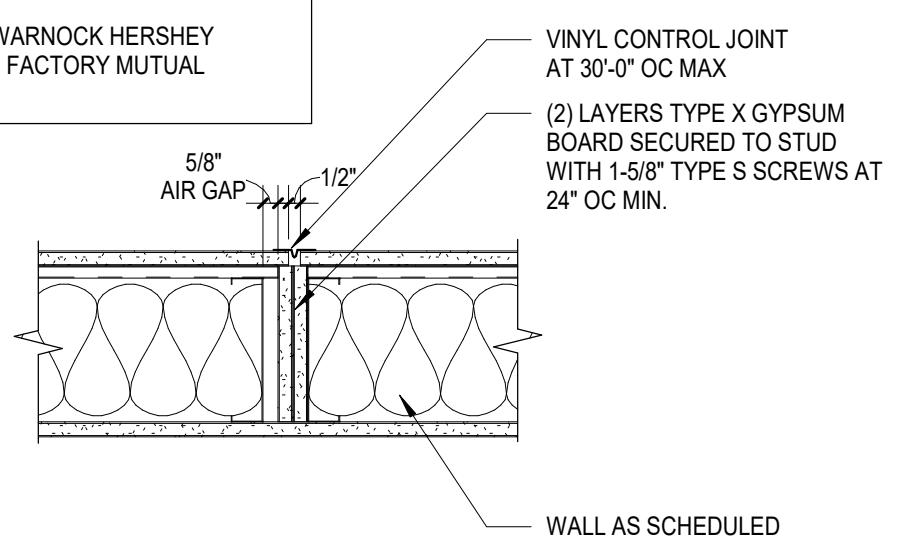
OPENING SCHEDULE

- A. 36" X 48" WINDOW, 1" DOUBLE INSULATED, 30" A.F.F.
- B. 24" X 48" WINDOW, 1" DOUBLE INSULATED, 30" A.F.F.
1. 36" X 84" DOOR HM, INSULATED
2. 30" X 84" DOOR WD, FLUSH
3. 34" X 84" SLIDING DOOR WD, FLUSH
4. 48" X 84" SLIDING DOOR WD, FLUSH
5. 68" X 84" SLIDING DOOR WD, FLUSH

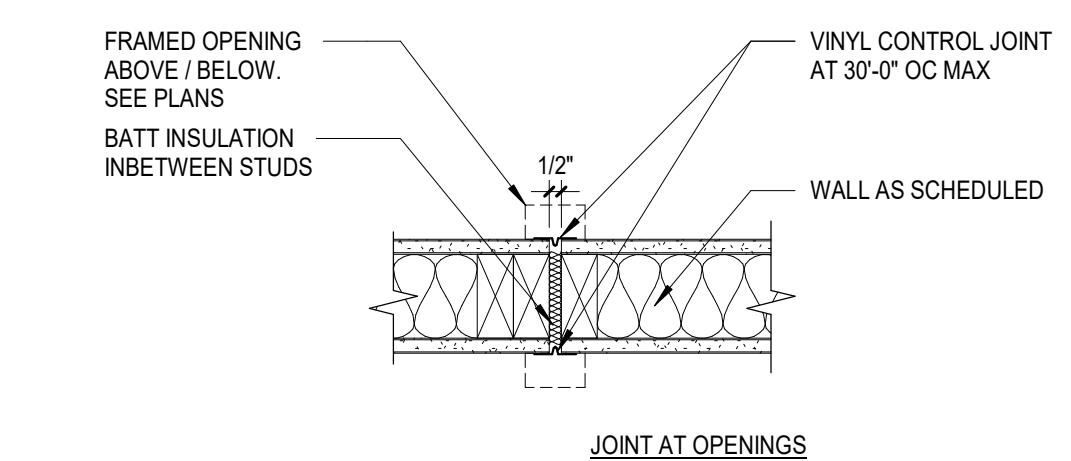
ROOF CONSTRUCTION: R-49 ASSEMBLY (LISTED EXTERIOR TO INTERIOR)

- BUILT UP ROOFING SYSTEM
- 3" RIGID INSULATION
- VAPOR RETARDER
- 1" PLYWOOD
- 12" WOODEN STUDS @ 16"o.c. w/ 10" BATT
INSULATION
- 5/8" INTERIOR GYPSUM BOARD*

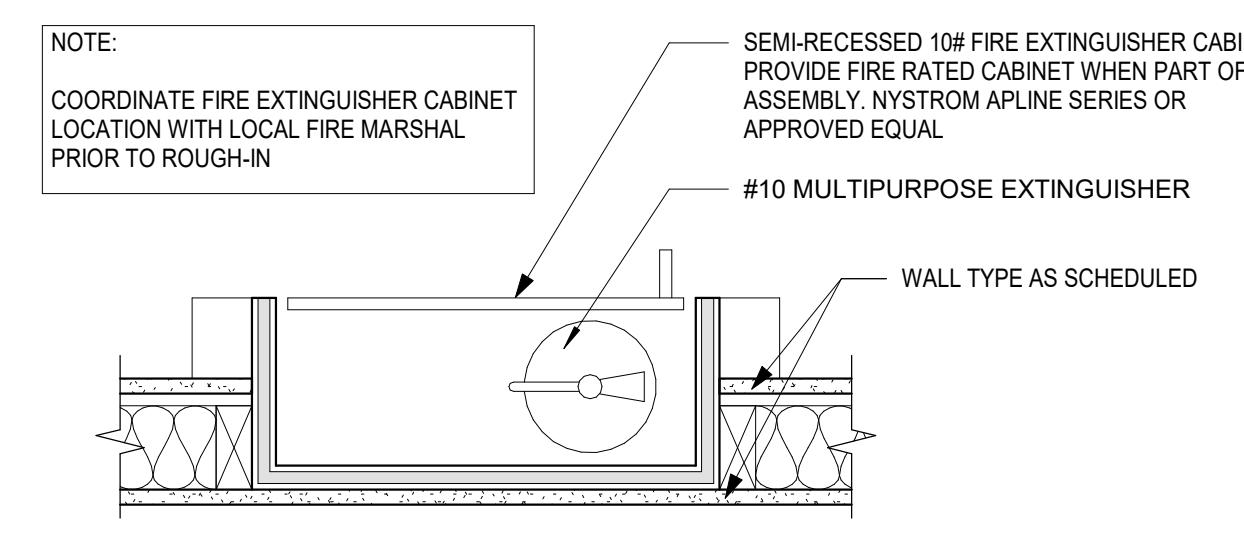
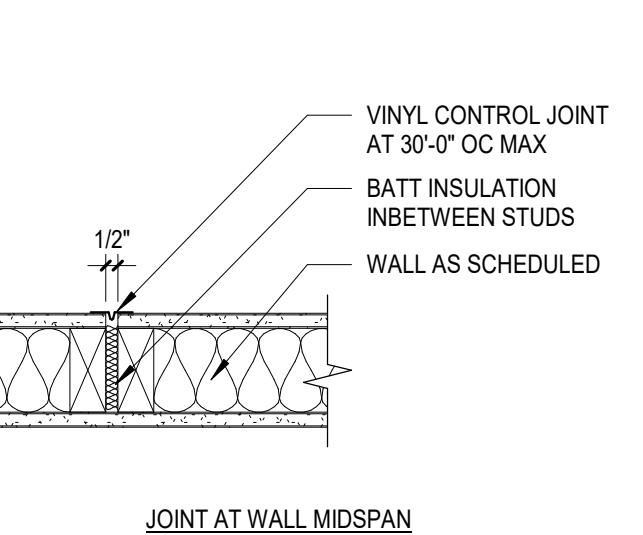
NOTE:
1. VINYL CONTROL JOINT MAY OCCUR ON BOTH SIDES OF
WALL. SEE PLAN
2. WHERE OPENINGS OCCUR, PROVIDE DOUBLE STUD ON
JAMB SIDE OF OPENING
3. THIS DETAIL IS BASED UPON WARNOCK HERSHY
REPORT NO. WH-651-0318.1 AND FACTORY MUTUAL
DESIGN NO. WIB-1 HR.



RATED GYP BD CONTROL JOINT DETAIL (3)
1 1/2" = 1'-0" G003



GYP BD CONTROL JOINT DETAILS (2)
1 1/2" = 1'-0" G003



FEC DETAIL (1)
1 1/2" = 1'-0" G003

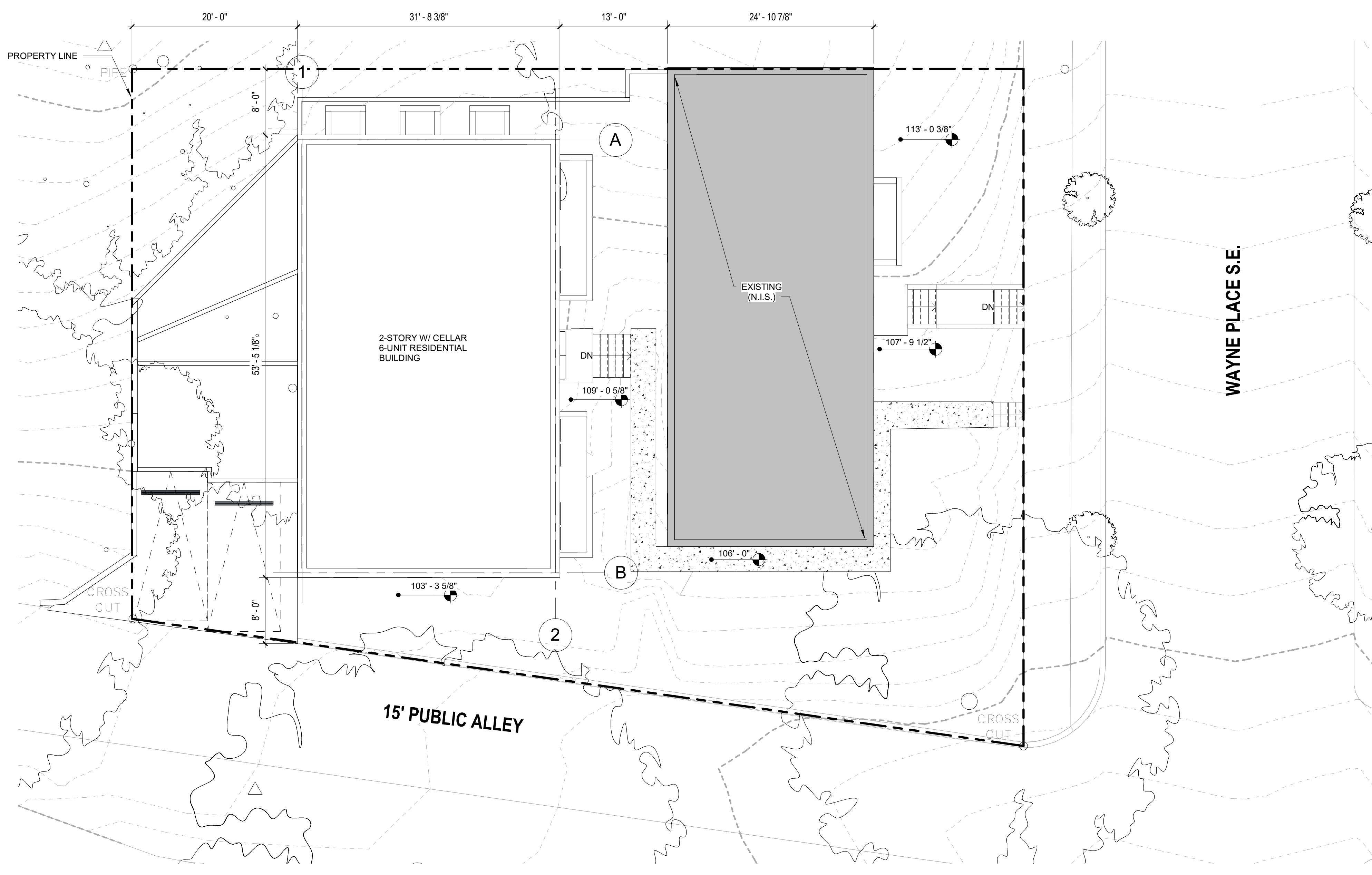
SHEET NOTES**CURE ARCHITECTS**

WAYNE PLACE APARTMENTS
CHRISTOPHER MAK
113 WAYNE PLACE SE, WASHINGTON, D.C.

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no.	description	date
Sheet Revisions		
no.	description	date
Project Issues		

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sheet name:
SITE PLANdrawn by:
Authorchecked by:
Checkersheet number:
A1.00job number:
Project Number**GENERAL NOTES**

1
A1.00
SITE PLAN
SCALE: 1/8" = 1'-0"

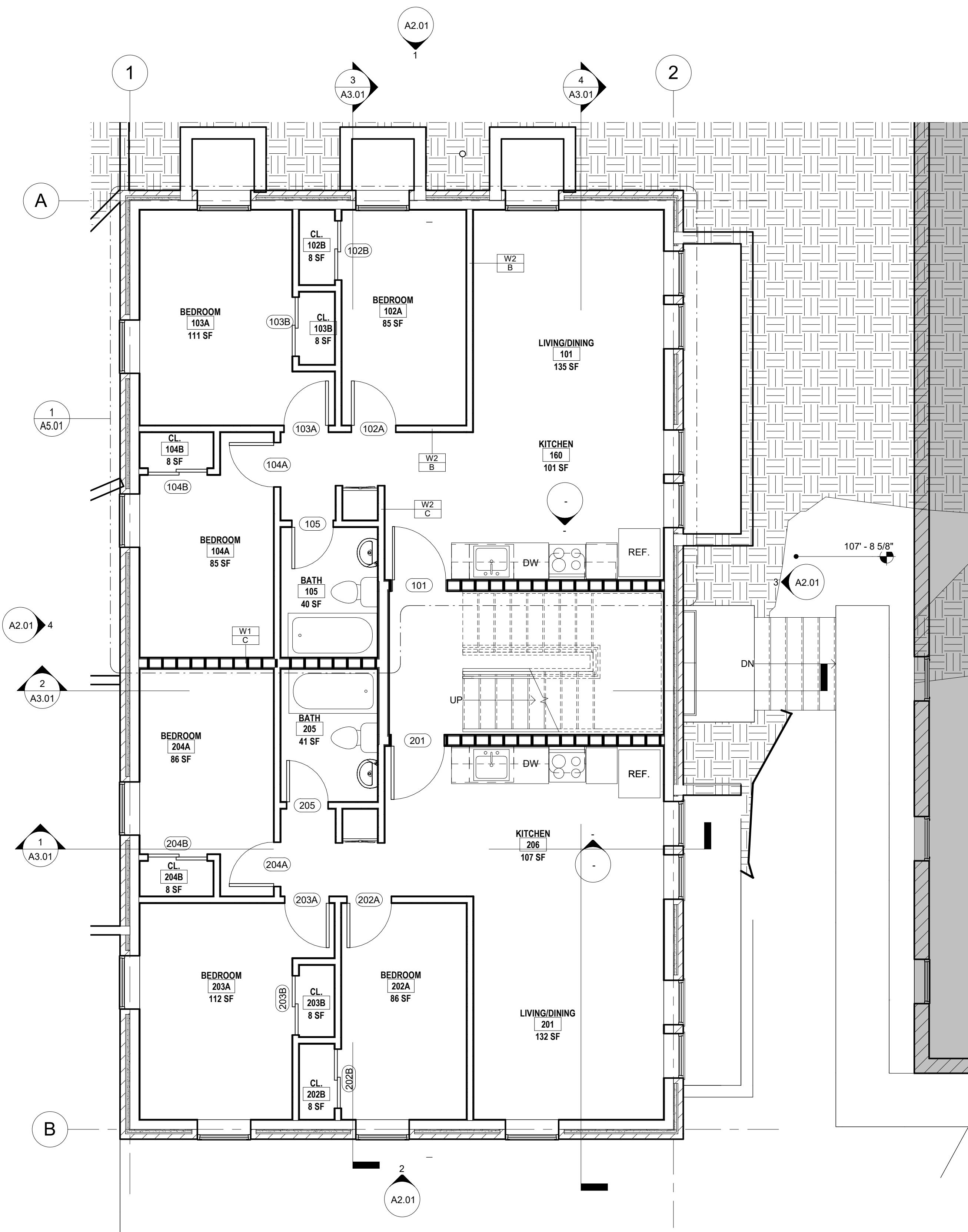
SHEET NOTES

CONSTRUCTION KEYNOTES	
Keynote Number	Description

CURE ARCHITECTS

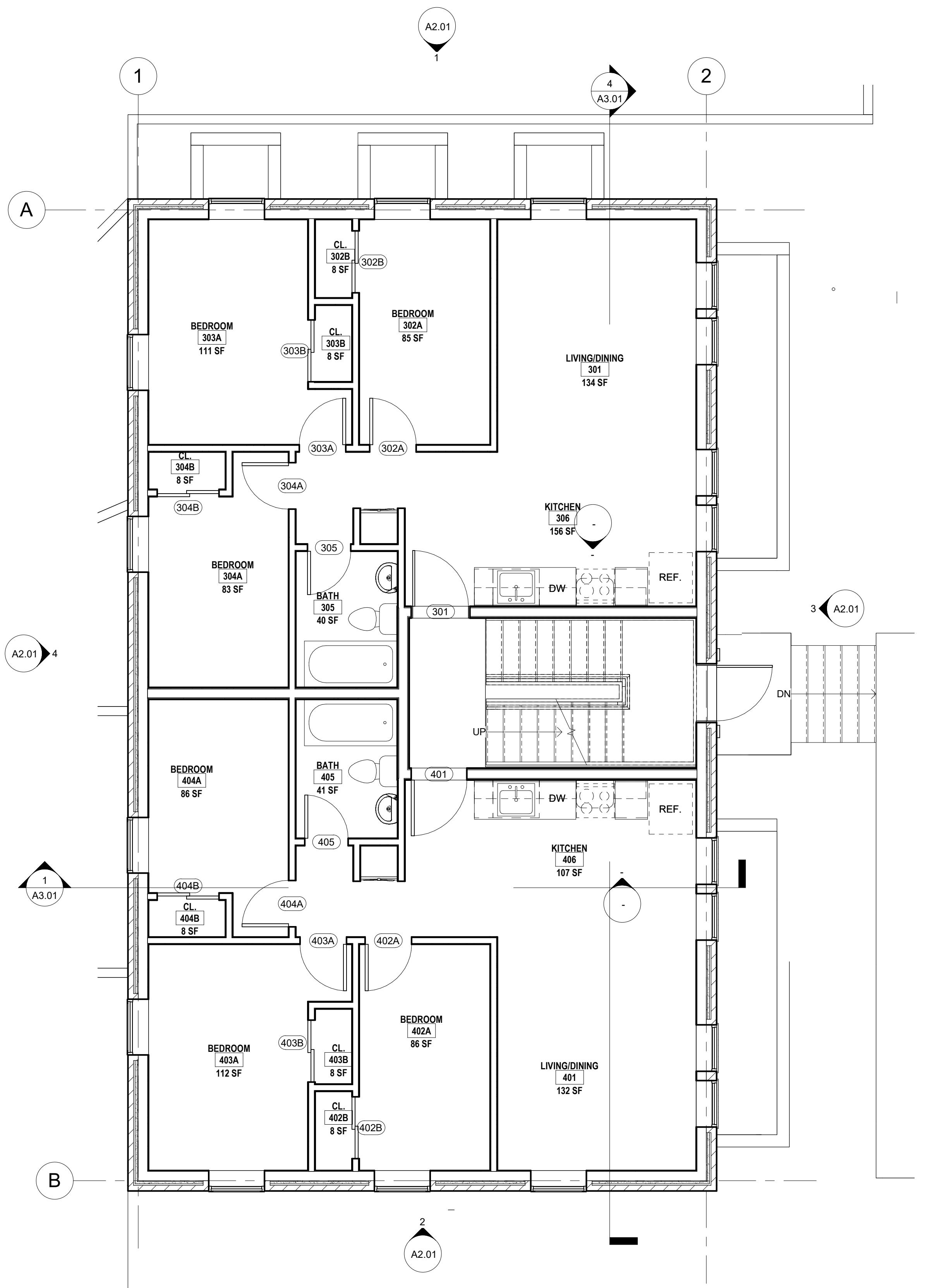
WAYNE PLACE APARTMENTS
CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, DC.



1 Cellar
A1.01

SCALE: 1/4" = 1'-0"



2 Level 1
A1.01

SCALE: 1/4" = 1'-0"

GENERAL NOTES

CONSTRUCTION LEGEND	
	NEW WALL CONSTRUCTION - SEE PARTITION TYPES
	NEW DOOR CONSTRUCTION. SEE DOOR AND FRAME TYPES, DOOR ELEVATIONS AND DOOR SCHEDULE. (SEE KEYNOTE AS SHOWN ON PLAN)

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CONSTRUCTION PLANS

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checked by:

Checker

sheet number:

A1.01

job number:

Project Number

KEY PLAN

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drawn by:

Author

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sheet number:

A1.01

job number:

Project Number

SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, D.C.

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A1.02

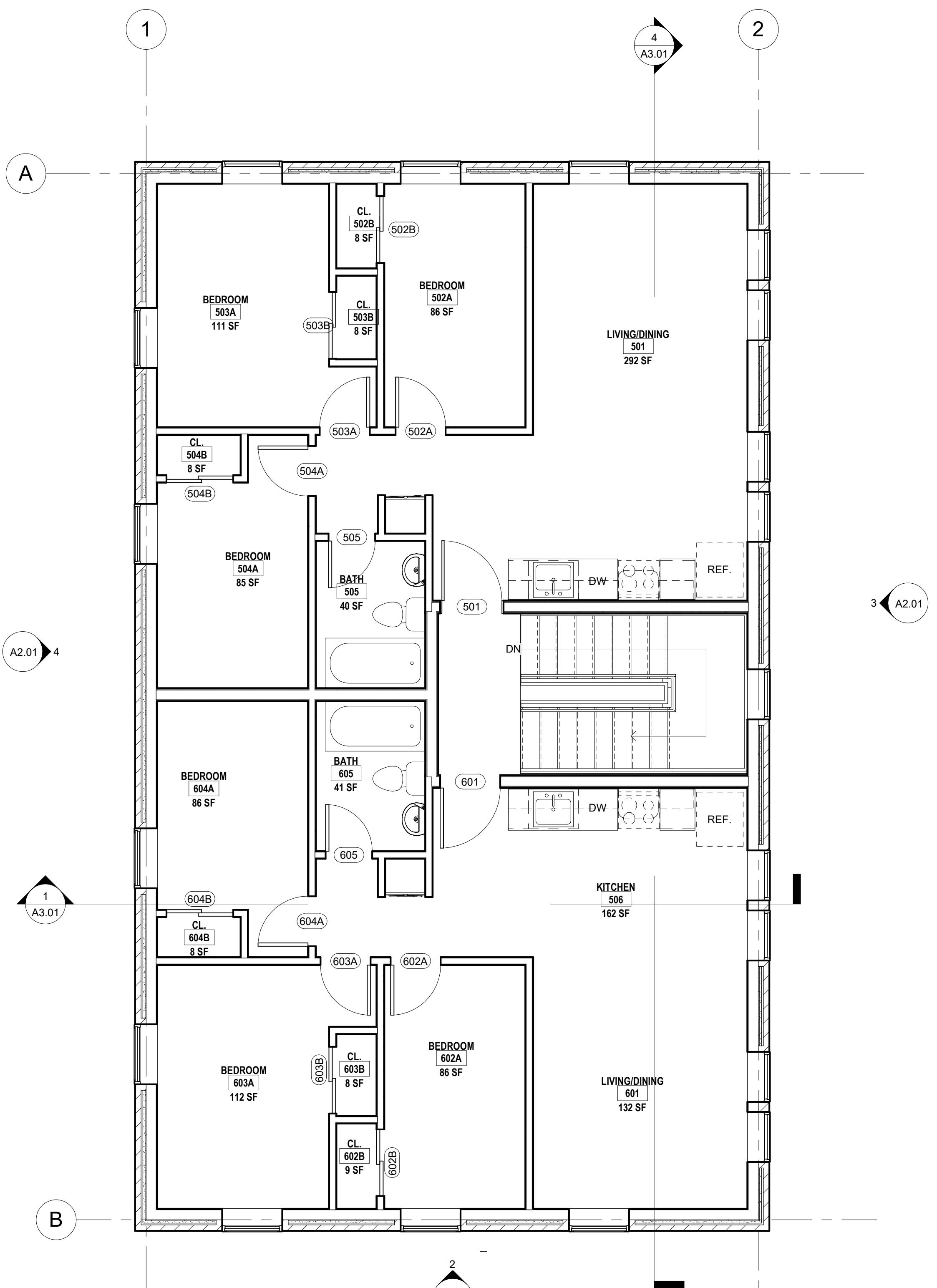
job number:

Project Number

GENERAL NOTES

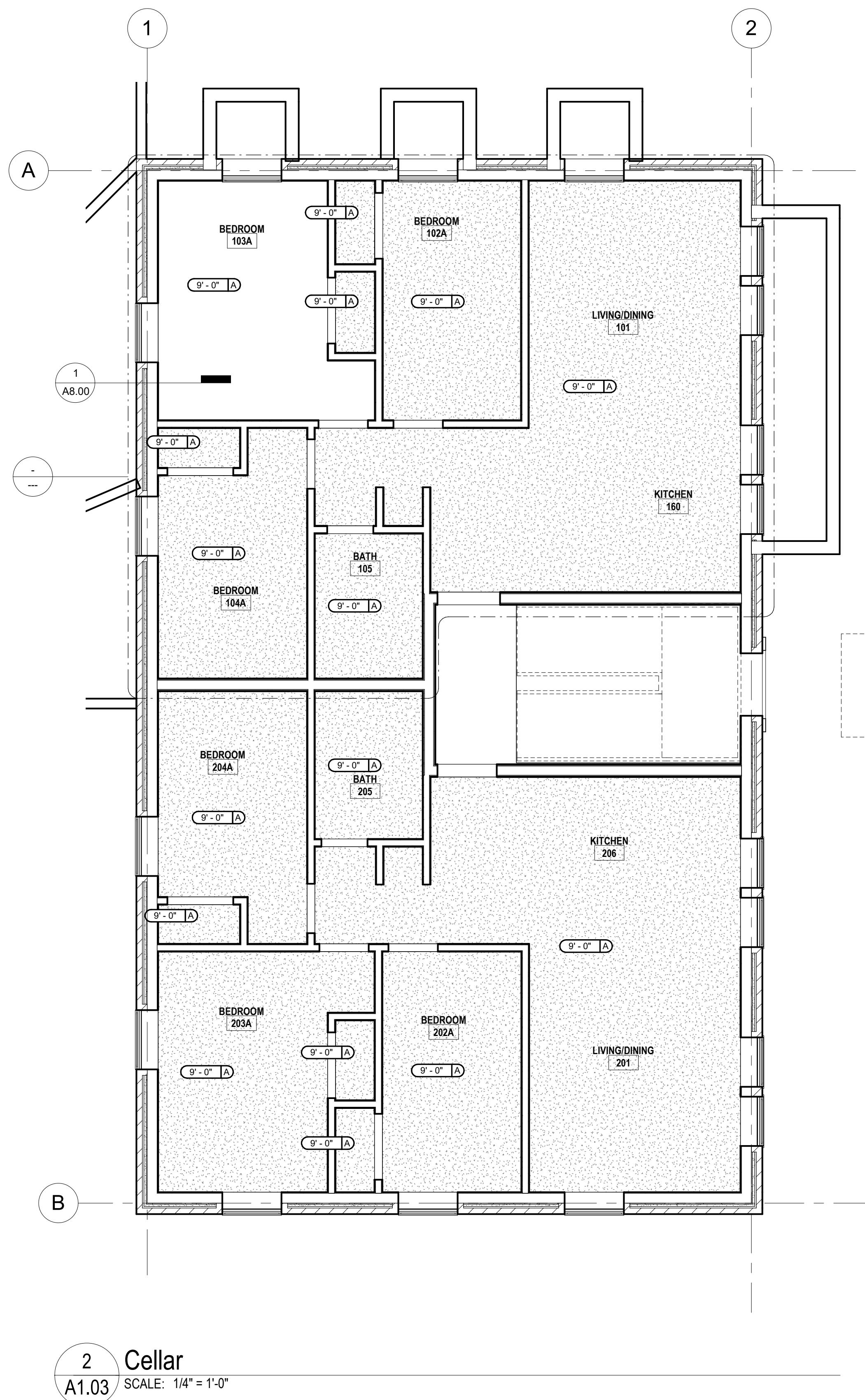
no.	description	date
Sheet Revisions		
no.	description	date
Project Issues		
no.	description	date

KEY PLAN



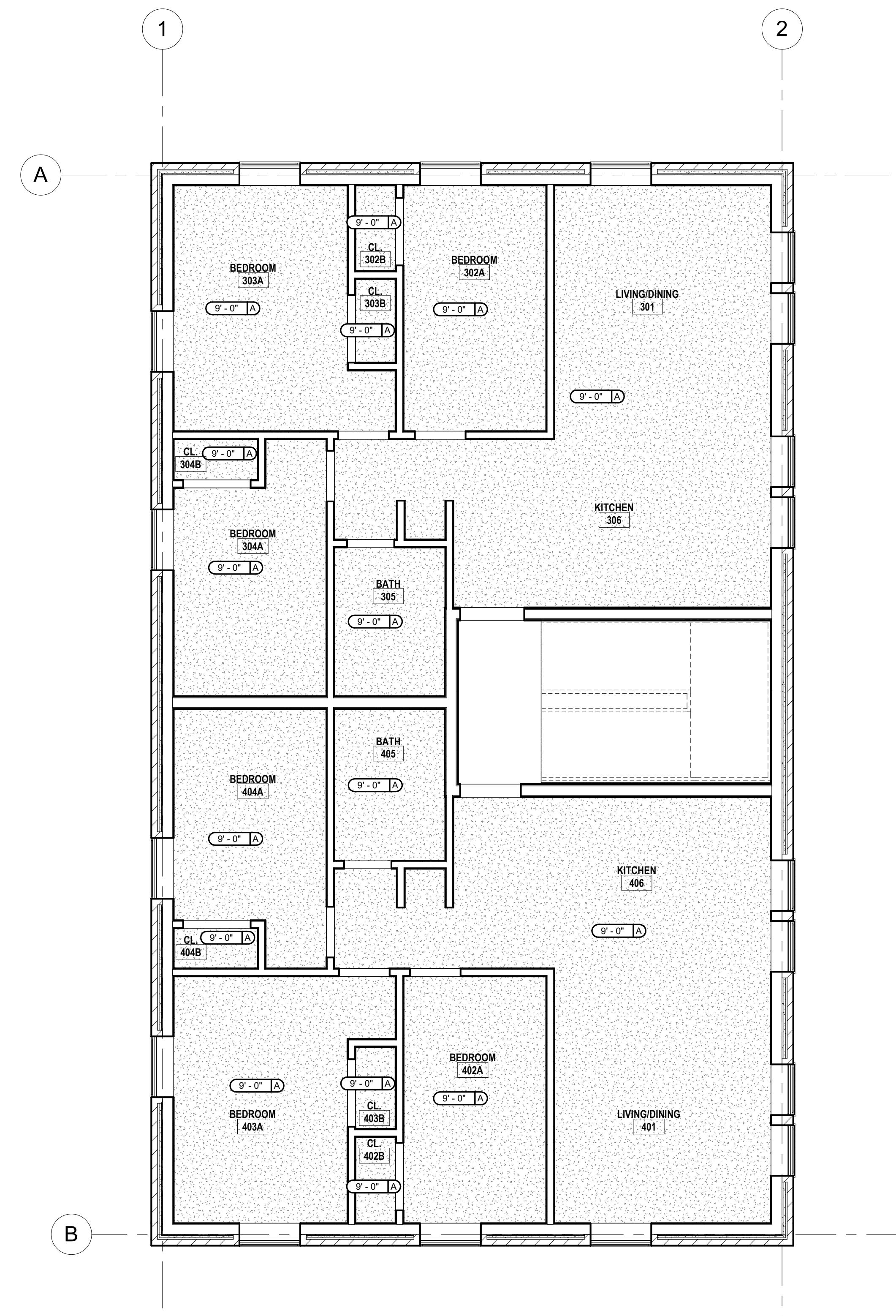
1 Level 2
A1.02

SCALE: 1/4" = 1'-0"



2 Cellar

A1.03 SCALE: 1/4" = 1'-0"



1 Level 1

A1.03 SCALE: 1/4" = 1'-0"

SHEET NOTES

CEILING LEGEND:

CEILING HEIGHT
9'-6" A CEILING FINISH

- A. PRIMED & PAINTED GYPSUM BOARD
- B. PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
- C. PRIMED AND PAINTED GYPSUM BOARD ON UNDERSIDE OF FLOOR/ROOF SYSTEM ABOVE. ELEVATION LISTED IS APPROXIMATE.
- D. 2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.
- E. 2x2 LAY-IN ACOUSTICAL CLG WITH VINYL FACING. TILE SUSPENDED FROM STRUCT.
- F. PRIMED AND PAINTED GYPSUM BOARD - MOISTURE RESISTANT - PAINTED WITH EPOXY PAINT
- G. WOOD LOOK CEILING PANELS
- H. H. FACE APPLIED ACRYLIC COATING SYSTEM OVER 5/8" DENSGLAS GOLD SHEATHING

CEILING - FIXTURE LEGEND

SYMBOLS ARE NOT TO SCALE

	2' x 2' RECESSED LIGHTING FIXTURE
	2' x 4' RECESSED LIGHTING FIXTURE
	1' x 4' RECESSED LIGHTING FIXTURE
	4' STRIP LIGHTING FIXTURE, SURFACE MOUNTED
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED DECORATIVE LIGHTING FIXTURE.
	RECESSED LIGHTING FIXTURE
	PENDANT LIGHT - SEE PLANS FOR CONFIGURATION & SIZE
	TRACK W/ ADJUSTABLE TRACK HEADS
	LED COVE LIGHTING STRIP FIXTURE
	SPEAKER
	SECURITY CAMERA
	WIRELESS ACCESS POINT
* PROVIDE EMERGENCY LIGHTING AS REQUIRED BY LOCAL CODE	

GENERAL NOTES

1. FIELD VERIFY EXISTING CONDITIONS / DIMENSIONS PRIOR TO START OF WORK.
2. EXISTING FIRE DEPARTMENT VEHICLE ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION.
3. REFER TO CIVIL DRAWINGS FOR SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO: SIGNAGE, SIDEWALKS, CURBS, SITE SIGNAGE, IRRIGATION, AND STORM WATER MANAGEMENT.
4. ALL DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
5. VERIFY ALL ROUGH OPENINGS OF ALL DOORS AND WINDOWS WITH THE MANUFACTURER'S REQUIREMENTS.
6. COORDINATE LOCATIONS OF FIRE EXTINGUISHERS AND SEMI-RECESSED WALL CABINETS (DESIGNATED AS FE OR FEC) WITH THE LOCAL FIRE MARSHAL. COORDINATE WALL DEPTH REQUIRED FOR CABINET W/MFR'S REQUIREMENTS.
7. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.
8. ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.

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sheet number:

A1.0

job number:

job number:

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SHEET NOTES**CURE ARCHITECTS**

WAYNE PLACE APARTMENTS
CHRISTOPHER MAK
1113 WAYNE PLACE SE, WASHINGTON, D.C.

1113 WAYNE PLACE SE, WASHINGTON, D.C.

GENERAL NOTES

no.	description	date
Sheet Revisions		
no.	description	date
Project Issues		

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Author

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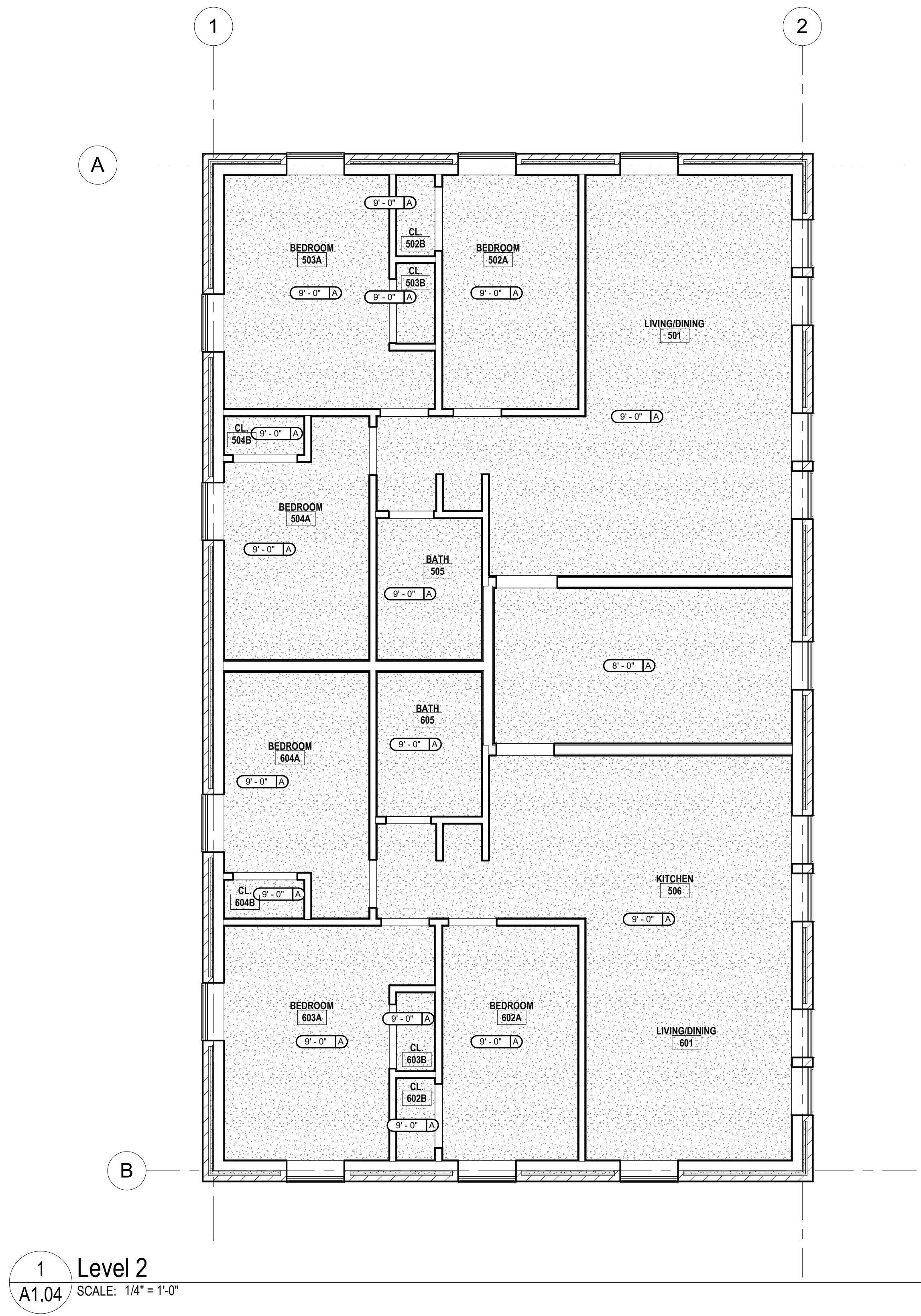
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sheet number:

A1.04

job number:

Project Number



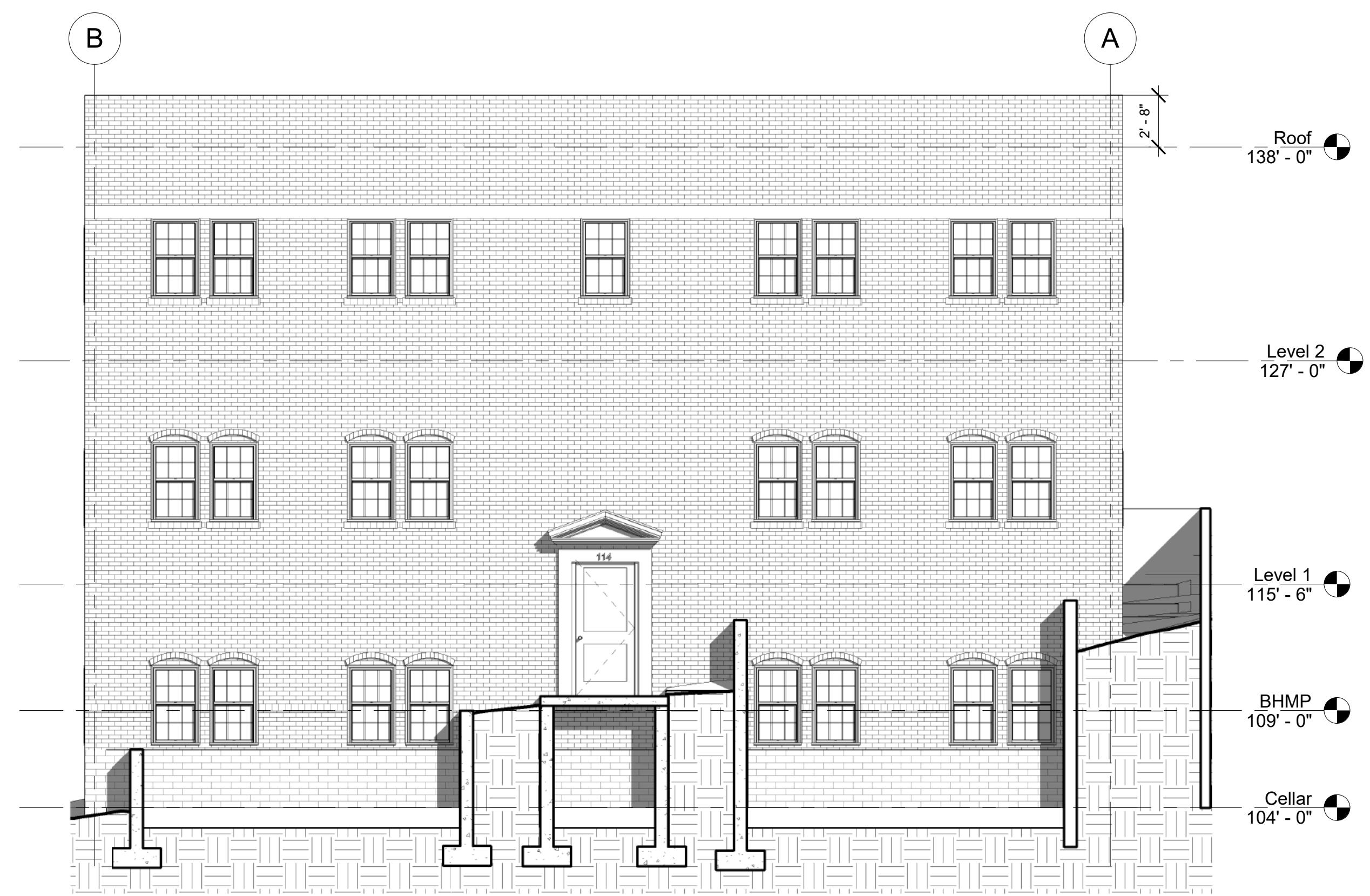
1
Level 2

A1.04
SCALE: 1/4" = 1'-0"

A1.04

job number:

Project Number



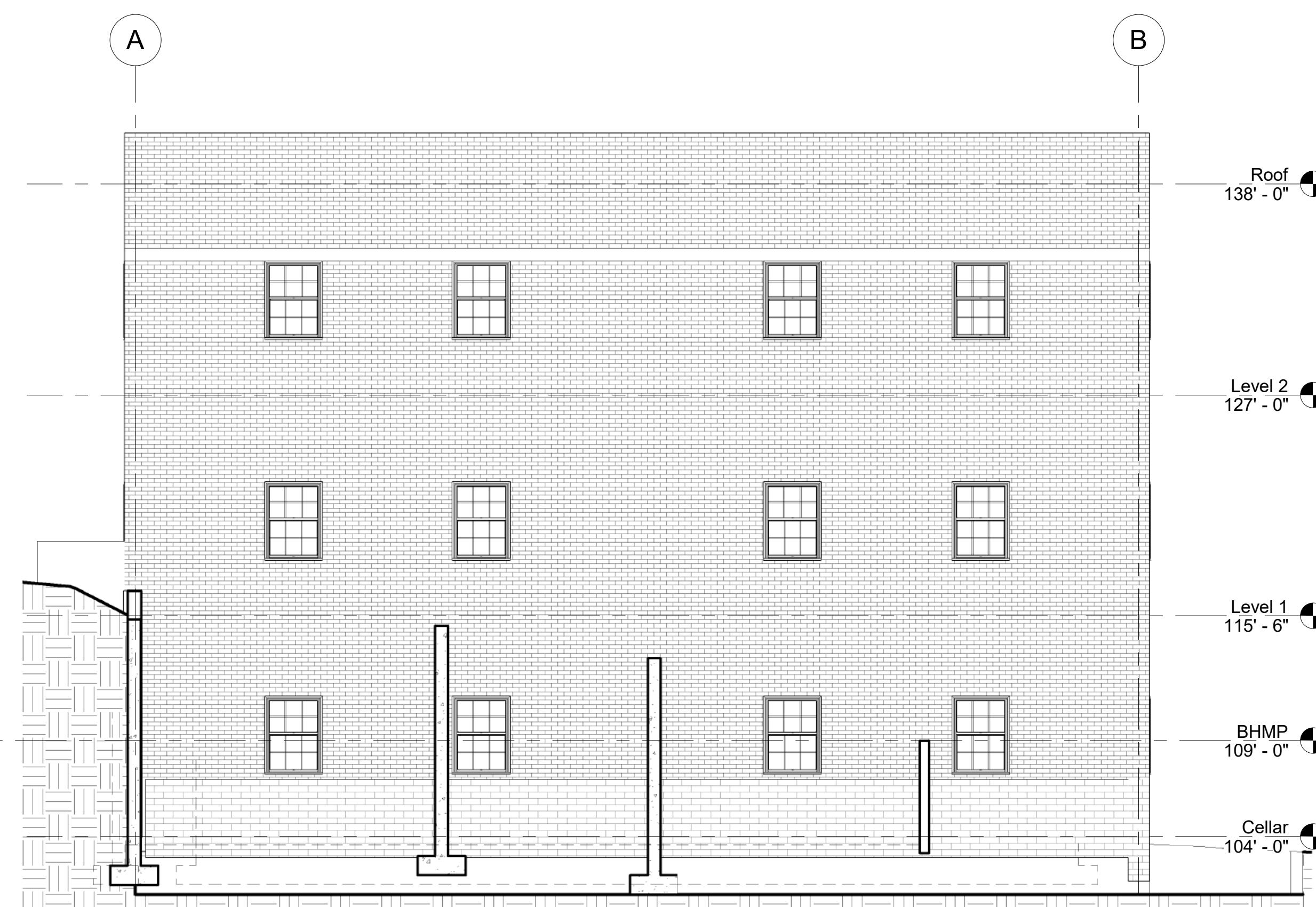
3 EAST ELEVATION
A2.01

SCALE: 3/16" = 1'-0"



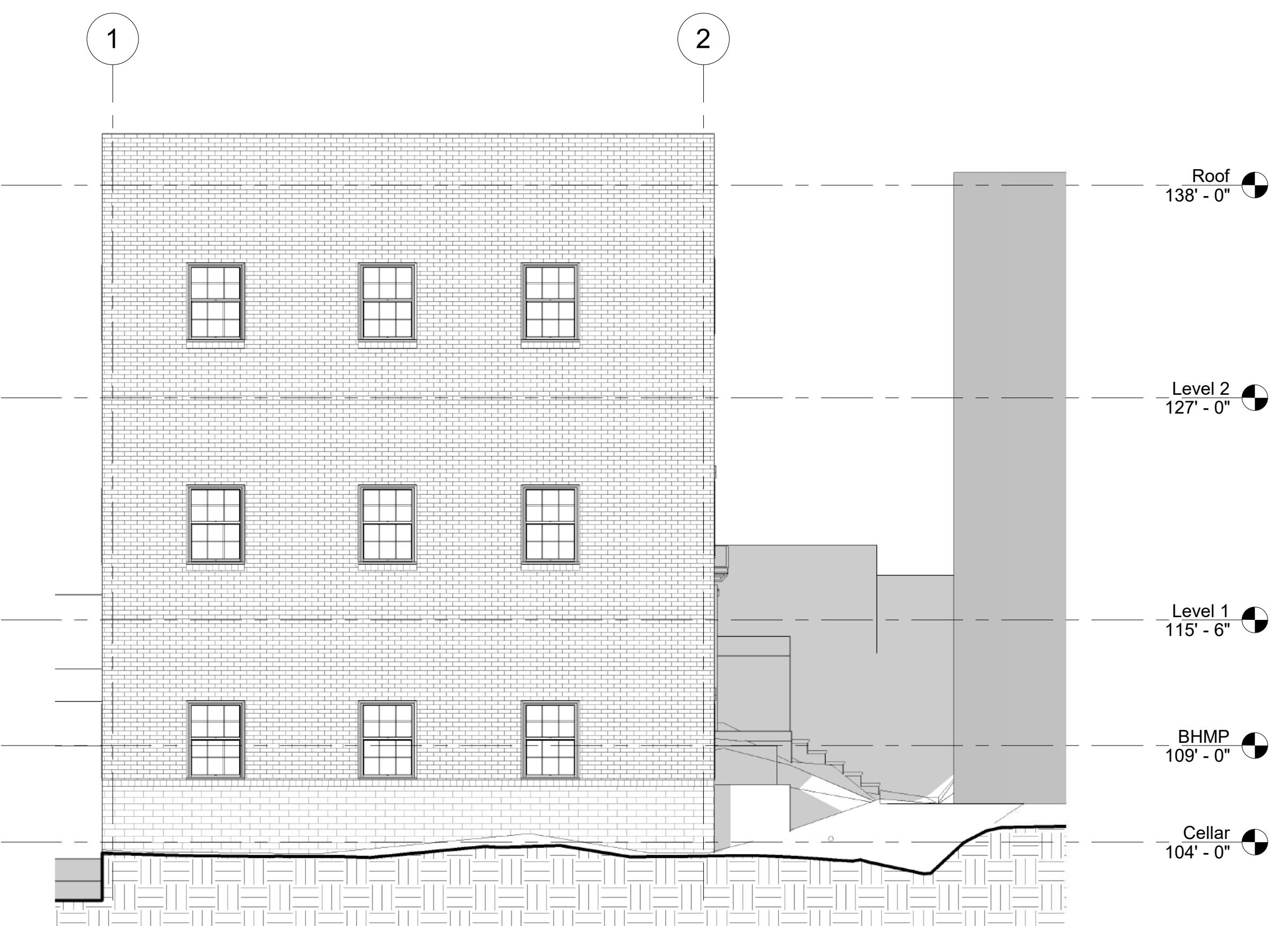
1 NORTH ELEVATION
A2.01

SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
A2.01

SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A2.01

SCALE: 3/16" = 1'-0"

SHEET NOTES

EXTERIOR KEYNOTES	
Keynote Number	Description

CURE ARCHITECTS

WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, D.C.

GENERAL NOTES

no.	description	date
Sheet Revisions		
no.	description	date
Project Issues		
BUILDING ELEVATIONS		
drawn by:		
Author		
checked by:		
Checker		
sheet number:		
A2.01		
job number:		
Project Number		

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sheet name:
Building Elevations

drawn by:
Author

checked by:
Checker

sheet number:
A2.01

job number:
Project Number

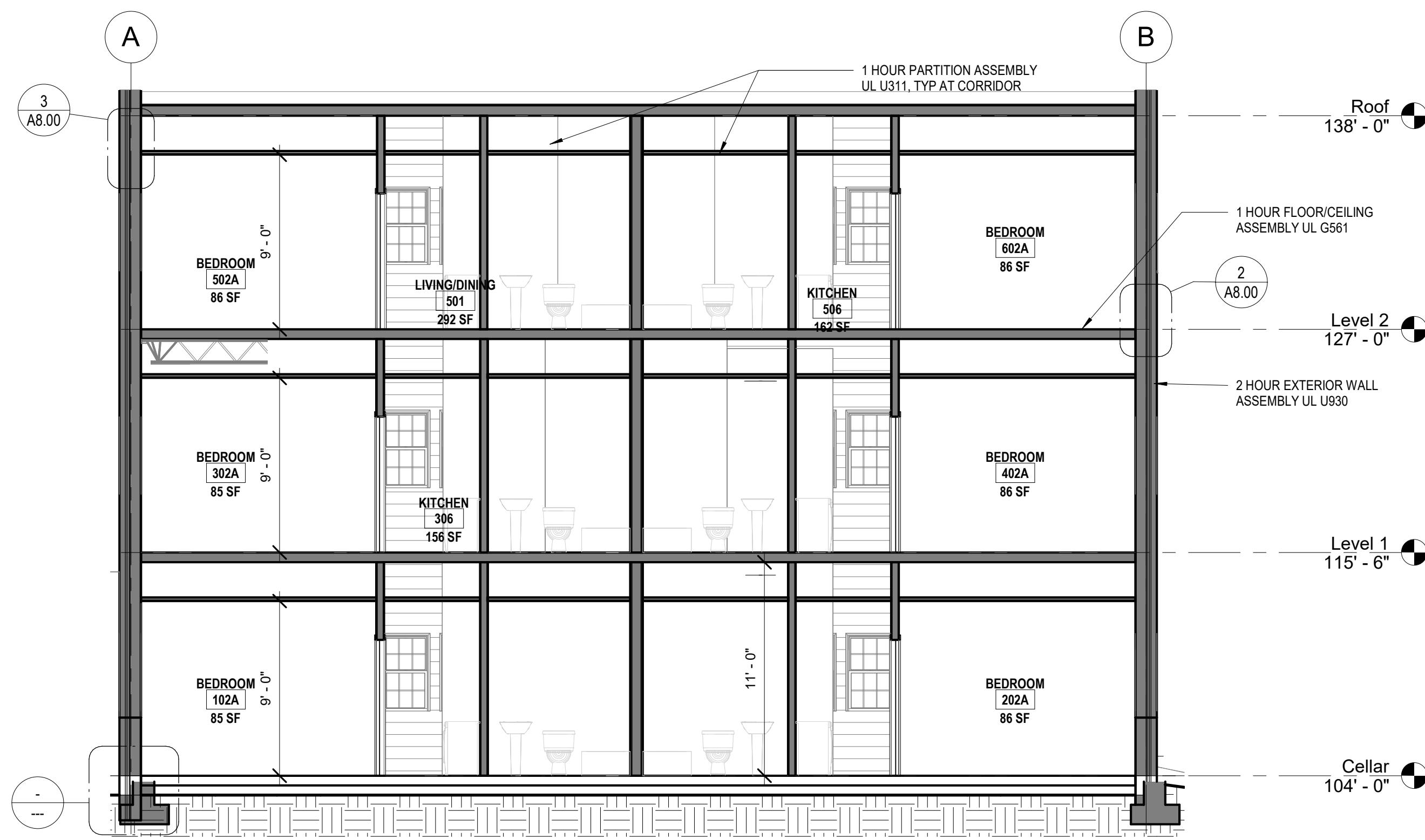
SHEET NOTES

CURE ARCHITECTS

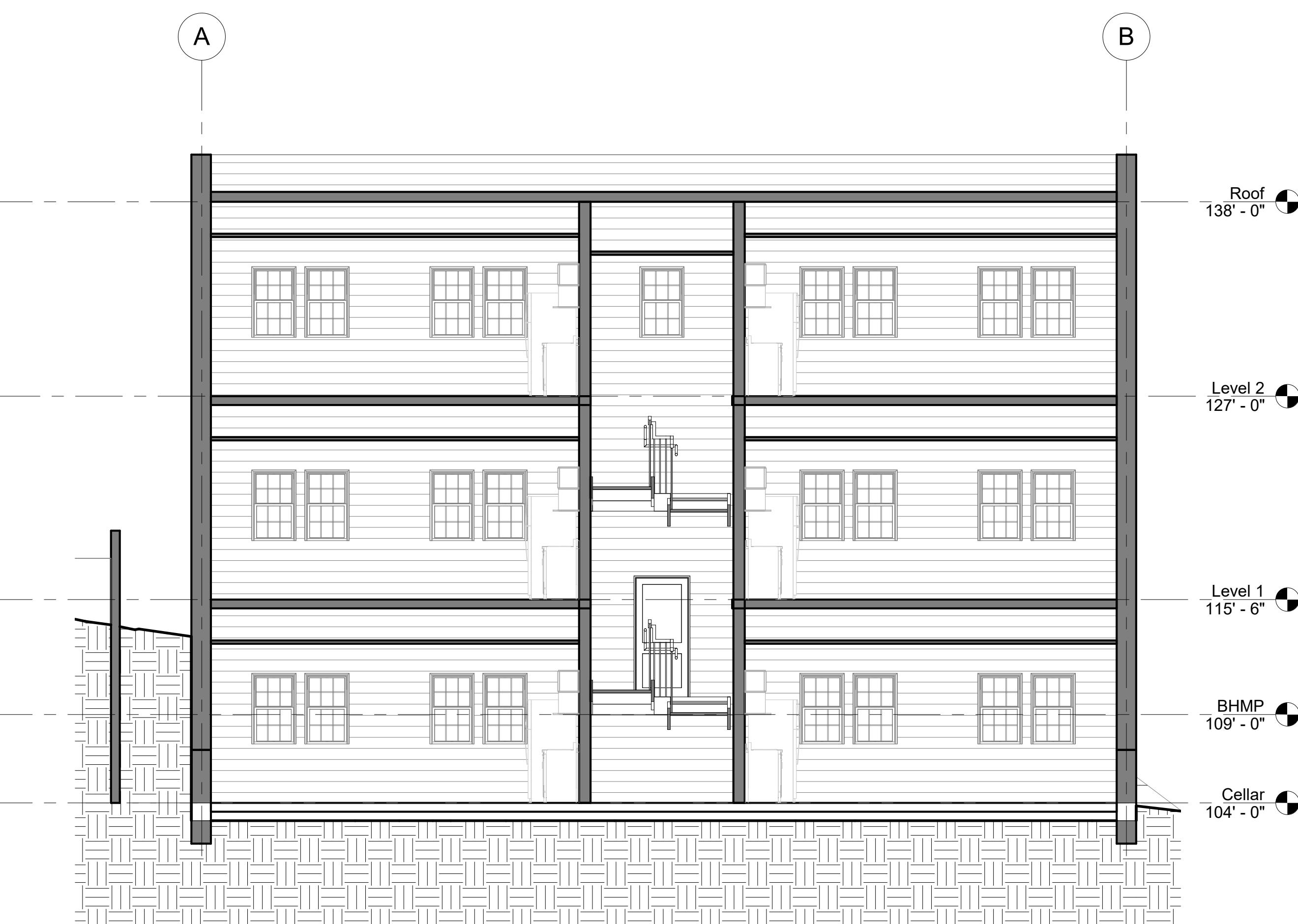
WAYNE PLACE APARTMENTS

CHRISTOPHER MAK

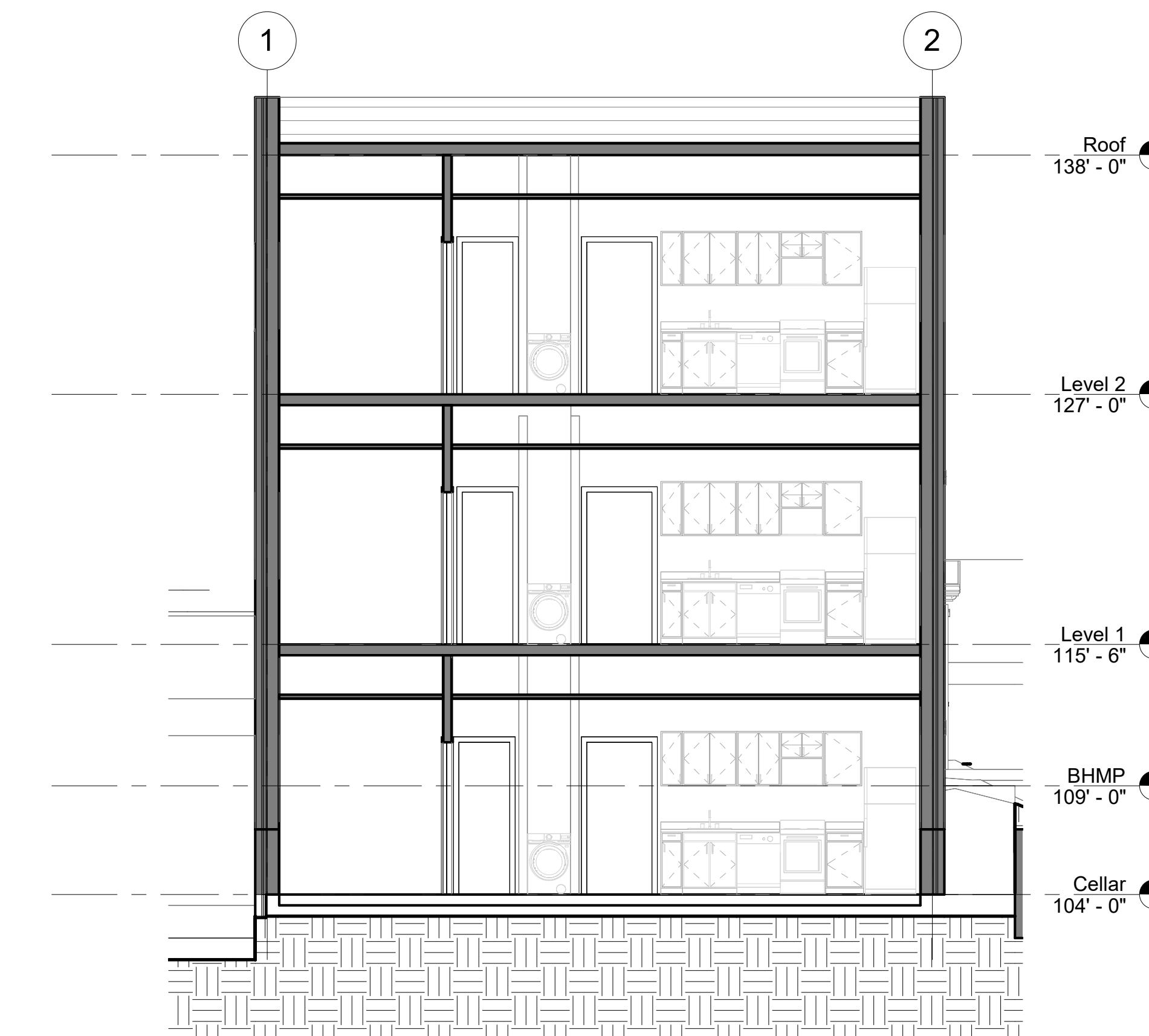
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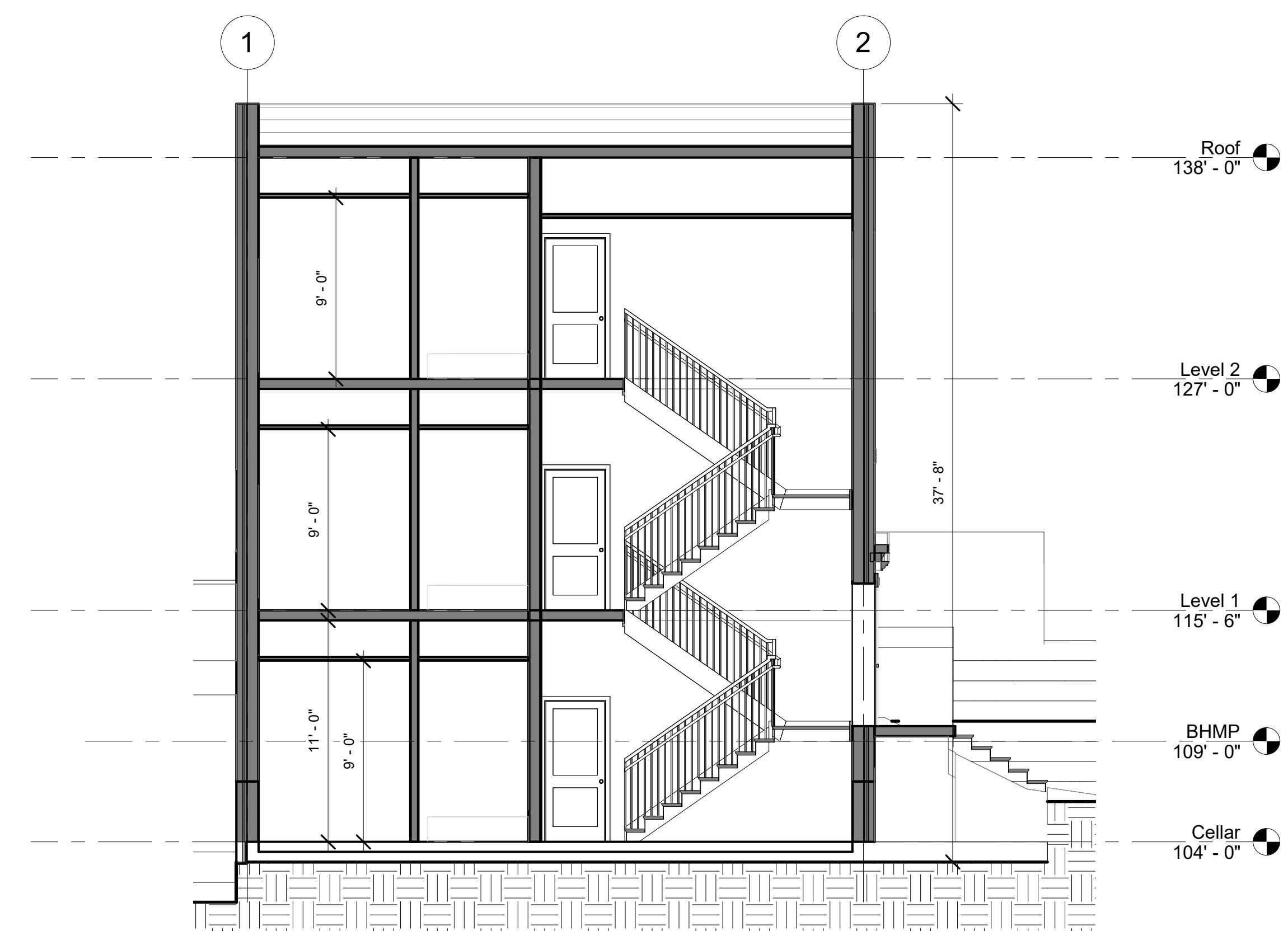
3 EAST SECTION A
A3.01



4 EAST SECTION B
A3.01



1 NORTH SECTION A
A3.01



2 NORTH SECTION B
A3.01

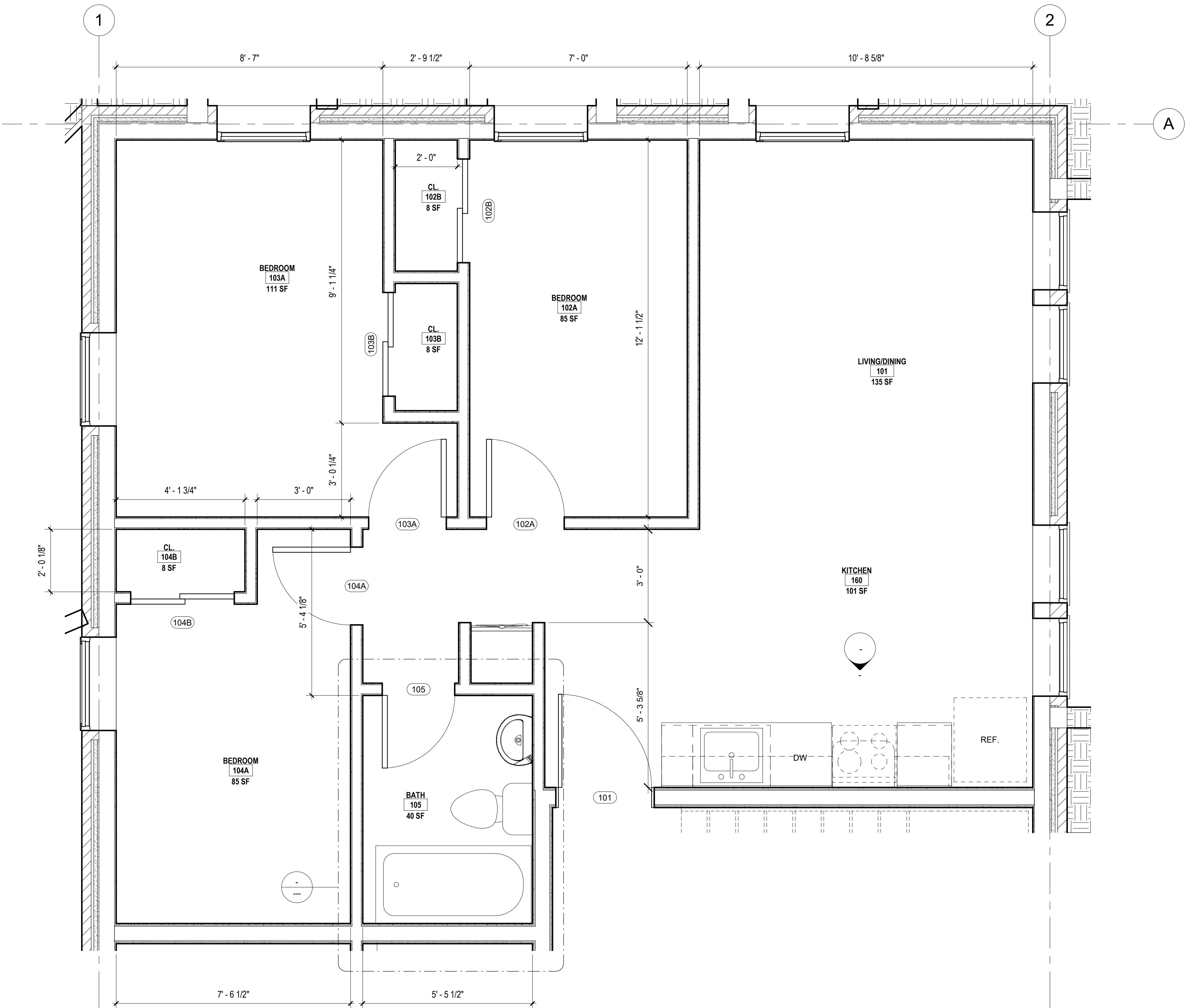
GENERAL NOTES

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BUILDING SECTIONS

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Checker
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A3.01
job number:
Project Number



1 TYPICAL UNIT LAYOUT
A5.01 SCALE: 1/2" = 1'-0"

SHEET NOTES

CURE ARCHITECTS

WAYNE PLACE APARTMENTS
CHRISTOPHER MAK

113 WAYNE PLACE SE, WASHINGTON, D.C.

GENERAL NOTES

WALL TYPE GENERAL NOTES:

1. BRACE ALL INTERIOR PARTITIONS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED TO PREVENT WALLS FROM FLEXING.
2. ALL FULL HEIGHT METAL STUD FRAMING SHALL BE BRACED TO THE ROOF STRUCTURE AND SHALL NOT BE FASTENED IN ANY WAY TO PANELS OR ROOF DECK (UNO).
3. FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED WITHIN WALLS AND ROUGH OPENINGS AS REQUIRED FOR MILLWORK SUPPORT, GRAB BARS, CLOSET SHELVING/RODS, TOILET ACCESSORIES, ETC. COORDINATE BLOCKING LOCATIONS AND REQUIREMENTS WITH PLANS AND G.C. PRIOR TO INSTALLATION OF G.Y.P. BD.
4. CAULK PERIMETER OF ALL SOUND INSULATED WALLS WITH AN ACOUSTICAL SEALANT.
5. SEE FLOOR PLAN WALL TAG AND WALL COMPONENT NOTES FOR ADDITIONAL INFORMATION.

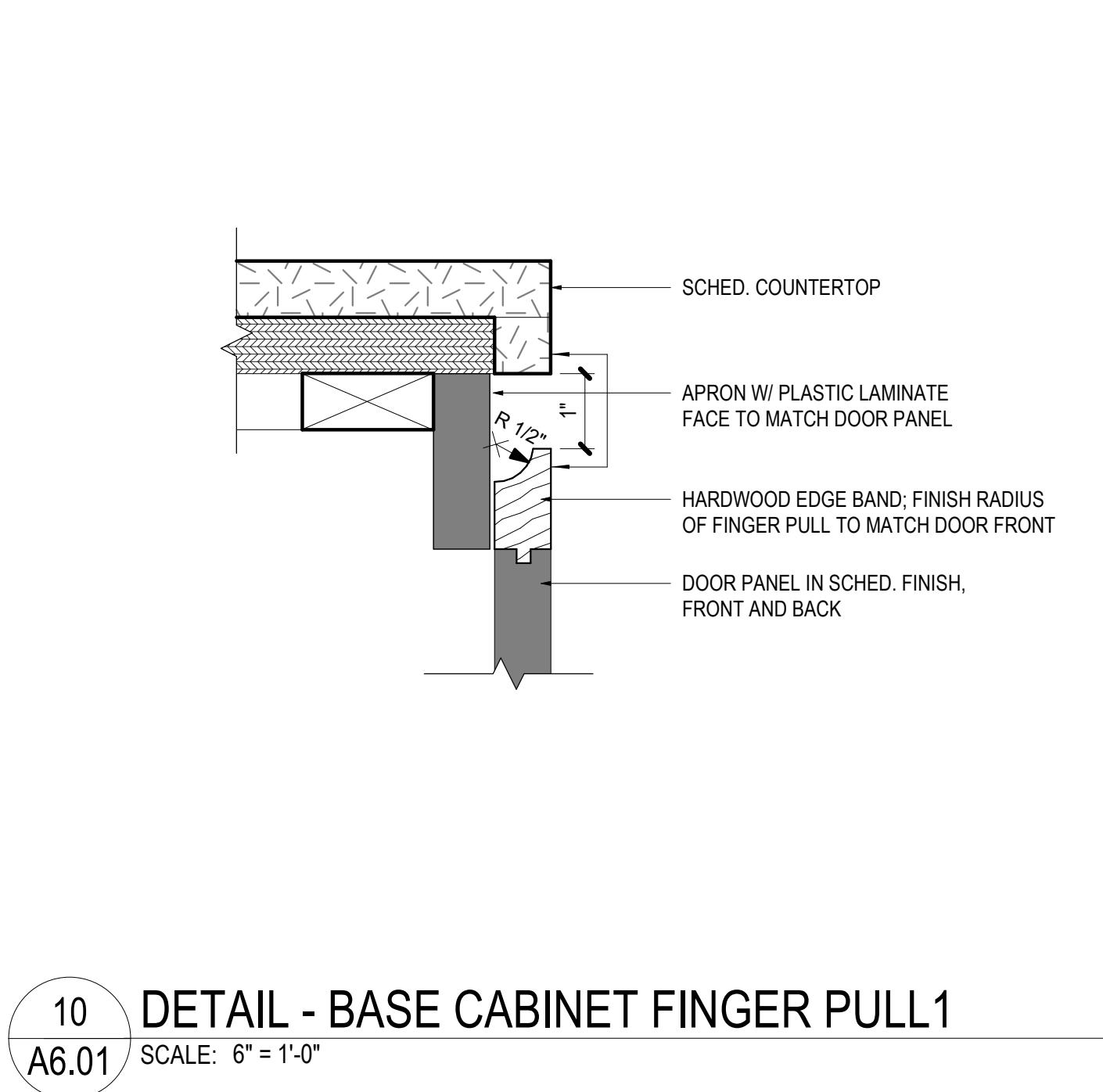
WALL COMPONENT NOTES

WALL TYPE TAG		ADDITIONAL WALL COMPONENT - SEE BELOW.
COMPONENT LETTER	COMPONENT NOTE/DESCRIPTION	Project Issues
A	INSULATION OCCURS FROM FLOOR SLAB TO MIN 6" ABOVE FINISHED CEILING.	
B	INSULATION OCCURS FROM FLOOR SLAB TO DECK ABOVE.	
C	MOLD/MOISTURE RESISTANT GYP BD ON WET WALL SIDE.	
D	FACE APPLIED ACRYLIC COATING SYSTEM MOLD/MOISTURE RESISTANT GYP BD.	

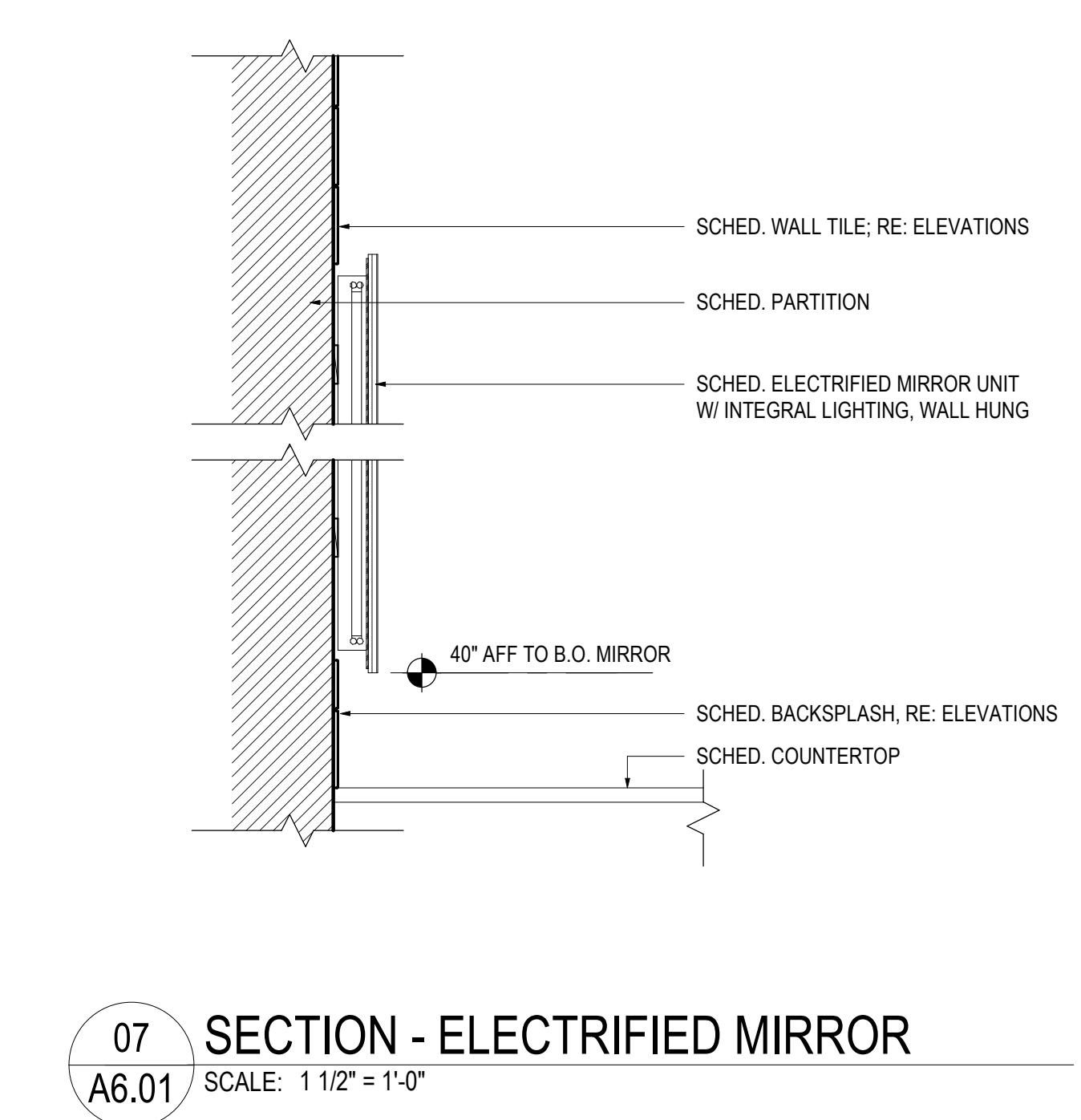
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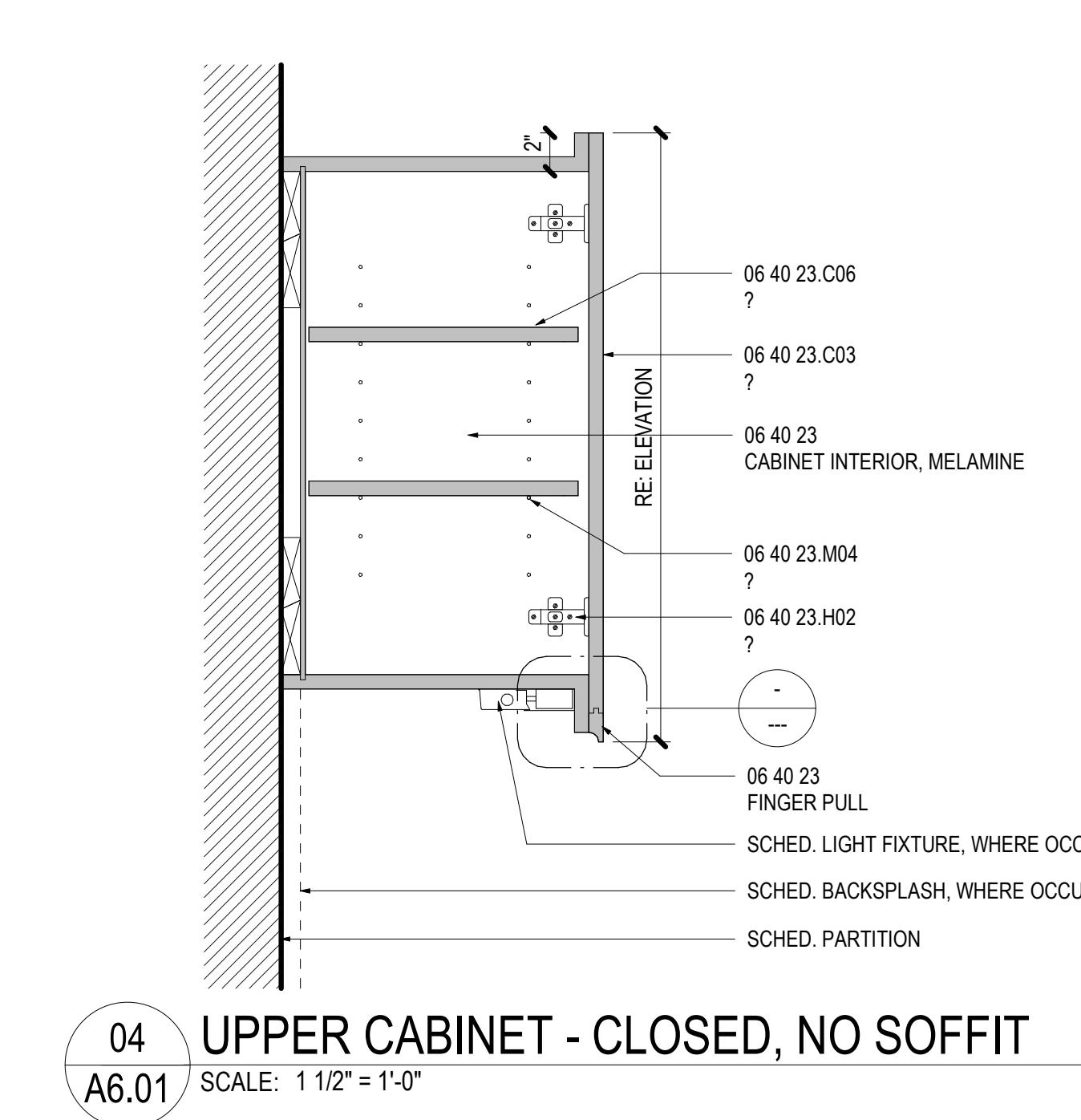
A5.01
job number:
Project Number



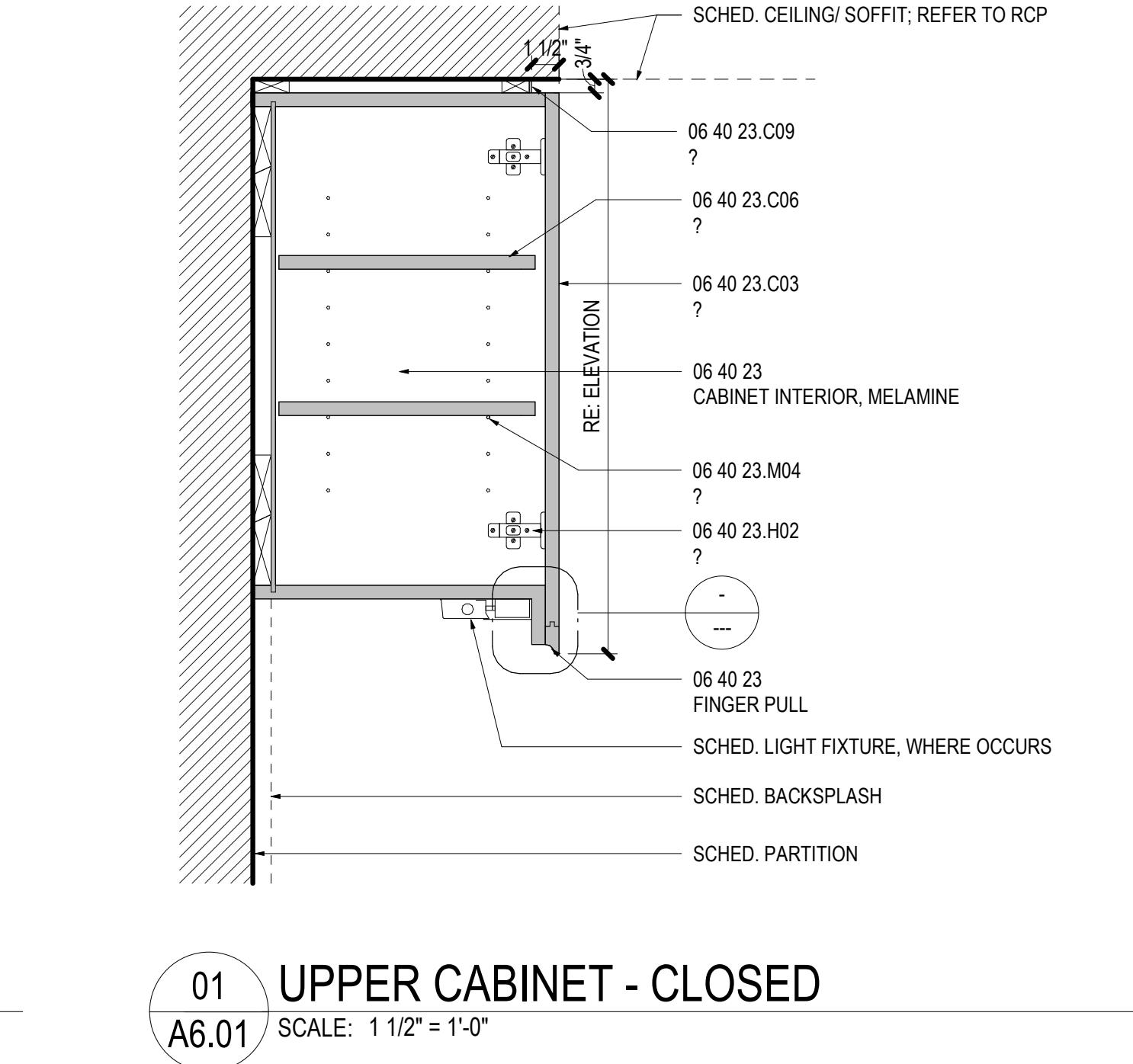
10 DETAIL - BASE CABINET FINGER PULL1
A6.01 SCALE: 6" = 1'-0"



07 A6.01 SECTION - ELECTRIFIED MIRROR
SCALE: 1 1/2" = 1'-0"



04 **UPPER CABINET - CLOSED, NO SOFFIT**
A6.01 SCALE: 1 1/2" = 1'-0"

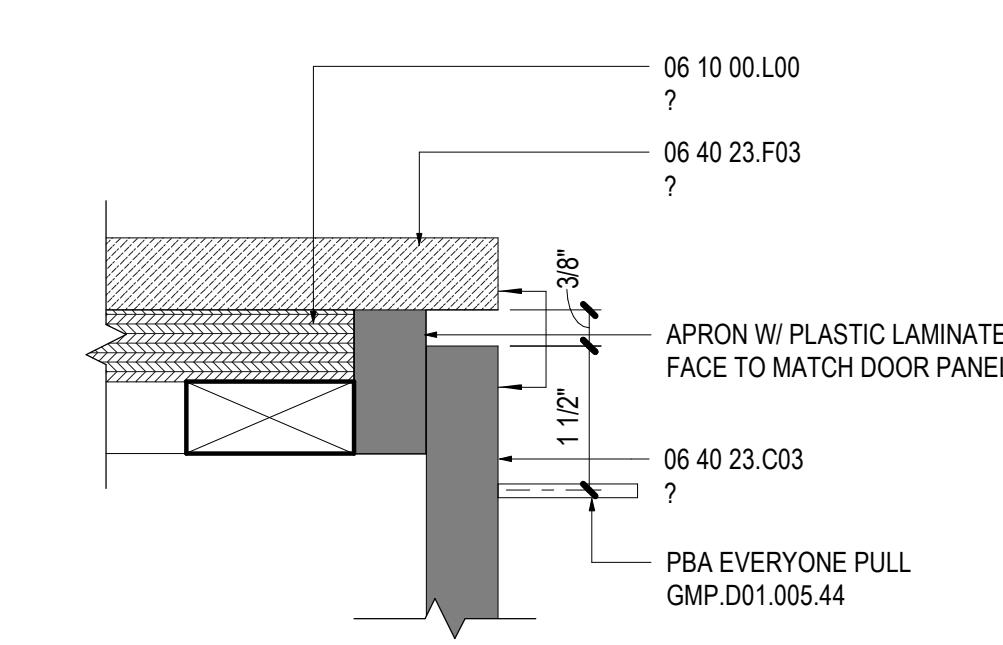


01 **UPPER CABINET - CLOSED**
A6.01 SCALE: 1 1/2" = 1'-0"

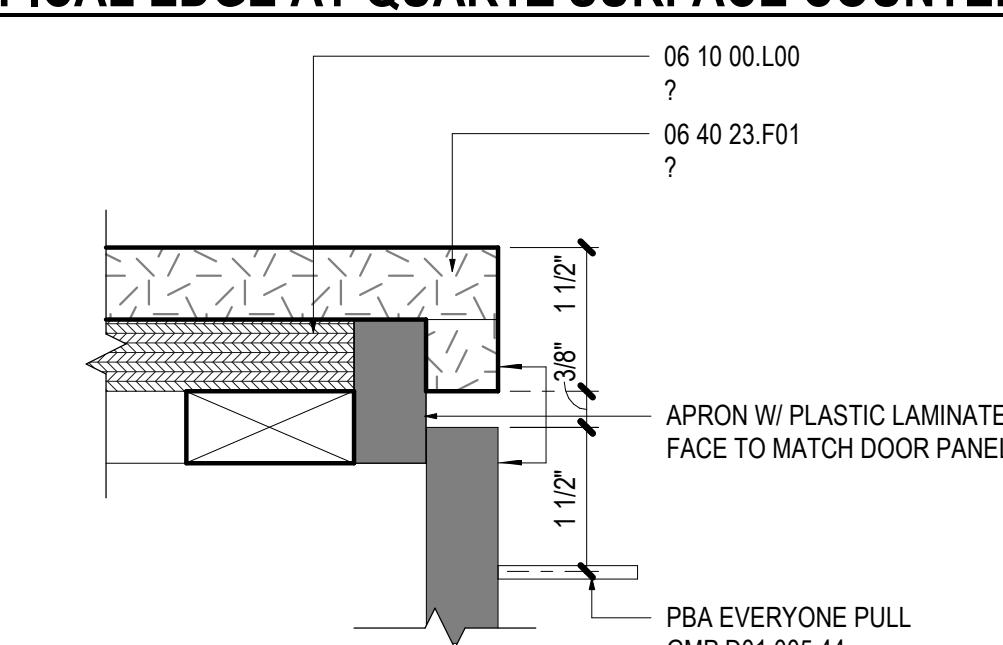


WAYNE PLACE APARTMENTS

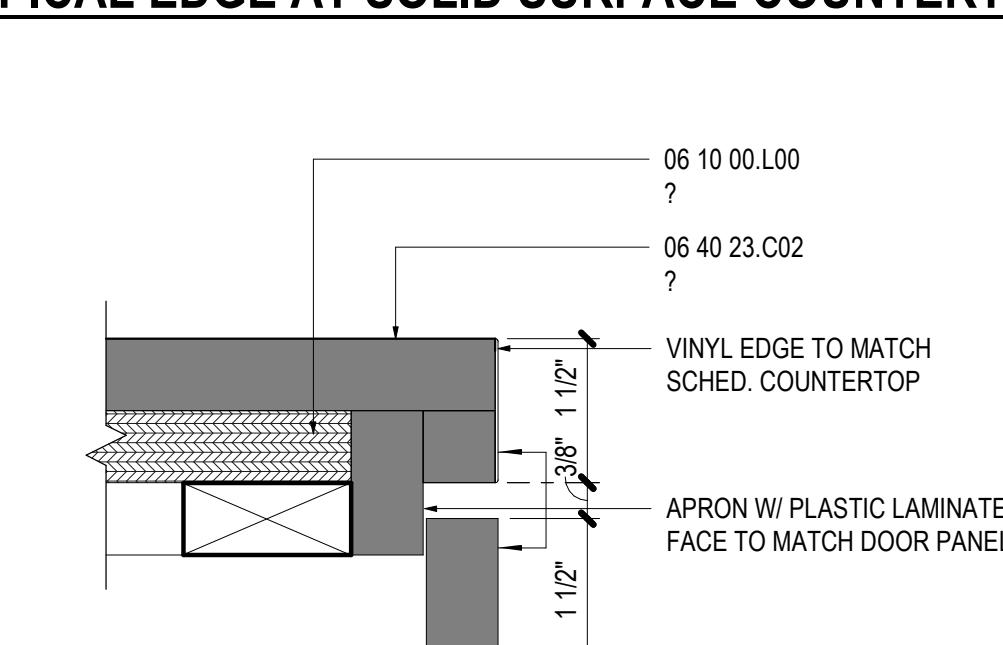
CURE ARCHITECTS



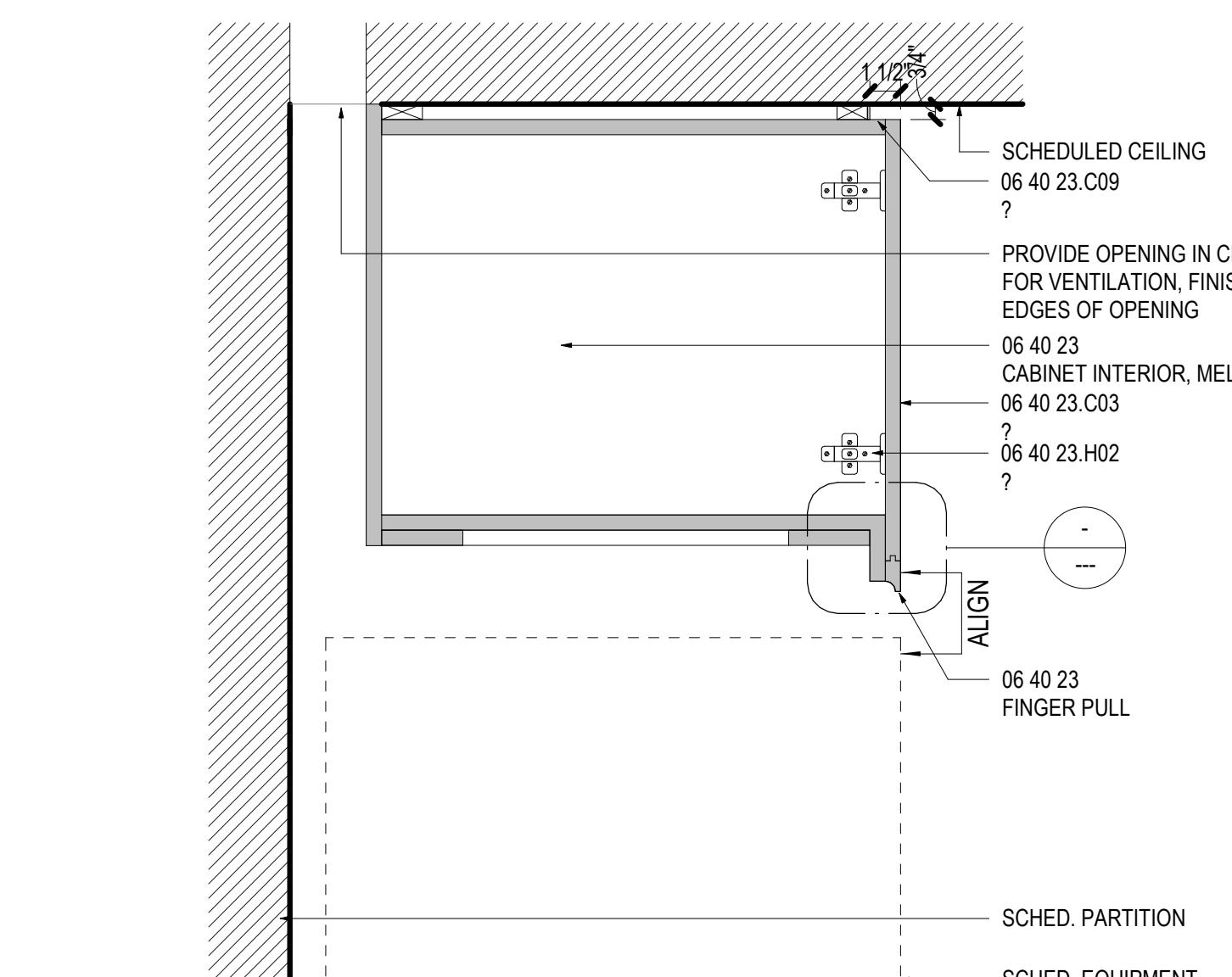
TYPICAL EDGE AT QUARTZ SURFACE COUNTERTOPS



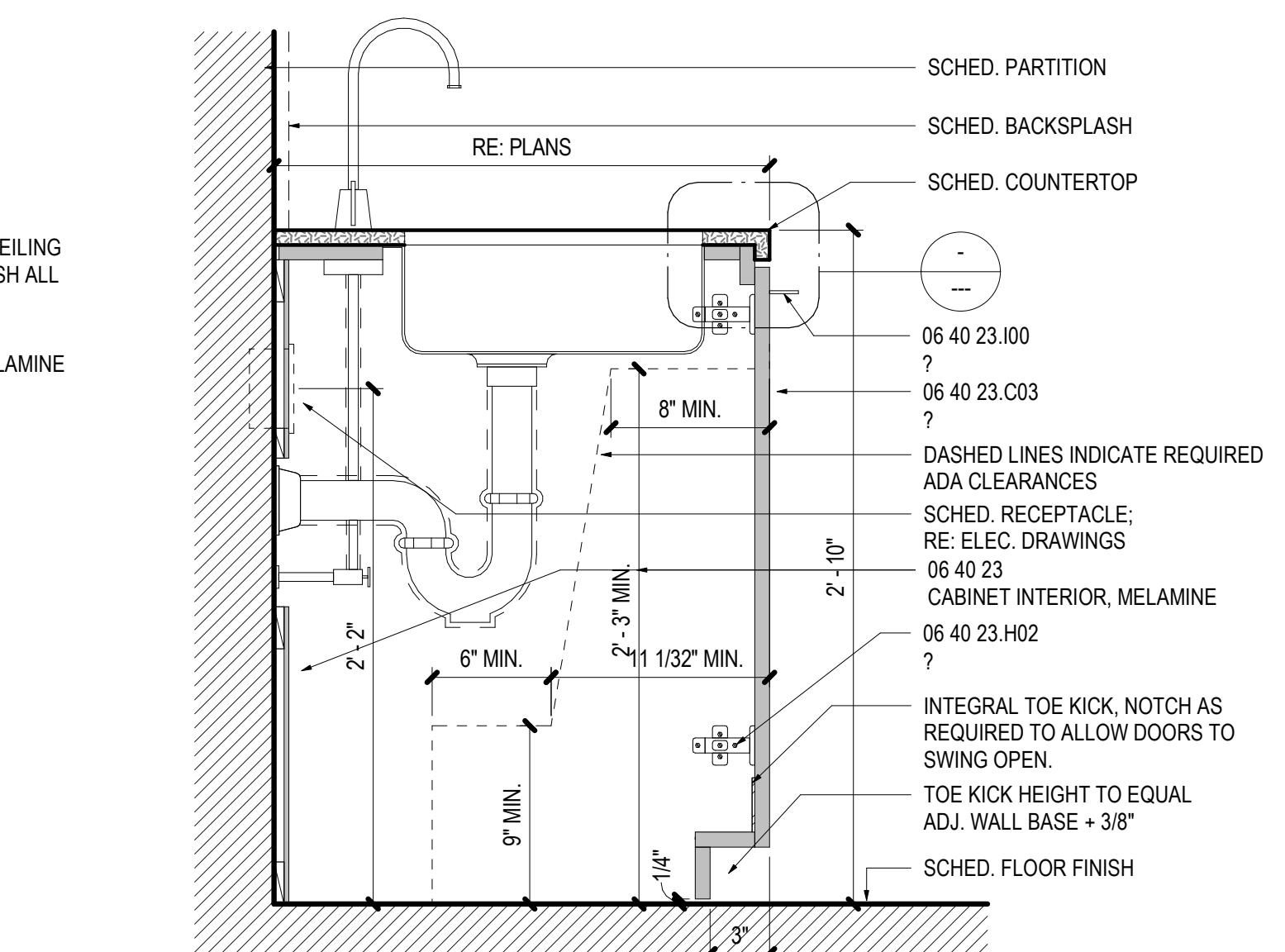
TYPICAL EDGE AT SOLID SURFACE COUNTERTOPS



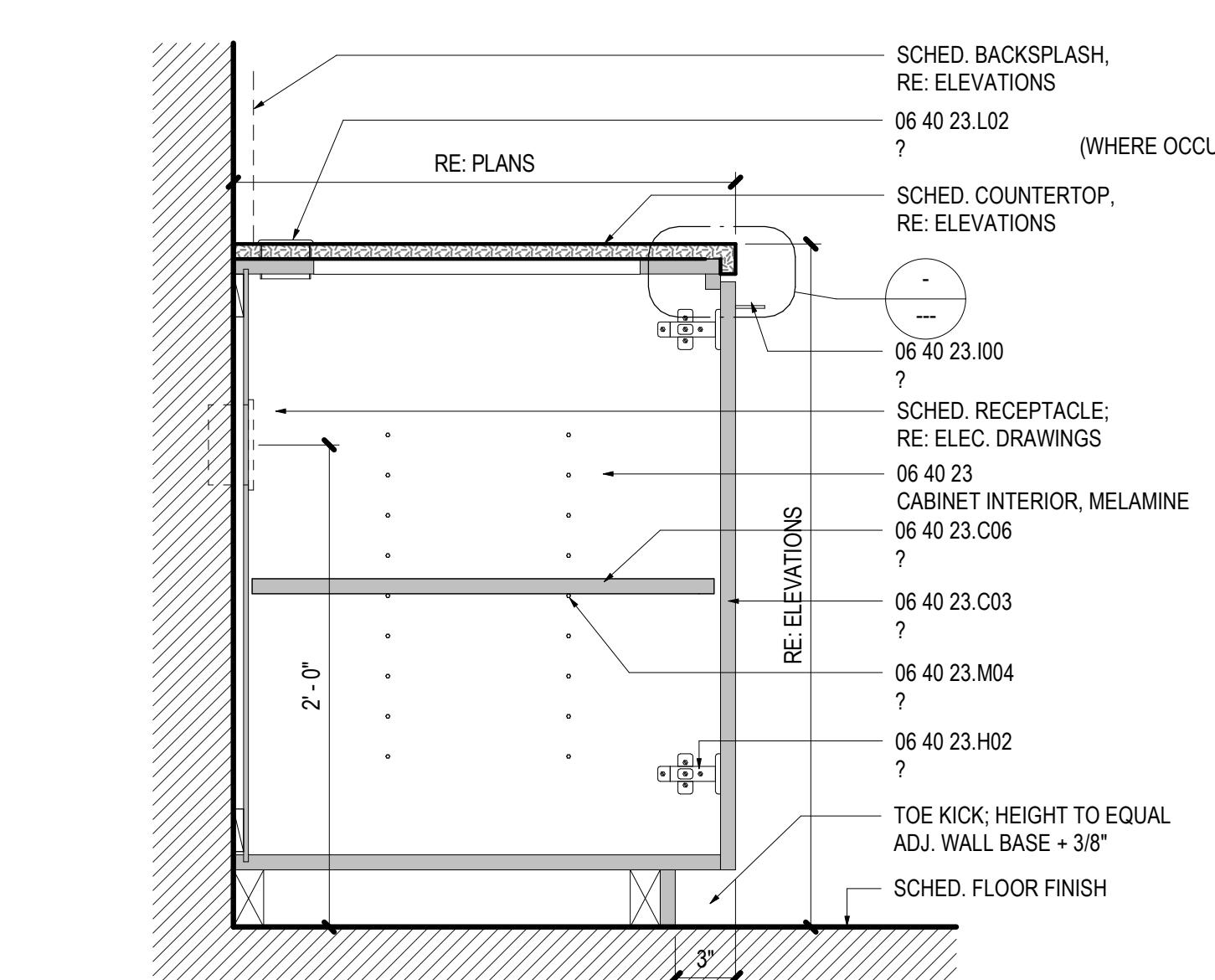
TYPICAL EDGE AT PLASTIC LAMINATE COUNTERTOPS



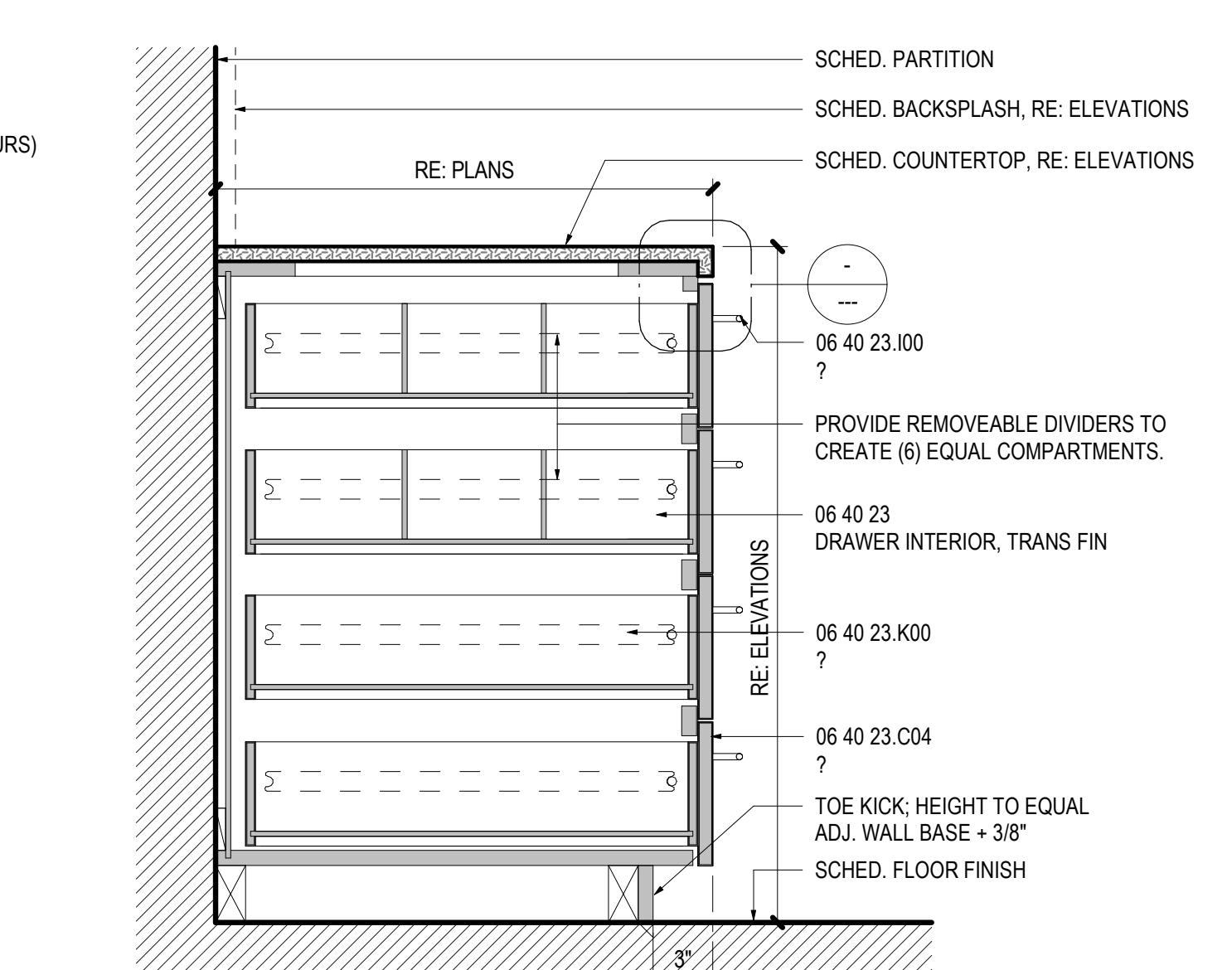
05 **UPPER CABINET - ABOVE REFRIGERATOR**
A6.01 SCALE: 1 1/2" = 1'-0"



02 BASE CABINET - ADA SINK



06 A6 01 BASE CABINET - ADJ. SHELVES
SCALE: 1 1/2" = 1'-0"



03 A6 01 BASE CABINET - DRAWERS
SCALE: 1 1/2" = 1'-0"

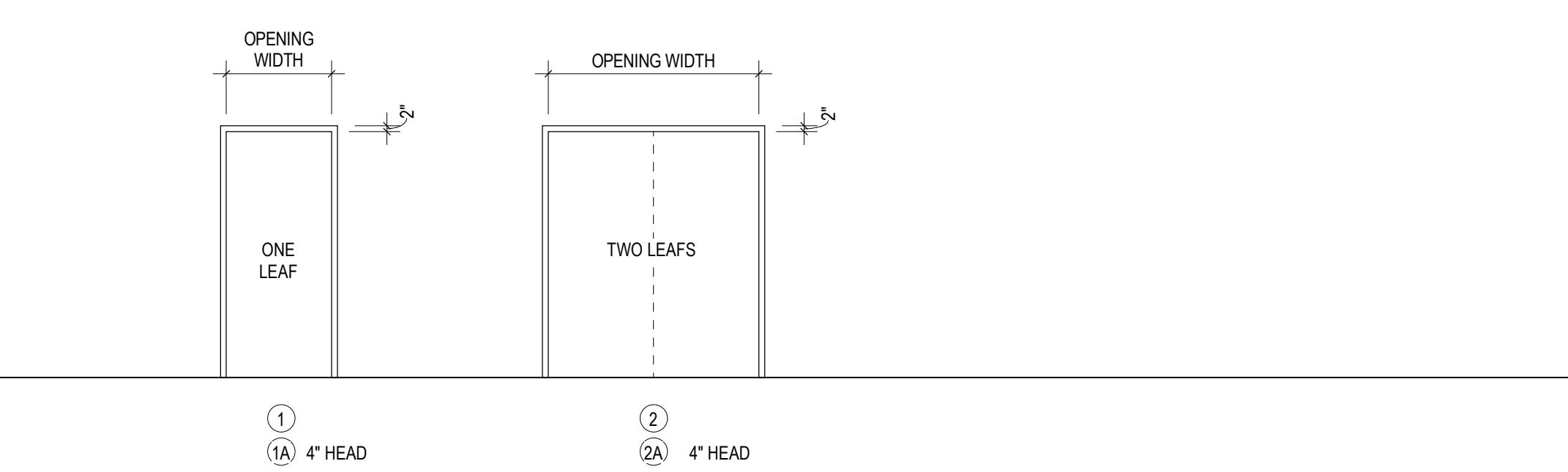
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checked by:
TR

sheet number:
A6.01
job number:
Project Number

DOOR/FRAME SCHEDULE

DOOR DOOR NO.	TYPE	LOCATION	DOOR		FRAME				FIRE RATING	HDWR SET NO.	REMARKS
			WIDTH	HEIGHT	MATERIAL	Frame Type	FINISH	HEAD			
101			3'-0"	7'-0"							
102A	BEDROOM		2'-6"	7'-0"							
102B	BEDROOM		3'-4"	7'-0"							
103A	BEDROOM		2'-6"	7'-0"							
103B	CL.		3'-4"	7'-0"							
104A	BEDROOM		2'-6"	7'-0"							
104B	BEDROOM		3'-4"	7'-0"							
105	BATH		2'-4"	7'-0"							
201			3'-0"	7'-0"							
202A	BEDROOM		2'-6"	7'-0"							
202B	CL.		3'-4"	7'-0"							
203A	BEDROOM		2'-6"	7'-0"							
203B	BEDROOM		3'-4"	7'-0"							
204A	BEDROOM		2'-6"	7'-0"							
204B	CL.		3'-4"	7'-0"							
205	BATH		2'-4"	7'-0"							
301	KITCHEN		3'-0"	7'-0"							
302A	KITCHEN		2'-6"	7'-0"							
302B	BEDROOM		3'-4"	7'-0"							
303A	BEDROOM		2'-6"	7'-0"							
303B	CL.		3'-4"	7'-0"							
304A	KITCHEN		2'-6"	7'-0"							
304B	BEDROOM		3'-4"	7'-0"							
305	KITCHEN		2'-4"	7'-0"							
317			3'-0"	7'-0"							
334			3'-0"	7'-0"							
401			3'-0"	7'-0"							
402A	BEDROOM		2'-6"	7'-0"							
402B	CL.		3'-4"	7'-0"							
403A	BEDROOM		2'-6"	7'-0"							
403B	BEDROOM		3'-4"	7'-0"							
404A	BEDROOM		2'-6"	7'-0"							
404B	CL.		3'-4"	7'-0"							
405	BATH		2'-4"	7'-0"							
501	LIVING/DINING		3'-0"	7'-0"							
502A	LIVING/DINING		2'-6"	7'-0"							
502B	BEDROOM		3'-4"	7'-0"							
503A	BEDROOM		2'-6"	7'-0"							
503B	CL.		3'-4"	7'-0"							
504A	LIVING/DINING		2'-6"	7'-0"							
504B	BEDROOM		3'-4"	7'-0"							
505	LIVING/DINING		2'-4"	7'-0"							
601	KITCHEN		3'-0"	7'-0"							
602A	BEDROOM		2'-6"	7'-0"							
602B	CL.		3'-4"	7'-0"							
603A	KITCHEN		2'-6"	7'-0"							
603B	BEDROOM		3'-4"	7'-0"							
604A	BEDROOM		2'-6"	7'-0"							
604B	CL.		3'-4"	7'-0"							
605	BATH		2'-4"	7'-0"							



SEE DOOR SCHEDULE FOR DOOR DIMENSIONS

3. DOOR SIZE:

SEE SCHEDULE FOR WIDTH, HEIGHT AND THICKNESS

4. DOOR MATERIAL:

SCW	= SOLID CORE W/ WOOD VENEER FACES	WD	= WOOD
SCH	= SOLID CORE W/ HARBORD FACES	HM	= HOLLOW METAL
SCP	= SOLID CORE PLASTIC LAMINATE FACES	GHM	= GALVANIZED HOLLOW METAL
SCA	= SOLID CORE ACROVYN FACES	AL	= ALUMINUM
HM	= HOLLOW METAL	KD	= HOLLOW METAL KNOCK DOWN FRAME
GHM	= GALVANIZED HOLLOW METAL	HMLL	= HOLLOW METAL, LEAD LINED
AL	= ALUMINUM & GLASS		
LL	= LEAD LINED		

5. DOOR FINISH:

WTF	= WOOD TRANSPARENT FINISH	WTF	= WOOD TRANSPARENT FINISH
WOF	= WOOD OPAQUE FINISH	WOF	= WOOD OPAQUE FINISH
MGP	= METAL GALVANIZED PAINTED	MGP	= METAL GALVANIZED PAINTED
MP	= METAL PAINTED	MP	= METAL PAINTED
AL	= ANODIZED ALUMINUM	AL	= ANODIZED ALUMINUM
PL	= PLASTIC LAMINATE	PL	= PLASTIC LAMINATE

6. GLASS TYPE:

WG	= 1/4" WIRE GLASS	WG	= 1/4" WIRE GLASS
CTG	= 1/4" CLEAR TEMPERED GLASS	CTG	= 1/4" CLEAR TEMPERED GLASS
LG	= 1/4" LEADED GLASS	LG	= 1/4" LEADED GLASS
FRG	= 1/4" FIRE RATED GLASS	FRG	= 1/4" FIRE RATED GLASS

7. FRAME ELEVATION:

SEE HOLLOW METAL ELEVATION LEGEND

8. FRAME MATERIAL:

SEE HOLLOW METAL ELEVATION LEGEND

9. FRAME FINISH:

SEE FRAME DETAILS ON SHEET

10. FRAME DETAILS:

SEE FRAME DETAILS ON SHEET

11. UL RATING:

20 M; 45 M; 1 H; 1.5 H; 2 H; 3 H

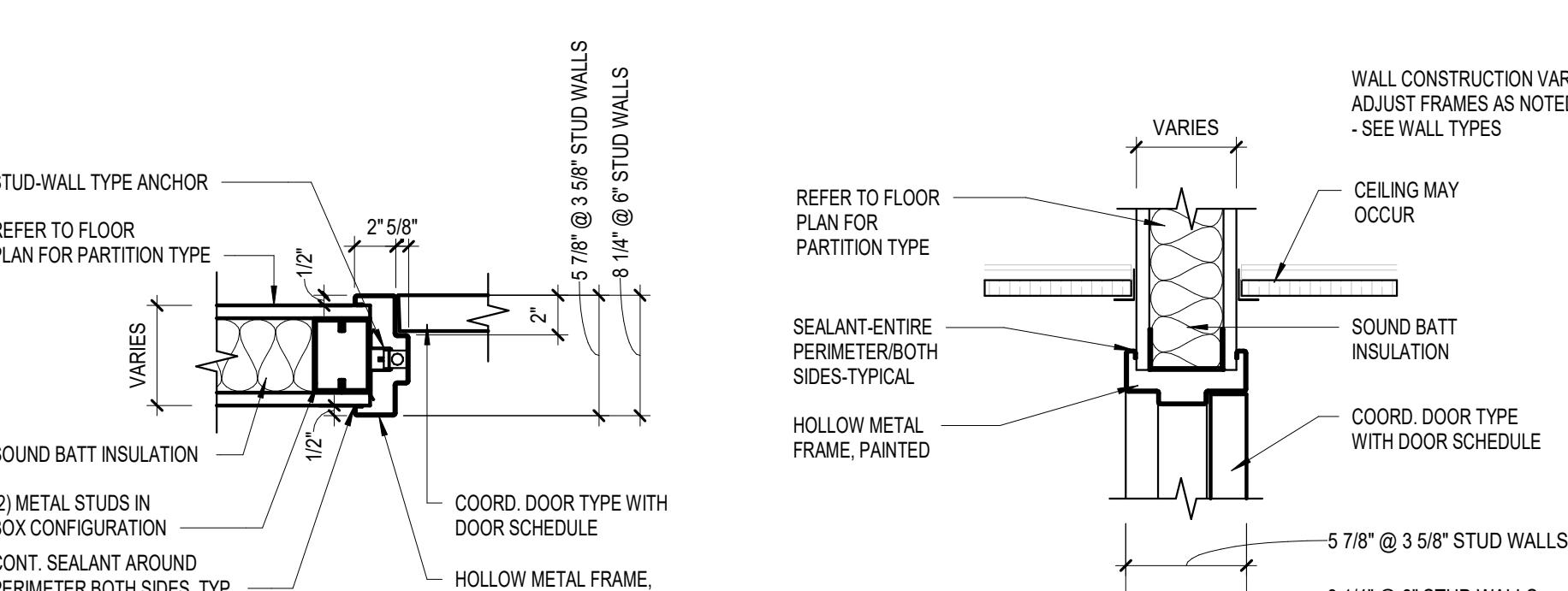
12. HARDWARE SET:

SEE HARDWARE SETS IN SPECIFICATIONS.

J1 JAMB DETAIL
A7.01 SCALE: 1 1/2" = 1'-0"



H1 HEAD DETAIL
A7.01 SCALE: 1 1/2" = 1'-0"



DOOR NOTES:

- ALL EXTERIOR HM DR FRAMES SHALL BE:
 - PRE-PRIMED
 - MIN 14 GA STEEL (GALV)
 - WELDED CONSTRUCTION
 - PAINT PER FINISH NOTES
- ALL EXTERIOR DR FRAMES SHALL BE:
 - PRE-PRIMED
 - MIN 16 GA STEEL (GALV)
 - INSULATED
 - PAINT PER FINISH NOTES
- ALL INTERIOR HM DR FRAMES SHALL BE:
 - PRE-PRIMED
 - MIN 16 GA STEEL (GALV AS INDICATED)
 - PAINT PER FINISH NOTES
- ALL EXTERIOR ALUM DR FRAMES SHALL BE:
 - PREFINISHED, CLEAR ANODIZED
 - CLEAR, 1" INSULATED GLASS (TEMPERED WHERE NOTED)
- ALL DOOR HARDWARE NOT SPECIFIED BUT INDICATED IN THE HARDWARE SCHEDULE SHALL BE SUBMITTED IN THE FORM OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- ALL DR HARDWARE SHALL BE ACCESSIBLE, COMPLIANT INCLUDING LOCKSETS AND LATCHSETS, LEVER HANDLES - SEE HARDWARE SCHEDULE OR ARCHITECT APPROVED EQUAL.
- ALL LOUVER INFORMATION (IF REQUIRED; SIZE, STYLE, ETC) SHALL BE COORDINATED WITH MECHANICAL DRAWINGS.
- 1/4-INCH, CLEAR, TEMPERED GLASS: IMPACT TESTING. GLAZING SHALL BE TESTED IN ACCORDANCE CPSP 16 CFR 1209.9 SF OR LESS - CLASS I
9 SF OR MORE - CLASS II
- HARDWARE FINISH: SATIN STAINLESS STEEL

ALL DOOR HARDWARE ITEMS SHALL BE AS FOLLOWS OR ARCHITECT APPROVED EQUAL UNLESS NOTED ON DOOR HARDWARE SCHEDULE:

DOOR HINGES	INTERIOR DR UNO: HAGAR BB1191 STEEL 41/2 X 41/2 W/ NON-RISING REMOVABLE PINS
DOOR HINGES	EXTERIOR DR UNO: HAGAR BB1191 STAINLESS STEEL 41/2 X 41/2 W/ NON-RISING REMOVABLE PINS
LOCKSETS:	
STOREROOM/ CLOSET	SARGENT 28 65G04 KL 26D
CLASS	