



Department of Buildings

Permit Operations Division
1100 4th Street SW
Washington DC 20024
Tel. (202) 671 - 3500



BUILDING CIVIL PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

PERMIT NO. BCIV2300110



Issue Date: 11/27/2023

Expiration Date: 11/27/2024

Form containing project details: Address of Project (5901 UTAH AVE NW), Description of Work (Episcopal Home for Children), Permit Fee (\$715.00), Agent Name (Dfm Development Services Llc), and various other permit specifications.

Appellant Exhibit 1



Department of Buildings
 Permit Operations Division
 1100 4th Street SW
 Washington DC 20024
 Tel. (202) 671 - 3500



RETAINING WALL PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

PERMIT NO. RW2400069



Date: 04/24/2024

Address of Project: 5901 UTAH AVE NW		Zone: R-1-B	Ward: 4	Square: 2319	Suffix:	Lot: 0831
Description of Work: Installation of retaining walls. Civil permit # BCIV2300110.						
Type of Work:	Retaining Wall Height 6	Length in linear feet: FT	Material: Keystone	Color: ORANGE		
Permissson Is Hereby Granted To Episcopal Home For Children		Owner Address: 5901 UTAH AVE NW WASHINGTON, DC 20015		PERMIT FEE: \$52,360.00		
Engineer/Architect Name:	License Number: 410513000293	Engineer/Architect Address: 1214 28th Street N.W. Washington, DC 20007				
Conditions/ Restrictions: <p>This permit is associated with the building permit number .</p> <p>This permit expires if no approved inspections have occurred within one year after the issuance date on this permit or 180 days for structures built under the Residential Code. A permit extension must be requested before the expiration of this permit.</p> <p>As a condition to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District government, and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property to inspect all work authorized by this permit, and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this permit must start within one (1) year of the date appearing on this permit or the permit is automatically void. If this permit has expired and no work or partial work was completed, a request for a refund may be made for review and consideration.</p>						
Brian J. Hanlon, AIA LEED AP® Director 		Permit Clerk Brenda Quinn		Expiration Date: 4/24/2025		
<p>DC INSPECTOR GENERAL HOTLINE: If you are aware of corruption, fraud, waste, abuse, or mismanagement involving any DC Government agency, official or program, contact the Office of the Inspector General (OIG) at 202-727-0267 or 1-800-521-1639 (toll free). All reports are confidential and you may remain anonymous by law. Government employees are protected from reprisals or retaliation by their employers for reporting to the OIG. The information you provide may result in an investigation leading to administrative action, civil penalties, or criminal prosecution in appropriate cases.</p> <p>To schedule a CONSTRUCTION INSPECTION or for INQUIRIES CALL (202) 442-9557 Call Miss Utility at 811 or 1-800-257-7777 at least 48 Hours prior to excavation to obtain a ticket. www.missutility.net/washingtondc/dcstatelaw.asp</p>						

STRUCTURAL NOTES

Appellant Exhibit 4 (6 pages)

1 FOUNDATION

REFER TO THE GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC., DATED AUGUST 3, 2023, FOR ALL GEOTECHNICAL REQUIREMENTS AND ANTICIPATED CONDITIONS AT AND BELOW GRADE. REFER TO THE GEOTECH REPORT, CONTRACT DRAWINGS AND SPECIFICATIONS FOR EXCAVATION, BACKFILL, STRUCTURAL FILL, BASE MATERIAL, AND COMPACTION REQUIREMENTS.

ALL FILL PLACED BEHIND RETAINING WALLS, AND AROUND ALL DRAINS SHALL CONSIST OF WELL GRADED, GRANULAR MATERIAL PER THE SPECIFICATIONS. SOILS USED FOR STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.

THE DESIGN PRESSURES FOR RETAINING WALLS ARE BASED ON A "DRAINED" CONDITION. SEE CIVIL AND MECHANICAL DRAWINGS FOR DRAINAGE SYSTEM.

2 CONCRETE

MIXING, BATCHING, TRANSPORTING, PLACING, AND CURING OF ALL CONCRETE, AND SELECTION OF CONCRETE MATERIALS, SHALL CONFORM TO ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE," EXCEPT AS NOTED BELOW. PROPORTIONS OF AGGREGATE TO CEMENTITIOUS PASTE SHALL BE SUCH AS TO PRODUCE A DENSE, WORKABLE MIX THAT CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER.

SELECTION OF CONCRETE MIX PROPORTIONS SHALL BE IN ACCORDANCE WITH ACI 301. MIX PROPORTIONS SHALL MEET OR EXCEED THE REQUIREMENTS WHERE THE CONCRETE IS USED.

THE CEMENTITIOUS MATERIAL CONTENT SHALL BE ADEQUATE FOR THE SPECIFIED REQUIREMENTS FOR STRENGTH, WATER-CEMENT RATIO, DURABILITY, AND FINISHABILITY.

CONCRETE MIX SHALL BE AS FOLLOWS

LOCATION	f'c (PSI)	TEST DAYS	W/C RATIO	MAX AGGREGATE SIZE	AIR CONTENT PERCENTAGE
RETAINING WALL AND FOOTING	4,500	28	0.45	1"	7

MAXIMUM CURED UNIT WEIGHT OF NORMAL WEIGHT CONCRETE SHALL BE 145 PCF.

ALL CONSTRUCTION JOINTS IN WALLS SHALL BE IN ACCORDANCE WITH THE TYPICAL DETAILS. ALL CONSTRUCTION JOINT SURFACES SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, THE JOINTS SHALL BE WETTED AND STANDING WATER REMOVED.

ALL CONSTRUCTION, CONTROL, JOINTS FOR RETAINING WALLS SHALL BE IN ACCORDANCE WITH THE TYPICAL DETAILS.

THE CONTRACTOR SHALL SUBMIT THE PROPOSED LOCATIONS OF JOINTS TO THE ENGINEER FOR ACCEPTANCE BEFORE STARTING CONSTRUCTION. PROVIDE JOINTS AT LOCATIONS SPECIFICALLY NOTED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.

EXCEPT AS DETAILED ON STRUCTURAL DRAWINGS, NO CONCRETE WALLS, FOOTINGS, SHALL BE SLEEVED FOR PIPING OR DUCTS, UNLESS APPROVED BY THE ENGINEER.

3 REINFORCING STEEL

REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI 315, "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." BARS SHALL BE SUPPORTED ON CHAIRS IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE. ALL REINFORCING BARS SHALL BE SECURELY TIED IN PLACE WITH #16 GAGE MIN ANNEALED BLACK WIRE. EPOXY-COATED REINFORCING BARS SHALL BE TIED WITH NYLON, EPOXY-OR PLASTIC-COATED TIE WIRE OR OTHER ACCEPTABLE MATERIALS. SHOP DRAWINGS, INCLUDING PLACING PLANS AND ELEVATIONS SHALL BE SUBMITTED TO, AND REVIEWED BY, THE ARCHITECT/ENGINEER BEFORE STARTING FABRICATION.

REINFORCING BARS SHALL BE LAP SPICED FOR TENSION (Lst) UNLESS NOTED OTHERWISE ON THE DRAWINGS. #14 AND #18 BARS SHALL BE SPICED USING MECHANICAL COUPLINGS INCLUDING SPICES WITH SMALLER BARS. #14 AND #18 BARS SHALL NOT BE LAP SPICED. AT THE CONTRACTOR'S OPTION, MECHANICAL COUPLINGS MAY BE USED FOR ANY BAR SIZE, PROVIDED A CURRENT ICC-ES REPORT DEMONSTRATES THAT THE PRODUCT CAN ACHIEVE A MINIMUM TENSILE STRENGTH OF 125 PERCENT OF THE SPECIFIED YIELD STRENGTH OF THE BAR. NO REINFORCING BARS SHALL BE SPICED BY WELDING. SPICE DEVICES SHALL HAVE A CURRENT ICC-ES REPORT THAT SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. HEADED BARS OR TERMINATORS SHALL BE PROVIDED WHERE INDICATED ON THE DRAWINGS OR AT THE CONTRACTOR'S OPTION FOR CONGESTED AREAS OF REINFORCEMENT ANCHORAGE SUBJECT TO THE ENGINEER'S APPROVAL. HEADED BARS OR TERMINATORS SHALL MEET THE REQUIREMENTS OF ACI 318 AND ASTM A970, AND HAVE A CURRENT ICC-ES REPORT.

MINIMUM CAST-IN-PLACE CONCRETE COVER OVER REINFORCING STEEL, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST EARTH:
 ALL BAR SIZES: 3 INCHES

CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 BAR OR LARGER: 2 INCHES
 #5 BAR OR SMALLER: 1 1/2 INCHES
 OTHER CONCRETE:

WALLS:
 #14 AND #18 BARS: 1 1/2 INCHES
 #11 BARS AND SMALLER: 1 INCH

4 MASONRY

LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C90.

EXTERIOR MASONRY UNITS SHALL BE HOLLOW MEDIUM WEIGHT UNLESS OTHERWISE NOTED. FOR EXTERIOR WALLS, USE TYPE M OR S MORTAR AND MINIMUM BLOCK COMPRESSIVE STRENGTH OF 3,750 PSI UNLESS OTHERWISE NOTED.

STANDARD WEIGHT OF UNITS SHALL BE 24/26/30 PSF FOR 6" UNITS; 31/34/39 PSF FOR 8" UNITS; 36/39/45 PSF FOR 10" UNITS; 40/43/50 PSF FOR 12" UNITS AND 47/51/60 PSF FOR 16" UNITS, FOR LIGHT/ MEDIUM/ NORMAL WEIGHT HOLLOW UNITS RESPECTIVELY. WEIGHT TOLERANCE FOR ALL TYPES OF MASONRY UNITS SHALL BE LESS THAN 3 PSF HIGHER OR LOWER THAN THE STANDARD WEIGHT.

MASONRY UNITS CONTAINING REINFORCEMENT SHALL BE FILLED SOLID WITH CONCRETE GROUT. GROUT MIX SHALL CONTAIN PORTLAND CEMENT, AGGREGATE, AND A GROUT-ENHANCING SHRINKAGE-COMPENSATING ADDITIVE. FOR EXTERIOR OR BEARING WALLS, MINIMUM GROUT COMPRESSIVE STRENGTH BASED ON 28-DAY TESTS SHALL BE 2,500 PSI. FOR INTERIOR PARTITION WALLS, MINIMUM GROUT COMPRESSIVE STRENGTH BASED ON 28-DAY TESTS SHALL BE 2,000 PSI. GROUT SHALL BE VIBRATED WHILE PLACING TO ENSURE THAT CELLS ARE COMPLETELY FILLED. SUBMIT GROUT MIXES TO ARCHITECT FOR REVIEW BEFORE COMMENCING MASONRY CONSTRUCTION. ALL UNITS SHALL BE LAID IN RUNNING BOND WITH HEAD JOINTS. FOR EXTERIOR OR BEARING WALLS, MASONRY MINIMUM DESIGN STRENGTH f_m SHALL BE 2,500 PSI. FOR INTERIOR PARTITION WALLS, MASONRY MINIMUM DESIGN STRENGTH f_m SHALL BE 1,500 PSI.

MINIMUM MORTAR COMPRESSIVE STRENGTH SHALL BE 1,800 PSI.

PROVIDE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AT 16" ON CENTER OVER FULL HEIGHT OF ALL WALLS. JOINT REINFORCEMENT SHALL BE CONTINUOUS AROUND WALLS WITH PREFORMED CORNER AND TEE UNITS. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN FIRST UN-REINFORCED COURSE ABOVE AND BELOW EACH OPENING, WITH LENGTH EQUAL TO 36" GREATER THAN THE OPENING WIDTH UNLESS OTHER NOTED.

FILL ALL HOLLOW MASONRY UNITS BELOW GRADE WITH GROUT OR MORTAR.

PLACE GROUT IN LIFTS OF NO MORE THAN 4' IN HEIGHT.

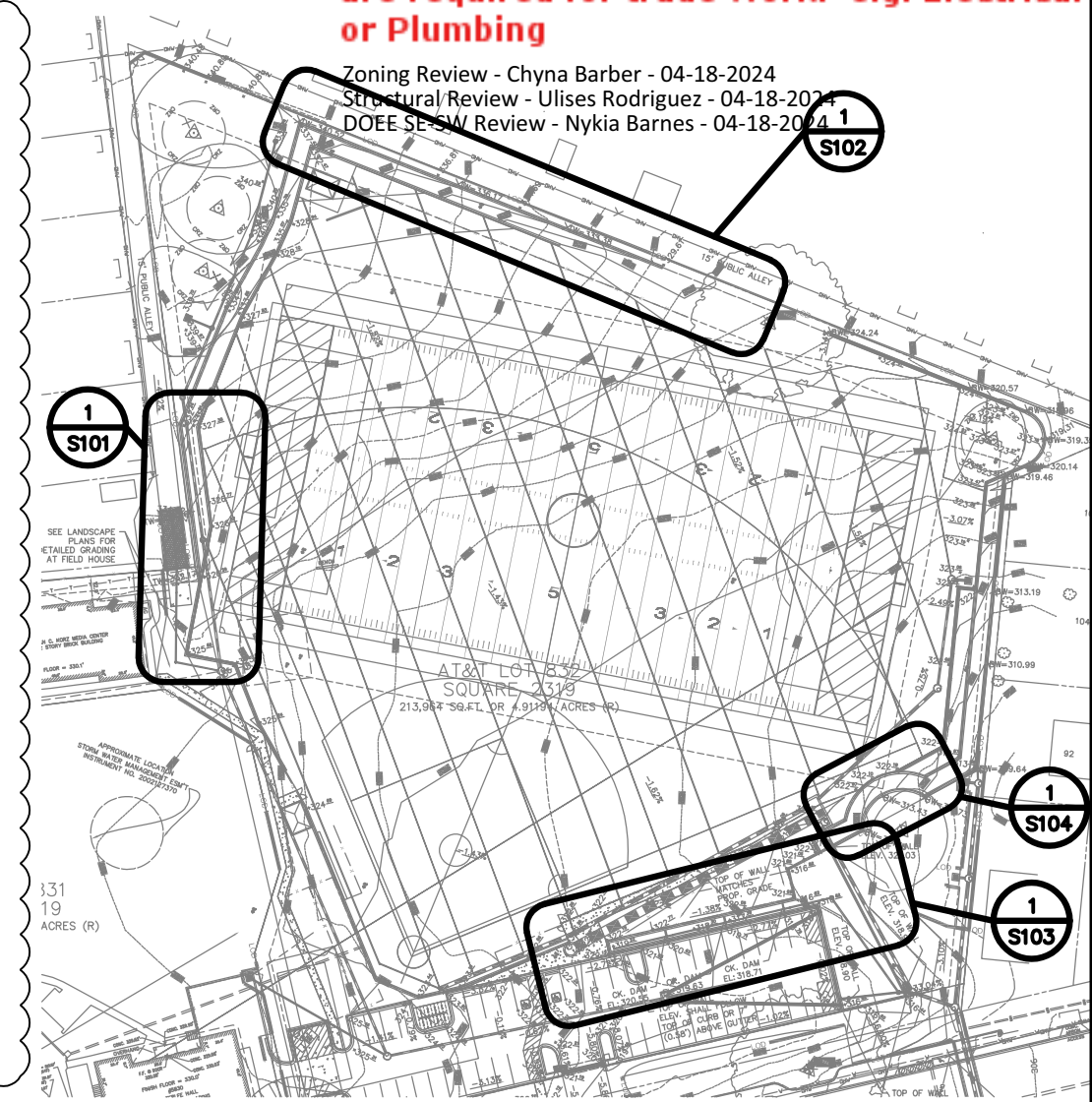
REINFORCE ALL EXTERIOR WALLS WITH #6@48" MINIMUM ON CENTER UNLESS OTHERWISE NOTED. PROVIDE SPACERS OR POSITIONERS TO HOLD VERTICAL REBARS IN PROPER POSITION.

ALL REINFORCING SPICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS.

WHERE "GROUT SOLID" IS SHOWN ON PLAN, MASONRY WALL TO BE FULLY GROUTED IN ALL CELLS.

SHEET INDEX:
 S001 - STRUCTURAL NOTES AND KEY PLAN
 S101 - RETAINING WALL FOUNDATION PLAN AND DETAILS
 S102 - RETAINING WALL FOUNDATION PLAN AND DETAILS
 S103 - BIOTENTION RETAINING WALL FOUNDATION AND DETAILS
 S104 - CURVED RETAINING WALL FOUNDATION PLAN AND DETAILS
 S105 - DETAILS

These plans are conditionally approved and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing



KEY PLAN

STRUCTURAL NOTES

1 FOUNDATION

REFER TO THE GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC., DATED AUGUST 3, 2023, FOR ALL GEOTECHNICAL REQUIREMENTS AND ANTICIPATED CONDITIONS AT AND BELOW GRADE. REFER TO THE GEOTECH REPORT, CONTRACT DRAWINGS AND SPECIFICATIONS FOR EXCAVATION, BACKFILL, STRUCTURAL FILL, BASE MATERIAL, AND COMPACTION REQUIREMENTS.

ALL FILL PLACED BEHIND RETAINING WALLS, AND AROUND ALL DRAINS SHALL CONSIST OF WELL GRADED, GRANULAR MATERIAL PER THE SPECIFICATIONS. SOILS USED FOR STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.

THE DESIGN PRESSURES FOR RETAINING WALLS ARE BASED ON A "DRAINED" CONDITION. SEE CIVIL AND MECHANICAL DRAWINGS FOR DRAINAGE SYSTEM.

2 CONCRETE

MIXING, BATCHING, TRANSPORTING, PLACING, AND CURING OF ALL CONCRETE, AND SELECTION OF CONCRETE MATERIALS, SHALL CONFORM TO ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE," EXCEPT AS NOTED BELOW. PROPORTIONS OF AGGREGATE TO CEMENTITIOUS PASTE SHALL BE SUCH AS TO PRODUCE A DENSE, WORKABLE MIX THAT CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER.

SELECTION OF CONCRETE MIX PROPORTIONS SHALL BE IN ACCORDANCE WITH ACI 301. MIX PROPORTIONS SHALL MEET OR EXCEED THE REQUIREMENTS WHERE THE CONCRETE IS USED.

THE CEMENTITIOUS MATERIAL CONTENT SHALL BE ADEQUATE FOR THE SPECIFIED REQUIREMENTS FOR STRENGTH, WATER-CEMENT RATIO, DURABILITY, AND FINISHABILITY.

CONCRETE MIX SHALL BE AS FOLLOWS

LOCATION	f'c (PSI)	TEST DAYS	W/C RATIO	MAX AGGREGATE SIZE	AIR CONTENT PERCENTAGE
RETAINING WALL AND FOOTING	4,500	28	0.45	1"	7

MAXIMUM CURED UNIT WEIGHT OF NORMAL WEIGHT CONCRETE SHALL BE 145 PCF.

ALL CONSTRUCTION JOINTS IN WALLS SHALL BE IN ACCORDANCE WITH THE TYPICAL DETAILS. ALL CONSTRUCTION JOINT SURFACES SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, THE JOINTS SHALL BE WETTED AND STANDING WATER REMOVED.

ALL CONSTRUCTION, CONTROL, JOINTS FOR RETAINING WALLS SHALL BE IN ACCORDANCE WITH THE TYPICAL DETAILS.

THE CONTRACTOR SHALL SUBMIT THE PROPOSED LOCATIONS OF JOINTS TO THE ENGINEER FOR ACCEPTANCE BEFORE STARTING CONSTRUCTION. PROVIDE JOINTS AT LOCATIONS SPECIFICALLY NOTED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.

EXCEPT AS DETAILED ON STRUCTURAL DRAWINGS, NO CONCRETE WALLS, FOOTINGS, SHALL BE SLEEVED FOR PIPING OR DUCTS, UNLESS APPROVED BY THE ENGINEER.

3 REINFORCING STEEL

REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI 315, "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." BARS SHALL BE SUPPORTED ON CHAIRS IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE. ALL REINFORCING BARS SHALL BE SECURELY TIED IN PLACE WITH #16 GAGE MIN ANNEALED BLACK WIRE. EPOXY-COATED REINFORCING BARS SHALL BE TIED WITH NYLON, EPOXY-OR PLASTIC-COATED TIE WIRE OR OTHER ACCEPTABLE MATERIALS. SHOP DRAWINGS, INCLUDING PLACING PLANS AND ELEVATIONS SHALL BE SUBMITTED TO, AND REVIEWED BY, THE ARCHITECT/ENGINEER BEFORE STARTING FABRICATION.

REINFORCING BARS SHALL BE LAP SPICED FOR TENSION (Lst) UNLESS NOTED OTHERWISE ON THE DRAWINGS. #14 AND #18 BARS SHALL BE SPICED USING MECHANICAL COUPLINGS INCLUDING SPLICES WITH SMALLER BARS. #14 AND #18 BARS SHALL NOT BE LAP SPICED. AT THE CONTRACTOR'S OPTION, MECHANICAL COUPLINGS MAY BE USED FOR ANY BAR SIZE, PROVIDED A CURRENT ICC-ES REPORT DEMONSTRATES THAT THE PRODUCT CAN ACHIEVE A MINIMUM TENSILE STRENGTH OF 125 PERCENT OF THE SPECIFIED YIELD STRENGTH OF THE BAR. NO REINFORCING BARS SHALL BE SPICED BY WELDING. SPICE DEVICES SHALL HAVE A CURRENT ICC-ES REPORT THAT SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. HEADED BARS OR TERMINATORS SHALL BE PROVIDED WHERE INDICATED ON THE DRAWINGS OR AT THE CONTRACTOR'S OPTION FOR CONGESTED AREAS OF REINFORCEMENT ANCHORAGE SUBJECT TO THE ENGINEER'S APPROVAL. HEADED BARS OR TERMINATORS SHALL MEET THE REQUIREMENTS OF ACI 318 AND ASTM A970, AND HAVE A CURRENT ICC-ES REPORT.

MINIMUM CAST-IN-PLACE CONCRETE COVER OVER REINFORCING STEEL, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST EARTH:
ALL BAR SIZES: 3 INCHES

CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 BAR OR LARGER: 2 INCHES
#5 BAR OR SMALLER: 1 1/2 INCHES
OTHER CONCRETE:

WALLS:
#14 AND #18 BARS: 1 1/2 INCHES
#11 BARS AND SMALLER: 1 INCH

4 MASONRY

LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C90.

EXTERIOR MASONRY UNITS SHALL BE HOLLOW MEDIUM WEIGHT UNLESS OTHERWISE NOTED. FOR EXTERIOR WALLS, USE TYPE M OR S MORTAR AND MINIMUM BLOCK COMPRESSIVE STRENGTH OF 3,750 PSI UNLESS OTHERWISE NOTED.

STANDARD WEIGHT OF UNITS SHALL BE 24/26/30 PSF FOR 6" UNITS; 31/34/39 PSF FOR 8" UNITS; 36/39/45 PSF FOR 10" UNITS; 40/43/50 PSF FOR 12" UNITS AND 47/51/60 PSF FOR 16" UNITS, FOR LIGHT/ MEDIUM/ NORMAL WEIGHT HOLLOW UNITS RESPECTIVELY. WEIGHT TOLERANCE FOR ALL TYPES OF MASONRY UNITS SHALL BE LESS THAN 3 PSF HIGHER OR LOWER THAN THE STANDARD WEIGHT.

MASONRY UNITS CONTAINING REINFORCEMENT SHALL BE FILLED SOLID WITH CONCRETE GROUT. GROUT MIX SHALL CONTAIN PORTLAND CEMENT, AGGREGATE, AND A GROUT-ENHANCING SHRINKAGE-COMPENSATING ADDITIVE. FOR EXTERIOR OR BEARING WALLS, MINIMUM GROUT COMPRESSIVE STRENGTH BASED ON 28-DAY TESTS SHALL BE 2,500 PSI. FOR INTERIOR PARTITION WALLS, MINIMUM GROUT COMPRESSIVE STRENGTH BASED ON 28-DAY TESTS SHALL BE 2,000 PSI. GROUT SHALL BE VIBRATED WHILE PLACING TO ENSURE THAT CELLS ARE COMPLETELY FILLED. SUBMIT GROUT MIXES TO ARCHITECT FOR REVIEW BEFORE COMMENCING MASONRY CONSTRUCTION. ALL UNITS SHALL BE LAID IN RUNNING BOND WITH HEAD JOINTS. FOR EXTERIOR OR BEARING WALLS, MASONRY MINIMUM DESIGN STRENGTH f_m SHALL BE 2,500 PSI. FOR INTERIOR PARTITION WALLS, MASONRY MINIMUM DESIGN STRENGTH f_m SHALL BE 1,500 PSI.

MINIMUM MORTAR COMPRESSIVE STRENGTH SHALL BE 1,800 PSI.

PROVIDE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AT 16" ON CENTER OVER FULL HEIGHT OF ALL WALLS. JOINT REINFORCEMENT SHALL BE CONTINUOUS AROUND WALLS WITH PREFORMED CORNER AND TEE UNITS. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN FIRST UN-REINFORCED COURSE ABOVE AND BELOW EACH OPENING, WITH LENGTH EQUAL TO 36" GREATER THAN THE OPENING WIDTH UNLESS OTHER NOTED.

FILL ALL HOLLOW MASONRY UNITS BELOW GRADE WITH GROUT OR MORTAR.

PLACE GROUT IN LIFTS OF NO MORE THAN 4' IN HEIGHT.

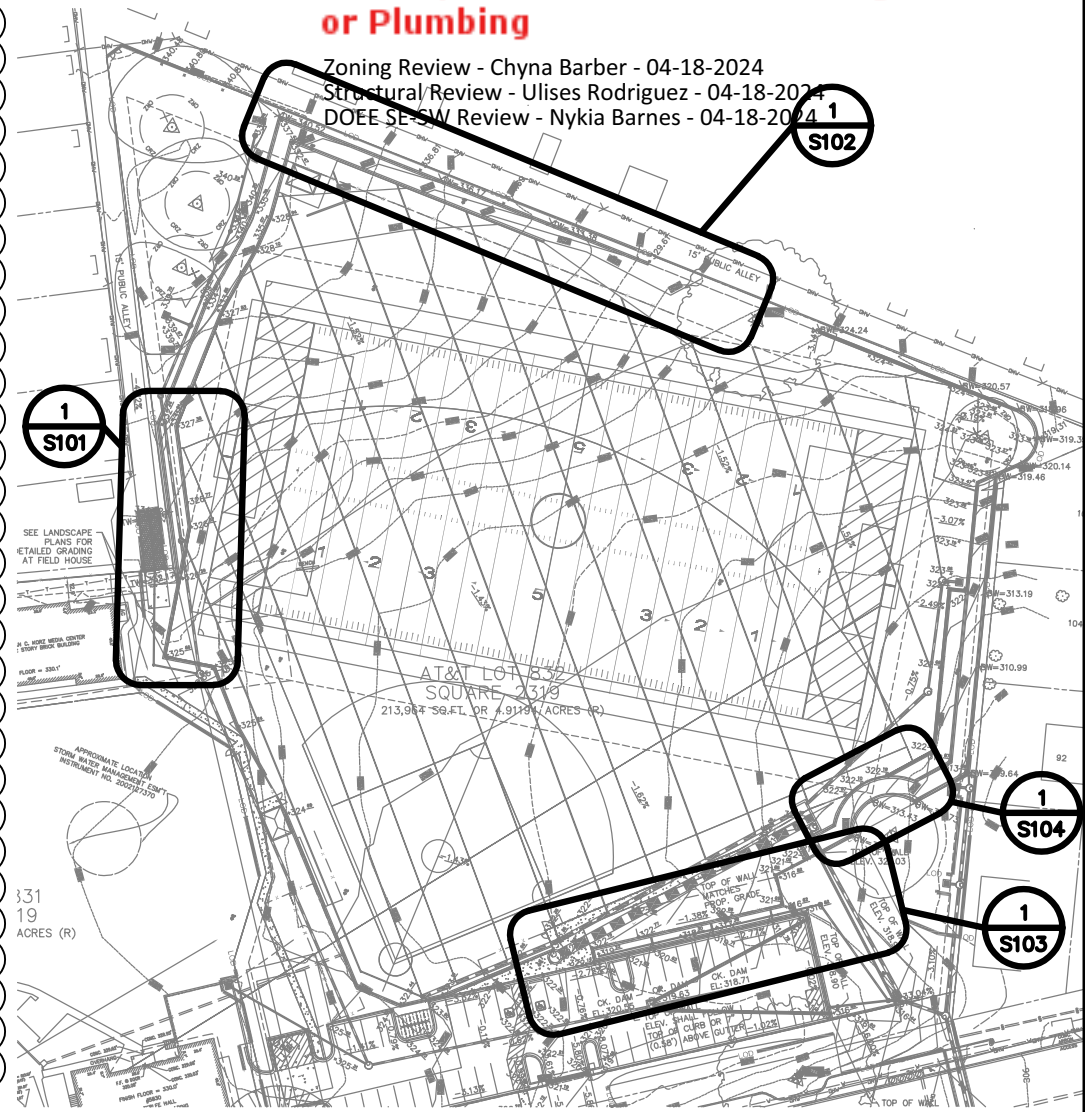
REINFORCE ALL EXTERIOR WALLS WITH #6@48" MINIMUM ON CENTER UNLESS OTHERWISE NOTED. PROVIDE SPACERS OR POSITIONERS TO HOLD VERTICAL REBARS IN PROPER POSITION.

ALL REINFORCING SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS.

WHERE "GROUT SOLID" IS SHOWN ON PLAN, MASONRY WALL TO BE FULLY GROUTED IN ALL CELLS.

SHEET INDEX:
 S001 - STRUCTURAL NOTES AND KEY PLAN
 S101 - RETAINING WALL FOUNDATION PLAN AND DETAILS
 S102 - RETAINING WALL FOUNDATION PLAN AND DETAILS
 S103 - BIOTENTION RETAINING WALL FOUNDATION AND DETAILS
 S104 - CURVED RETAINING WALL FOUNDATION PLAN AND DETAILS
 S105 - DETAILS

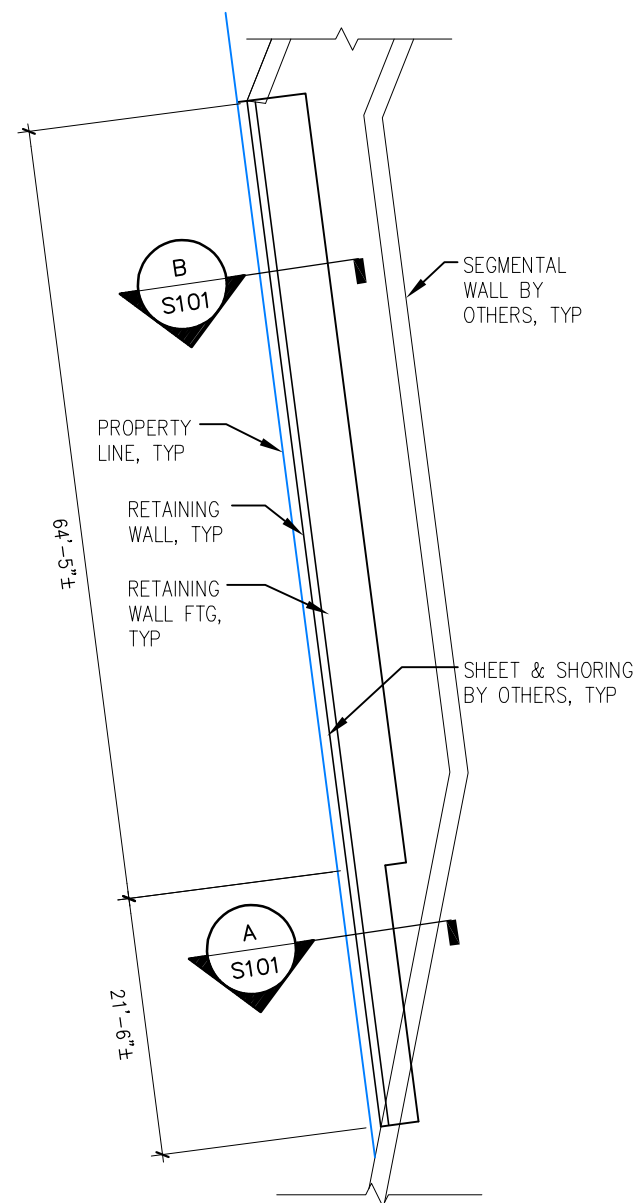
These plans are conditionally approved and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing



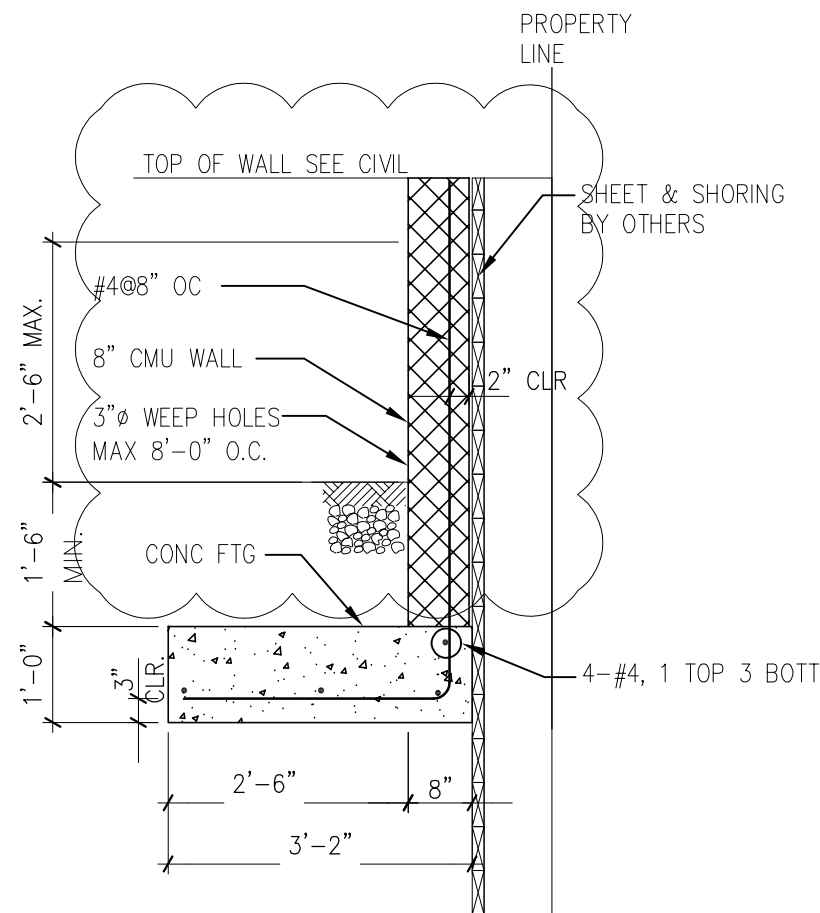
KEY PLAN

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

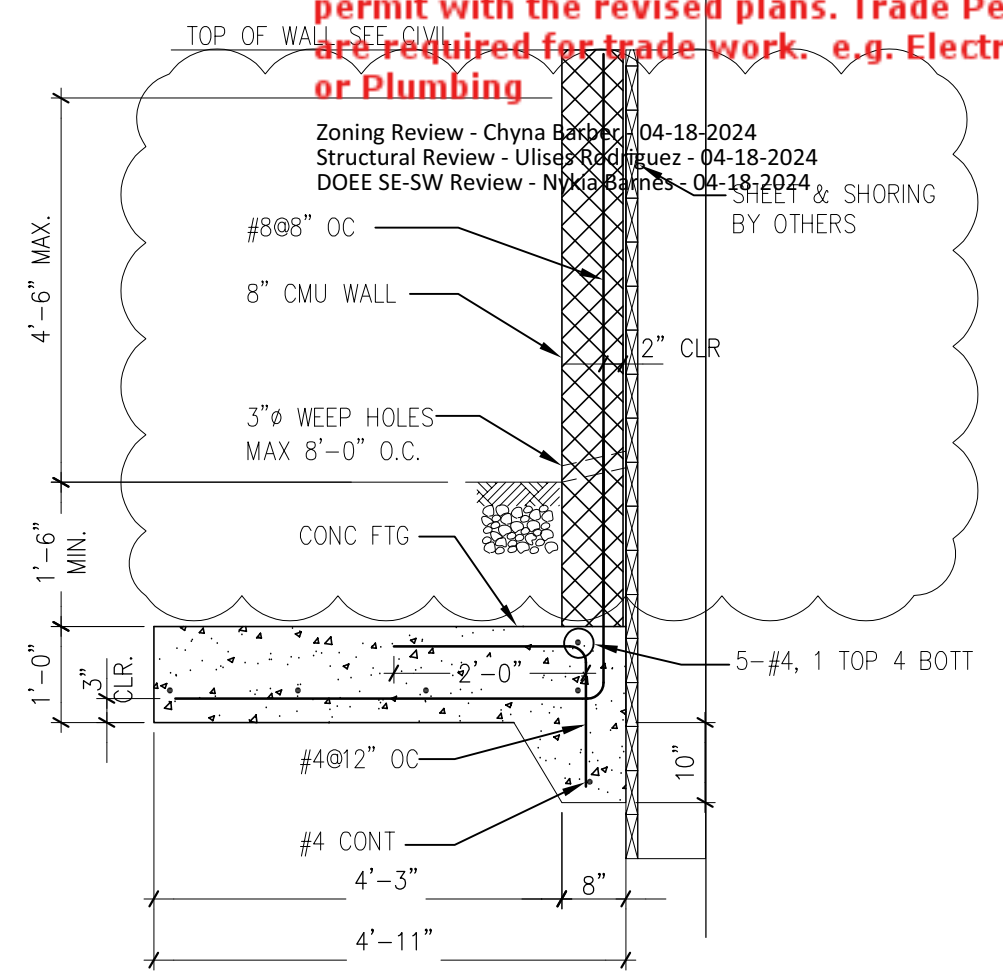
Zoning Review - Chyna Barber - 04-18-2024
 Structural Review - Ulises Rodriguez - 04-18-2024
 DOEE SE-SW Review - Nykia Barnes - 04-18-2024



1 RETAINING WALL FOUNDATION PLAN
 1/16" = 1'-0"



SECTION A
 SCALE: 1/2" = 1'-0"
 S101



SECTION B
 SCALE: 1/2" = 1'-0"
 S101



1050 CONNECTICUT AVE, NW
 Suite 500
 Washington, DC 20036

PROJECT TITLE:

MARET ATHLETIC FIELDS
 5901 UTAH AVENUE NW
 Washington, DC 20015



SUBMISSION:
ISSUE FOR CONSTRUCTION

DRAW BY:

DH

DATE:

03/12/2024

CHK BY:

BY

SCALE:

AS NOTED

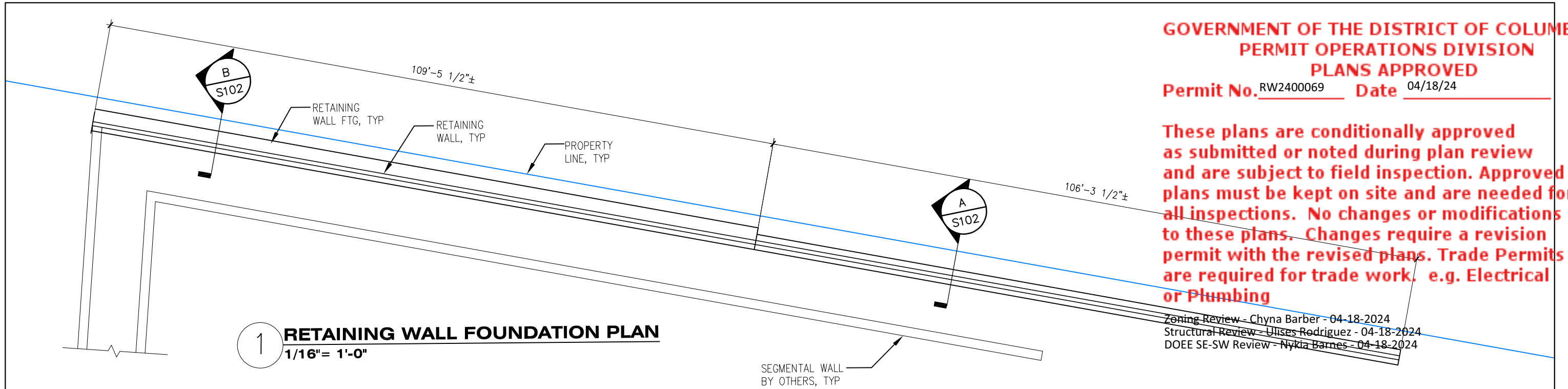
DWG TITLE:

**RETAINING WALL
 FOUNDATION PLAN
 AND DETAILS**

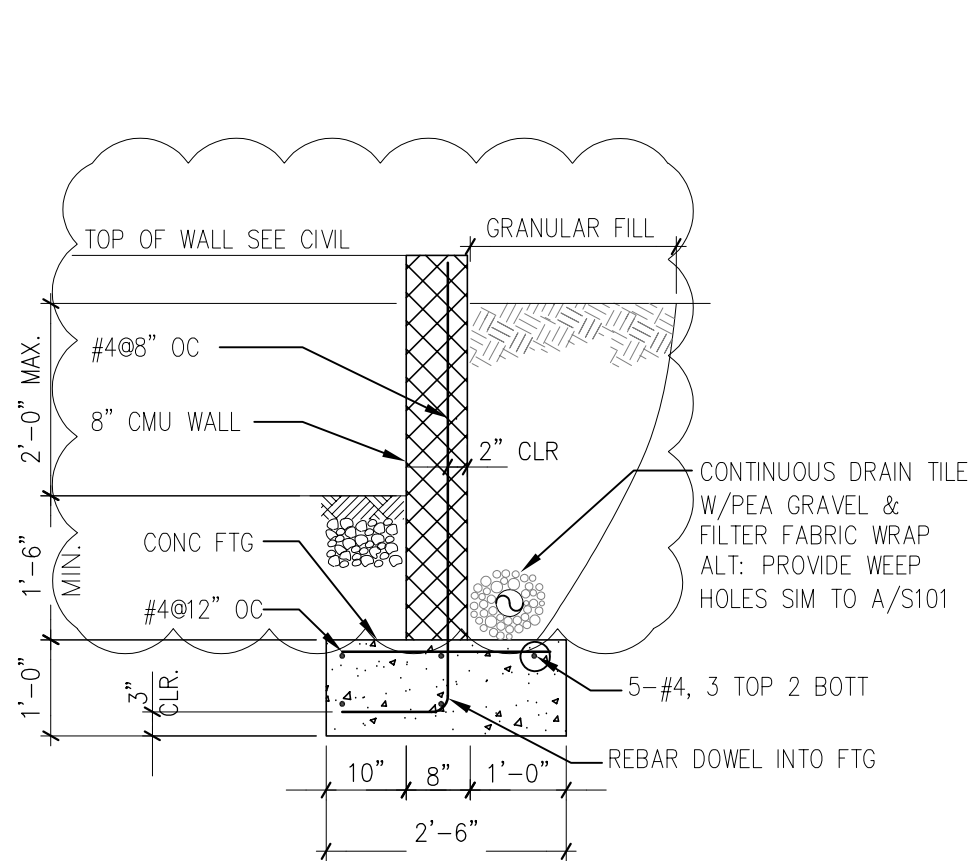
S101

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

Zoning Review - Chyna Barber - 04-18-2024
 Structural Review - Ulises Rodriguez - 04-18-2024
 DOEE SE-SW Review - Nykia Barnes - 04-18-2024

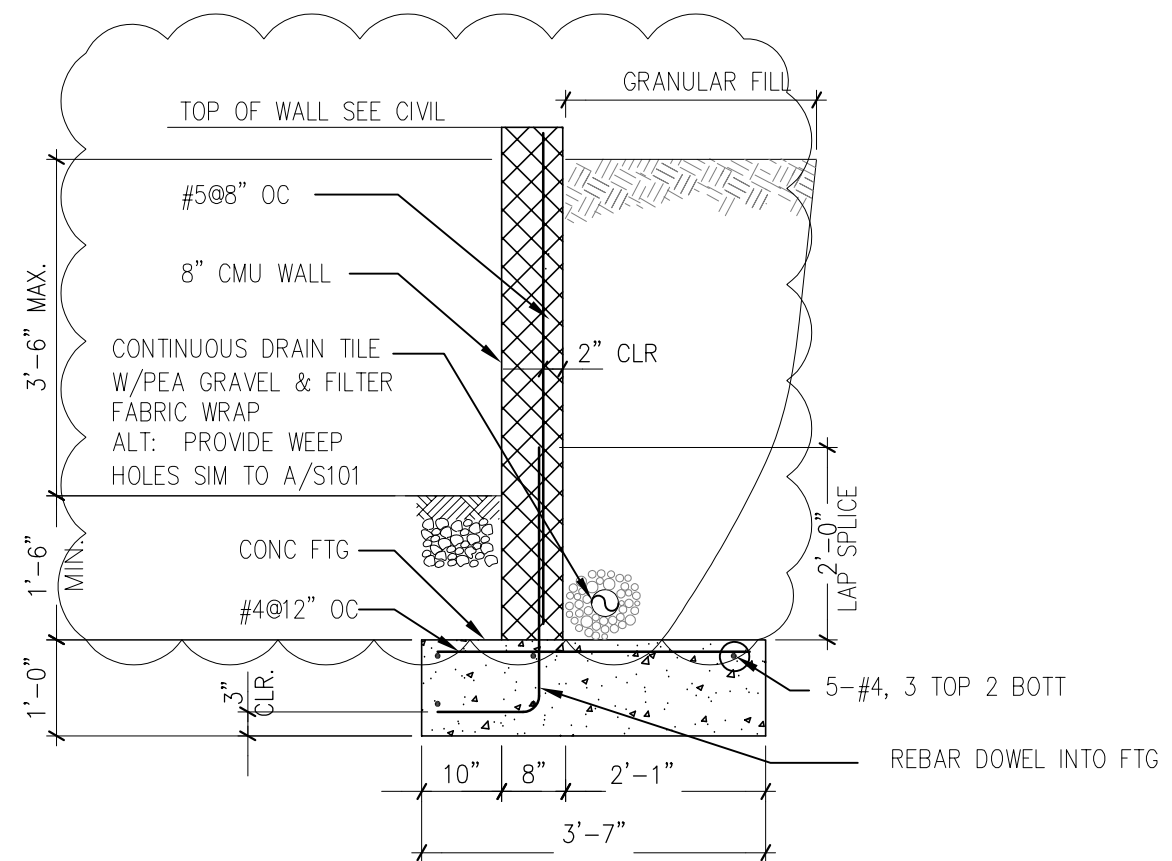


1 RETAINING WALL FOUNDATION PLAN
 1/16" = 1'-0"



SECTION

SCALE: 1/2" = 1'-0"



SECTION

SCALE: 1/2" = 1'-0"



1050 CONNECTICUT AVE, NW
 Suite 500
 Washington, DC 20036

PROJECT TITLE:

MARET ATHLETIC FIELDS
 5901 UTAH AVENUE NW
 Washington, DC 20015



SUBMISSION:

ISSUE FOR CONSTRUCTION

DRAW BY:

DH

DATE:

03/12/2024

CHK BY:

BY

SCALE:

AS NOTED

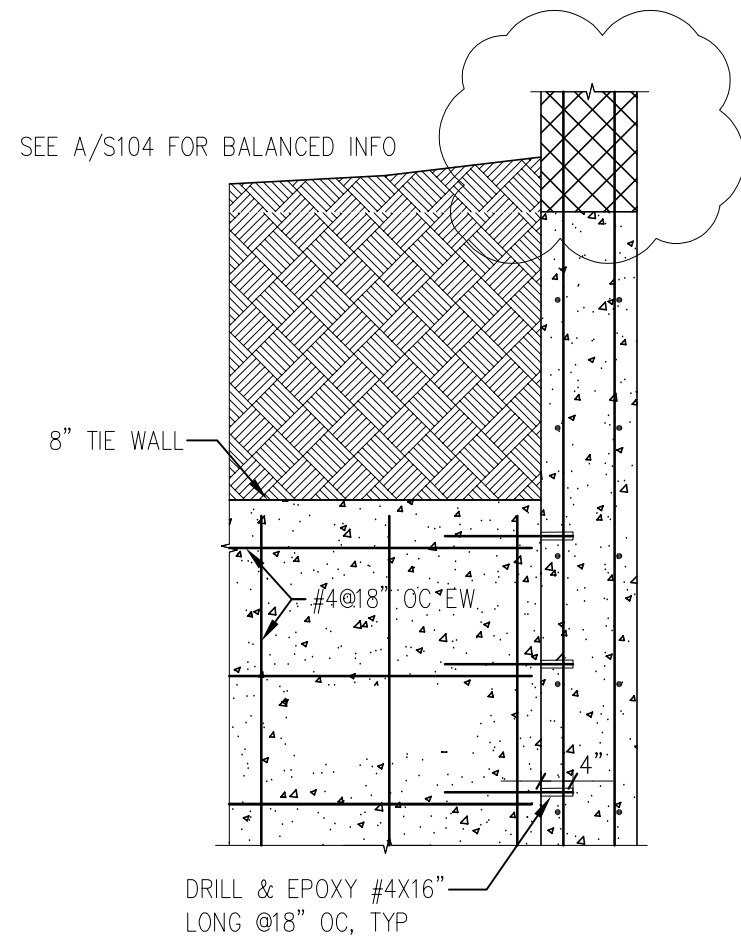
DWG TITLE:

RETAINING WALL
 FOUNDATION PLAN
 AND DETAILS

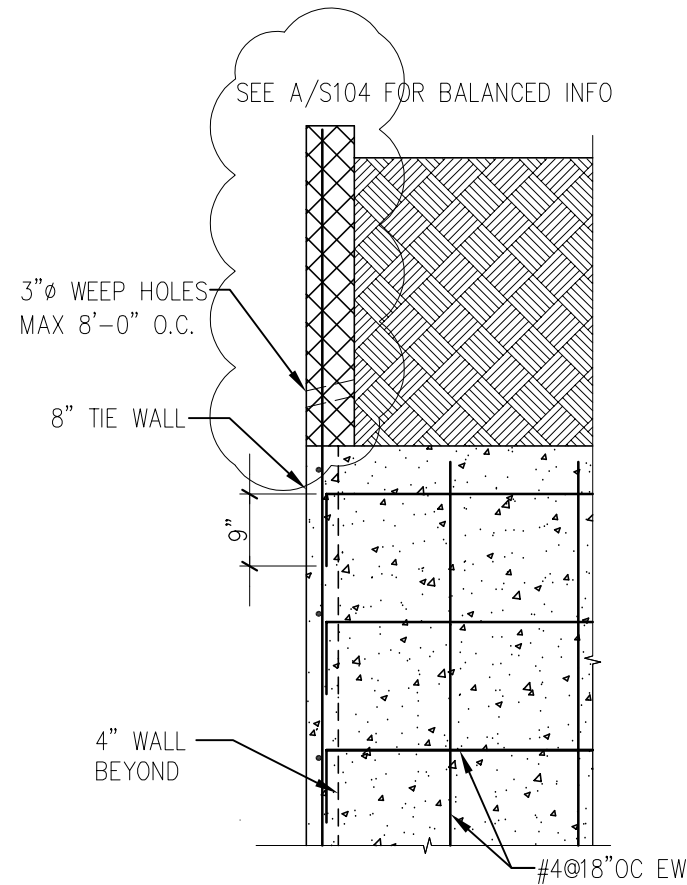
S102

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

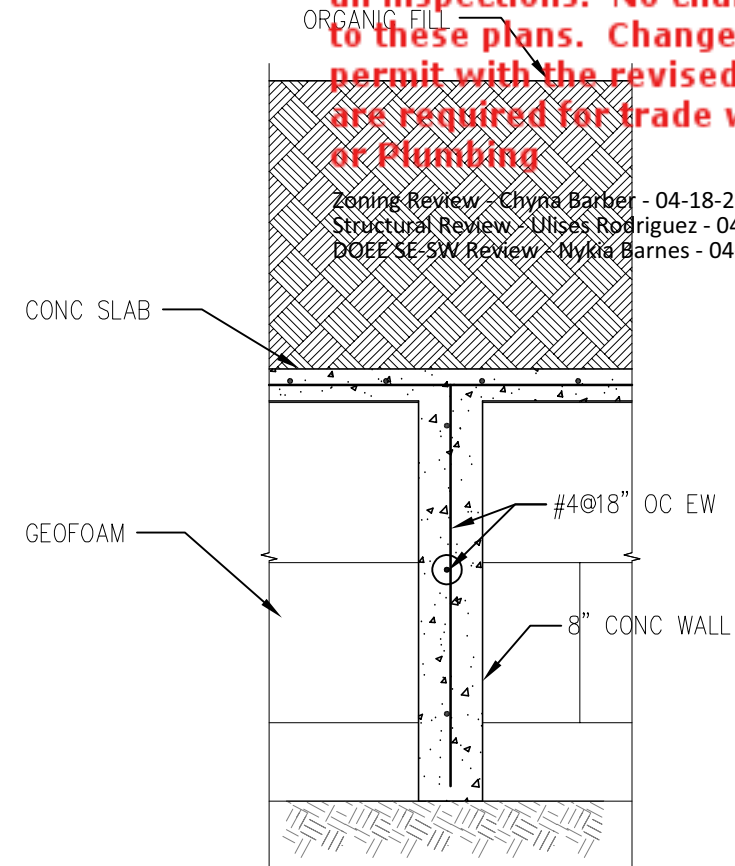
Zoning Review - Chyna Barber - 04-18-2024
 Structural Review - Ulises Rodriguez - 04-18-2024
 DOE SE-SW Review - Nykia Barnes - 04-18-2024



SECTION A
 SCALE: 1/2" = 1'-0"
 S105



SECTION B
 SCALE: 1/2" = 1'-0"
 S105



SECTION C
 SCALE: 1/2" = 1'-0"
 S105



1050 CONNECTICUT AVE, NW
 Suite 500
 Washington, DC 20036

PROJECT TITLE:

MARET ATHLETIC FIELDS
 5901 UTAH AVENUE NW
 Washington, DC 20015



SUBMISSION:
ISSUE FOR CONSTRUCTION

DRAW BY:

DH

DATE:

03/12/2024

DWG TITLE:

DETAILS

CHK BY:

BY

SCALE:

AS NOTED

S105

Sh

Department of Buildings
 Permit Operations Division
 1100 4th Street SW
 Washington DC 20024
 Tel. (202) 871 - 3600



Sheeting Permit

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

PERMIT NO. SH2400019



Date: 04/10/2024

Address of Project: 6801 UTAH AVE NW		Zone: R-1-B	Ward: 4	Square: 2318	Suffix:	Lot: 0831
Description Of Work: Temporary sheeting & choring for Athletic Fields project. Work to be completed prior to any utility installation.						
Approved Uses: Other (Specify)		Previous Uses: Other (Specify)			Floors:	
Permission Is Hereby Granted To: Episcopal Home For Children		Trading As:			PERMIT FEE: \$143.00	
Existing No Dwelling Units	Existing No Stories:	Proposed No Dwelling Units:	Proposed No Stories:			
<p>Conditions/ Restrictions:</p> <p>Before starting any land disturbance, you must complete a DOED pre-construction inspection. To schedule, go to doed.dc.gov/SOS and click the "Request a Pre-Construction Inspection" button. Attach a copy of the issued DOB permit.</p> <p>This permit expires if no approved inspections have occurred within one year after the issuance date on this permit or 180 days for structures built under the Residential Code. A permit extension must be requested before the expiration of this permit.</p> <p>As a condition to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District government, and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property to inspect all work authorized by this permit, and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this permit must start within one (1) year of the date appearing on this permit or the permit is automatically void. If this permit has expired and no work or partial work was completed, a request for a refund may be made for review and consideration. .</p>						
Brian J. Hanlon, AIA, LEED AP® Director				Permit Clerk: QTHOMAS		Expiration Date:
<p>DC INSPECTOR GENERAL HOTLINE: If you are aware of corruption, fraud, waste, abuse, or mismanagement involving any DC Government agency, official or program, contact the Office of the Inspector General (OIG) at 202-727-0287 or 1-800-521-1839 (toll free). All reports are confidential and you may remain anonymous by law. Government employees are protected from reprisals or retaliation by their employers for reporting to the OIG. The information you provide may result in an investigation leading to administrative action, civil penalties, or criminal prosecution in appropriate cases.</p> <p>To schedule a CONSTRUCTION INSPECTION or for INQUIRIES CALL (202) 442-6557</p> <p>Call Miss Utility at 811 or 1-800-257-7777 at least 48 Hours prior to excavation to obtain a ticket. www.missutility.net/technicalcode/codesetview.asp.</p>						

Appellants' Exhibit 7

Maret Permit Matrix

7-15-2024

Permit	Permit Number	Dates	Made out to:	Address	Square & lot	Correct Sq & Lot	Posted?	Comments
Granted to the entity to remove and preserve trees	Urban Forestry TA88465	Expired	Maret School	5901 Utah Avenue			Yes	In conjunction with BCIV2200160
For Limited Disturbance for the heritage tree location	(BCIV2200160)	Expired	Episcopal Home for Children	5901 Utah Avenue	Square 2319 and Lot 0831: lot 831 is the ECC lot	Lot 0832	Yes	
Public Space Improvements	DDOT PA416763	Posting is incomplete-see comments	Maret School	5810-5898 Block of Nebraska Ave. NW.			Yes, but Incomplete	Additional required pages and Appendix B are missing and therefore no date is provided.
Installation of manhole and new storm line connection	DDOT PA11065847	Expired	Episcopal Home for Children	5800-5809 Nebraska Ave.			Yes	
Traffic Control for Curb cut	DDOT PA 11045864	Expired	Episcopal Home for Children	5810-5898 Block of Nebraska Ave. NW.			Yes	
Stabilized construction entrance for tree relocation and other activities at 5901 Utah Ave.	DDOT PA10988027	Expired	Episcopal Home for Children	5810-5898 Nebraska Ave. and 5900-5911 Utah Ave.			Yes	
Stabilized construction entrance for tree relocation and other activities at 5901 Utah Ave.	DDOT PA10988027 R-2	Expired	Episcopal Home for Children	5810-5898 Nebraska Ave. and 5900-5911 Utah Ave.			Yes	

Permit	Permit Number	Dates	Made out to:	Address	Square & lot	Correct Sq & Lot	Posted?	Comments
Maret School proposed athletic fields - new multipurpose & athletic field on previously undeveloped area.	BCIV2300110	11/27/2023	Episcopal Center for Children	5901 Utah Avenue	Square 2319 and Lot 0829; Lot 0829 was subdivided in October, 2021 and does not exist.	Lot 0832	Was not posted and visible to the public during portions of the construction. Originally was on the Maret/ECC website where all permits were to be placed as well as permitted drawings. No permitted drawings and or permits are on the Maret/ECC website currently.	DOB Neighborhood Notification letter informing that excavation requiring a permit will be occurring on the site was received almost 4 months after excavation began and more than 6 months after permit was received. Form letter is incomplete. Declarations of Covenants between OAG and ECC for the stormwater management was based on exhibits from this permit which are to the nonexistent lot,
Description is for installation of retaining walls Civil Permit #BCIV2300110	RW2400069	4/24/2024	Episcopal Home for Children	5901 Utah Ave. drawings say for Maret Athletic Fields at 5901 Utah Ave.	Square 2319 Lot 0831, lot 831 is the ECC lot	Lot 0832	Yes but not fully legible	Missing the Engineer / Architect which is YUN Associates of 1050 Connecticut Ave. NW. Their license number is 908347 per his stamp. Instead the address and license of MCN Build is used which is not the engineer of record. Documentation is incomplete and only for some walls, where is the remainder of the walls holding back earth?
Excavation for manhole Installation, Excavation: Storm Lateral Conn over 4" (Trench)	DDOT PA441738	Expired 6-9-2024		5810-5898 Nebraska Ave. and 5900-5911 Utah Ave.			Yes	
Statement of Special Inspections	SH2400019	3/3/2024		5901 Utah Avenue			Yes	

Permit	Permit Number	Dates	Made out to:	Address	Square & lot	Correct Sq & Lot	Posted?	Comments
Temporary Sheeting and Shoring for athletic fields project. Work to be completed prior to any utility installation.	SH2400019	4/10/2024	Episcopal Home for Children	5901 Utah Avenue, drawings say for Maret Athletic Fields at 5901 Utah Ave.	Square 2319 Lot 0831, lot 831 is the ECC lot	Lot 0832	Was not visible during active work.	Requested from city as multiple requests to owner rep and contractor failed. The civil drawings were reissued under this permit number. That reissue included the 6-6-23 DDOT/DOEE resubmittal and the of 8-11-23 DOEE resubmittal. This is confusing and requires clarification.
Awaiting the permit for the "field house" renovation.								
NOTES:	OTR address for lot 0832 is Nebraska Avenue							



Appellant Exhibit 8



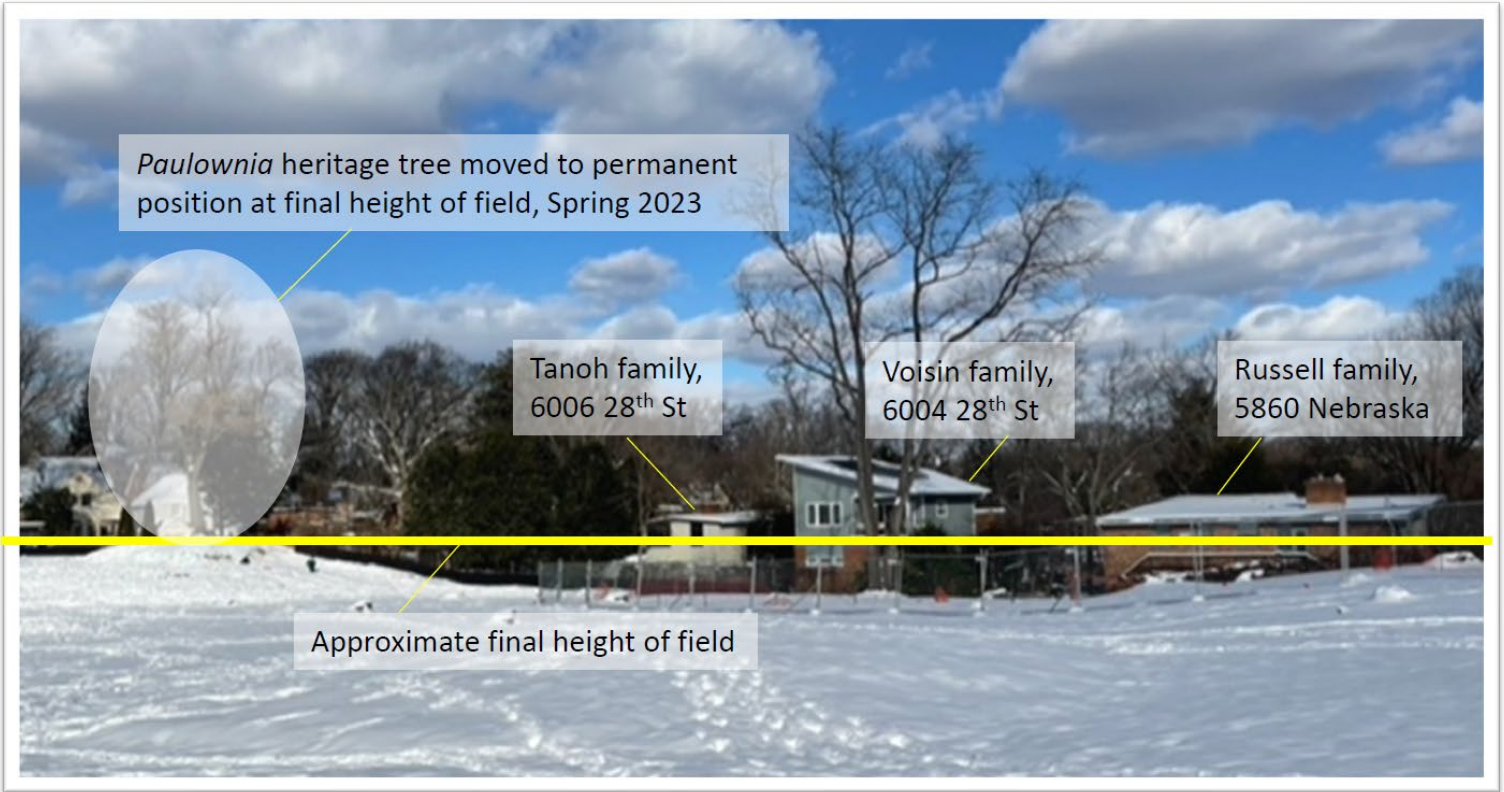
Appellant Exhibit 9



Appellant Exhibit 10



Appellant Exhibit 11



Appellant Exhibit 13

Zoning Review - Chyna Barber - 04-18-2024
Structural Review - Ulises Rodriguez - 04-18-2024
DOCS SE SW Review - Nykia Barnes - 04-18-2024

Missing Walls

Missing Walls

1
S101

1
S102

With the 35' grade change from west to east across the site and the field leveling, a structure is required to contain the soil.

Missing Walls

1
S104

1
S103

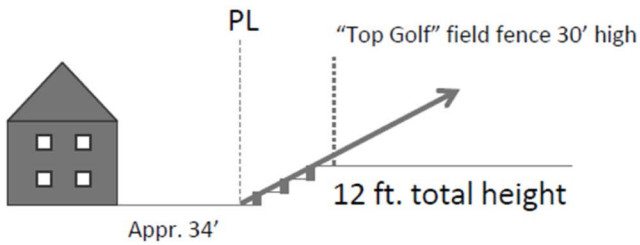
31
19
ACRES (R)

KEY PLAN

Taken from permitted retaining wall drawing, S001 (RW2400069)



Carome (4747 Fulton St. NW): appr. 290 ft. from property line to Economides' 30 ft. structure



4 →, 4 ↑, 8 →, 4 ↑, 8 →, 4 ↑ ft.

Voisin (6004 28th St. NW): 4' from property line to first vertical element of Maret's 12 ft. stepped structure

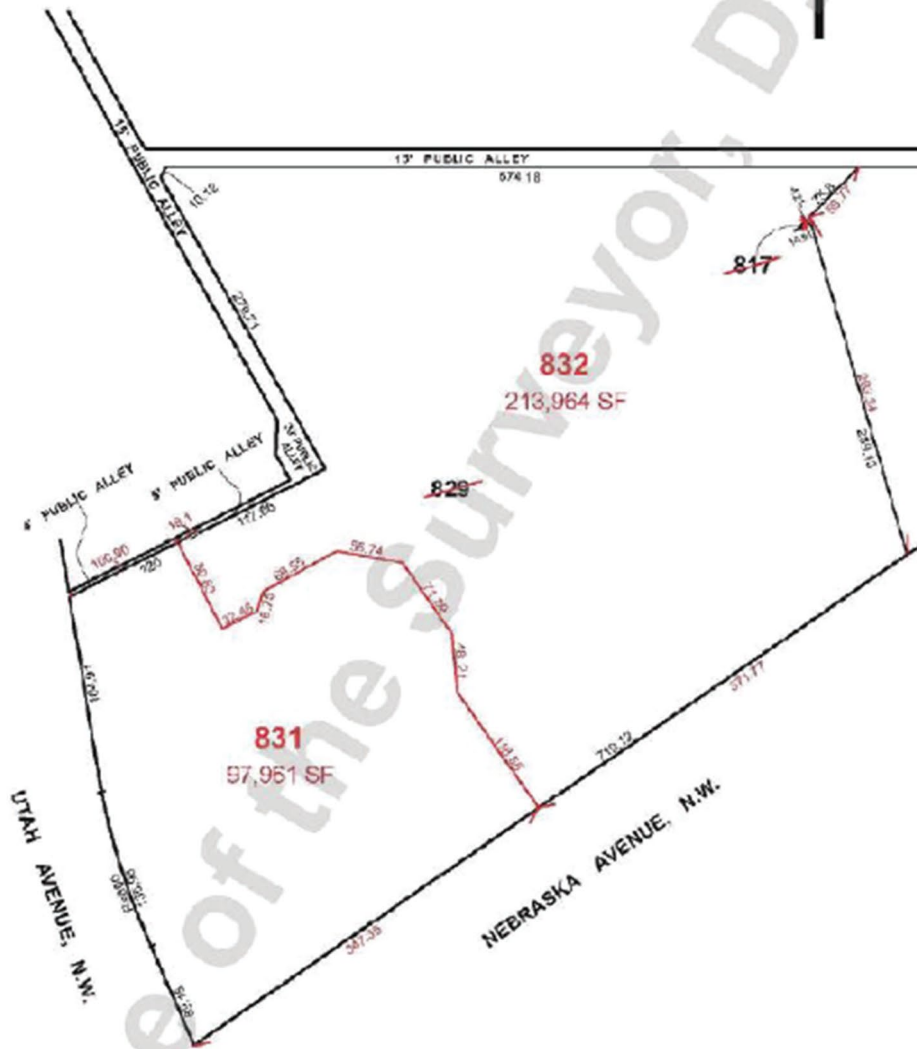
OFFICE OF TAX AND REVENUE
ASSESSMENT DIVISION

3893-B



ASSESSMENT AND TAXATION PLAT

Square 2319



David Smith
Draftsman

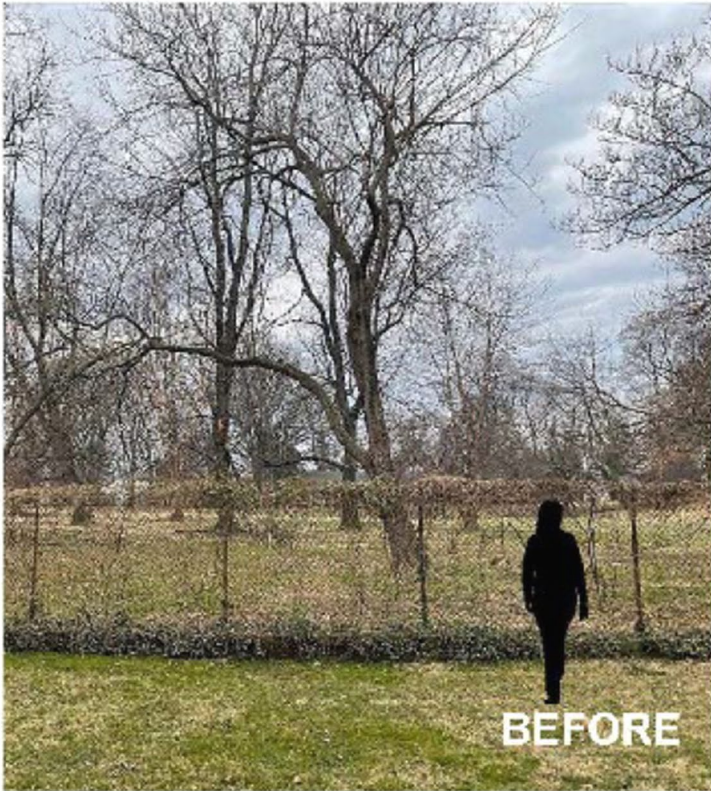
A073385
Reference

10/5/21
Date

Scale, 1 inch = 100 ft

The Office of Surveyor of the District of Columbia shall admit this plat to record under the provisions of Chapter 7 of Title 47, District of Columbia Code, Designation of Real Property for Assessment and Taxation, and for other purposes.

Quincy Loney
for Chief Assessor, Office of Tax and Revenue



Rendering:
VISUAL IMPACT of ELEVATED PLATFORM
as seen looking west from 6004 28th Street NW

