SINGLE-FAMILY HOME

5122 CATHEDRAL AVENUE NW, WASHINGTON, DC 20016

PERSPECTIVE VIEW

CODE ANALYSIS

GENERAL INFORMATION

PROJECT ADDRESS:	5122 CATHEDRAL AVE NW, WASHINGTON, DC 20016	
	EXISTING	**PROPOSED**
USE OCCUPANCY :	R-1-B	R-1-B
NUMBER OF STORIES:	2-LEVELS PLUS CELLAR	3-LEVELS PLUS CELLAR
TYPE OF CONSTRUCTION:	VB	VB
SPRINKLER:	NO	YES (13D W/IN DWELLING)

GOVERNING BUILDING CODES

APPLICABLE BUILDING CODES & SUPPLEMENTS INCLUDE:

-ALL DCMR TITLE 12 AMENDMENTS

EXISTING BUILDING:	2017 DCMR 12J, DC EXISTING BUILDING CODE 2015 INTERNATIONAL EXISTING BUILDING CODE
RESIDENTIAL:	2017 DCMR 12B, DC RESIDENTIAL CODE AMENDMENTS 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
ELECTRIC:	2017 DCMR 12C, DC ELECTRICAL CODE 2014 NATIONAL ELECTRICAL CODE (NEC), NFPA 70
FUEL GAS:	2017 DCMR 12D, DC FUEL GAS CODE 2015 INTERNATIONAL FUEL GAS CODE (IFGC)
MECHANICAL:	2017 DCMR 12E, DC MECHANICAL CODE 2015 INTERNATIONAL MECHANICAL CODE (IMC)
PLUMBING:	2017 DCMR 12F, DC PLUMBING CODE 2015 INTERNATIONAL PLUMBING CODE (IPC)
FIRE CODE:	2017 DCMR 12H, DC FIRE CODE 2015 INTERNATIONAL FIRE CODE (IFC)
ENERGY CODE:	2017 DCMR 12I, ENERGY CONSERVATION CODE SUPPLEMENT 2015 INTERNATIONAL ENERGY CONSERVATION CODE - RESIDENTIAL PROVISIONS
LOCAL SUPPLEMENT:	2016 DCMR 12 TITLE 11 ZONING REGULATIONS

SITE INFORMATION AND ANALYSIS

LOT COVERAGE

ZONE:	R-1-B
MAX BLDG HEIGHT:	40'-0"
MAX LOT OCCUPANCY:	40%
MAX IMPERVIOUS:	50%
LOT SIZE:	5,460 SF
MAX OCCUPANCY @ 40%	2,184 SF
REAR YARD SETBACK:	25'-0" 1ST FLR & ABV., 12'-6" CELLAR / DECK W/IN REAR YARD
SIDE YARD:	8'-0" OR EQ. TO EXISTING
PROPOSED TOTAL BUILDING AREA:	**2,050 SF** +
REAR DECK:	115 SF
TOTAL LOT OCC:	**2,165 SF (39.6%)**
BUILDING HEIGHT:	**34'-8"** **(BHMP TO 3RD FLR ROOF)**

BUILDING AREAS:

CELLAR:	1,683 SF **
1ST FLOOR:	2,050 SF
2ND FLOOR:	2,050 SF
3RD FLOOR:	1,399 SF
TOTAL AREA:	**7,182 SF**

CLIENT

5122 CATHEDRAL LLC
1827 S ST. NW
WASHINGTON, D.C. 20009

ARCHITECT

2PLYS LLC,
43414 MOUNTCASTLE DR
SOUTH RIDING, VA 20152
202-670-2759

STRUCTURAL ENGINEER

SYSTEMATIC ENGINEERING
JESSE WASTLER, PE
3802 BARN OWL LANE
GLEN ALLEN, VA 23060
703-431-6809

PROJECT DESCRIPTION

SINGLE FAMILY HOME

-TO UNDERGO A ZONING RAZE PER ZONING ADMINISTRATOR INTERPRETATION ZA-010.

-NEW WINDOW WELLS, NEW MANSARD ROOF WITH DORMER ROOFS, WALLS, STAIRS, FLOORS, CEILINGS, KITCHENS, BATHROOMS, PLUMBING FIXTURES, LIGHTING, TDE ELEMENTS, HVAC, MILLWORK AND FINISHES

VICINITY MAP

SHEET INDEX

SHEET INDEX			
SHEET NUMBER	SHEET NAME	CURRENT REV	REV DATE
GENERAL			
G001	COVER SHEET		
G002	SPECIFICATIONS		
G003	SAFEGUARDS		
G004	AIR BARRIER DETAILS		
G005	SITE PLAN		
G006	PERSPECTIVE VIEWS		
G007	3D PLAN VIEWS		
G008	GROSS AREA		
G009	PERVIOUS AREA DIAGRAM		
DEMOLITION			
D100	EXISTING CONDITIONS		
D101	EXISTING PLANS		
ARCHITECTURE			
A001	ALL PLANS		
A002	WALL TYPE PLANS		
A100	PROPOSED CELLAR PLAN		
A101	PROPOSED FIRST FLOOR PLAN		
A102	PROPOSED SECOND FLOOR PLAN		
A103	PROPOSED THIRD FLOOR PLAN		
A104	PROPOSED ROOF PLAN		
A301	PROPOSED ELEVATIONS		
A401	BUILDING SECTIONS		
A402	BUILDING SECTIONS		
A410	WALL SECTIONS		
A601	ENLARGED STAIRS		
A602	ENLARGED STAIRS		
A603	ENLARGED ELEVATOR		
A610	STAIR & RAIL DETAILS		
A800	ASSEMBLIES		
A900	DOOR SCHEDULE		
A901	WINDOW SCHEDULE		
A910	DETAILS - EXT - ROOF		
A920	DETAILS - EXT - DOOR AND WINDOW		
A930	DETAILS - INT - FIRE PENETRATION		
STRUCTURAL			
S001	GENERAL NOTES		
S002	SCHEDULES		
S003	FOUNDATION PLAN		
S004	FOUNDATION DETAILS		
S005	FOUNDATION DETAILS		
S006	FRAMING PLANS		
S007	FRAMING PLANS		
S008	FRAMING PLANS		
S009	DETAILS		
S010	DETAILS		
S011	DETAILS		
S011.1	DETAILS		
S012	SPECIAL INSPECTIONS		
MECHANICAL			
M0000	NOTES & SPECS		
M0100	FLOOR PLAN NEW WORK		
M0101	FLOOR PLAN NEW WORK		
M0200	SCHEDULE		
M0300	DETAILS		
PLUMBING			
P0000	NOTES & SPECS		
P0100	FLOOR PLAN NEW WORK		
P0101	FLOOR PLAN NEW WORK		
P0102	FLOOR PLAN NEW WORK		
P0200	RISERS		
P0201	RISERS		
P0300	DETAILS		
P0400	SCHEDULES		
ELECTRICAL			
E000	COVER		
E100	NEW LIGHTING PLAN		
E101	NEW LIGHTING PLAN		
E200	NEW POWER PLAN		
E201	NEW POWER PLAN		
E300	NEW POWER RISER DIAGRAM		

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

COVER SHEET

0001

8/1/2024 4:19:29 PM

Board of Zoning Adjustment
District of Columbia
CASE NO.20944
EXHIBIT NO.57A1

INSTRUCTIONS TO CONTRACTORS

1. EACH CONTRACTOR, IN SUBMITTING HIS PROPOSAL, WILL BE HELD TO HAVE EXAMINED THE PREMISES AND TO HAVE SATISFIED THEMSELF AS TO THE CONDITION UNDER WHICH THEY WILL BE REQUIRED TO OPERATE IN PERFORMING THE WORK.
2. THE CONTRACTOR SHALL VERITY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO ORDERING MATERIAL AND COMMENCING THE WORK. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER -- NO SMOKING INSIDE. ALL TRASH INCLUDING CIGARETTE BUTTS TO BE CLEANED EACH DAY. SITE TO BE BROOM CLEAN, HOUSE TO BE SHOP-VACD, EACH DAY AT END OF DAY.
3. CONTRACTOR SHALL INCLUDE COST OF PROFESSIONAL CLEANING AFTER DRYWALL SANDING AND AT COMPLETION OF PROJECT. CONTRACTOR SHALL INCLUDE COST OF PROFESSIONAL DUCT CLEANING AT CONCLUSION OF PROJECT.
4. THE WORK SHALL BE COORDINATED WITH THE OWNER, KEEPING IN MIND WHEN AN EXISTING RESIDENCE IS TO BE OCCUPIED DURING THE CONSTRUCTION AND DISTURBANCE OF THE OCCUPANTS MUST BE MINIMAL. ANY EXISTING RESIDENCE MUST BE KEPT WATERTIGHT AND SECURE AT ALL TIMES.
5. THE STORAGE OF CONSTRUCTION MATERIALS SHALL BE IN AN AREA DESIGNATED BY THE OWNER.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS TO ACCOMPLISH THE INTENT OF THE PLANS. PLANS INDICATE THE EXTENT, GENERAL CHARACTER, AND LOCATION OF THE WORK. MINOR DETAILS NOT SHOWN SHALL BE FINISHED COMPLETE TO PERFORM THE FUNCTIONS INTENDED.
7. ALL NECESSARY PERMITS AND WALL CHECKS SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.
8. EACH BIDDER SHALL SUBMIT THEIR PROPOSAL IN DUPLICATE ON COMPANY'S STANDARD FORM.
9. A.I.A. DOCUMENTS A-201 "GENERAL CONDITIONS OF THE CONTRACTOR OF CONSTRUCTION" SHALL BE MADE PART OF THESE SPECIFICATIONS. CONTRACTOR SHALL PROVIDE OWNER WITH A RELEASE OF LIENS FROM ALL SUBCONTRACTORS PRIOR TO OWNER MAKING FINAL PAYMENT.

SITE WORK

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE FOOTINGS AND VERIFYING ALL FOOTING DIMENSIONS WITH ARCHITECT IN FIELD PRIOR TO POURING CONCRETE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING FINISHED GRADE AND INSTALLING SEED AND STRAW ON ALL DISTURBED GRASS AREAS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR NEW ASPHALT DRIVEWAY WHERE APPLICABLE.
4. CONTRACTOR SHALL REMOVE ALL EXCAVATED DIRT FROM SITE, OTHER THAN THAT REQUIRED FOR BACKFILL AND FOR RAISING GRADE AS SHOWN ON DRAWINGS.
5. CONTRACTOR TO SPRAY FOR TERMITES PRIOR TO INSTALLATION OF SLAB.

MECHANICAL

1. ALL MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS AND LOCAL UTILITY COMPANY RULES AND REQUIREMENTS.
2. CONTRACTOR TO SIZE ALL EQUIPMENT AND DUCTWORK WITH ADEQUATE CAPACITY TO HEAT AND COOL THE ENTIRE HOUSE (TOGETHER WITH EXISTING SYSTEMS).
3. CONTRACTOR TO INSTALL HIGH EFFICIENCY GAS FURNACE BY CARRIER OR EQUIVALENT COMPLETE WITH PROGRAMMABLE THERMOSTAT.

MOISTURE PROTECTION/ INSULATION

1. FLASHING TO BE PAINTED ALUMINUM TO MATCH EXTERIOR TRIM COLOR.
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING -- TIE DOWNSPOUTS TO EXISTING DRAINFIELD -- ENSURE POSITIVE SLOPE AWAY FROM HOUSE. INSTALL ON SLOPE TO MATCH EXIST.
3. SHINGLES TO BE FIBERGLASS SHINGLES, COMPLETE WITH ALUMINUM DRIP EDGE AND 30# BLDG. FELT. ALTERNATE DURASLATE SHINGLES.
4. 4. INSULATION SHALL BE PAPER FACED FIBER GLASS BATT INSULATION-- R-19 + R5 CONTINUOUS WALLS, R-49 ATTICS & ROOFS . SOUND INSULATION IN NEW BASEMENT CEILING TO BE 10" BATT.
5. CAULK ALL JOINTS IN THE EXTERIOR OF THE BUILDING INCLUDING JOINTS BETWEEN WINDOWS, SLIDING GLASS DOORS, AND OTHER UNIT FRAMES AND THE EXTERIOR MASONRY AND SIDING. CAULKING BY PRC OR DAP.
6. CONTRACTOR TO WRAP ALL SHEATHING IN VAPOR BARRIER ONCE SHEATHING IS INSTALLED.
7. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).

WINDOW, SCREENING, AND GLASS DOORS

1. WINDOWS TO BE PELLA , LOW E, WHITE CLAD EXTERIOR WITH PRIMED INTERIOR -- NO MUNTINS, BRUSHED NICKEL HARDWARE, COMPLETE WITH SCREENS ON OPERABLE WINDOWS.
2. CONTRACTOR TO INSTALL WINDOWS AS PER MANUFACTURER'S INSTRUCTIONS, COMPLETE WITH FLASHING AT ALL HEADER TRIM.

DRYWALL WORK

1. GYPSUM WALLBOARD SHALL BE U.S. GYPSUM CO. OR NATIONAL GYPSUM CO. ROUNDED TAPERED EDGE TYPE SW 1/2" THICK (UNLESS OTHERWISE NOTED).
2. INCLUDE DRYWALL WORK AS REQ'D. FOR PATCHING WALLS IN AREAS OF STRUCTURAL WORK IN BASEMENT.

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND THE N.E.C.
2. CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS REQUIRED NEW PANEL AND METER BOX. CONTRACTOR TO INCLUDE ALL COORDINATION AND FOLLOW UP WITH PEPCO. OWNER TO PAY PEPCO ENGINEERING FEES.
3. ALL RECESSED AND UNDER CABINET LIGHTING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO INCLUDE ALL RECESSED LIGHTS AND UNDERCABINET LIGHTS IN BID. SEE ELECTRICAL PLANS FOR SPECIFICATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT LIGHT FIXTURES PRIOR TO INSTALLATION OF MECHANICAL DUCTS IN ORDER TO AVOID CONFLICT.
5. ALL RECESSED LIGHTS SHALL BE DIMMABLE -- CONTRACTOR TO INCLUDE THIS COST IN BID.

PLUMBING

1. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL SLATE AND LOCAL CODES.
2. CONTRACTOR SHALL FINISH AND INSTALL ALL PLUMBING FIXTURES, VENTS, FITTINGS, AND ACCESSORY EQUIPMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM. CONTRACTOR TO VERITY VENT ROUTES AND LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO INSTALL SELF-FLASHING VENT COVERS ON ROOF.
3. CONTRACTOR TO OBTAIN ALL APPLIANCE AND FIXTURE CUT SHEETS FROM OWNER AND SHALL BE HELD RESPONSIBLE FOR COST OF ROUGH-IN AND INSTALLATION OF ALL APPLIANCES.
4. OWNER TO PURCHASE KITCHEN SINK AND FAUCET AND APPLIANCES.
5. CONTRACTOR TO PROVIDE 2 NEW FROST PROOF HOSE BIBS -- SEE PLANS FOR LOCATION.

INTERIOR FINISHES

1. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED. INTERIOR WALL AND CEILING FINISH MATERIALS TESTED IN ACCORDANCE WITH NFPA 286 AND MEETING THE ACCEPTANCE CRITERIA OF SECTION 803.1.2.1, SHALL BE PERMITTED TO BE USED WHERE A CLASS A CLASSIFICATION IN ACCORDANCE WITH ASTM E84 OR UL 723 IS REQUIRED.

2. 803.1.1 INTERIOR WALL AND CEILING FINISH MATERIALS. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE- DEVELOPED INDEXES.

   CLASS A: = FLAME SPREAD INDEX 0-25; SMOKE DEVELOPED INDEX 0-450. CLASS B: = FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450. CLASS C: = FLAME SPREAD INDEX 76- 200; SMOKE DEVELOPED INDEX 0-450.

PAINT, WOOD TRIM, WOOD, SIDING, HARDWOOD FLOOR

1. ALL INTERIOR WALL PAINT TO BE PREMIUM LATEX BENJAMIN MOORE. COLORS TO BE DETERMINED BY ARCHITECT ONCE ALL FINISHES ARE SELECTED. TRIM TO BE SEMI-GLOSS -- WALLS TO BE FLAT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING ENTIRE ROOMS OF ALL AFFECTED AREAS -TRIM, CEILING, AND WALLS -- PRIME, CAULK AND MINIMUM 2 COATS. CONTRACTOR TO REPAINT ENTIRE EXTERIOR OF EXIST. HOUSE. CONTRACTOR TO PRESSURE WASH AND SEAL EXIST. DECK, BASE, AND WINDOW TRIM TO MATCH EXISTING. INTERIOR DOORS TO BE S.C.
3. MASONITE SMOOTH FACED. CONTRACTOR TO PROVIDE $1,500 HARDWARE ALLOWANCE.
4. EXTERIOR TRIM TO BE OF SIZES SHOWN.

A. OWNER TO PROVIDE CONTRACTOR WITH TILE SPECIFICATIONS -- CONTRACTOR TO INCLUDE COST OF ALL LABOR INCLUDING FOR PATTERNS SHOWN ON DRAWINGS AND INCLUDE LABOR FOR ALL CUTS, AS WELL AS ANY REQUIRED POLISHING OF EDGES FOR NATURAL MATERIALS (MARBLE/GRANITE).

B. CONTRACTOR TO PROVIDE ALLOWANCE FOR TILE MATERIALS AND LABOR.

KITCHEN CABINETS/C-TOPS & OTHER MILLWORK

1. OWNER TO PURCHASE KITCHEN CABINETS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SHOP DRAWINGS FROM CABINET SUPPLIER TO ENSURE THAT ALL ROUGH-IN LOCATIONS ARE COORDINATED FOR ELECTRICAL, MECHANICAL, ETC.
2. CONTRACTOR SHALL BE RESPONSIBLE WITHIN CONTRACT FOR INSTALLATION OF ALL MILLWORK. ADDITIONALLY CONTRACTOR TO INCLUDE COST OF TIME REQUIRED FOR COORDINATION OF DELIVERY, RECEIVING AND INVENTORY, AS WELL AS EXTRA WORK FOR RELOCATION OF CABINETS AND WORK REQUIRED TO RETROFIT THEM TO THE NEW LAYOUT.
3. OWNER TO PURCHASE COUNTERTOPS. CONTRACTOR SHALL INCLUDE COST OF TIME REQUIRED FOR COORDINATION OF TEMPLATING AND INSTALLATION.
4. OWNER SHALL PURCHASE APPLIANCES DIRECTLY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLIANCE CUT SHEETS AND PROVIDING THEM TO ALL SUBCONTRACTORS.

FIRE PROTECTION

1. CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR NEW SPRINKLER SYSTEM FOR PERMIT IF REQUIRED.
2. SEPARATE SHOP DRAWING SUBMITTAL AND APPROVAL OF FIRE SPRINKLER ADDITION/MODIFICATION DRAWINGS, CUT SHEETS FOR ALL NEW EQUIPMENT, HYDRAULIC CALCULATIONS FOR THE REVISION/ADDITION TO THE SPRINKLER SYSTEM, LIF TEST CERTIFICATE FOR NEW UNDERGROUND SUPPLY WORK PRIOR TO CONNECTION TO ABOVE GROUND SYSTEM, FINAL TESTING AND COMPLETION OF CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR ABOVE GROUND PIPING PER NFPA13 2013 OR LATER.
3. SEPARATE REVIEW AND APPROVAL OF SHOP DRAWING SUBMITTAL OF FIRE ALARM ADDITION/MODIFICATION ALONG WITH CUT SHEETS FOR ALL NEW EQUIPMENT, BATTERY, AND VOLTAGE CALCULATIONS, PER NFPA72 2013 OR LATER.
4. CARBON MONOXIDE SENSORS TO BE INSTALLED AS LOCAL CODE REQUIRES.
5. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8 AND 907.2.9, RESPECTIVELY. SINGLE-OR MULTIPLE-STATION SMOKE ALARMS SHALL BE IN ACCORDANCE WITH SECTION 907.2.11.
6. PER 3309.1 WHERE REQUIRED, STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NO FEWER THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD AS FOLLOWS: 1. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED. 2. IN EVERY STORAGE AND CONSTRUCTION SHED. 3. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST, SUCH AS THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

DECK AND ROOFING

1. DECK MATERIAL - IPE BRAZILIAN HARDWOOD 1X4 SECURELY FASTENED W/ STAINLESS STEEL SCREWS, 2 PER JOIST - OR APPROVED EQUAL.
2. APPLICATION OF DECK MATERIAL - APPLY WOOD DECKING OVER PRESSURE TREATED WOOD SLEEPERS. PROVIDE ADDITIONAL TPO LAYER AT SLEEPER ATTACHMENT LOCATION.. PROVIDE SPACING BETWEEN BOARDS AT 3/16" FOR 4" AND 1/4" FOR 6" DECKING.
3. WATERPROOFING - TPO 60 MIL THERMOPLASTIC POLYOLEFIN SINGLE PLY MEMBRANE, 0.039" MIN THICKNESS - OR APPROVED EQUAL.
4. FLASHING - STAINLESS STEEL SHEET METAL FLASHING
5. METHOD OF FLASHING ATTACHMENT - BLIND FASTENERS OR SELF-DRILLING SCREWS, GASKETED, WITH HEX-WASHER HEAD.
   A. EXPOSED FASTENERS: HEADS MATCHING COLOR OF SHEET METAL USING PLASTIC CAPS OR FACTORY-APPLIED COATING.
   B. BLIND FASTENERS: HIGH-STRENGTH ALUMINUM OR STAINLESS-STEEL RIVETS SUITABLE FOR METAL BEING FASTENED.

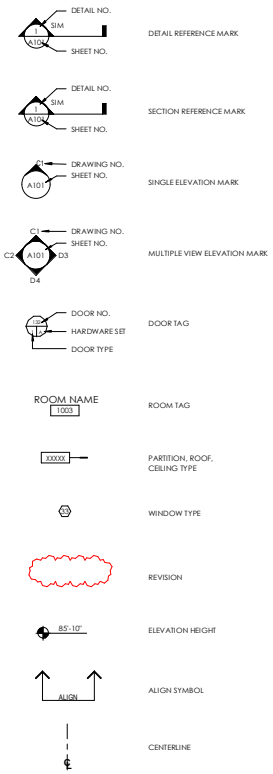
CLIMATE AND DESIGN CRITERIA

WEATHERING (SEVERE) [TABLE R301.2(1)]
FROST LINE DEPTH (30"") [TABLE R301.2(1)]
TERMITE AREA (M-H) [TABLE R301.2(1)]
DECAY AREA [TABLE R301.2(1)]
WINTER DESIGN TEMPERATURE (17° F) [TABLE R301.2(1)]
ICE BARRIER UNDERLAYMENT REQUIRED? (YES) [TABLE R301.2(1)]
WINTER DESIGN TEMPERATURE (17° F) [TABLE R301.2(1)]

ABBREVIATIONS

ABV	ABOVE
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ALT	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECT
BALC	BALCONY
BD	BOARD
BET	BETWEEN
BLDG	BUILDING
BLKG	BLOCKING
BLW	BELOW
BM	BEAM
BO	BOTTOM OF
BOT	BOTTOM
BRKT	BRACKET
BULKHD	BULKHEAD
CAB	CABINET
CALK	CAULKING
CEM	CEMENT
CER	CERAMIC
CJ	CONSTRUCTION JOINT
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPET	CARPET
CT	CERAMIC TILE
CTR	CENTER
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPOSER
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
E	EAST
EA	EACH
ELEC	ELECTRICAL)
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
ER	EXISTING TO REMAIN
EXIST	EXISTING
EWC	ELECTRICAL WATER COOLER
FA	FIRE ALARM
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FLUOR	FLUORESCENT
FT	FOOT OR FEET
FUR	FURRING
FO	FACE OF
FOF	FACE OF FINISH
GAL	GALLON
GALV	GALVANIZED
GB	GRAB BAR
GFI	GROUND FAULT INTERJPT
GL	GLASS
GND	GROUND
GYP	GYPSUM
GWB	GYPSUM WALL BOARD
HC	HANDICAPPED
HDWD	HARDWOOD
HDWR	HARDWARE
HT	HEGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
ID	INNER DIAMETER
INCAN	INCANDESCENT
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
KD	KNOCK DOWN
LAV	LAVATORY
LB(S)	POUNDS
LDG	LANDING
LT	LIGHT
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OPPOSITE HAND
OPG	OPENING
OPP	OPPOSITE
PG	PAINT GRADE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PNT	PAINT
PR	PAIR
PSL	PANEL SUPPORT LEG
PTD	PAINTED
PTN	PARTITION
R	RISER
RAD	RADIUS
RD	ROOF DRAIN
RE	REFER TO
REF	REFRIGERATOR, REFER
RBNF	REINFORCED
REQD	REQUIRED
RESIL	RESILIENT
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SAFB	SOUND ATTENUATION FIBER BLANKET
SCHED	SCHEDULE
SC WD	SOLID CORE WOOD DOOR
SEAL	SEALANT
SECT	SECTION
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SP	STANDPIPE
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STR	STRUCTURAL
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	TREAD
TEL	TELEPHONE
TER	TERRAZZO
T&G	TOUNGE & GROOVE
THK	THICK(NESS)
THR	THRESHOLD
TO	TOP OF
TYP	TYPICAL
UC	UNDERCUT
UNFIN	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
UNO	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VCT	VINYL COMPOSITION TILE
VE	VALUE ENGINEERING
VERT	VERTICAL
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
WC	WALL COVERING
WD	WOOD
W/I	WITHIN
W/O	WITHOUT
WLD	WELDED
WP	WATERPROOF
WSCT	WAINSCOT
WS	WEBSTACK
WT	WEGHT

SYMBOLS LEGEND



2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

SPECIFICATIONS

0002

8/1/2024 3:56:50 PM

SAFEGUARDS DURING CONSTRUCTION

SECTION 3301 GENERAL

3301.1 SCOPE - THE PROVISIONS OF THIS CHAPTER SHALL GOVERN SAFETY DURING CONSTRUCTION AND THE PROTECTION OF ADJACENT PUBLIC AND PRIVATE PROPERTIES.

3301.2 STORAGE AND PLACEMENT - CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER THE PUBLIC, THE WORKERS OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.

SECTION 3302 CONSTRUCTION SAFEGUARDS

3302.1 ALTERATIONS, REPAIRS AND ADDITIONS - REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.

EXCEPTIONS:
-WHERE SUCH REQUIRED ELEMENTS OR DEVICES ARE BEING ALTERED OR REPAIRED, ADEQUATE SUBSTITUTE PROVISIONS SHALL BE MADE.
-MAINTENANCE OF SUCH ELEMENTS AND DEVICES IS NOT REQUIRED WHEN THE EXISTING BUILDING IS NOT OCCUPIED.

3302.2 MANNER OF REMOVAL - WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY.

3302.3 FIRE SAFETY DURING CONSTRUCTION - FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 33 OF THE INTERNATIONAL FIRE CODE.

SECTION 3303 DEMOLITION

3303.1 CONSTRUCTION DOCUMENTS - CONSTRUCTION DOCUMENTS AND A SCHEDULE FOR DEMOLITION SHALL BE SUBMITTED WHERE REQUIRED BY THE BUILDING OFFICIAL. WHERE SUCH INFORMATION IS REQUIRED, NO WORK SHALL BE DONE UNTIL SUCH CONSTRUCTION DOCUMENTS OR SCHEDULE, OR BOTH, ARE APPROVED.

3303.2 PEDESTRIAN PROTECTION - THE WORK OF DEMOLISHING ANY BUILDING SHALL NOT BE COMMENCED UNTIL PEDESTRIAN PROTECTION IS IN PLACE AS REQUIRED BY THIS CHAPTER.

3303.3 MEANS OF EGRESS - A HORIZONTAL EXIT SHALL NOT BE DESTROYED UNLESS AND UNTIL A SUBSTITUTE MEANS OF EGRESS HAS BEEN PROVIDED AND APPROVED.

3303.4 VACANT LOT - WHERE A STRUCTURE HAS BEEN DEMOLISHED OR REMOVED, THE VACANT LOT SHALL BE FILLED AND MAINTAINED TO THE EXISTING GRADE OR IN ACCORDANCE WITH THE ORDINANCES OF THE JURISDICTION HAVING AUTHORITY.

3303.5 WATER ACCUMULATION - PROVISION SHALL BE MADE TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OR THE ADJOINING PROPERTY.

3303.6 UTILITY CONNECTIONS - SERVICE UTILITY CONNECTIONS SHALL BE DISCONTINUED AND CAPPED IN ACCORDANCE WITH THE APPROVED RULES AND THE REQUIREMENTS OF THE APPLICABLE GOVERNING AUTHORITY.

3303.7 FIRE SAFETY DURING DEMOLITION - FIRE SAFETY DURING DEMOLITION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 33 OF THE INTERNATIONAL FIRE CODE.

SECTION 3304 SITE WORK

3304.1 EXCAVATION AND FILL - EXCAVATION AND FILL FOR BUILDINGS AND STRUCTURES SHALL BE CONSTRUCTED OR PROTECTED SO AS NOT TO ENDANGER LIFE OR PROPERTY. STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF NOT LESS THAN 12 INCHES (305 MM) BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING. WOOD FORMS THAT HAVE BEEN USED IN PLACING CONCRETE, IF WITHIN THE GROUND OR BETWEEN FOUNDATION SILLS AND THE GROUND, SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE. BEFORE COMPLETION, LOOSE OR CASUAL WOOD SHALL BE REMOVED FROM DIRECT CONTACT WITH THE GROUND UNDER THE BUILDING.

3304.1.1 SLOPE LIMITS - SLOPES FOR PERMANENT FILL SHALL BE NOT STEEPER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE). CUT SLOPES FOR PERMANENT EXCAVATIONS SHALL BE NOT STEEPER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE). DEVIATION FROM THE FOREGOING LIMITATIONS FOR CUT SLOPES SHALL BE PERMITTED ONLY UPON THE PRESENTATION OF A SOIL INVESTIGATION REPORT ACCEPTABLE TO THE BUILDING OFFICIAL.

3304.1.2 SURCHARGE - NO FILL OR OTHER SURCHARGE LOADS SHALL BE PLACED ADJACENT TO ANY BUILDING OR STRUCTURE UNLESS SUCH BUILDING OR STRUCTURE IS CAPABLE OF WITHSTANDING THE ADDITIONAL LOADS CAUSED BY THE FILL OR SURCHARGE. EXISTING FOOTINGS OR FOUNDATIONS THAT CAN BE AFFECTED BY ANY EXCAVATION SHALL BE UNDERPINNED ADEQUATELY OR OTHERWISE PROTECTED AGAINST SETTLEMENT AND SHALL BE PROTECTED AGAINST LATERAL MOVEMENT.

3304.1.3 FOOTINGS ON ADJACENT SLOPES - FOR FOOTINGS ON ADJACENT SLOPES, SEE CHAPTER 18.

3304.1.4 FILL SUPPORTING FOUNDATIONS - FILL TO BE USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL COMPLY WITH SECTION 1804.6. SPECIAL INSPECTIONS OF COMPACTED FILL SHALL BE IN ACCORDANCE WITH SECTION 1705.6.

SECTION 3305 SANITARY

3305.1 FACILITIES REQUIRED - SANITARY FACILITIES SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING OR DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.

SECTION 3306 PROTECTION OF PEDESTRIANS

3306.1 PROTECTION REQUIRED
PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER AND TABLE 3306.1. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC.

TABLE 3306.1 PROTECTION OF PEDESTRIANS

HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQ'D
8 FEET OR LESS	LESS THAN 5 FEET	CONSTRUCTION RAILS
	5 FEET OR MORE	NONE
MORE THAN 8 FEET	LESS THAN 5 FEET	BARRIER & COVERED WALKWAY
	5 FEET OR MORE, BUT NOT MORE THAN ONE-FOURTH THE HEIGHT OF CONSTRUCTION	BARRIER & COVERED WALKWAY
	5 FEET OR MORE, BUT BETWEEN ONE-FOURTH AND ONE-HALF THE HEIGHT OF CONSTRUCTION	BARRIER
	5 FEET OR MORE, BUT EXCEEDING ONE-HALF THE HEIGHT OF CONSTRUCTION	NONE

3306.2 WALKWAYS - A WALKWAY SHALL BE PROVIDED FOR PEDESTRIAN TRAVEL IN FRONT OF EVERY CONSTRUCTION AND DEMOLITION SITE UNLESS THE APPLICABLE GOVERNING AUTHORITY AUTHORIZES THE SIDEWALK TO BE FENCED OR CLOSED. WALKWAYS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE THE PEDESTRIAN TRAFFIC, BUT IN NO CASE SHALL THEY BE LESS THAN 4 FEET (1219 MM) IN WIDTH. WALKWAYS SHALL BE PROVIDED WITH A DURABLE WALKING SURFACE. WALKWAYS SHALL BE ACCESSIBLE IN ACCORDANCE WITH CHAPTER 11 AND SHALL BE DESIGNED TO SUPPORT ALL IMPOSED LOADS AND IN NO CASE SHALL THE DESIGN LIVE LOAD BE LESS THAN 150 POUNDS PER SQUARE FOOT (PSF) (7.2 KN/M2).

3306.3 DIRECTIONAL BARRICADES - PEDESTRIAN TRAFFIC SHALL BE PROTECTED BY A DIRECTIONAL BARRICADE WHERE THE WALKWAY EXTENDS INTO THE STREET. THE DIRECTIONAL BARRICADE SHALL BE OF SUFFICIENT SIZE AND CONSTRUCTION TO DIRECT VEHICULAR TRAFFIC AWAY FROM THE PEDESTRIAN PATH.

3306.4 CONSTRUCTION RAILINGS - CONSTRUCTION RAILINGS SHALL BE NOT LESS THAN 42 INCHES (1067 MM) IN HEIGHT AND SHALL BE SUFFICIENT TO DIRECT PEDESTRIANS AROUND CONSTRUCTION AREAS.

3306.5 BARRIERS - BARRIERS SHALL BE NOT LESS THAN 8 FEET (2438 MM) IN HEIGHT AND SHALL BE PLACED ON THE SIDE OF THE WALKWAY NEAREST THE CONSTRUCTION. BARRIERS SHALL EXTEND THE ENTIRE LENGTH OF THE CONSTRUCTION SITE. OPENINGS IN SUCH BARRIERS SHALL BE PROTECTED BY DOORS THAT ARE NORMALLY KEPT CLOSED.

3306.6 BARRIER DESIGN - BARRIERS SHALL BE DESIGNED TO RESIST LOADS REQUIRED IN CHAPTER 16 UNLESS CONSTRUCTED AS FOLLOWS:

- BARRIERS SHALL BE PROVIDED WITH 2-INCH BY 4-INCH (51 MM BY 102 MM) TOP AND BOTTOM PLATES.
- THE BARRIER MATERIAL SHALL BE BOARDS NOT LESS THAN 3/4-INCH (19.1 MM) THICK OR WOOD STRUCTURAL PANELS NOT LESS THAN 1/4-INCH (6.4 MM) THICK.
- WOOD STRUCTURAL USE PANELS SHALL BE BONDED WITH AN ADHESIVE IDENTICAL TO THAT FOR EXTERIOR WOOD STRUCTURAL USE PANELS.
- WOOD STRUCTURAL USE PANELS 1/4 INCH (6.4 MM) OR 5/16 INCH (23.8 MM) IN THICKNESS SHALL HAVE STUDS SPACED NOT MORE THAN 2 FEET (610 MM) ON CENTER.
- WOOD STRUCTURAL USE PANELS 3/8 INCH (9.5 MM) OR 1/2 INCH (12.7 MM) IN THICKNESS SHALL HAVE STUDS SPACED NOT MORE THAN 4 FEET (1219 MM) ON CENTER PROVIDED A 2-INCH BY 4-INCH (51 MM BY 102 MM) STIFFENER IS PLACED HORIZONTALLY AT MID-HEIGHT WHERE THE STUD SPACING IS GREATER THAN 2 FEET (610 MM) ON CENTER.
- WOOD STRUCTURAL USE PANELS 5/8 INCH (15.9 MM) OR THICKER SHALL NOT SPAN OVER 8 FEET (2438 MM).

3306.7 COVERED WALKWAYS - COVERED WALKWAYS SHALL HAVE A CLEAR HEIGHT OF NOT LESS THAN 8 FEET (2438 MM) AS MEASURED FROM THE FLOOR SURFACE TO THE CANOPY OVERHEAD. ADEQUATE LIGHTING SHALL BE PROVIDED AT ALL TIMES. COVERED WALKWAYS SHALL BE DESIGNED TO SUPPORT ALL IMPOSED LOADS. IN NO CASE SHALL THE DESIGN LIVE LOAD BE LESS THAN 150 PSF (7.2 KN/M2) FOR THE ENTIRE STRUCTURE.

EXCEPTION: ROOFS AND SUPPORTING STRUCTURES OF COVERED WALKWAYS FOR NEW, LIGHT-FRAME CONSTRUCTION NOT EXCEEDING TWO STORIES ABOVE GRADE PLANE ARE PERMITTED TO BE DESIGNED FOR A LIVE LOAD OF 75 PSF (3.6KN/M2) OR THE LOADS IMPOSED ON THEM, WHICHEVER IS GREATER. IN LIEU OF SUCH DESIGNS, THE ROOF AND SUPPORTING STRUCTURE OF A COVERED WALKWAY ARE PERMITTED TO BE CONSTRUCTED AS FOLLOWS:

- FOOTINGS SHALL BE CONTINUOUS 2-INCH BY 6-INCH (51 MM BY 152 MM) MEMBERS.
- POSTS NOT LESS THAN 4 INCHES BY 6 INCHES (102 MM BY 152 MM) SHALL BE PROVIDED ON BOTH SIDES OF THE ROOF AND SPACED NOT MORE THAN 12 FEET (3658 MM) ON CENTER.
- STRINGERS NOT LESS THAN 4 INCHES BY 12 INCHES (102 MM BY 305 MM) SHALL BE PLACED ON EDGE UPON THE POSTS.
- JOISTS RESTING ON THE STRINGERS SHALL BE NOT LESS THAN 2 INCHES BY 8 INCHES (51 MM BY 203 MM) AND SHALL BE SPACED NOT MORE THAN 2 FEET (610 MM) ON CENTER.
- THE DECK SHALL BE PLANKS NOT LESS THAN 2 INCHES (51 MM) THICK OR WOOD STRUCTURAL PANELS WITH AN EXTERIOR EXPOSURE DURABILITY CLASSIFICATION NOT LESS THAN 23/32 INCH (18.3 MM) THICK NAILED TO THE JOISTS.
- EACH POST SHALL BE KNEE BRACED TO JOISTS AND STRINGERS BY MEMBERS NOT LESS THAN 2 INCHES BY 4 INCHES (51 MM BY 102 MM); 4 FEET (1219 MM) IN LENGTH.
- A CURB THAT IS NOT LESS THAN 2 INCHES BY 4 INCHES (51 MM BY 102 MM) SHALL BE SET ON EDGE ALONG THE OUTSIDE EDGE OF THE DECK

3306.8 REPAIR, MAINTENANCE AND REMOVAL - PEDESTRIAN PROTECTION REQUIRED BY THIS CHAPTER SHALL BE MAINTAINED IN PLACE AND KEPT IN GOOD ORDER FOR THE ENTIRE LENGTH OF THAT PROPERTY ARE SUBJECT TO BEING ENDANGERED. THE OWNER OR THE OWNER'S AUTHORIZED AGENT, UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITY, SHALL IMMEDIATELY REMOVE WALKWAYS, DEBRIS AND OTHER OBSTRUCTIONS AND LEAVE SUCH PUBLIC PROPERTY IN AS GOOD A CONDITION AS IT WAS BEFORE SUCH WORK WAS COMMENCED.

3306.9 ADJACENT TO EXCAVATIONS - EVERY EXCAVATION ON A SITE LOCATED 5 FEET (1524 MM) OR LESS FROM THE STREET LOT LINE SHALL BE ENCLOSED WITH A BARRIER NOT LESS THAN 6 FEET (1829 MM) IN HEIGHT. WHERE LOCATED MORE THAN 5 FEET (1524 MM) FROM THE STREET LOT LINE, A BARRIER SHALL BE ERECTED WHERE REQUIRED BY THE BUILDING OFFICIAL. BARRIERS SHALL BE OF ADEQUATE STRENGTH TO RESIST WIND PRESSURE AS SPECIFIED IN CHAPTER 16.

SECTION 3307 PROTECTION OF ADJOINING PROPERTY

3307.1 PROTECTION REQUIRED - ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, ALTERATION, REPAIR, DEMOLITION OR RAZE OF A PREMISES AT THE EXPENSE OF THE PERSON CAUSING THE WORK. PROTECTION MUST BE PROVIDED FOR LOTS, AND FOR ALL ELEMENTS OF A BUILDING OR OTHER STRUCTURE, INCLUDING, BUT NOT LIMITED TO, FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, VENTS, SKYLIGHTS, PORCHES, DECKS, ROOFS, ROOF OUTLETS, ROOF STRUCTURES AND FLASHING. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION OR RAZE ACTIVITIES. THIS SECTION SHALL ALSO APPLY WHERE (1) THE WORK WILL CAUSE OPERABLE CHIMNEYS OR VENTS ON ADJOINING PREMISES TO BECOME NON-COMPLIANT WITH THE CHIMNEY PROVISIONS (AS DEFINED IN SECTION 3307.1.1) OR (2) THE WORK WILL CAUSE THE LIVE LOAD OF THE ROOF OF AN ADJOINING OR ADJACENT PREMISES TO EXCEED THE DESIGN CAPACITY AS A RESULT OF THE INCREASED SNOW DRIFT LOAD.

3307.1.1 DEFINITIONS - FOR PURPOSES OF SECTION 3307, THE FOLLOWING TERMS SHALL HAVE THE MEANING STATED:
PROTECTIVE WORK. WORK REQUIRED BY SECTION 3307.1.
ORIGINAL WORK SITE. THE PREMISES OR PORTION THEREOF WHERE THE WORK CAUSING THE REQUIRED PROTECTIVE WORK IS PERFORMED.
PROTECTIVE WORK REQUIRING ACCESS. PROTECTIVE WORK THAT REQUIRES ACCESS TO ADJOINING OR ADJACENT PREMISES TO BE COMPLETED.
PARTY WALL. A WALL THAT STRADDLES, OR IS IN CLOSE PROXIMITY TO, A LOT LINE, WHICH IS USED FOR STRUCTURAL SUPPORT BY TWO OR MORE ADJOINING BUILDINGS OR STRUCTURES. CHIMNEY PROVISIONS. SECTION 2113 (MASONRY CHIMNEYS), CHAPTER 5 OF THE FUEL GAS CODE (CHIMNEYS AND VENTS), CHAPTER 8 OF THE MECHANICAL CODE (CHIMNEYS AND VENTS), CHAPTER 10 OF THE RESIDENTIAL CODE (CHIMNEYS AND FIREPLACES) AND SECTION 903.1 OF THE PLUMBING CODE.

3307.1.2 NOTICE REQUIREMENTS FOR PROTECTIVE WORK - PERSONS PROPOSING WORK ON AN ORIGINAL WORK SITE THAT REQUIRES OR POTENTIALLY REQUIRES PROTECTIVE WORK ON AN ADJOINING OR ADJACENT PREMISES SHALL COMPLY WITH THE NOTICE REQUIREMENTS SET FORTH IN SECTION 106.2.18.3 AS APPLICABLE.

3307.1.3 PROTECTIVE WORK REQUIRING ACCESS - IN SITUATIONS INVOLVING PROTECTIVE WORK REQUIRING ACCESS, THE PERSON REQUIRING ACCESS TO THE ADJOINING OR ADJACENT PREMISES FOR THE PURPOSE OF PERFORMING PROTECTIVE WORK, OR DETERMINING WHETHER PROTECTIVE WORK IS REQUIRED, SHALL BE RESPONSIBLE FOR OBTAINING A LEGAL RIGHT OF ACCESS FROM THE OWNER OF THE ADJOINING OR ADJACENT PREMISES, AS APPLICABLE, OR A COURT ORDER AUTHORIZING SUCH ACCESS IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 106.2.18.4.

EXCEPTIONS:

- A LIMITED OR TEMPORARY RIGHT OF ACCESS IS EXPRESSLY GRANTED IN SECTION 3307.2.2 OR 3307.4.1 FOR THE SPECIFIC PROTECTIVE WORK REQUIRED;
- A REVISED WORK PLAN IS SUBMITTED TO THE DEPARTMENT THAT ELIMINATES THE NEED FOR PROTECTIVE WORK REQUIRING ACCESS; OR
- A WRITTEN AGREEMENT SIGNED BY THE PERSON PROPOSING WORK ON A ORIGINAL WORK SITE THAT REQUIRES OR POTENTIALLY REQUIRES PROTECTIVE WORK ON AN ADJOINING OR ADJACENT PREMISES, AND THE OWNER OF SUCH PREMISES THAT DENIES ACCESS AND ACKNOWLEDGES THE OWNER'S OBLIGATION TO BE RESPONSIBLE FOR ANY PROTECTIVE WORK REQUIRING ACCESS.

3307.1.3.1 WHERE RESPONSIBILITY FOR PROTECTIVE WORK REQUIRING ACCESS SHIFTS TO OWNER OF ADJOINING PREMISES - WHERE THE OWNER OF THE PREMISES ADJOINING A ORIGINAL WORK SITE (OR ADJACENT TO THE ORIGINAL WORK SITE IN THE CASE OF SNOW DRIFT LOADS) IS RESPONSIBLE FOR PROTECTIVE WORK ON THE OWNER'S PREMISES, THEN SAID OWNER SHALL EXECUTE SUCH MEASURES TO MAKE SAFE THE SAID OWNER'S PREMISES, AND TO OBTAIN ANY NECESSARY PERMITS FOR THE PROTECTIVE WORK FROM THE DEPARTMENT, WITHOUT DELAY SO AS NOT TO INTERFERE OR MATERIALLY DELAY THE CONSTRUCTION WORK SUBJECT TO THE PERMIT APPLICATION THAT REQUIRED THE PROTECTIVE WORK. ANY PERMIT APPLICATION FILED BY THE OWNER IN THESE CIRCUMSTANCES SHALL BE EXEMPTED FROM THE NOTIFICATION REQUIREMENTS IN SECTION 106.2.18.3.

3307.1.3.1.1 ACCESS TO ORIGINAL WORK SITE - WHERE THE OWNER OF THE PREMISES ADJOINING OR ADJACENT TO THE ORIGINAL WORK SITE IS RESPONSIBLE FOR PROTECTIVE WORK ON THE OWNER'S PREMISES, AND THE PROTECTIVE WORK REQUIRES ACCESS TO THE ORIGINAL WORK SITE, THE OWNER OF THE ADJOINING OR ADJACENT PREMISES, AS APPLICABLE, SHALL OBTAIN WRITTEN PERMISSION TO GAIN SUCH ACCESS FROM THE OWNER OF THE ORIGINAL WORK SITE. IF THE OWNER OF THE ORIGINAL WORK SITE FAILS TO GRANT WRITTEN PERMISSION (CONDITIONAL OR UNCONDITIONAL) FOR ENTRY TO THE OWNER OF THE ADJOINING OR ADJACENT PREMISES TO UNDERTAKE THE PROTECTIVE WORK THEN ANY PROTECTIVE WORK REQUIRING ACCESS TO THE ORIGINAL WORK SITE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE ORIGINAL WORK SITE, WHO SHALL EXECUTE SUCH MEASURES TO MAKE SAFE THE ORIGINAL WORK SITE.

3307.2 PARTY WALLS

3307.2.1 RESPONSIBILITY OF PERSON DOING CONSTRUCTION WORK - WHERE CONSTRUCTION WORK OCCURS THAT COULD AFFECT THE STRUCTURAL INTEGRITY OF A PARTY WALL, THE PERSON CAUSING THE WORK SHALL PRESERVE THE PARTY WALL FROM INJURY AND ENSURE THE STRUCTURAL STABILITY OF THE PARTY WALL, SUBJECT TO THE PROVISIONS FOR PROTECTIVE WORK REQUIRING ACCESS IN SECTION 3307.1.3.

3307.2.1.1 UNDERPINNING - PROPER UNDERPINNING OF EXISTING PARTY WALLS WHICH REQUIRE UNDERPINNING SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE CONSTRUCTION CODES, INCLUDING SECTIONS 1705.19 AND 1804.2.

3307.2.2 LIMITED ACCESS AUTHORIZED - WHERE A PARTY WALL REQUIRES UNDERPINNING AS A RESULT OF THE PROPOSED WORK, A LIMITED RIGHT OF ACCESS TO ADJOINING PREMISES IS AUTHORIZED WHERE THE FOLLOWING CONDITIONS ARE MET:

- THE UNDERPINNING CAN BE PROVIDED BY THE OWNER UNDERTAKING THE WORK FROM SAID OWNER'S PREMISES, EVEN IF THE FOOTING EXTENDS ONTO THE ADJOINING OWNER'S PREMISES;
- EXTENSION OF THE FOOTING IS REQUIRED TO STABILIZE AND SUPPORT THE ADJOINING OWNER'S BUILDING OR STRUCTURE, AND TO AVOID UNREASONABLE DELAY IN EXCAVATION AND DEVELOPMENT OF THE PERMITTED PROJECT; AND
- THE OWNER UNDERTAKING THE WORK HAS PROVIDED NOTICE TO THE OWNER OF THE ADJOINING PREMISES IN ACCORDANCE WITH SECTION 106.2.18 WHERE REQUIRED.
- WHERE THE CONDITIONS SET FORTH IN SECTION 3307.2.2. ARE MET, THE PERSON DOING THE WORK IS NOT REQUIRED TO OBTAIN A RIGHT OF ACCESS TO THE ADJOINING OR ADJACENT PREMISES, AS REQUIRED BY SECTION 3307.1.3.

3307.2.3 DEMOLITION OR RAZE - DURING A DEMOLITION OR RAZE, THE PERSON UNDERTAKING THE WORK MUST MAINTAIN FIRE AND LIFE SAFETY AND STRUCTURAL INTEGRITY OF THE PARTY WALL. IF PARTY WALL OR PORTION THEREOF WHICH IS LEFT STANDING AND EXPOSED AFTER A BUILDING IS DEMOLISHED OR RAZED IS DEEMED UNSAFE OR DANGEROUS BY THE CODE OFFICIAL, THEN THE OWNER OF THE BUILDING THAT IS BEING DEMOLISHED OR RAZED SHALL EITHER REMOVE AND RECONSTRUCT, OR ANCHOR, BRACE, OR BUTTRESS ALL OF THOSE PORTIONS OF THE PARTY WALL DEEMED UNSAFE OR DANGEROUS, AND SHALL DO ALL OTHER WORK NECESSARY TO ENCLOSE PROPERLY THE BUILDING OR STRUCTURE LEFT STANDING.

3307.2.4 PARTY WALL WEATHERIZATION - THE PARTY WALL SHALL BE PROPERLY MAINTAINED AND WEATHERIZED IN ACCORDANCE WITH SECTIONS 3307.2.4.1 THROUGH 3307.2.4.3 AS APPLICABLE.

3307.2.4.1 TEMPORARY PROTECTION - IF THE PARTY WALL IS TO REMAIN EXPOSED FOR 60 DAYS OR LESS, THE EXPOSED PORTIONS OF THE WALL SHALL BE PROTECTED FROM WEATHER DAMAGE BY TARPAULINS, WATERPROOF TAPE, OR OTHER TEMPORARY MEANS APPROVED FOR USE BY THE CODE OFFICIAL. SUCH TEMPORARY PROTECTION SHALL BE MAINTAINED IN A WEATHERPROOF CONDITION.

3307.2.4.2 INTERMEDIATE PROTECTION - IF THE PARTY WALL IS TO REMAIN EXPOSED FOR MORE THAN 60 DAYS, BUT LESS THAN 18 MONTHS, THE EXPOSED WALL SHALL BE RESTORED AND WEATHERPROOFED IN ACCORDANCE WITH THE REQUIREMENTS FOR THE PARTICULAR TYPE OF CONSTRUCTION INVOLVED. ALL PLASTER AND OTHER MATERIAL NOT COMMONLY USED FOR EXTERIOR CONSTRUCTION SHALL BE REMOVED; ALL HOLES SHALL BE PROPERLY FILLED; AND MASONRY PARTY WALLS SHALL BE REPOINTED.

3307.2.4.3 PERMANENT PROTECTION - IF THE PARTY WALL IS TO REMAIN EXPOSED FOR 18 MONTHS OR LONGER, THE PARTY WALLS SHALL BE PERMANENTLY RESTORED AND WEATHERPROOFED IN ACCORDANCE WITH THE REQUIREMENTS FOR THE PARTICULAR TYPE OF CONSTRUCTION INVOLVED. PARTY WALLS SHALL BE FACED WITH MATERIAL COMMONLY USED FOR EXTERIOR FINISH, OR RESTORED AS CLOSELY AS PRACTICABLE WITH THE FACING MATERIAL AND CONSTRUCTION OF THE OTHER EXTERIOR WALLS OF THE BUILDING LEFT STANDING, AND SHALL BE PAINTED OR OTHERWISE FINISHED IN A MANNER SIMILAR TO OTHER PARTS OF THE BUILDING.

3307.3 CHIMNEYS AND VENTS - WHENEVER A BUILDING OR STRUCTURE IS ERECTED, ALTERED, OR INCREASED IN HEIGHT SO THAT ANY PORTION OF SUCH BUILDING OR STRUCTURE CAUSES ANY PREVIOUSLY CONSTRUCTED CHIMNEYS OR VENTS ON AN ADJOINING PREMISES TO BECOME NON-COMPLIANT WITH THE CHIMNEY PROVISIONS (AS DEFINED IN SECTION 3307.1.1), THE OWNER OF SUCH NEW OR ALTERED BUILDING OR STRUCTURE SHALL HAVE THE RESPONSIBILITY OF ALTERING ANY SUCH OPERABLE CHIMNEYS OR VENTS TO MAKE THEM CONFORM WITH THE REQUIREMENTS OF THE CHIMNEY PROVISIONS, SUBJECT TO THE PROVISIONS FOR PROTECTIVE WORK REQUIRING ACCESS IN SECTION 3307.1.3. THE REQUIREMENTS OF SECTIONS 3307.3 AND 3307.3.1 SHALL NOT DISPENSE WITH OR MODIFY ANY ADDITIONAL REQUIREMENTS THAT MAY BE APPLICABLE PURSUANT TO FEDERAL OR LOCAL ENVIRONMENTAL LAWS OR REGULATIONS.

EXCEPTIONS:

- WHERE THE CHIMNEY OR VENT IS NO LONGER CONNECTED WITH A FIREPLACE OR COMBUSTION OR OTHER EQUIPMENT FOR WHICH THE CHIMNEY OR VENT WAS REQUIRED, OR WHERE THE CHIMNEY OR VENT IS OTHERWISE INOPERABLE.
- ANY EXISTING VIOLATIONS ON PREVIOUSLY CONSTRUCTED EQUIPMENT SHALL BE CORRECTED BY THE OWNER OF THE EQUIPMENT BEFORE ANY EQUIPMENT IS ADDED OR ALTERATIONS MADE AT THE EXPENSE OF THE OWNER OF THE NEW OR ALTERED BUILDING.

3307.3.1 REQUIRED ALTERATIONS - PROTECTIVE WORK REQUIRED BY SECTION 3307.3 SHALL BE ACCOMPLISHED BY ONE OF THE FOLLOWING MEANS OR A COMBINATION THEREOF:

- CARRY UP THE PREVIOUSLY CONSTRUCTED CHIMNEYS OR VENTS TO THE HEIGHT REQUIRED BY THE CHIMNEY PROVISIONS (AS DEFINED IN SECTION 3307.1.1).
- OFFSET SUCH CHIMNEYS OR VENTS TO A DISTANCE BEYOND THAT REQUIRED IN THE CHIMNEY PROVISIONS FROM THE NEW OR ALTERED BUILDING PROVIDED THAT THE NEW LOCATION OF THE OUTLET OF THE OFFSET CHIMNEY OR VENT SHALL OTHERWISE COMPLY WITH THE REQUIREMENTS OF THE CHIMNEY PROVISIONS.
- PROVIDE ANY ALTERNATE MATERIALS OR METHODS OF CONSTRUCTION PURSUANT TO SECTION 104.11 THAT SATISFIES THE INTENT OF THE CHIMNEY PROVISIONS FOR MECHANICAL DRAFTING OF CHIMNEY OR VENTS.

3307.3.1.1 APPROVAL - THE PLANS AND METHOD OF ALTERATION SHALL BE SUBJECT TO THE APPROVAL OF THE CODE OFFICIAL, AND ANY APPROVED WORK NEEDED TO ACCOMPLISH THE ALTERATION SHALL BE AUTHORIZED PURSUANT TO A PERMIT APPLICATION SUBMITTED BY THE OWNER OF THE EXISTING ADJOINING PREMISES WITH THE PREVIOUSLY CONSTRUCTED CHIMNEYS OR VENTS.

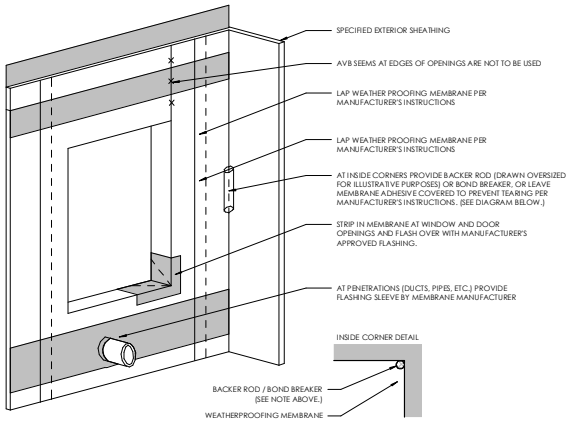
3307.3.2 PROTECTION OF DRAFT - WHERE A CHIMNEY OR VENT IS ALTERED PURSUANT TO SECTION 3307.4 THROUGH THE PROVISION OF ANY MECHANICAL EQUIPMENT OR DEVICES NECESSARY TO MAINTAIN THE PROPER DRAFT IN THE CHIMNEY OR VENT, THE MAINTENANCE OF SUCH MECHANICAL EQUIPMENT OR DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER WHO IS RESPONSIBLE FOR INSTALLING SUCH EQUIPMENT OR DEVICES UNLESS OTHERWISE AGREED.

3307.3.3 PROCEDURE FOR CHIMNEY OR VENT ALTERATIONS - WHERE THE ALTERATIONS REQUIRED BY SECTION 3307.4 ARE THE OBLIGATION OF THE OWNER OF THE NEW OR ALTERED BUILDING OR STRUCTURE, SUCH OWNER SHALL BE SUBJECT TO THE FOLLOWING REQUIREMENTS:

- SCHEDULE THE PROTECTIVE WORK SO AS TO CREATE A MINIMUM OF DISTURBANCE TO THE OCCUPANTS OF THE AFFECTED BUILDING; AND
- PROVIDE SUCH ESSENTIAL SERVICES AS ARE NORMALLY SUPPLIED BY THE EQUIPMENT WHILE IT IS OUT OF SERVICE; AND
- WHERE NECESSARY, SUPPORT SUCH EXTENDED CHIMNEYS, VENTS AND EQUIPMENT FROM THE NEW OR ALTERED BUILDING OR STRUCTURE OR CARRY UP SUCH CHIMNEYS OR VENTS WITHIN THE NEW OR ALTERED BUILDING OR STRUCTURE; AND
- PROVIDE FOR THE MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF SUCH EXTENSIONS AND ADDED EQUIPMENT; AND
- MAKE SUCH ALTERATIONS OF THE SAME MATERIAL AS THE ORIGINAL CHIMNEY OR VENT SO AS TO MAINTAIN THE SAME QUALITY AND APPEARANCE. EXCEPT WHERE THE AFFECTED OWNER OF THE CHIMNEY OR VENT SHALL GIVE HIS OR HER CONSENT TO DO OTHERWISE, ALL WORK SHALL BE DONE IN SUCH FASHION AS TO MAINTAIN THE ARCHITECTURAL AESTHETICS OF THE EXISTING BUILDING. WHERE THERE IS PRACTICAL DIFFICULTY IN COMPLYING STRICTLY WITH THE PROVISIONS OF THIS ITEM, THE CODE OFFICIAL MAY PERMIT AN EQUALLY SAFE ALTERNATIVE.

3307.4 ROOFS, ROOF OUTLETS, ROOF STRUCTURES AND FLASHING - SUBJECT TO THE PROVISIONS FOR PROTECTIVE WORK REQUIRING ACCESS IN SECTION 3307.1.3, WHERE A NEW BUILDING OR STRUCTURE IS BEING CONSTRUCTED, OR A DEMOLITION OR RAZE OF AN EXISTING BUILDING OR STRUCTURE IS BEING CONDUCTED, THE ROOF, ROOF OUTLETS AND ROOF STRUCTURES OF ADJOINING BUILDINGS OR OTHER STRUCTURES SHALL BE PROTECTED AGAINST DAMAGE WITH ADEQUATE SAFEGUARDS BY THE PERSON DOING THE WORK.

3307.4.1 FLASHING REPAIRS - WITHOUT EXCLUDING OTHER REPAIRS OR PROTECTIVE MEASURES THAT MAY BE REQUIRED PURSUANT TO SECTION 3307, AND SUBJECT TO THE PROVISIONS FOR PROTECTIVE WORK REQUIRING ACCESS IN



NOTES:

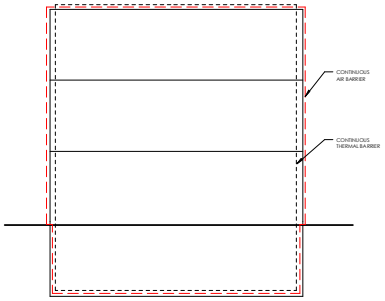
1) ALL PENETRATIONS ARE TO BE SEALED INCLUDING NAIL AND SCREW PENETRATIONS PER MANUFACTURER'S INSTRUCTIONS.
2) NO STAPLES ARE TO PENETRATE MEMBRANE UNLESS APPROVED BY MANUFACTURER AND SEALED.
3) DO NOT LEAVE MEMBRANE EXPOSED TO UVa/b (SUNLIGHT) LONGER THAN ALLOWED BY MANUFACTURER PRIOR TO CLADDING WITH FINISH EXTERIOR MATERIAL. ONCE COVERED NO AREAS ARE TO BE EXPOSED TO SUNLIGHT - EITHER DIRECTLY OR INDIRECTLY.

2 WEATHERPROOFING

1" = 1'-0"

MAXIMUM AIR INFILTRATION RATE FOR FENESTRATION ASSEMBLIES (PER DC ENERGY CONSERVATION CODE 2017 - COMMERCIAL PROVISIONS)		
FENESTRATION ASSEMBLY	MAXIMUM RATE CFM/FT2	TEST PROCEDURE
WINDOWS	0.20a	AAMA/WDMA/ CSA101/I.S.2/A440 OR NFRC 400
SLIDING DOORS	0.20a	
SWINGING DOORS	0.20a	
SKYLIGHTS - WITH CONDENSATION WEEPAGE OPENINGS 0.30		
SKYLIGHTS - ALL OTHER	0.20a	
CURTAIN WALLS	0.06	NFRC 400 OR ASTM E 283 AT 1.57 PSF (75 PA)
STOREFRONT GLAZING	0.06	
COMMERCIAL GLAZED SWINGING ENTRANCE DOORS	1.00	
REVOLVING DOORS	1.00	
GARAGE DOORS	0.40	ANSI/DASMA 105, NFRC 400, or ASTM E 283 at 1.57 psf (75 Pa)
ROLLING DOORS	1.00	

D MAX AIR INFILTRATION



R402.4.1.2 AIR LEAKAGE TESTING

EACH DWELLING UNIT SHALL COMPLY WITH TABLE R402.4.1.2. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE APPROVED THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. APPROVED SAMPLING PROTOCOLS APPROVED BY THE CODE OFFICIAL MAY BE USED.

TABLE R402.4.1.2 MAXIMUM ALLOWED AIR LEAKAGE RATES

NEW CONSTRUCTION:
-SINGLE FAMILY DETACHED, TWO FAMILY ATTACHED (DUPLEX), TOWNHOUSES, FLATS: 3 ACH50
-DWELLING UNITS IN MULTIFAMILY BUILDINGS 3 STORIES AND LESS: .30 CFM50/SF ENCLOSURE AREA OF EACH UNIT OR 3 ACH50

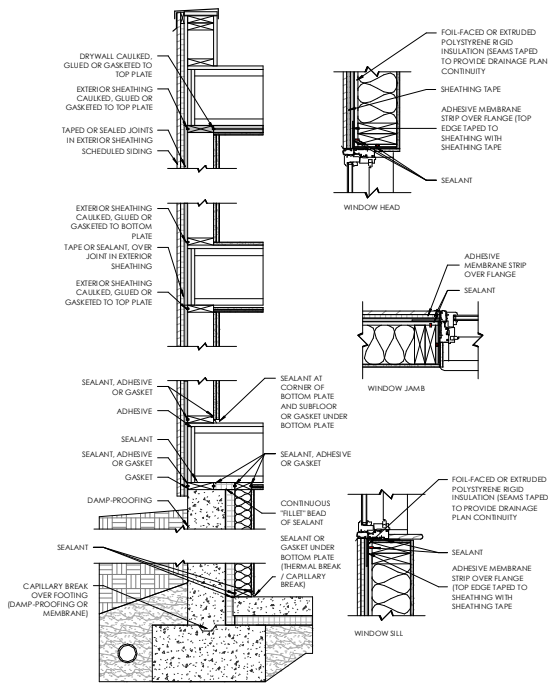
LEVEL 3 ALTERATION AFFECTING 80% OR MORE OF THE AGGREGATE WORK OF THE BUILDING (GUT REHABILITATION):
SINGLE FAMILY DETACHED, TWO FAMILY ATTACHED (DUPLEX), TOWNHOUSES, FLATS: 3 ACH50

DWELLING UNITS IN MULTIFAMILY BUILDINGS 3 STORIES AND LESS .30 CFM50/SF ENCLOSURE AREA OF EACH UNIT OR 3 ACH50

R402.4.3 FENESTRATION AIR LEAKAGE
WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M2), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.4 L/S/M2), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/I.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

3 AIR BARRIER DIAGRAM

1 : 75



NOTE - TYP WALL SECTION IS DIAGRAMMATIC SPECIFIC TO AIR BARRIER DETAILS AND NOT FOR CONSTRUCTION. SEE WALL SECTION AND DETAIL PAGES FOR PROJECT SPECIFIC INFORMATION.

1 AIR BARRIER DETAILS

1" = 1'-0"

MATERIALS THAT HAVE AN AIR PERMEANCE NOT EXCEEDING 0.004 CFM/FT2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. H2O (1.57 PSF) WHEN TESTED IN ACCORDANCE WITH ASTM E 2178. THE FOLLOWING MATERIALS MEET THESE REQUIREMENTS. MATERIALS IN ITEMS 1 THROUGH 15 SHALL BE DEEMED TO COMPLY WITH THIS SECTION PROVIDED JOINTS ARE SEALED AND MATERIALS ARE INSTALLED AS AIR BARRIERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

1. PLYWOOD—MINIMUM 3/8 IN.
2. ORIENTED STRAND BOARD—MINIMUM 3/8 IN.
3. EXTRUDED POLYSTYRENE INSULATION BOARD—MINIMUM 1/ 2 IN.
4. FOIL-FACED URETHANE INSULATION BOARD—MINIMUM 1/2 IN.
5. EXTERIOR GYPSUM SHEATHING OR INTERIOR GYPSUM BOARD—MINIMUM 1/2 IN.
6. CEMENT BOARD—MINIMUM 1/2 IN.
7. BUILT-UP ROOFING MEMBRANE.
8. MODIFIED BITUMINOUS ROOF MEMBRANE
9. FULLY ADHERED SINGLE-PLY ROOF MEMBRANE
10. A PORTLAND CEMENT/SAND PARGE, STUCCO, OR GYPSUM PLASTER—MINIMUM 1/2 IN. THICK
11. CAST-IN-PLACE AND PRECAST CONCRETE
12. SHEET METAL
13. CLOSED-CELL 2 LB/FT3 NOMINAL DENSITY SPRAY POLYURETHANE FOAM—MINIMUM 1 IN.

ASSEMBLIES OF MATERIALS AND COMPONENTS (SEALANTS, TAPES, ETC.) THAT HAVE AN AVERAGE AIR LEAKAGE NOT TO EXCEED 0.04 CFM/FT2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. H2O (1.57 PSF) WHEN TESTED IN ACCORDANCE WITH ASTM E 2357, ASTM E 1677, ASTM E 1680, OR ASTM E283.

THE FOLLOWING ASSEMBLIES MEET THESE REQUIREMENTS:
1. CONCRETE MASONRY WALLS THAT ARE
   A. FULLY GROUTED, OR
   B. PAINTED TO FILL THE PORES.

C AIR BARRIER MATERIAL COMPLIANCE

COMPONENT	CRITERIA (A)
AIR BARRIER AND THERMAL BARRIER	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.
	EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.
	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED.
	ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
WALLS	CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.
	THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED.
	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
	KNEE WALLS SHALL BE SEALED.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS)	INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING.
	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRAWL SPACE WALLS	WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
PLUMBING AND WIRING	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
FIREPLACE	AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.
A. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.	

A AIR BARRIER GUIDELINES

TABLE R402.1.2 - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CEILING:	R-49
WOOD FRAME WALL AND RIM JOISTS	R-19 IN CAVITY + R-5 CONTINUOUS ON EXT R-13 IN CAVITY + R-10 CONTINUOUS ON EXT R-15 CONTINUOUS
MASS WALL	R-15 CONTINUOUS ON EXT OR R-20 CONTINUOUS ON INTERIOR
FRAME FLOOR	R-25 + R-5 CONTINUOUS
ELEVATED SLAB	R-15 CONTINUOUS
BASEMENT WALL	R-19 IN CAVITY + R-5 CONTINUOUS ON EXT R-13 IN CAVITY + R-10 CONTINUOUS ON EXT R-15 CONTINUOUS
SLAB ON GRADE	R-10 PERIMETER INSULATION FOR A DEPTH OF 2'-0"
CONDITIONED CRAWLSPACE WALL	R-19 IN CAVITY + R-5 CONTINUOUS ON EXT R-13 IN CAVITY + R-10 CONTINUOUS ON EXT R-15 CONTINUOUS

-FOR AIR PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL TO OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION.
-ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
-ALL METAL FLASHING TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED.

ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE
ROOFS IN CLIMATE ZONE 4 SHALL HAVE ONE OF THE FOLLOWING:

1. A MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD.
2. A MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H•FT2 •°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRRC-1 STANDARD.

EXCEPTIONS:
1. BALLASTED ROOFS WITH A MINIMUM STONE BALLAST OF 17 LB/FT2 OR 23 LB/FT2 PAVERS.
2. VEGETATED ROOF SYSTEMS THAT CONTAIN A MINIMUM THICKNESS OF 2.5 IN. OF GROWING MEDIUM AND COVERING A MINIMUM OF 75% OF THE ROOF AREA WITH DURABLE PLANTINGS.
3. ROOFS WHERE A MINIMUM OF 75% OF THE ROOF AREA
   A. IS SHADED DURING THE PEAK SUN ANGLE ON JUNE 21 BY PERMANENT COMPONENTS OR FEATURES OF THE BUILDING;
   B. OR IS PERMITTED USING A COMBINATION OF 1 AND 2 ABOVE.
4. DECKS CONSTRUCTED USING WOOD OR AN APPROVED BIO-BASED DECKING MATERIAL.

THE VALUES FOR THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE SHALL BE DETERMINED BY A LABORATORY ACCREDITED BY A NATIONALLY RECOGNIZED ACCREDITATION ORGANIZATION AND SHALL BE LABELED AND CERTIFIED BY THE MANUFACTURER.

B ENERGY VERIFICATION NOTES

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRADE OF ARCHITECTURE LICENSED ARCHITECT

AIR BARRIER DETAILS

0004

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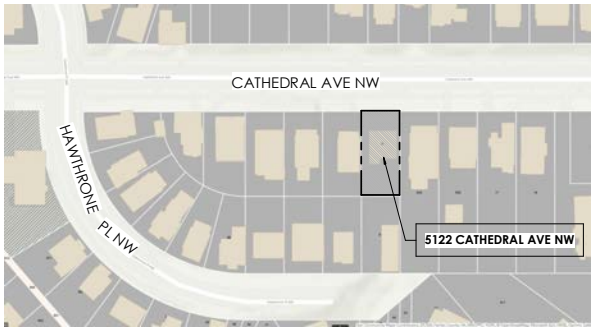
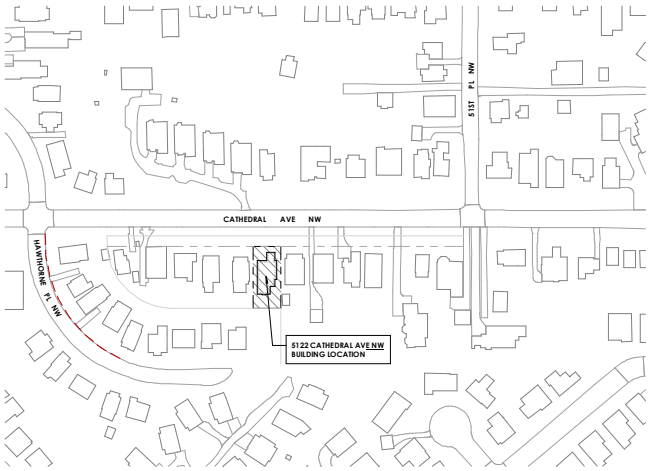


B VICINITY MAP
NTS



A LOCATION MAP
1" = 100'-0"

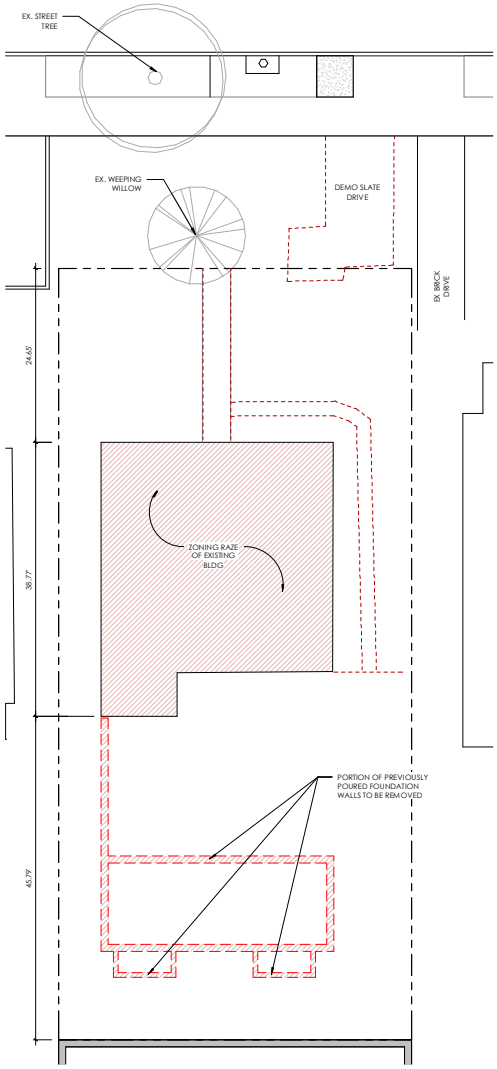
SITE INFORMATION AND ZONING ANALYSIS

LOT COVERAGE

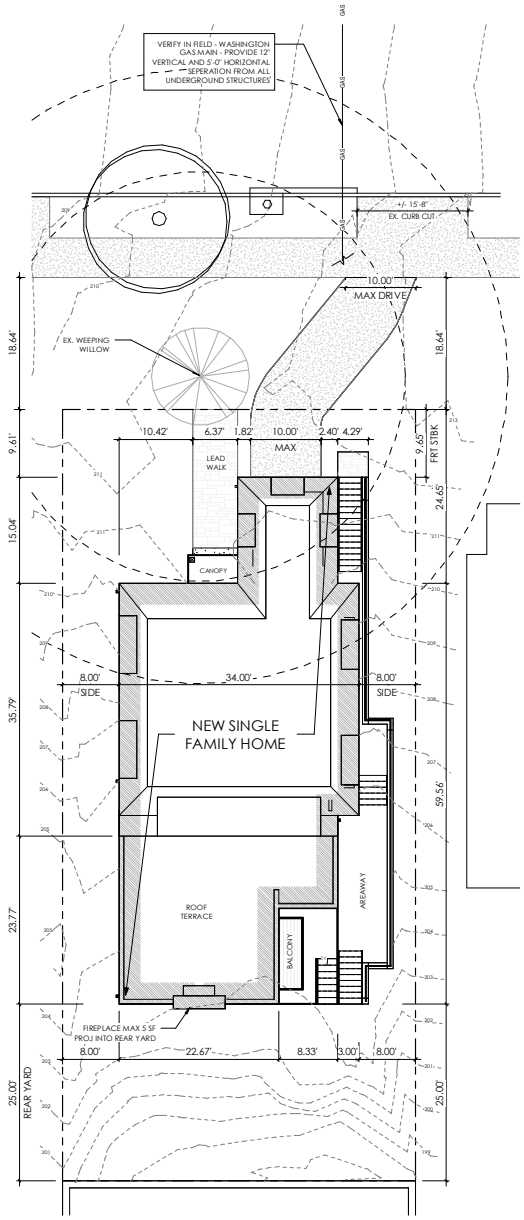
ZONE:	R-1-B
MAX BLDG HEGHT:	40'-0"
MAX LOT OCCUPANCY:	40%
MAX IMPERVIOUS:	50%
LOT SIZE:	5,460 SF
MAX OCCUPANCY @ 40%	2,184 SF
REAR YARD SETBACK:	25'-0" 1ST FLR & ABV. 12'-6" CELLAR /DECK W/IN REAR YARD
SIDE YARD:	8'-0" OR EQ. TO EXISTING

PROPOSED

EX FOOTPRINT (BLDG + FRONT PORCH)	1138 SF
FRONT ADDITION	228 SF
SIDE ADDITION	72 SF
REAR ADDITION	600 SF
TOTAL BUILDING AREA:	**2,038 SF**
	37%
BALCONY:	67 SF
TOTAL LOT OCC:	**2,105 SF (39%)**
PERVIOUS AREA:	SEE SHEET 0009



2 DEMOLITION SITE PLAN
1/8" = 1'-0"



1 PROPOSED SITE PLAN
1/8" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1439 LT 0060

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DISTRICT OF COLUMBIA TRACY CRAIG LICENSED ARCHITECT

SITE PLAN

0005

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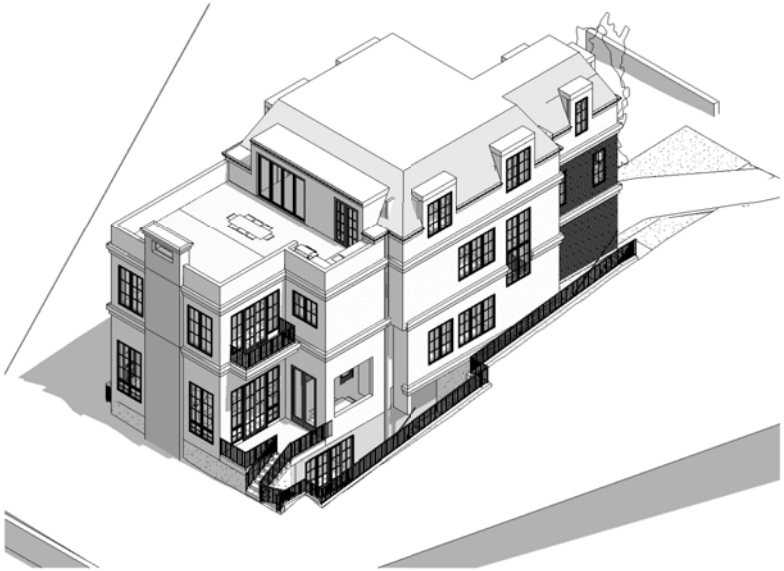
2 REAR PERSPECTIVE

1 FRONT PERSPECTIVE



4 ROOF AXON

3 NE VIEW

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SINGLE-FAMILY HOME

SQ 1439 LT 0060

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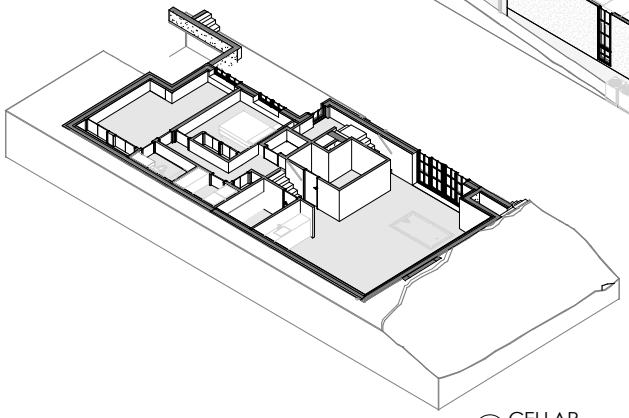
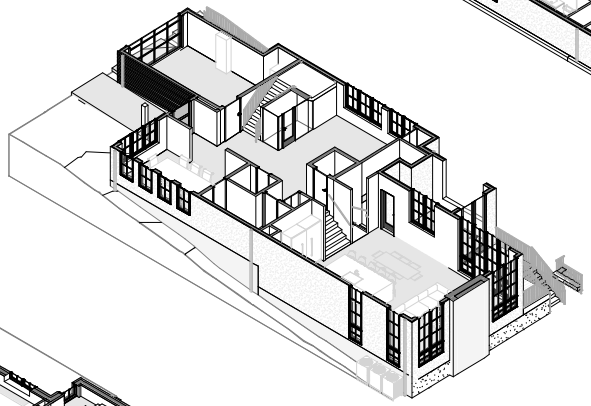
DISTRICT OF COLUMBIA TRACY CRAIG LICENSED ARCHITECT

PERSPECTIVE VIEWS

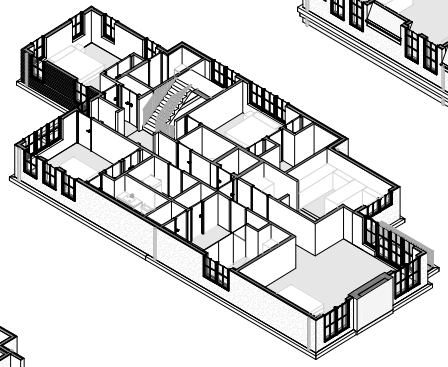
0006



1 CELLAR



2 1ST FLOOR



3 2ND FLOOR

4 3RD FLOOR

5 3D SECTION

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

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DISTRICT OF COLUMBIA TRACY CORNELL LICENSED ARCHITECT

3D PLAN VIEWS

0007

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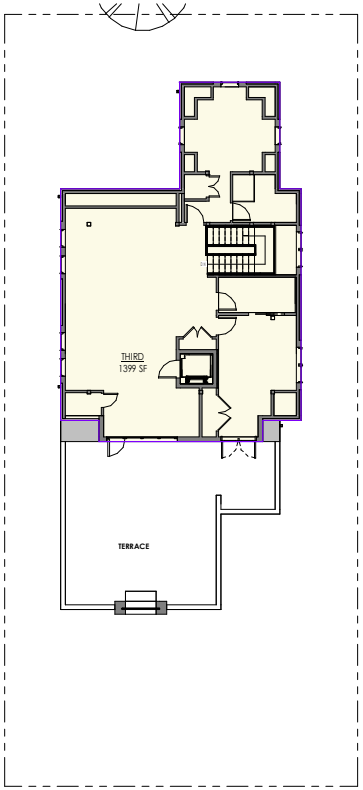
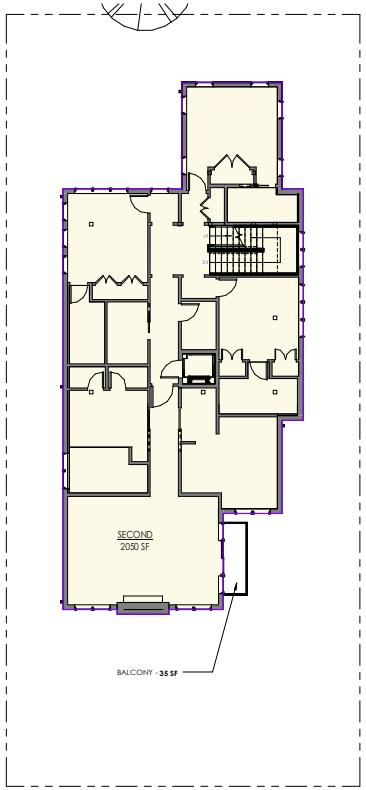
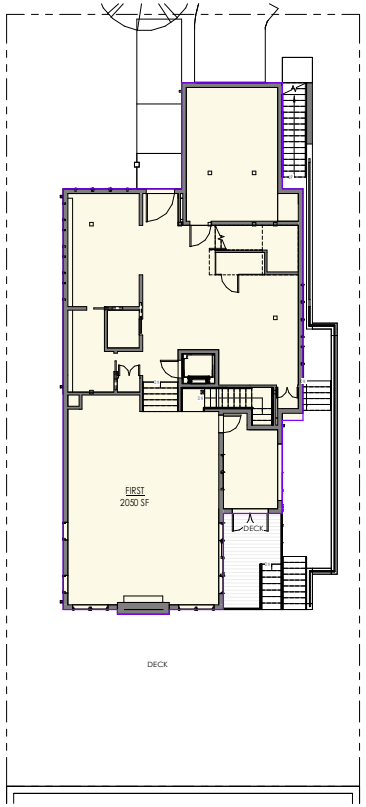


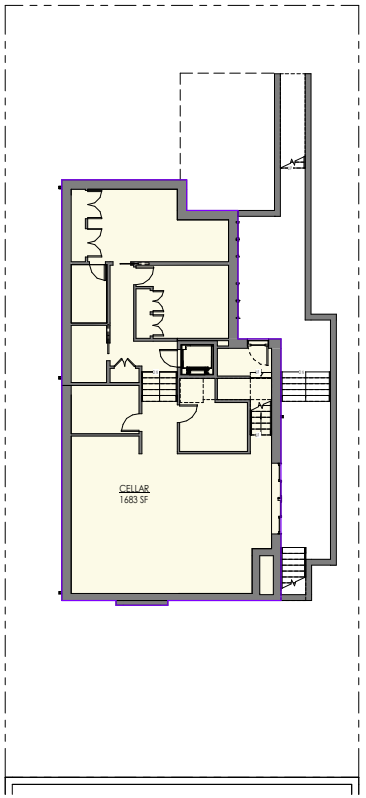
4 THIRD ZONING
1/8" = 1'-0"



3 SECOND ZONING
1/8" = 1'-0"



2 FIRST ZONING
1/8" = 1'-0"



1 CELLAR ZONING
1/8" = 1'-0"

PERIMETER WALL METHOD		LOT OCCUPANCY		GROSS AREA	
(A) MEASURE THE PORTIONS OF THE PERIMETER OF THE STORY BELOW THE FINISHED FLOOR OF THE GROUND FLOOR THAT ARE FIVE FEET (5 FT.) OR MORE ABOVE THE ADJACENT NATURAL OR FINISHED GRADE, WHICHEVER IS THE LOWER ELEVATION;	(A) 0' - 0' *NO PORTION OF CELLAR IS 5' OR MORE ABOVE ADJACENT GRADE.*	LOT AREA	5460 SF	BUILDING AREAS	
(B) MEASURE THE TOTAL PERIMETER OF THE STORY LOCATED BELOW THE FINISHED FLOOR OF THE GROUND FLOOR;	(B) 190'-0"	PROPOSED TOTAL BUILDING AREA:	**2,050 SF** +	CELLAR: 1ST FLOOR: 2ND FLOOR: 3RD FLOOR:	1,683 SF ** 2,050 SF 2,050 SF 1,399 SF
(C) DIVIDE THE DISTANCE OF THE RESULT OF PARAGRAPH (A) BY THE DISTANCE OF THE RESULT OF PARAGRAPH (B);	(C) 0 / 190'-0"	REAR DECK:	115 SF	**TOTAL AREA:**	**7,182 SF**
AND		TOTAL LOT OCC:	**2,165 SF (39.6%)**	** SEE PERIMETER WALL METHOD BREAKDOWN	
(D) MULTIPLY RESULT FROM PARAGRAPH (C) BY THE TOTAL FLOOR AREA OF THE STORY LOCATED BELOW THE FINISHED FLOOR OF THE GROUND FLOOR.	(D) GROSS FLOOR AREA OF CELLAR = 0 SF				

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA
TRACY CORNISH
LICENSED ARCHITECT

GROSS AREA

0008

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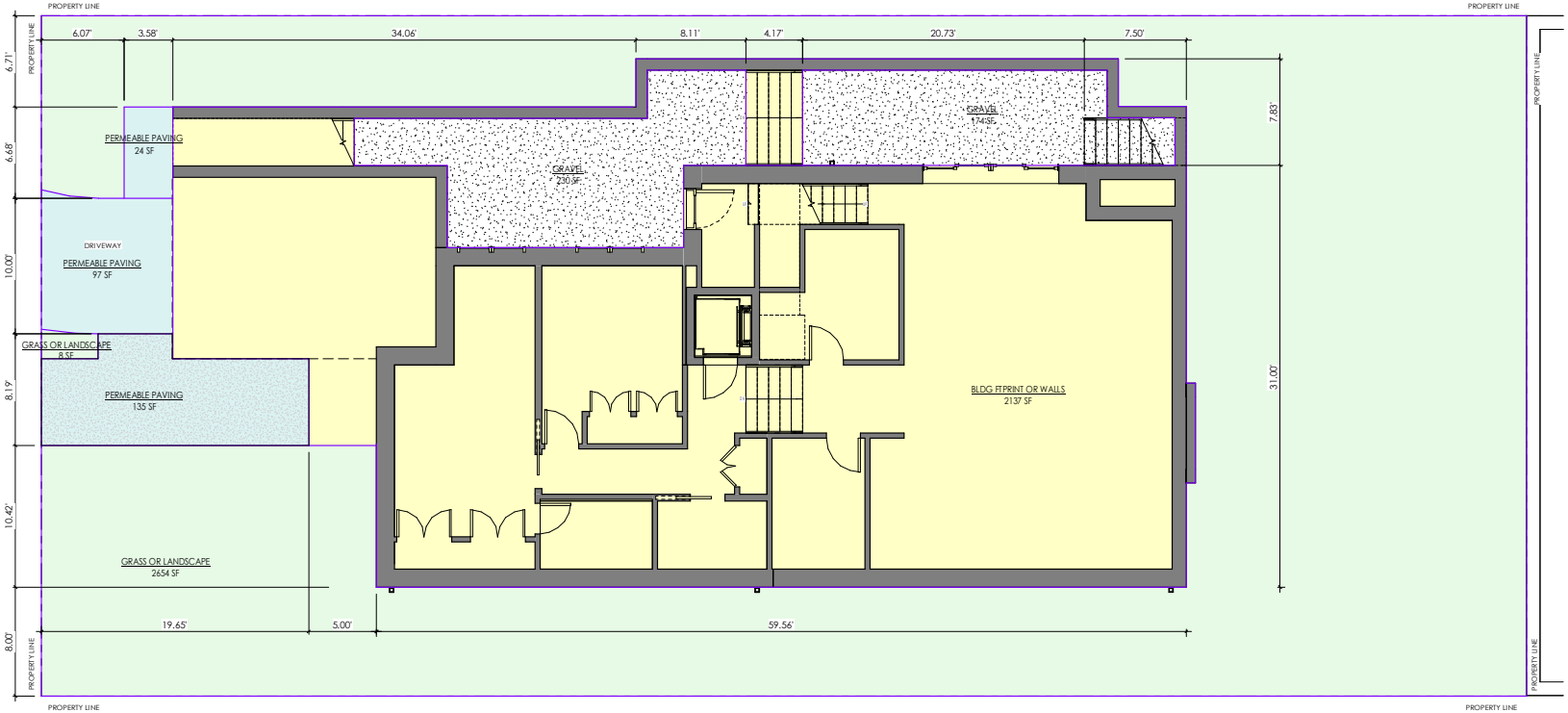


1 PERVIOUS / IMPERVIOUS DIAGRAM
1/4" = 1'-0"

PERVIOUS SURFACE TABLE

PERVIOUS SURFACE		
PERVIOUS / IMPERVIOUS	Name	Area
IMPERVIOUS	BLDG FTPRINT OR WALLS	2137 SF
		2137 SF
PERVIOUS	GRASS OR LANDSCAPE	2663 SF
PERVIOUS	GRAVEL	405 SF
PERVIOUS	PERMEABLE PAVING	256 SF
		3323 SF
Grand total		5461 SF

KEY

- BLDG FTPRINT OR WALLS
- GRASS OR LANDSCAPE
- GRAVEL
- PERM WD FLR ON GRAVEL
- PERMEABLE PAVING
- Calculating...

PERVIOUS AREA

LOT AREA	5,460 SF
PERVIOUS AREA:	
REQUIRED:	**2,730** SF // 50 %
PROVIDED: SEE ADJACENT TABLE	3,297 SF // 61 %
IMPERVIOUS: FOOTPRINT & WALLS CONC STAIRS	2,164 SF // 39 %

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

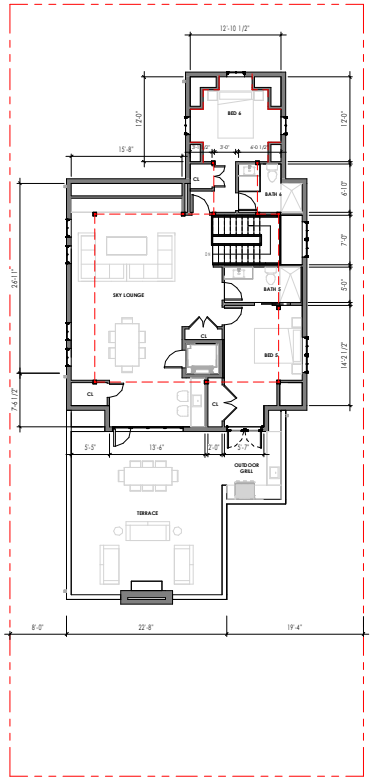
2024-0510

DISTRICT OF COLUMBIA TRACY CRAIG ARCHITECT LICENSED

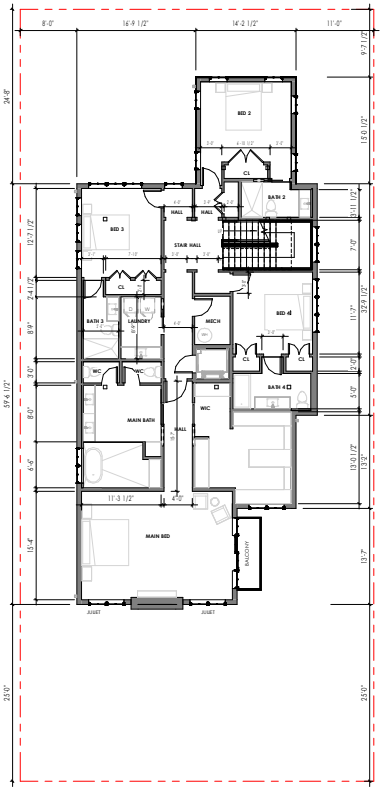
PERVIOUS AREA DIAGRAM

0009

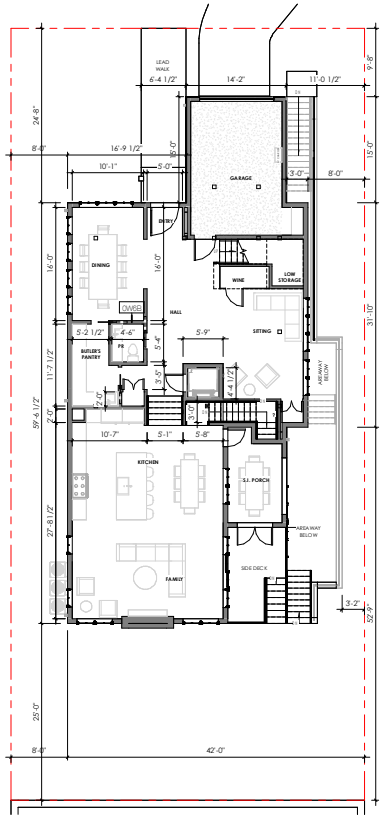
8/1/2024 3:57:41 PM



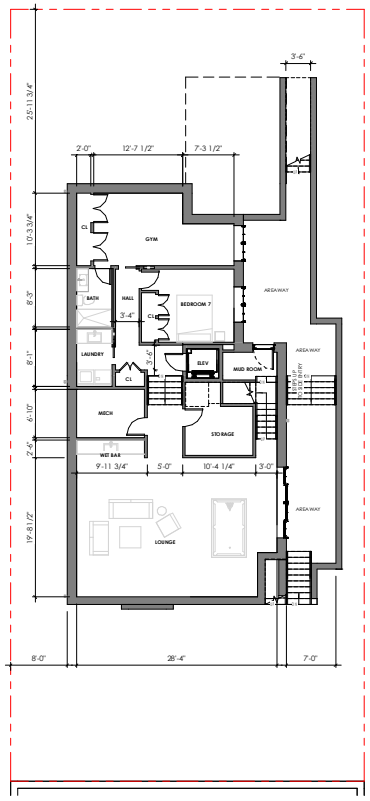
4 3RD FLOOR
1/8" = 1'-0"



3 2ND FLOOR
1/8" = 1'-0"



2 1ST FLOOR
1/8" = 1'-0"



1 CELLAR
1/8" = 1'-0"

GENERAL NOTES

A. GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BID. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BID TO TENANT.
B. ALL NEW WALLS ARE TYPE 0W4A UNLESS OTHERWISE NOTED . SEE **A001** FOR ALL WALL TYPES & **A800** FOR ASSEMBLY DETAILS
C. DIMENSIONS ARE FROM FINISH TO FINISH.
D. ALL WOOD USED FOR BLOCKING IN NON-RATED WALLS SHALL BE FIRE TREATED. ALL MATERIAL IN RATED WALLS SHALL MATCH RATED UL ASSEMBLY TYPE.
E. ALL CONFLICTS WITH THESE DOCUMENTS OCCURRING DURING CONSTRUCTION TO BE REPORTED TO 2PLYS.
F. CONSTRUCTION CHANGES TO THESE DOCUMENTS ARE TO BE PROVIDED TO THE OWNER AND ARCHITECT AFTER COMPLETION OF CONSTRUCTION, IN THE FORM OF A RED-LINED AS-BUILT SET OF DRAWINGS, NO MORE THAN 30 DAYS AFTER THE COMPLETION DATE.
G. FIRE TAPE & CAULK ALL PENETRATIONS IN RATED PARTITIONS, INCLUDING THOSE AROUND EXTRUDED ELEMENTS.
H. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC2406.3 SHALL BE SAFETY GLAZING, SEE WINDOW SCHEDULE.
I. TYPICAL CEILING & WALL FINISH IS PTD GYP, FLOOR IS HARDWOOD OR TILE WHERE INDICATED.

GREEN BUILDING NOTES

A. ALL GLAZING SHALL HAVE MAX SHGC OF **0.40**
B. ALL GLAZING SHALL HAVE A MAX. U-FACTOR OF: **0.30** AND **0.55** FOR SKYLIGHTS.
C. U-FACTORS AND SHGC OF FENESTRATION DETERMINED IN ACCORDANCE WITH N.F.R.C. 200
D. EXTERIOR INSULATION AT ENTIRE THERMAL ENVELOPE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
E. FENETRATION TO MEET AAMA/WDMA/CSA 101/I.S.2/A440 OR DOES NOT EXCEED CODE LIMITS PER N.F.R.C. 400.
F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS, FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS, EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC), NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, BASEMENT WALLS: R-15 CONTINUOUS, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

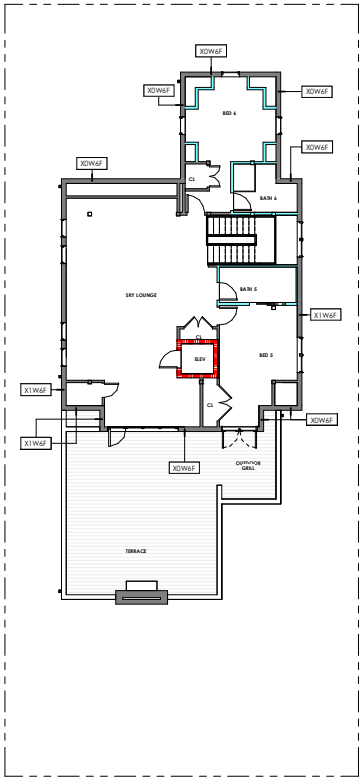
2024-0510

DISTRICT OF COLUMBIA TRACY CONNOR LICENSED ARCHITECT

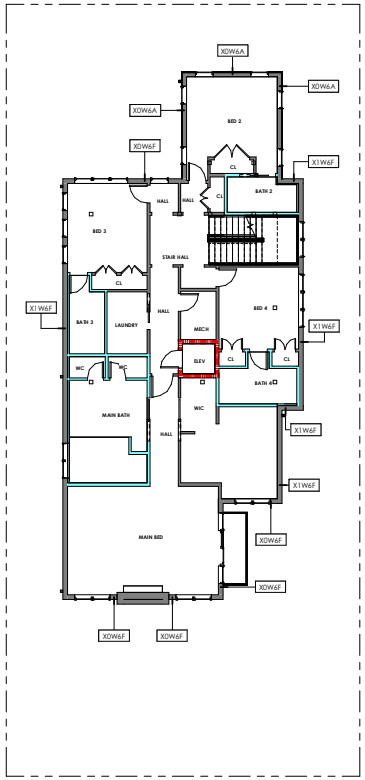
ALL PLANS

A001

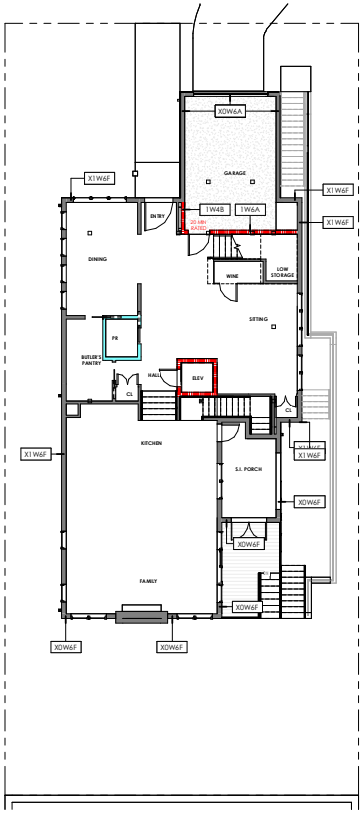
8/1/2024 3:57:48 PM



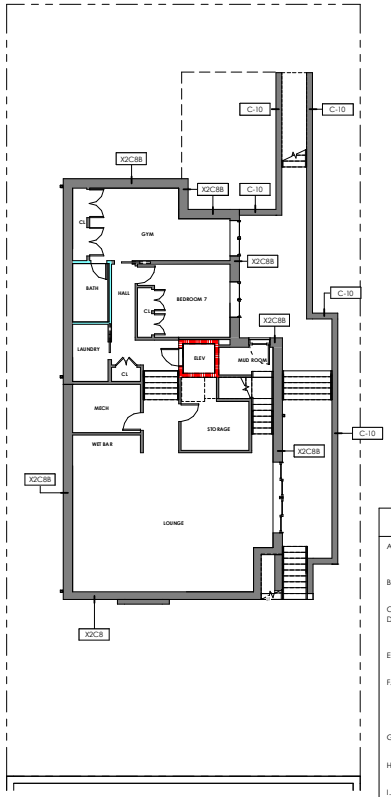
4 3RD FLOOR
1/8" = 1'-0"



3 2ND FLOOR
1/8" = 1'-0"



2 1ST FLOOR
1/8" = 1'-0"



1 CELLAR
1/8" = 1'-0"

WALL TYPE SCHEDULE

SEE ASSEMBLY PAGE, A800 SERIES FOR ADDITIONAL INFORMATION

Type Mark	Width	Description	Fire Rating	STC	Comments
Exterior					
BR-8	0' - 8"	EXISTING WALL VIF	2-HR RATED		
BR-12	1' - 0"	EXT. 4" BRICK WALL W/ 8" CMU BACKUP			
C-6	0' - 6"	CONCRETE WALL			
C-10	0' - 10"	CONCRETE WALL	2-HR RATED		
GL1	0' - 0 3/4"	GLASS RAIL			<varies>
X0W6A	0' - 8"	WD FRAME W/ HARDIE LAP SIDING			
X0W6F	0' - 8"	WD FRAME W/ STUCCO			
X1W6F	0' - 8"	WD FRAME W/ STUCCO	1-HR RATED		
Foundation					
X2C8	1' - 0 1/2"	CONCRETE FOUNDATION WALL W/ FURRING	2-HR RATED		<varies>
X2C8B	1' - 4"	BRICK ON CONCRETE FOUNDATION WALL W/ FURRING			
Interior					
0W1D	0' - 3 1/4"	WD FRAME FURRING WALL			
0W2B	0' - 2 1/2"	WD FRAME INTERIOR BATHROOM WALL			
0W2C	0' - 2"	WD FRAME INTERIOR WALL			
0W2D	0' - 4"	WD FRAME FURRING WALL			
0W4A	0' - 4 1/2"	TYPICAL PARTITION			
0W4B	0' - 4 1/2"	TYPICAL BATHROOM PARTITION			
0W4D	0' - 6"	WD FRAME INTERIOR WALL			
0W6A	0' - 6"	WD FRAME INTERIOR WALL			
0W6B	0' - 6"	WD FRAME INTERIOR BATHROOM WALL			
1W4B	0' - 6"	TYP STC RATED PARTITION	1-HR RATED	MIN 50 STC	
1W6A	0' - 7"	WIDE RATED PARTITION	1-HR RATED		<varies>

GENERAL NOTES

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G. FIRE TAPE & CAULK ALL PENETRATIONS IN RATED PARTITIONS, INCLUDING THOSE AROUND EXTRUDED ELEMENTS.
H. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC2406.3 SHALL BE SAFETY GLAZING, SEE WINDOW SCHEDULE.
I. TYPICAL CEILING & WALL FINISH IS PTD GYP, FLOOR IS HARDWOOD OR TILE WHERE INDICATED.

GREEN BUILDING NOTES

A. ALL GLAZING SHALL HAVE MAX SHGC OF **0.40**
B. ALL GLAZING SHALL HAVE A MAX. U-FACTOR OF: **0.30** AND **0.55** FOR SKYLIGHTS.
C. U-FACTORS AND SHGC OF FENESTRATION DETERMINED IN ACCORDANCE WITH N.F.R.C. 200
D. EXTERIOR INSULATION AT ENTIRE THERMAL ENVELOPE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
E. FENETRATION TO MEET AAMA/WDMA/CSA 101/I.S.2/A440 OR DOES NOT EXCEED CODE LIMITS PER N.F.R.C 400.
F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS. FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS. EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC). NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR. BASEMENT WALLS: R-15 CONTINUOUS. SLAB ON GRADE R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS - SEE ASSEMBLY PAGE FOR RATING. IF NO TAG, ASSUME TYP WALL 0W4A

TYPICAL BATHROOM PARTITION - 0W4B

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY CHAPMAN LICENSED ARCHITECT

WALL TYPE PLANS

A002

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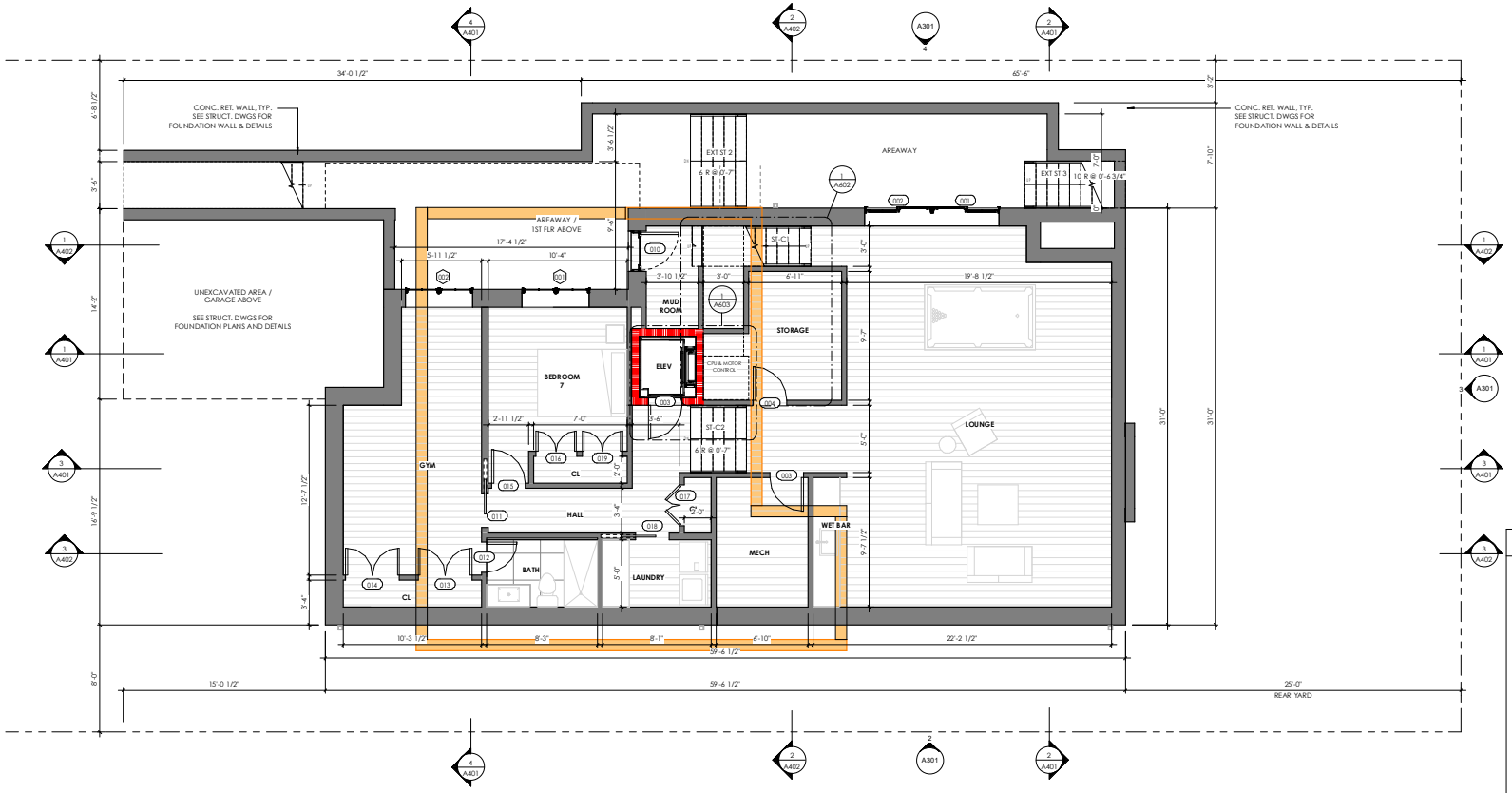

1 CELLAR LEVEL PROPOSED
1/4" = 1'-0"

GENERAL NOTES

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GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

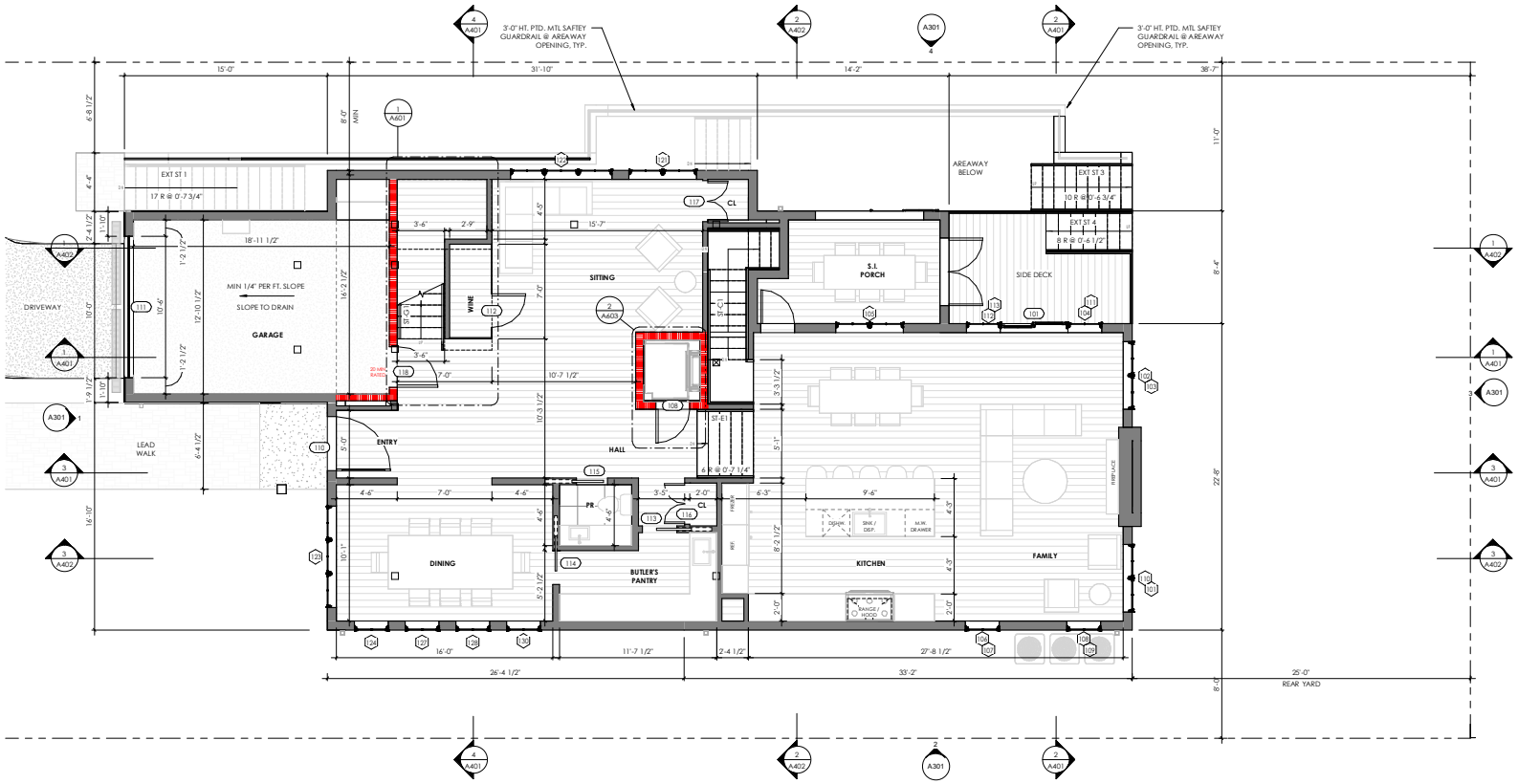
2024-0510

DISTRICT OF COLUMBIA TRACY CUNNIFF LICENSED ARCHITECT

PROPOSED CELLAR PLAN

A100

8/1/2024 3:58:06 PM



1 FIRST FLOOR PROPOSED
1/4" = 1'-0"

GENERAL NOTES

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H. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC2406.3 SHALL BE SAFETY GLAZING, SEE WINDOW SCHEDULE.
I. TYPICAL CEILING & WALL FINISH IS PTD GYP, FLOOR IS HARDWOOD OR TILE WHERE INDICATED.

GREEN BUILDING NOTES

A. ALL GLAZING SHALL HAVE MAX SHGC OF **0.40**
B. ALL GLAZING SHALL HAVE A MAX. U-FACTOR OF: **0.30** AND **0.55** FOR SKYLIGHTS.
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E. FENETRATION TO MEET AAMA/WDMA/CSA 101/I.S.2/A440 OR DOES NOT EXCEED CODE LIMITS PER N.F.R.C. 400.
F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS, FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS, EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC), NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, BASEMENT WALLS: R-15 CONTINUOUS, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR. 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

NO.	DESCRIPTION	DATE

PERMIT SUBMISSION

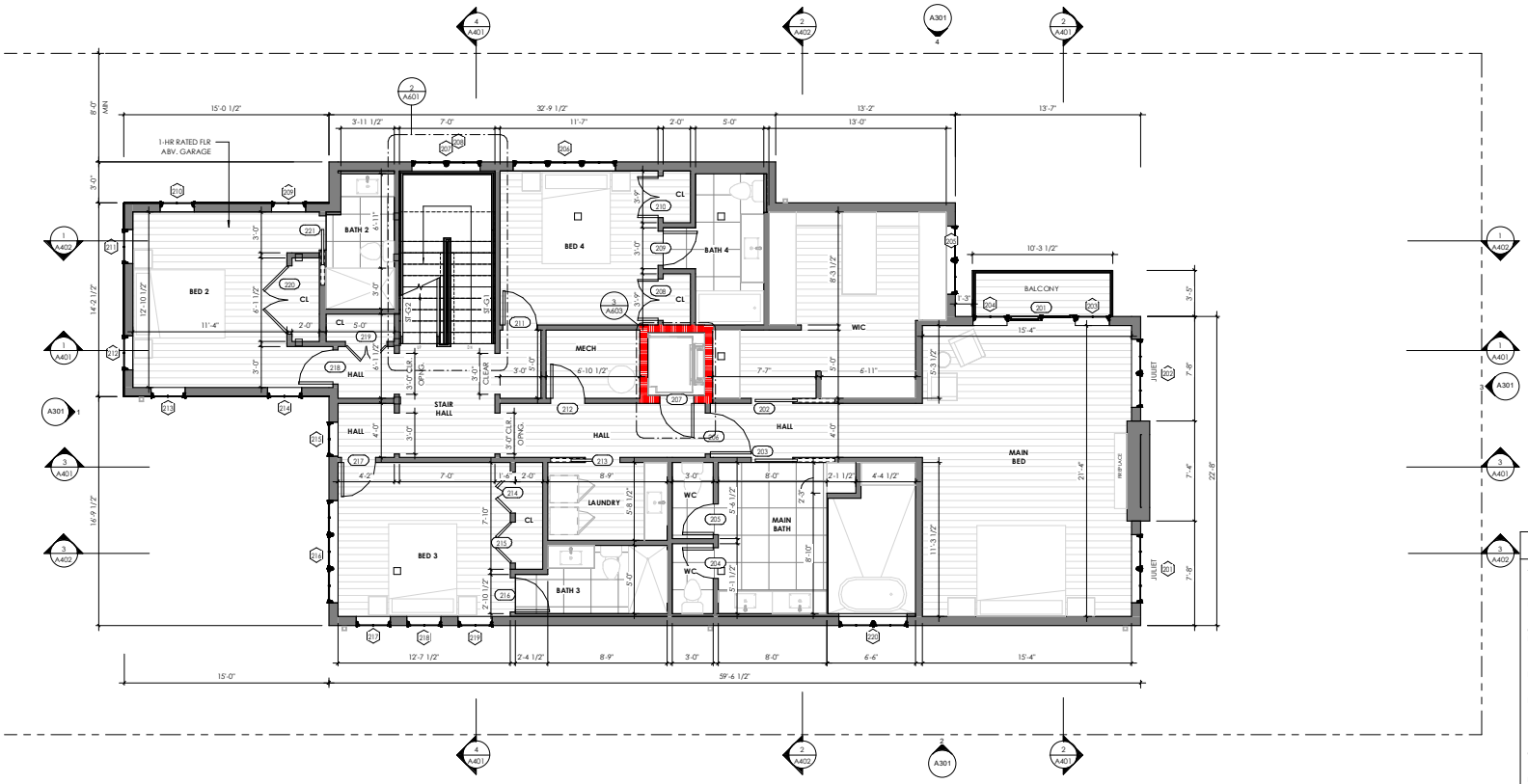
2024-0510

DISTRICT OF COLUMBIA TRACY CONNER LICENSED ARCHITECT

PROPOSED FIRST FLOOR PLAN

A101

8/1/2024 3:58:11 PM



1 SECOND FLOOR PROPOSED
1/4" = 1'-0"

GENERAL NOTES

A. GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BID. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BID TO TENANT.
B. ALL NEW WALLS ARE TYPE 0W4A UNLESS OTHERWISE NOTED . SEE **A001** FOR ALL WALL TYPES & **A800** FOR ASSEMBLY DETAILS
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H. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC2406.3 SHALL BE SAFETY GLAZING, SEE WINDOW SCHEDULE.
I. TYPICAL CEILING & WALL FINISH IS PTD GYP, FLOOR IS HARDWOOD OR TILE WHERE INDICATED.

GREEN BUILDING NOTES

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F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS, FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS, EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC), NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, BASEMENT WALLS: R-15 CONTINUOUS, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR. 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

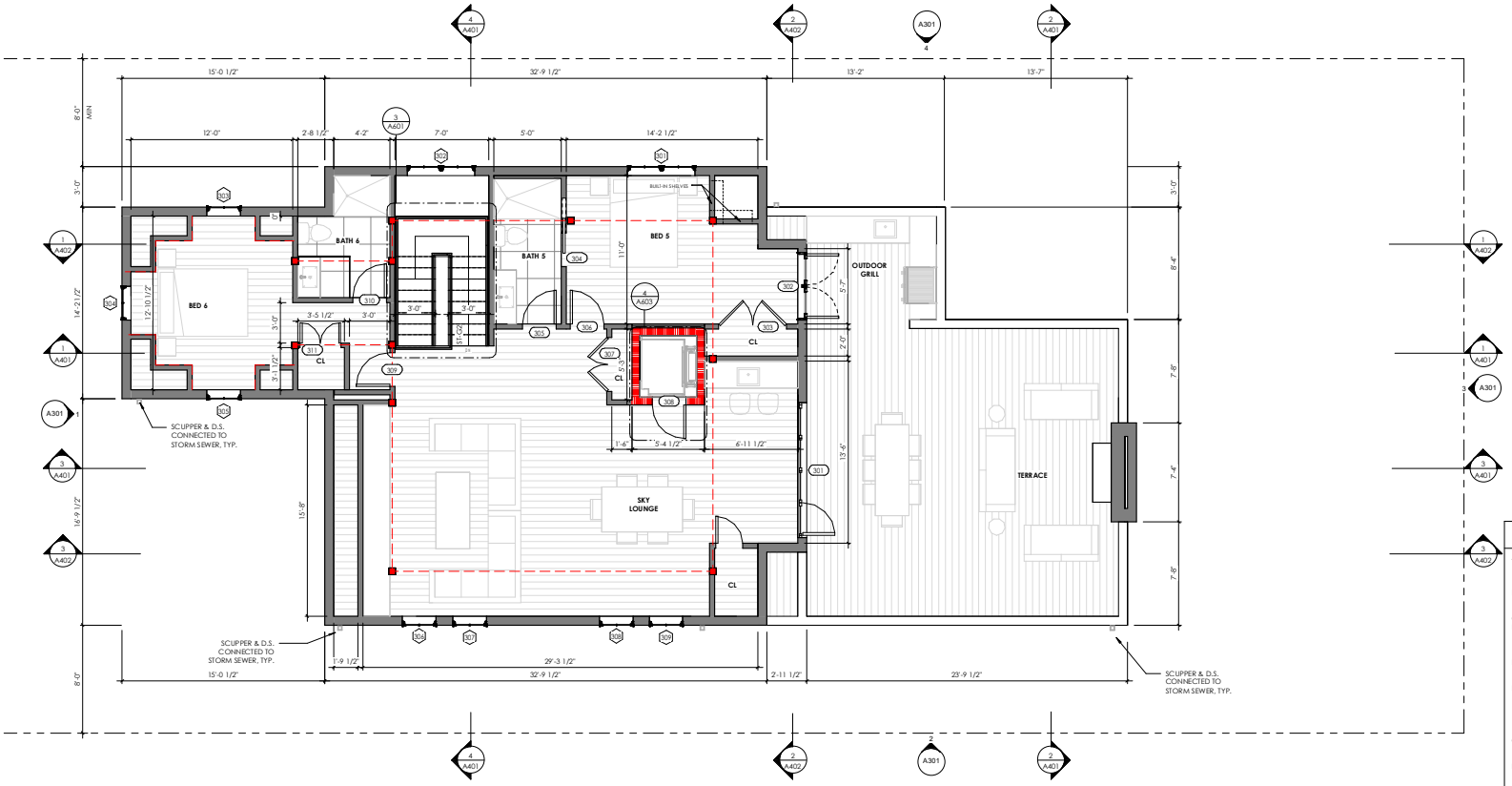
2024-0510

DISTRICT OF COLUMBIA TRACY CORMIER LICENSED ARCHITECT

PROPOSED SECOND FLOOR PLAN

A102

8/1/2024 3:58:18 PM



1 THIRD FLOOR PROPOSED
1/4" = 1'-0"

GENERAL NOTES

A. GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BID. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BID TO TENANT.
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F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS, FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS, EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC), NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, BASEMENT WALLS: R-15 CONTINUOUS, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

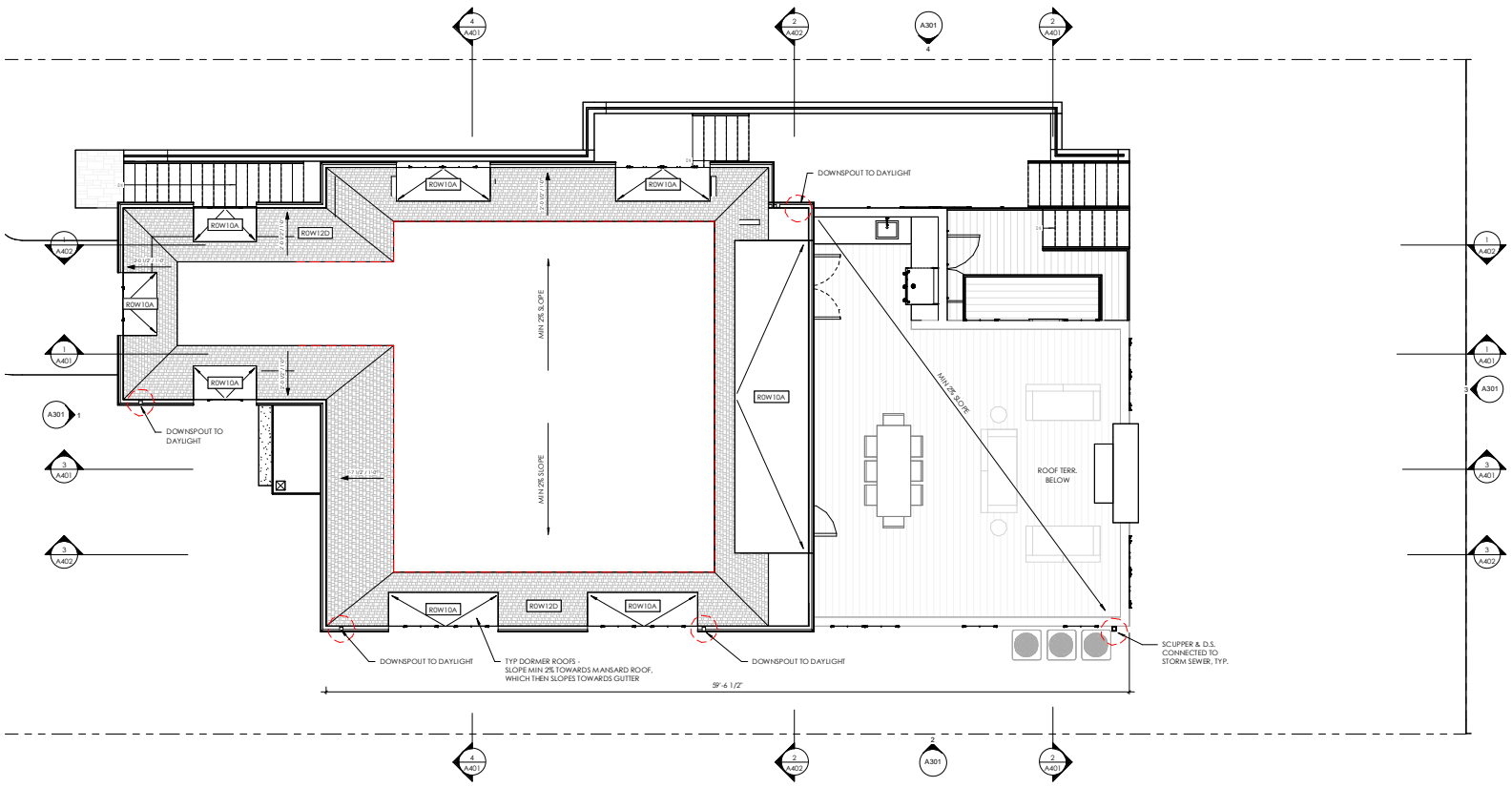
2024-0510

DISTRICT OF COLUMBIA TRACY CORRIGAN 21-0000 LICENSED ARCHITECT

PROPOSED THIRD FLOOR PLAN

A103

8/1/2024 3:58:23 PM



1 ROOF PLAN PROPOSED
1/4" = 1'-0"

GENERAL NOTES

A. GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BID. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BID TO TENANT.
B. ALL NEW WALLS ARE TYPE 0W4A UNLESS OTHERWISE NOTED . SEE **A001** FOR ALL WALL TYPES & **A800** FOR ASSEMBLY DETAILS
C. DIMENSIONS ARE FROM FINISH TO FINISH.
D. ALL WOOD USED FOR BLOCKING IN NON-RATED WALLS SHALL BE FIRE TREATED. ALL MATERIAL IN RATED WALLS SHALL MATCH RATED UL ASSEMBLY TYPE.
E. ALL CONFLICTS WITH THESE DOCUMENTS OCCURRING DURING CONSTRUCTION TO BE REPORTED TO 2PLYS.
F. CONSTRUCTION CHANGES TO THESE DOCUMENTS ARE TO BE PROVIDED TO THE OWNER AND ARCHITECT AFTER COMPLETION OF CONSTRUCTION, IN THE FORM OF A RED-LINED AS-BUILT SET OF DRAWINGS, NO MORE THAN 30 DAYS AFTER THE COMPLETION DATE.
G. FIRE TAPE & CAULK ALL PENETRATIONS IN RATED PARTITIONS, INCLUDING THOSE AROUND EXTRUDED ELEMENTS.
H. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC2406.3 SHALL BE SAFETY GLAZING, SEE WINDOW SCHEDULE.
I. TYPICAL CEILING & WALL FINISH IS PTD GYP, FLOOR IS HARDWOOD OR TILE WHERE INDICATED.

GREEN BUILDING NOTES

A. ALL GLAZING SHALL HAVE MAX SHGC OF **0.40**
B. ALL GLAZING SHALL HAVE A MAX. U-FACTOR OF: **0.30** AND **0.55** FOR SKYLIGHTS.
C. U-FACTORS AND SHGC OF FENESTRATION DETERMINED IN ACCORDANCE WITH N.F.R.C. 200
D. EXTERIOR INSULATION AT ENTIRE THERMAL ENVELOPE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
E. FENETRATION TO MEET AAMA/WDMA/CSA 101/I.S.2/A440 OR DOES NOT EXCEED CODE LIMITS PER N.F.R.C. 400.
F. R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS: ROOFS - CEILING ASSEMBLIES: R-39 IN CAVITY + R-15 CONTINUOUS, FRAMED FLOOR: R25 CAVITY + R-5 CONTINUOUS, EXISTING EXTERIOR WALL: MAX U-FACTOR 0.06 (SEE ASSEMBLY DETAIL 04WC), NEW EXTERIOR WALLS ABOVE GRADE & RIM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, BASEMENT WALLS: R-15 CONTINUOUS, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT. **(SEE ENERGY VERIFICATION NOTES SHEET 0004)**

GRAPHIC LEGEND

INTERIOR, 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

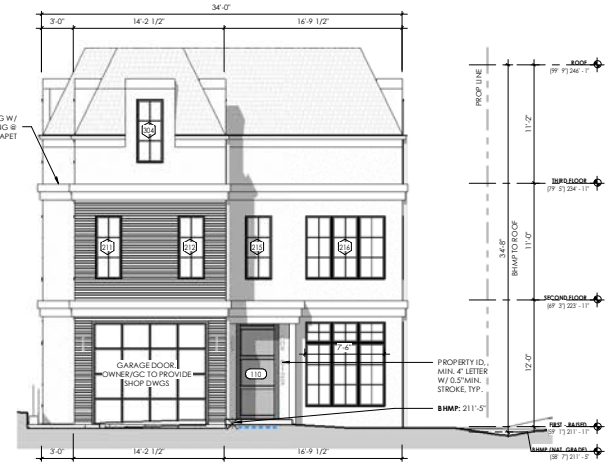
DISTRICT OF COLUMBIA TRACY CRAIGE LICENSED ARCHITECT

PROPOSED ROOF PLAN

A104

8/1/2024 3:58:28 PM

2 WEST ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION (NORTH)
3/16" = 1'-0"

SEE **SHEET A401** FOR BUILDING ENVELOPE AND GREEN BUILDING NOTES

SEE **SHEET A900 & A901** FOR TYPICAL DOOR/WINDOW DETAILS

4 EAST ELEVATION
3/16" = 1'-0"

3 REAR ELEVATION (SOUTH)
3/16" = 1'-0"

8/1/2024 3:58:38 PM

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

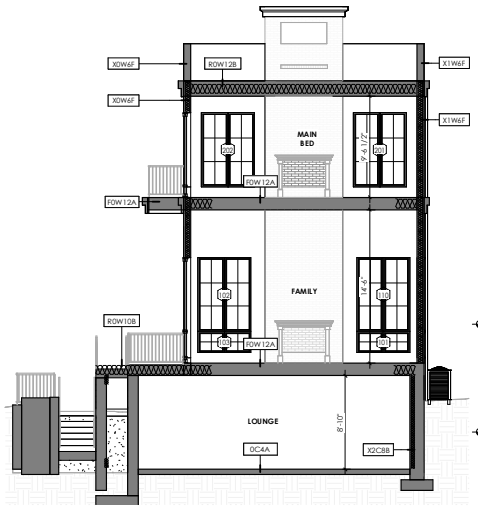
PERMIT SUBMISSION		
NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY A. STONE LICENSED ARCHITECT

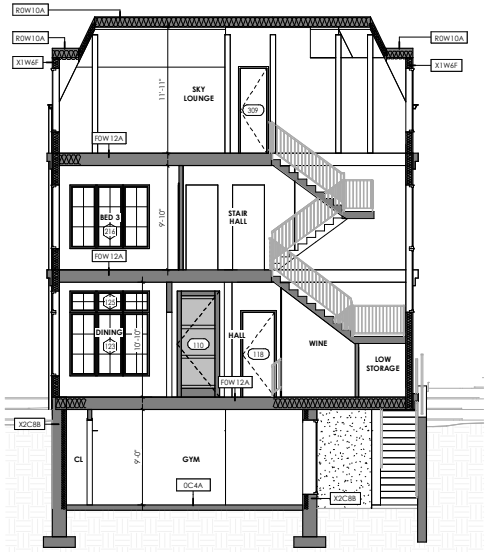
PROPOSED ELEVATIONS

A301



2 CROSS SECTION 1 Copy 1
3/16" = 1'-0"

1 LONGITUDINAL SECTION 1 Copy 1
3/16" = 1'-0"



4 CROSS SECTION 2 Copy 1
3/16" = 1'-0"

3 LONGITUDINAL SECTION 2 Copy 1
3/16" = 1'-0"

BUILDING ENVELOPE NOTES

AIR BARRIER AND INSULATION INSTALLATION:

AIR BARRIER AND THERMAL BARRIER
A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. AIR BARRIER SHALL NOT EXCEED AN AIR LEAKAGE RATE OF .04 CFM / FT2

CEILING / ATTIC
THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.

WALLS
CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.

WINDOWS, SKYLIGHTS AND DOORS
THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

RIM JOISTS
RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.

FLOORS (INCLUDING CANTILEVERED FLOORS)
INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

CRAWL SPACE WALLS:
WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.

SHAFTS, PENETRATIONS
DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

NARROW CAVITIES
BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.

GARAGE SEPARATION
AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

RECESSED LIGHTING
RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.

PLUMBING AND WIRING:
BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

SHOWER/TUB ON EXTERIOR WALL
EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.

ELECTRICAL/PHONE BOX ON EXTERIOR WALLS
THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

HVAC REGISTER BOOTS.
HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

FIREPLACE.
AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.

THERMAL ENVELOPE
CONTRACTOR TO INSTALL AIR BARRIER & INSULATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

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GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

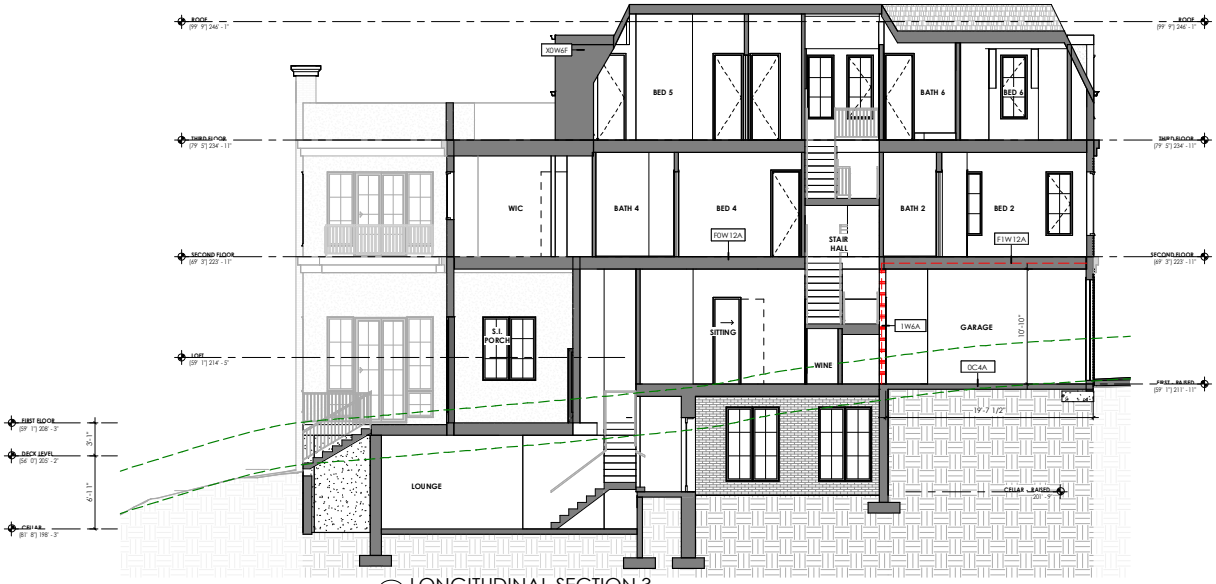
2024-0510

DISTRICT OF COLUMBIA TRACY ZUBER LICENSED ARCHITECT

BUILDING SECTIONS

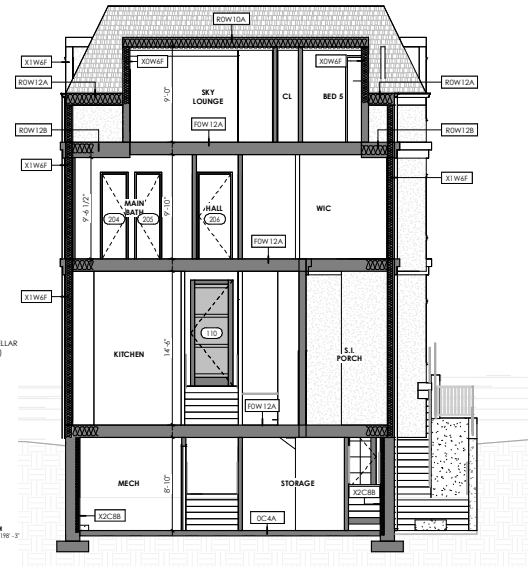
A401

8/1/2024 3:58:47 PM



1 LONGITUDINAL SECTION 3
3/16" = 1'-0"

3 LONGITUDINAL SECTION 4
3/16" = 1'-0"



2 CROSS SECTION 4
3/16" = 1'-0"

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GRAPHIC LEGEND

INTERIOR 1-HR FIRE SEPARATION WALLS PER IBC 708.

NEW WALLS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 11 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

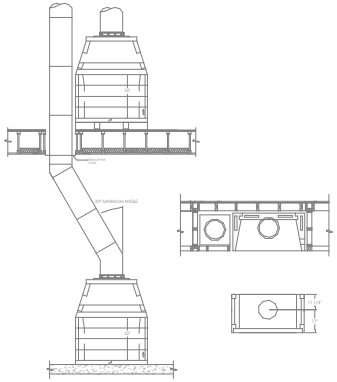
2024-0510

DISTRICT OF COLUMBIA
TRACY ZUMWALT
LICENSED ARCHITECT

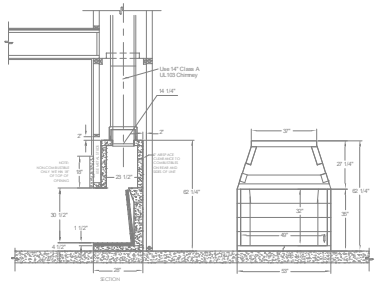
BUILDING SECTIONS

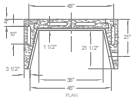
A402

8/1/2024 3:58:55 PM

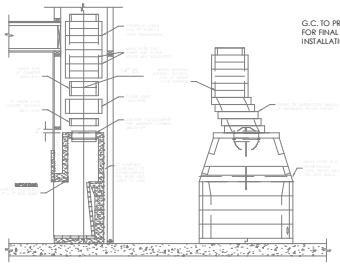


TYPICAL FIREPLACE STACKING DETAIL





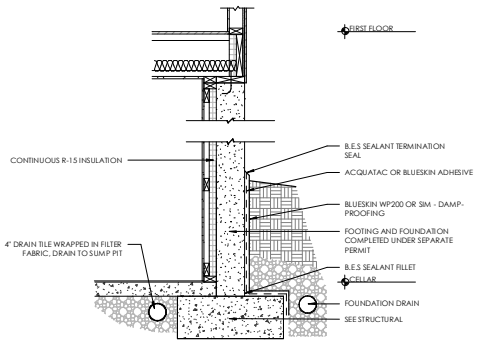
TYPICAL 48 INCH MASONRY FIREPLACE



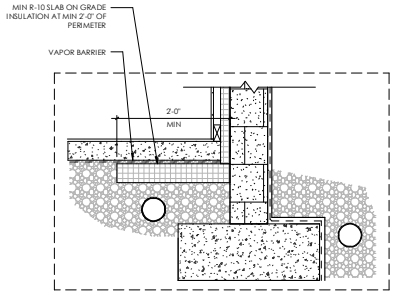
G.C. TO PROVIDE SHOP DRAWINGS FOR FINAL FIREPLACE AND CHIMNEY INSTALLATION.

TYPICAL MASONRY CHIMNEY DETAIL

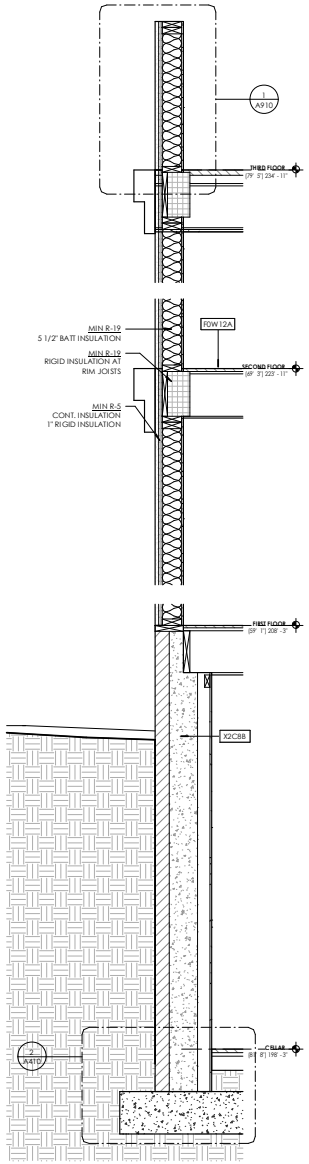
4 A - TYPICAL MASONRY CHIMNEY DETAILS
3/8" = 1'-0"



3 FOUNDATION WATERPROOFING DETAIL
3/4" = 1'-0"



2 INSULATION AT SLAB ON GRADE
1" = 1'-0"



5 TYP WALL SECTION 1
3/4" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY CORNUM LICENSED ARCHITECT

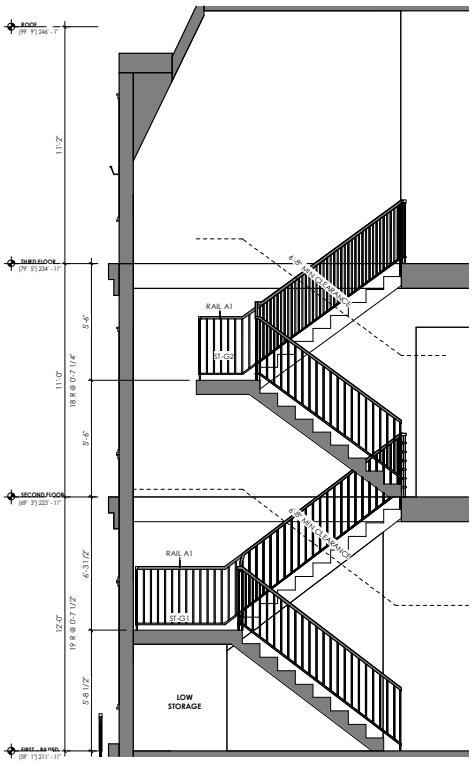
WALL SECTIONS

A410

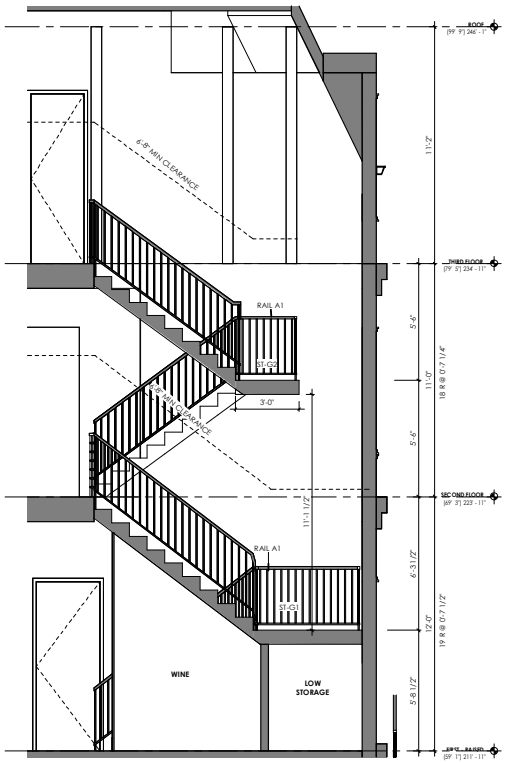
DRAWN BY:
8/1/2024 3:59:01 PM

STAIR SCHEDULE

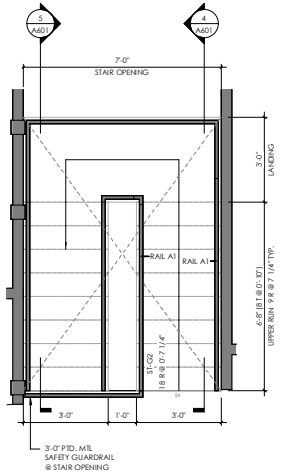
NAME	Actual Riser Height	Actual Tread Depth	Base Level	Comments
Exterior				
EXT ST 1	0 - 7 3/4"	0 - 10"	CELLAR - RAISED	CAST-IN PLACE CONC. STAIR
EXT ST 2	0 - 7"	0 - 10"	CELLAR	CAST-IN PLACE CONC. STAIR
EXT ST 3	0 - 6 3/4"	0 - 10"	CELLAR	CAST-IN PLACE CONC. STAIR
EXT ST 4	0 - 6 1/2"	0 - 11"	CELLAR - RAISED	
Interior				
ST-C1	0 - 7 1/2"	0 - 10"	CELLAR	
ST-C1B	0 - 5 1/4"	0 - 10"	CELLAR - RAISED	
ST-C2	0 - 7"	0 - 10"	CELLAR	
ST-E1	0 - 7 1/4"	0 - 10"	FIRST FLOOR	
ST-G1	0 - 7 1/2"	0 - 10"	FIRST - RAISED	
ST-G2	0 - 7 1/4"	0 - 10"	SECOND FLOOR	



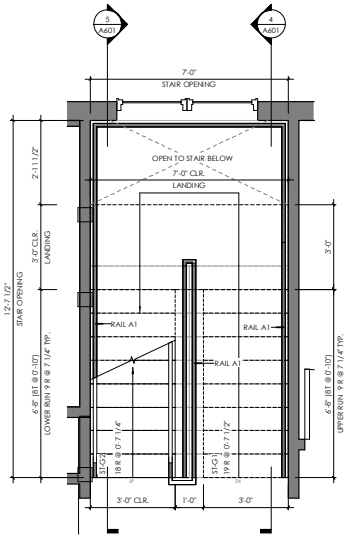
5 STAIR SECTION 2 - G
3/8" = 1'-0"



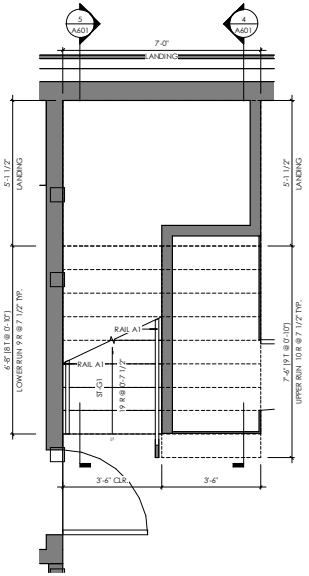
4 STAIR SECTION 1 - G
3/8" = 1'-0"



3 STAIR G - 3RD FLR
1/2" = 1'-0"



2 STAIR G - 2ND FLR
1/2" = 1'-0"



1 STAIR G - 1ST FLR
1/2" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION			
NO.	DESCRIPTION	DATE	

2024-0510

DISTRICT OF COLUMBIA
TRACY CRAIG
LICENSED ARCHITECT

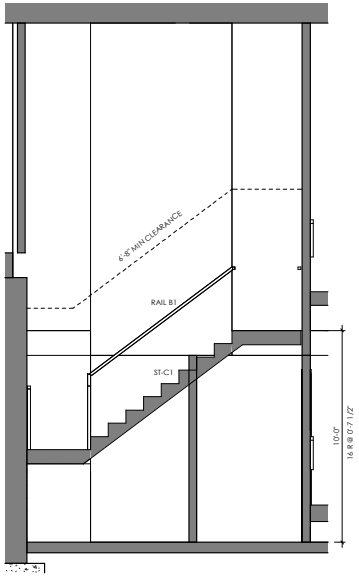
ENLARGED STAIRS

A601

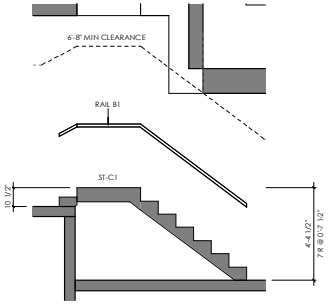
8/1/2024 3:59:08 PM

STAIR SCHEDULE

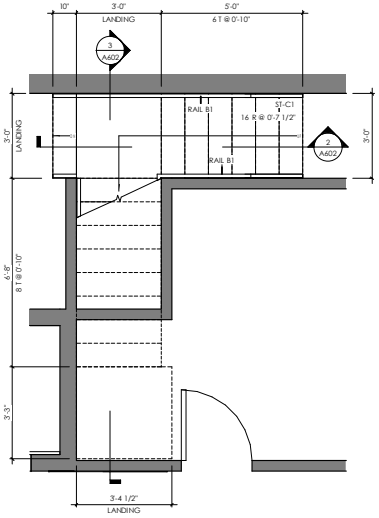
NAME	Actual Riser Height	Actual Tread Depth	Base Level	Comments
Exterior				
EXT ST 1	0 - 7 3/4"	0 - 10"	CELLAR - RAISED	CAST-IN PLACE CONC. STAIR
EXT ST 2	0 - 7"	0 - 10"	CELLAR	CAST-IN PLACE CONC. STAIR
EXT ST 3	0 - 6 3/4"	0 - 10"	CELLAR	CAST-IN PLACE CONC. STAIR
EXT ST 4	0 - 6 1/2"	0 - 11"	CELLAR - RAISED	
Interior				
ST-C1	0 - 7 1/2"	0 - 10"	CELLAR	
ST-C1B	0 - 5 1/4"	0 - 10"	CELLAR - RAISED	
ST-C2	0 - 7"	0 - 10"	CELLAR	
ST-E1	0 - 7 1/4"	0 - 10"	FIRST FLOOR	
ST-G1	0 - 7 1/2"	0 - 10"	FIRST - RAISED	
ST-G2	0 - 7 1/4"	0 - 10"	SECOND FLOOR	



3 STAIR SECTION 2 - C1
3/8" = 1'-0"



2 STAIR SECTION C1
3/8" = 1'-0"



1 ST-C1 ENLARGED PLAN
1/2" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA
TRACY CORUM
LICENSED ARCHITECT

ENLARGED STAIRS

A602

8/1/2024 3:59:13 PM

RESIDENTIAL ELEVATOR

BASIS OF DESIGN: INCLINATOR ELEVETTE - MACHINE ROOMLESS (MRL) OVERHEAD

CABLE DRUM OR SIM. SEE SUPPORTING DOCS FOR ELEVATOR SPECS.

HOISTWAY CLR: 49"D x 52.75"W

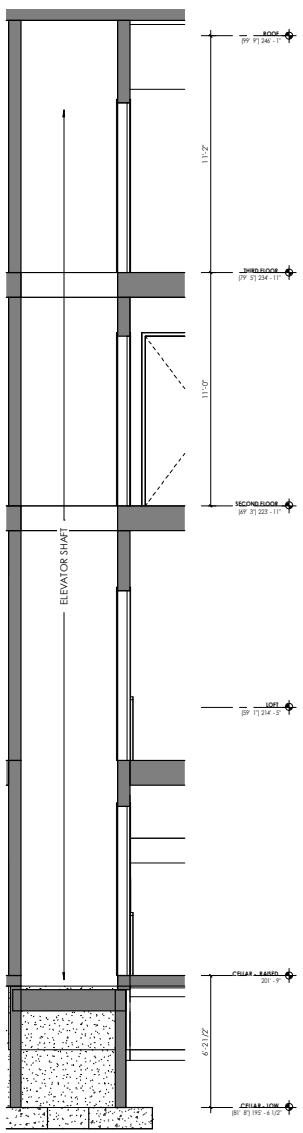
MAX. SPEED: 30 FPM

TRAVEL DIST: UP TO 40 FT

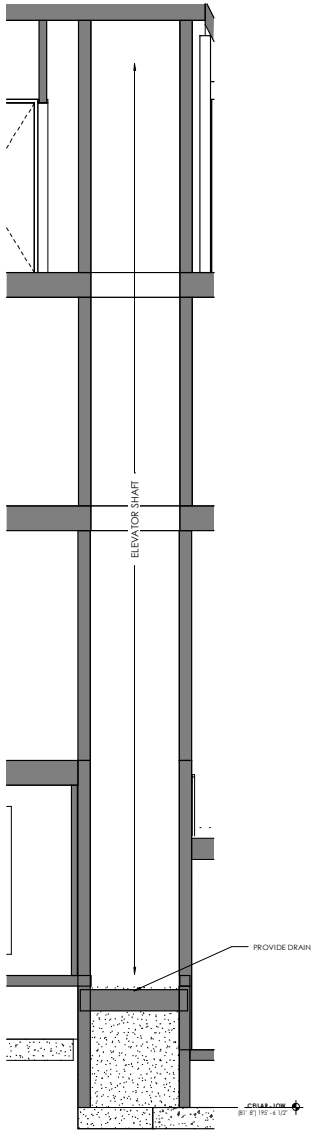
CAPACITY: 1,000 LBS

MIN. PIT DEPTH: 8"

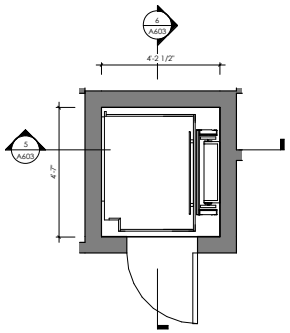
NOTE: WHERE PROVIDED, PASSENGER ELEVATORS, LIMITED-USE AND LIMITED-APPLICATION ELEVATORS OR PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1/CSA B44.



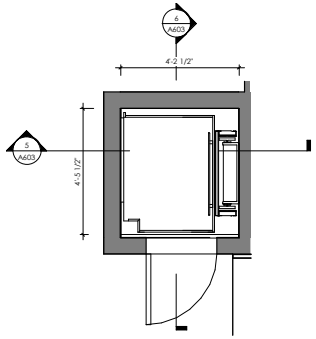
6 ELEV SECTION 2
3/8" = 1'-0"



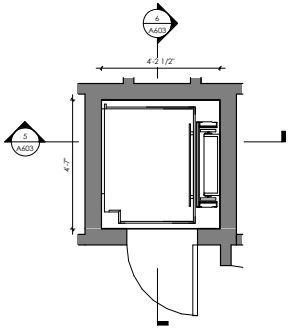
5 ELEV SECTION 1
3/8" = 1'-0"



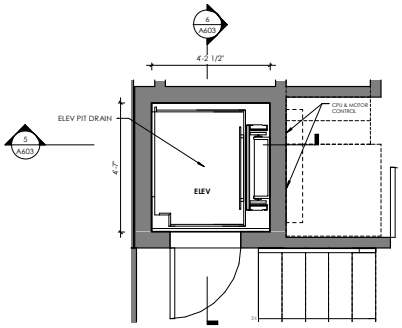
4 ELEV PLAN - ENLARGED THIRD
1/2" = 1'-0"



2 ELEV PLAN - ENLARGED FIRST
1/2" = 1'-0"



3 ELEV PLAN - ENLARGED SECOND
1/2" = 1'-0"



1 ELEV PLAN - ENLARGED CELLAR
1/2" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

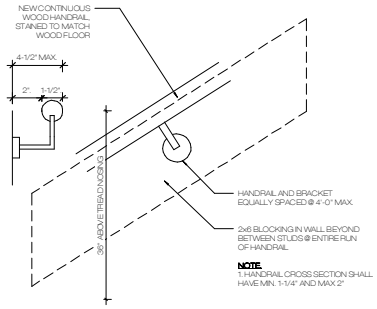
2024-0510

DISTRICT OF COLUMBIA TRACY CORNUM 0001 LICENSED ARCHITECT

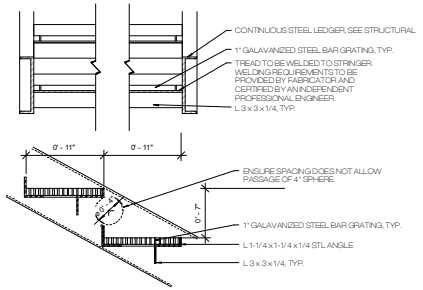
ENLARGED ELEVATOR

A603

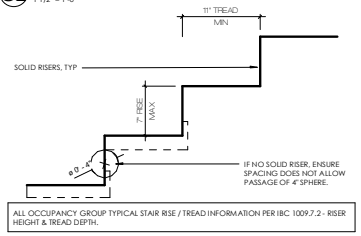
8/1/2024 3:59:18 PM



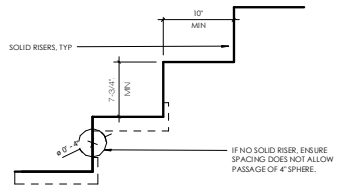
C3 DETAILS - HANDRAIL WALL MOUNT DETAIL
1" = 1'-0"



C2 EXTERIOR STAIR
1 1/2" = 1'-0"

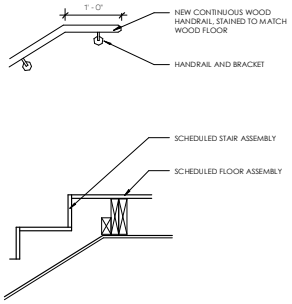


ALL OCCUPANCY GROUP TYPICAL STAIR RISE / TREAD INFORMATION PER IBC 1009.7.2 - RISER HEIGHT & TREAD DEPTH.

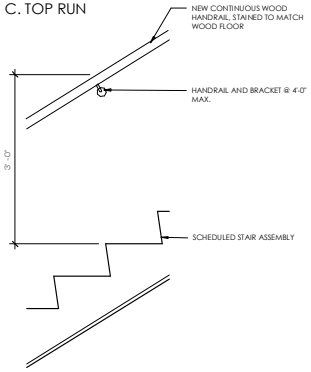


EXCEPTION PER IBC 1009.7.2 - OCCUPANCY GROUP R-3 AND WITHIN R-2 DWELLING UNITS.

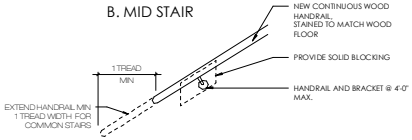
C1 STAIR RISER / TREAD DETAIL
1 1/2" = 1'-0"

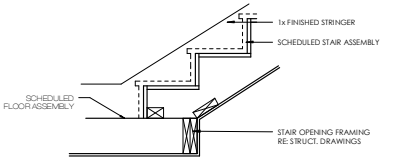


C. TOP RUN



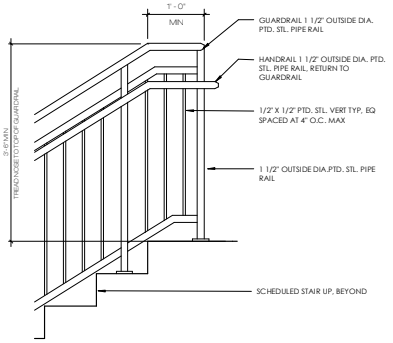
B. MID STAIR



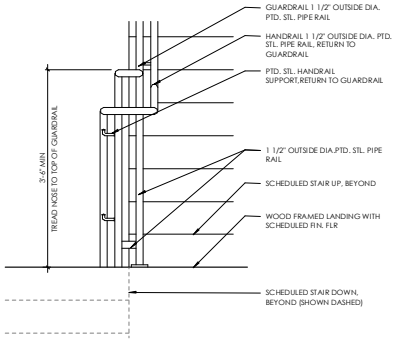


C. BOTTOM RUN

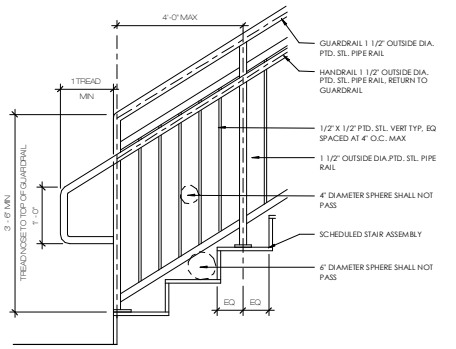
B1 TYPICAL WALL MTD HANDRAIL
1" = 1'-0"



C. TOP RUN

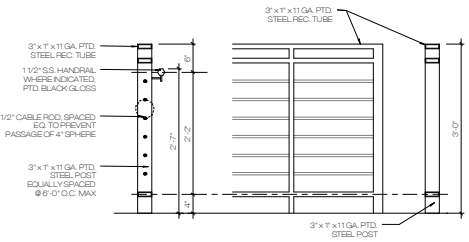


B. SWITCH BACK LANDING



C. BOTTOM RUN

A1 GUARDRAIL @ TYPICAL STAIRS
1" = 1'-0"



D1 TYPICAL METAL GUARDRAIL DETAIL
1" = 1'-0"

8/1/2024 3:59:23 PM

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

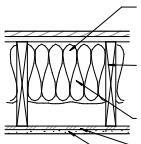
2024-0510

DISTRICT OF COLUMBIA TRACY CRAIG ARCHITECT LICENSED

STAIR & RAIL DETAILS

A610

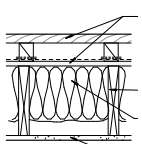
FLOOR, CEILING, ROOF ASSEMBLIES



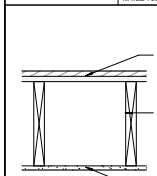
ALTERNATE 1-HR / STC 50+
UL FLOOR SYSTEMS:
L502 L515
L533 L545
L590

USE UL L570 FOR ENG I JST.

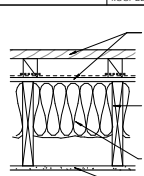
F1W12A — 1-HR — U.L. NO. L569 — RATED FLOOR W/ INSULATION



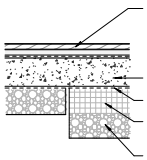
R0W10B — 0 HOUR — ROOF DECK ASSEMBLY - DECKING



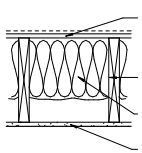
F0W12A — 0 HOUR — TYPICAL FLOOR



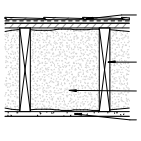
R0W12B — 0 HOUR — ROOF DECK ASSEMBLY - DECKING



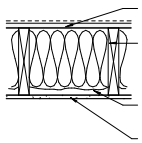
0C4A — 0 HOUR — SLAB ON GRADE



R0W12A — 0 HOUR — TPO ROOF ASSEMBLY

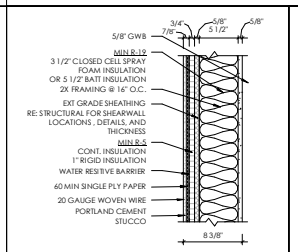


R0W12D — 0 HOUR — SHINGLE ROOF - UNVENTED

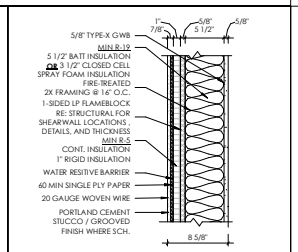


R0W10A — 0 HOUR — TPO ROOF ASSEMBLY

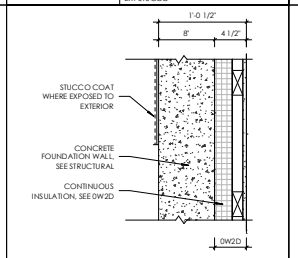
EXTERIOR WALL ASSEMBLIES



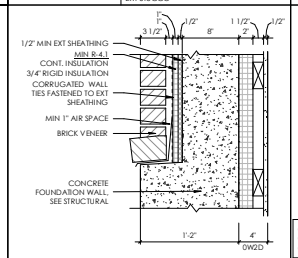
X0W6F — 0 HOUR — EXT STUCCO



X1W6F — 1 HOUR — U.L. DESIGN NO. U355 — EXT STUCCO



X2C8 — 2 HOUR (BY CONC THICKNESS) — CONC FOUNDATION WALL

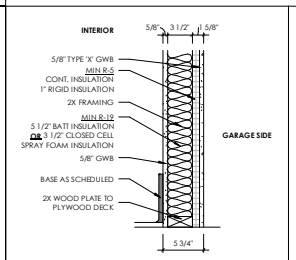


X2C8B — 2 HOUR (BY CONC THICKNESS) — BRICK & CONC FOUND WALL W/ FURR

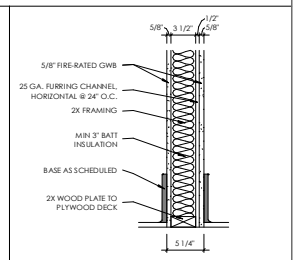
WALL TYPE SCHEDULE

Type Mark	Width	Description	Fire Rating	STC	Comments
Exterior					
BR-8	0' - 8"	EXISTING WALL VIF	2-HR RATED		
BR-12	1' - 0"	EXT. 4" BRICK WALL W/ 8" CMU BACKUP			
C-6	0' - 6"	CONCRETE WALL			
C-10	0' - 10"	CONCRETE WALL	2-HR RATED		
GL1	0' - 0 3/4"	GLASS RAIL			
XDW6A	0' - 8"	WD FRAME W/ HARDIE LAP SIDING			
XDW6F	0' - 8"	WD FRAME W/ STUCCO			
X1W6F	0' - 8"	WD FRAME W/ STUCCO	1-HR RATED		
Foundation					
X2C8	1' - 0 1/2"	CONCRETE FOUNDATION WALL W/ FURRING	2-HR RATED		
X2C8B	1' - 4"	BRICK ON CONCRETE FOUNDATION WALL W/ FURRING			
Interior					
0W1D	0' - 3 1/4"	WD FRAME FURRING WALL			
0W2B	0' - 2 1/2"	WD FRAME INTERIOR BATHROOM WALL			
0W2C	0' - 2"	WD FRAME INTERIOR WALL			
0W2D	0' - 4"	WD FRAME FURRING WALL			
0W4A	0' - 4 1/2"	TYPICAL PARTITION			
0W4B	0' - 4 1/2"	TYPICAL BATHROOM PARTITION			
0W4D	0' - 6"	WD FRAME INTERIOR WALL			
0W6A	0' - 6"	WD FRAME INTERIOR WALL			
0W6B	0' - 6"	WD FRAME INTERIOR BATHROOM WALL			
1W4B	0' - 6"	TYP STC RATED PARTITION	1-HR RATED	MIN 50 STC	
1W6A	0' - 7"	WIDE RATED PARTITION	1-HR RATED		

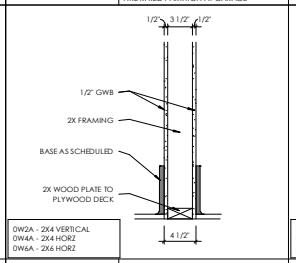
INTERIOR WALL ASSEMBLIES



1W4A — 1 HOUR — U.L. DESIGN NO. U305 — FIRE RATED PARTITION AT GARAGE

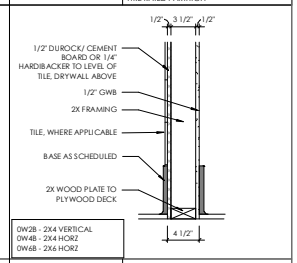


1W4B — 1 HOUR / STC 52 — U.L. DESIGN NO. U311 — FIRE RATED PARTITION



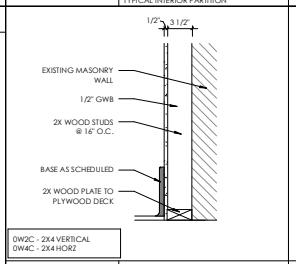
0W2A - 2X4 VERTICAL
0W4A - 2X4 HORZ
0W6A - 2X6 HORZ

0W4A — 0 HR — TYPICAL INTERIOR PARTITION



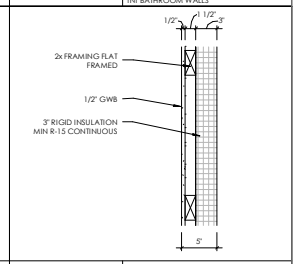
0W2B - 2X4 VERTICAL
0W4B - 2X4 HORZ
0W6B - 2X6 HORZ

0W4B — 0 HOUR — INT BATHROOM WALLS

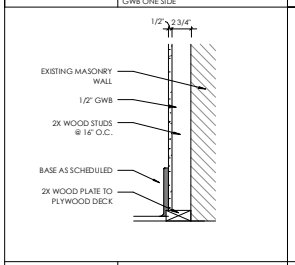


0W2C - 2X4 VERTICAL
0W4C - 2X4 HORZ

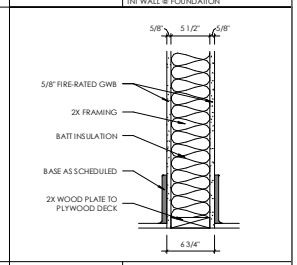
0W2C / 0W4C — 0 HOUR — GWB ONE SIDE



0W4D — 0 HR — INT WALL @ FOUNDATION



0W1D — 0 HOUR — GWB ONE SIDE



1W6A — 1 HOUR — U.L. DESIGN NO. U305 — FIRE RATED PARTITION

ASSEMBLY GENERAL NOTES

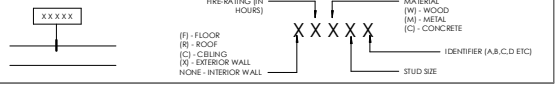
1. REFER TO INCLUDED SUPPORTING DOCUMENTATION FOR FULL UL ASSEMBLY REFERENCE AND INSTRUCTIONS.

2. REFER TO STRUCTURAL TO REVIEW IF EXTERIOR SHEATHING IS USED AS A SHEAR WALL PANEL.

FIRE RATING OF ELEMENTS - PER TABLE 601 IBC

CONSTRUCTION TYPE:	TYPE VB REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME	0 HR	0 HR
INTERIOR AND EXTERIOR BEARING WALLS	0 HR EXT 0 HR INT	NOT LESS THAN BELOW REQUIREMENTS
EXTERIOR WALLS, < 10' FIRE SEP DISTANCE	1 HR	1 HR
INTERIOR WALLS	0 HR	0 HR UNLESS REQ'D UNIT SEPARATION - 1HR
FLOOR & ROOF CONSTRUCTION	0 HR	0 HR UNLESS REQ'D UNIT SEPARATION - 1HR
PARTY WALL	2 HR	N/A
EXIT PASSAGEWAY	1 HR (CONNECT 3 FLOORS OR LESS)	N/A

ASSEMBLY KEY



2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA — TRACY A. CUNNINGHAM — LICENSED ARCHITECT

ASSEMBLIES

A800

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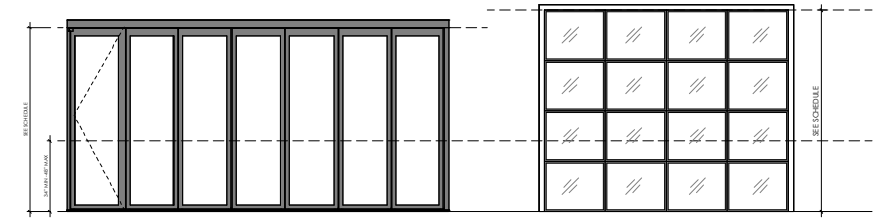
DOOR GENERAL COMMENTS

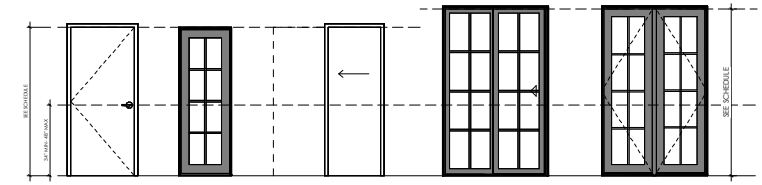
DOOR BASIS OF DESIGN -
PELLA 'RESERVE' CONTEMPORARY SELECTION W/ SIMULTATED DIVIDED LITES

1. OWNER TO SPECIFY AND COMPLETE DOOR MANUFACTURER AND HARDWARE INFORMATION AS NEEDED
2. ALL EXTERIOR DOORS SHALL HAVE MIN. U-FACTOR OF 0.30
3. ALL EXTERIOR DOORS SHALL HAVE A MAX. SHGC OF 0.40
4. ALL EXTERIOR DOORS AND WINDOWS SHALL HAVE A MIN. STC OF 38
5. SEAL ALL PERIMETER DOORS/WINDOWS WITH SELF-EXPANDING FOAM
6. ALL DEADBOLTS SHALL BE KEYED FROM THE EXTERIOR AND HAVE THUMB TURNS ON EGRESS SIDE; DOUBLE CYLINDER DEADBOLTS ARE PROHIBITED
7. PROVIDE SUBMITTALS, WITH PROPOSED OPTIONS INDICATED PRIOR TO ORDERING HARDWARE
8. FURNISH ALL FINISH HARDWARE WITH ALL NECESSARY SCREWS, BOLTS AND OTHER FASTENERS OF SUITABLE SIZE AND TYPE TO ANCHOR THE HARDWARE IN POSITION FOR LONG LIFE UNDER HARD USE.
9. FURNISH ALL FASTENERS WHERE NECESSARY WITH EXPANSION SHIELDS, TOGGLE BOLTS AND OTHER ANCHORS APPROVED BY THE ARCHITECT, ACCORDING TO THE MATERIAL TO WHICH THE HARDWARE IS TO BE APPLIED AND THE RECOMMENDATION OF THE HARDWARE MANUFACTURER.
10. NO HEX NUTS OR BOLTS SHALL BE USED
11. FURNISH ALL ADEQUATE BLOCKING IN DOORS
12. FURNISH THREE (3) HINGES FOR DOORS 7' HIGH AND BELOW; FOUR (4) HINGES FOR DOORS EXCEEDING 7' IN HEIGHT
13. ALL HINGES SHALL HAVE NON-REMOVABLE PINS
14. PROVIDE WALL BUMPERS WHENEVER AN OPENED DOOR OR ANY ITEM OF HARDWARE THEREON STRIKES A WALL, COLUMN OR FIXED EQUIPMENT. WHERE A WALL BUMPER CANNOT BE USED EFFECTIVELY, FURNISH A FLOOR STOP
15. FLOOR STOPS SHALL BE PROVIDED WITH HIGH-RISE SPACERS BELOW AS REQUIRED FOR FLOOR CONDITIONS OR DOOR UNDERCUTS
16. PROVIDE WEATHER STRIP AND ALUM. THRESHOLD AT ALL EXTERIOR HOLLOW METAL DOORS.
17. WHERE KICK PLATES ARE USED, THEY SHALL BE .050" THICK, STAINLESS STEEL WITH BEVELED EDGES, 2" LDW. KICK PLATES SHALL BE TYPICALLY 8" HIGH U.N.O.
18. FURNISH THREE (3) KEYS FOR EACH LOCK. ALL LOCKS ARE TO BE CONSTRUCTION MASTER KEYED.
19. CENTERLINE OF LOCKSET SHALL BE 40" A.F.F., U.N.O. CENTERLINE OF DEADBOLTS SHALL BE 60" A.F.F., U.N.O.
20. COORDINATE WITH OWNER FOR SECURITY HARDWARE PREPATATION AND/OR MODIFICATION



DOOR ELEV	MS	G
DOOR TYPE	7-PANEL MULTI-SLIDE	EXTERIOR GARAGE DOOR

MAX SHGC OF **0.40** AND MAX. U-FACTOR OF: **0.30**



DOOR ELEV	A	C	E	SL	CC
DOOR TYPE	TYP. SOLID	EXTERIOR - GLASS	POCKET SLIDING	DOUBLE SLIDING GLASS	EXT. DOUBLE GLASS

DOOR NOTES

1. SEE PLANS & ELEVATIONS FOR DOOR MARK CORRESPONDING TO DOOR SCHEDULE.
2. SEE SCHEDULE FOR DOOR WIDTH, HEIGHT, ELEVATION TYPE, AND FIRE RATINGS.
3. ALL DOOR GLAZING TO BE **TEMPERED.**
4. ALL EXTERIOR DOOR GLAZING SHALL HAVE MAX SHGC OF **0.40** AND MAX. U-FACTOR OF: **0.30**, **OR 0.55** FOR SKYLIGHTS.
5. SEE **A920** FOR DOOR DETAILS.

DOOR TYPE ELEVATIONS

3/8" = 1'-0"

A-DOOR SCHEDULE

DR#	INT / EXT	Description	DOOR PANEL DIMENSIONS WIDTH	DOOR PANEL DIMENSIONS HEIGHT	DOOR ELEV	FIRE RATING	DOOR COMMENTS
CELLAR							
001	Exterior	DOUBLE SLIDING GLASS DOOR	5 - 0"	8' - 0"	SL		
002	Exterior	DOUBLE SLIDING GLASS DOOR	5 - 0"	8' - 0"	SL		
003	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
004	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
CELLAR - RAISED							
010	Exterior	EXT. GLASS DOOR	3 - 0"	7' - 0"	C		
011	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
012	Interior	SOLID PANEL	2 - 3"	8' - 0"	A		
013	Interior	DOUBLE SOLID PANEL	4 - 0"	8' - 0"	AA		
014	Interior	DOUBLE SOLID PANEL	4 - 0"	8' - 0"	AA		
015	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
016	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
017	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
018	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
019	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
FIRST FLOOR							
101	Exterior	DOUBLE SLIDING GLASS DOOR	5 - 0"	9' - 11 1/2"	SL		
102	Exterior	GLASS DOOR	2 - 6"	7' - 0"	C	45 MIN RATED	
103	Exterior	SCREENED IN PORCH	5 - 0"	10' - 0"	CC		SCREENED IN PORCH
FIRST - RAISED							
110	Exterior	CUSTOM ENTRY DOOR T.&D.	4 - 0"	10' - 0"	K		
111	Exterior	EXTERIOR GARAGE DOOR	10' - 6"	9' - 6"	G		PTD. ALUM. W/ FROSTED TEMPERED GLAZING
112	Exterior	GLASS DOOR	2 - 6"	8' - 0"	C	90 MIN RATED	
113	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
114	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
115	Interior	POCKET DOOR	2 - 3"	8' - 0"	E		
116	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
117	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
118	Interior	SOLID PANEL	3 - 0"	8' - 0"	A	20 MIN RATED	20 MIN. FIRE-RATED DOOR. PROVIDE SELF-CLOSING MECHANISM
SECOND FLOOR							
201	Exterior	DOUBLE SLIDING GLASS DOOR	5 - 0"	8' - 0"	SL		
202	Interior	POCKET DOOR	3 - 0"	8' - 0"	E		
203	Interior	POCKET DOOR	3 - 0"	8' - 0"	E		
204	Interior	SOLID PANEL	2 - 3"	8' - 0"	A		
205	Interior	SOLID PANEL	2 - 3"	8' - 0"	A		
206	Interior	SOLID PANEL	3 - 0"	8' - 0"	A		
208	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
209	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
210	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
211	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
212	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		LOUVERED DOOR
213	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
214	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
215	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
216	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
217	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
218	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
219	Interior	DOUBLE SOLID PANEL	3 - 0"	8' - 0"	AA		
220	Interior	DOUBLE SOLID PANEL	5 - 0"	8' - 0"	AA		
221	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
THIRD FLOOR							
301	Exterior	7-PANEL MULTI-SLIDE DR.	10' - 0"	8' - 0"	MS		
302	Exterior	EXT. DBL. GLASS DOOR	5 - 0"	8' - 0"	CC		
120	Interior		2 - 0"	6 - 8"			
303	Interior	DOUBLE SOLID PANEL	5 - 0"	8' - 0"	AA		
304	Interior	POCKET DOOR	2 - 6"	8' - 0"	E		
305	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
306	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
307	Interior	DOUBLE SOLID PANEL	4 - 0"	8' - 0"	AA		
309	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
310	Interior	SOLID PANEL	2 - 6"	8' - 0"	A		
311	Interior	DOUBLE SOLID PANEL	5 - 0"	8' - 0"	AA		

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY CRAIGER 21-0010 LICENSED ARCHITECT

DOOR SCHEDULE

A900

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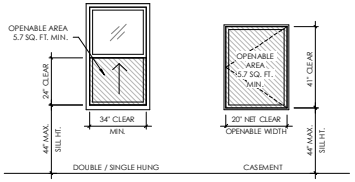
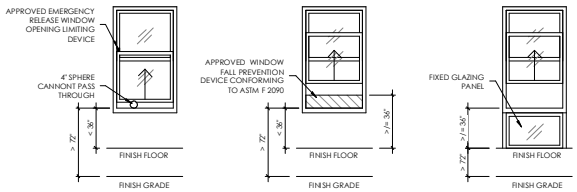
A-WINDOW SCHEDULE

MARK	TYPE MARK	WIDTH	HEIGHT	SILL HEIGHT	WINDOW TYPE	SAFETY GLAZING	Comments
CELLAR - RAISED							
001	5070	5' - 0"	7' - 0"	1' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
002	5070	5' - 0"	7' - 0"	1' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
FIRST FLOOR							
101	5020	5' - 0"	2' - 0"	1' - 0"	DBL. TRANSOM		
102	5070	5' - 0"	7' - 0"	3' - 0"	DBL. CASEMENT		
103	5020	5' - 0"	2' - 0"	1' - 0"	DBL. TRANSOM		
104	2670	2' - 6"	7' - 0"	3' - 0"	CASEMENT	TEMPERED GLAZING	
105	5060	5' - 0"	6' - 0"	4' - 0"	DBL. CASEMENT		
106	2670	2' - 6"	7' - 0"	3' - 0"	CASEMENT		
107	2626	2' - 6"	2' - 6"	0' - 6"	TRANSOM	TEMPERED GLAZING	
108	2670	2' - 6"	7' - 0"	3' - 0"	CASEMENT		
109	2626	2' - 6"	2' - 6"	0' - 6"	TRANSOM	TEMPERED GLAZING	
110	5070	5' - 0"	7' - 0"	3' - 0"	DBL. CASEMENT		
111	2626	2' - 6"	2' - 6"	0' - 6"	TRANSOM	TEMPERED GLAZING	
112	2670	2' - 6"	7' - 0"	3' - 0"	CASEMENT	TEMPERED GLAZING	
113	2626	2' - 6"	2' - 6"	0' - 6"	TRANSOM	TEMPERED GLAZING	
FIRST - RAISED							
121	5060	5' - 0"	6' - 0"	2' - 0"	DBL. CASEMENT		
122	7660	7' - 6"	6' - 0"	2' - 0"	TRPL. CASEMENT		
123	7660	7' - 6"	6' - 0"	2' - 0"	TRPL. CASEMENT	TEMPERED GLAZING	
124	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
125	7620	7' - 6"	2' - 0"	8' - 0"	TRPL. TRANSOM	TEMPERED GLAZING	
126	2620	2' - 6"	2' - 0"	8' - 0"	TRANSOM		
127	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
128	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
129	2620	2' - 6"	2' - 0"	8' - 0"	TRANSOM		
130	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
131	2620	2' - 6"	2' - 0"	8' - 0"	TRANSOM		
132	2620	2' - 6"	2' - 0"	8' - 0"	TRANSOM		
SECOND FLOOR							
201	5070	5' - 0"	7' - 0"	1' - 0"	DBL. CASEMENT		
202	5070	5' - 0"	7' - 0"	1' - 0"	DBL. CASEMENT		
203	2670	2' - 6"	7' - 0"	1' - 0"	CASEMENT	TEMPERED GLAZING	
204	2670	2' - 6"	7' - 0"	1' - 0"	CASEMENT	TEMPERED GLAZING	
205	5046	5' - 0"	4' - 6"	3' - 6"	DBL. CASEMENT		
206	7660	7' - 6"	6' - 0"	2' - 0"	TRPL. CASEMENT	TEMPERED GLAZING	
207	5060	5' - 0"	6' - 0"	2' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
208	5060	5' - 0"	6' - 0"	4' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
209	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
210	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
211	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
212	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
213	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
214	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
215	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
216	7660	7' - 6"	6' - 0"	2' - 0"	TRPL. CASEMENT	TEMPERED GLAZING	
217	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
218	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
219	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
220	5060	5' - 0"	6' - 0"	2' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
THIRD FLOOR							
301	5060	5' - 0"	6' - 0"	2' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
302	5060	5' - 0"	6' - 0"	2' - 0"	DBL. CASEMENT	TEMPERED GLAZING	
303	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
304	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
305	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
306	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
307	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		
308	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT	TEMPERED GLAZING	
309	2660	2' - 6"	6' - 0"	2' - 0"	CASEMENT		



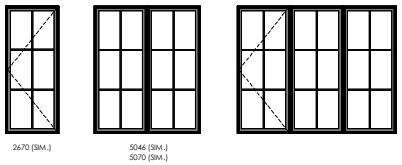
WINDOW NOTES:
1. ALL HAZARDOUS LOCATIONS TO HAVE TEMPERED GLAZING PER IBC SECTION 2406.3
2. CONTRACTOR TO VERIFY IN FIELD ALL REPLACEMENT WINDOW SIZES (WHERE OCCURS)
3. ALL EXTERIOR WINDOWS AND FENESTRATION SHALL HAVE MAX. U-FACTOR OF 0.35 AND MAX SHGC 0.36



1 WINDOW FALL PROTECTION REQUIREMENTS
3/8" = 1'-0"

SAFETY GLAZING
PROVIDE SAFETY GLAZING PER THE FOLLOWING REQUIREMENTS: PROVIDED WITH A MANUFACTURER'S OR INSTALLER'S LABEL, DESIGNATING THE TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES. THE LABEL NEEDS TO BE VISIBLE AT THE FINAL INSPECTION, AND IT MUST BE ACID-ETCHED, SANDBLASTED, CERAMIC-FIRED, OR AN EMBOSSED MARK OR OF THE TYPE WHICH ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.

SAFETY GLAZING REQUIRED LOCATIONS:
1. GLAZING IN SWINGING DOORS EXCEPT LOUVERED WINDOWS AND JALOUSIES COMPLYING WITH IRC R308.2.
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
3. GLAZING IN STORM DOORS.
4. GLAZING IN ALL UNFRAMED SWINGING DOORS.
5. GLAZING IN DOORS, WALLS, FENCES AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHROOMS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 ABOVE ANY STANDING OR WALKING SURFACE.
6. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL IS WITHIN A 24 ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 ABOVE THE WALKING SURFACE. EXCEPTION: WHERE THERE IS AN INTERVENING WALL OR PARTITION BETWEEN DOOR AND GLAZING OR WHERE THE DOOR ACCESSES A CLOSET 3' OR LESS IN DEPTH. (SEE DETAILS, PAGE 3)
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHEN ALL OF THE FOLLOWING APPLY:
   a. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
   b. BOTTOM EDGE LESS THAN 18 ABOVE THE FLOOR.
   c. TOP EDGE GREATER THAN 36 ABOVE THE FLOOR.
   d. ONE OR MORE WALKING SURFACES WITHIN 36 HORIZONTALLY OF THE GLAZING.
8. GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDES STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
9. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36 HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE. EXCEPTION: WHERE A HANDRAIL OR GUARD IS INSTALLED PER IBC 1013 & 1607.7 OR WHEN THE GLASS IS GREATER THAN 18 FROM THE LANDING.
10. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 ABOVE THE NOSE OF THE TREAD. EXCEPTION: WHERE A HANDRAIL OR GUARD IS INSTALLED PER IBC 1013 & 1607.7 OR WHEN THE GLASS IS GREATER THAN 18 FROM THE RAILING.



TYPE MARK	2660	5060	7660
WINDOW TYPE	CASEMENT	DOUBLE - CASEMENT	TRIPLE - CASEMENT

TYPE MARK	2620	5020	7620
WINDOW TYPE	TRANSOM	DOUBLE - TRANSOM	TRIPLE - TRANSOM

1 - TYPE MARK - > WIDTH x HEIGHT (EX 3'-0 x 4'-0" TYPE MARK = 3040).PREFIX REFERS TO WINDOW TYPE (NONE FOR CASEMENT, S FOR SLIDING, SK FOR SKYLIGHT, D FOR DOUBLE HUNG)
2 - SEE PLANS & ELEVATIONS FOR WINDOW MARK CORRESPONDING TO WINDOW SCHEDULE.
3 - SEE SCHEDULE FOR SILL HEIGHT, WINDOW TYPE, SAFETY GLAZING, AND EGRESS.
4 - ALL EXTERIOR FENESTRATION GLAZING SHALL HAVE MAX SHGC OF **0.40** AND MAX. U-FACTOR OF **0.30**
5 - SEE **A920** FOR WINDOW DETAILS

WINDOW ELEVATIONS
3/8" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW
SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA
TRACY ZUNIGA
LICENSED
ARCHITECT

WINDOW SCHEDULE

A901

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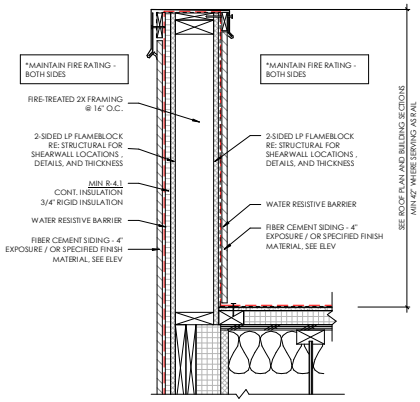
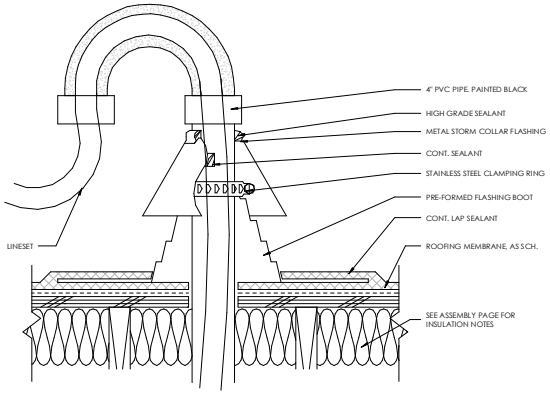
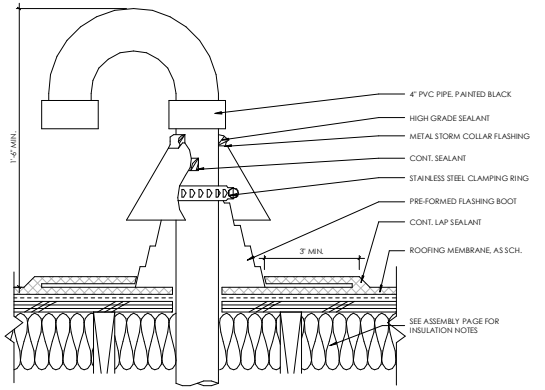


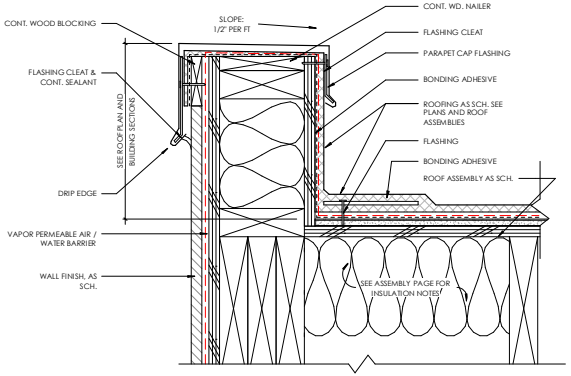
1 TYP. ROOF PARAPET CONDITION - TPO
1 1/2" = 1'-0"



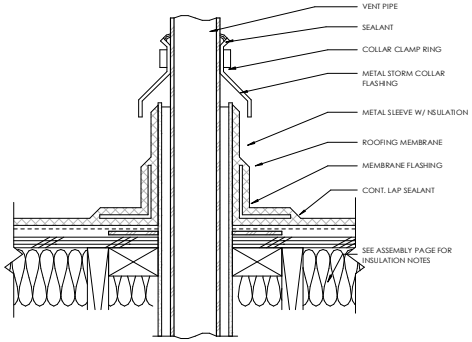
B3 TYP. LINESET PENETRATION
3" = 1'-0"



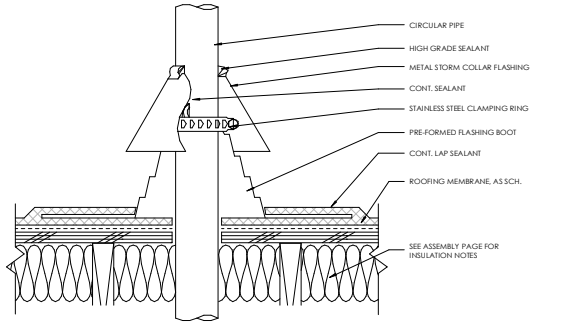
A3 TYP. EXHAUST FAN PENETRATION
3" = 1'-0"



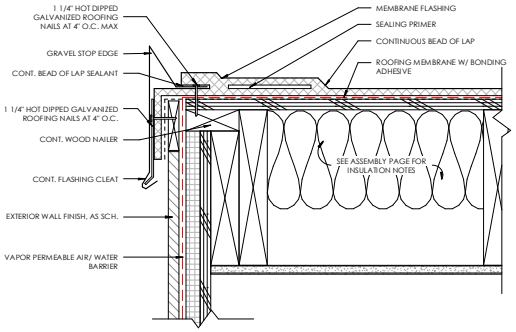
C2 TYP. ROOF PARPAPET CONDITION - TPO
3" = 1'-0"



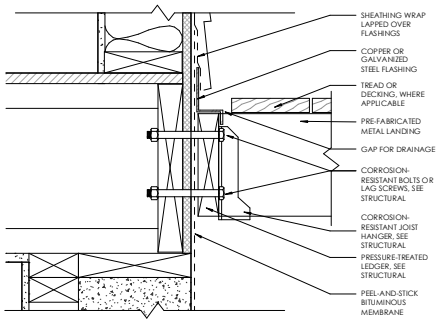
B2 TYP. PIPE PENETRATION HOT STACK
3" = 1'-0"



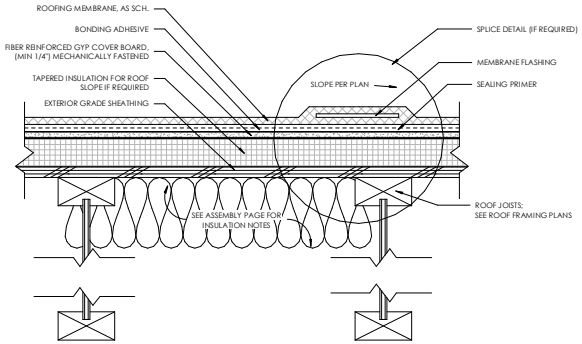
A2 TYP. PIPE PENETRATION
3" = 1'-0"



C1 TYP. GRAVEL STOP EDGE COND - TPO
3" = 1'-0"



B1 DECK-LEDGER DETAIL
3" = 1'-0"



A1 TYP. ROOF CONSTRUCTION - TPO
3" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0090

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY CORRIN LICENSED ARCHITECT

DETAILS - EXT - ROOF

A910

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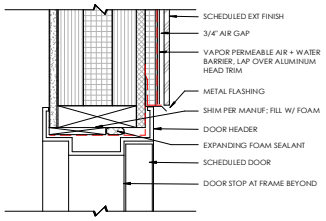
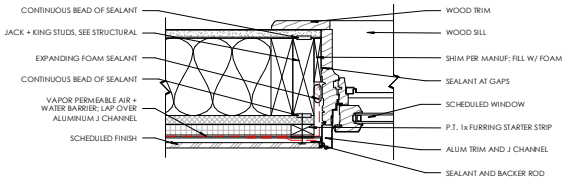
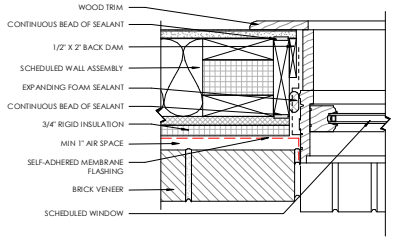


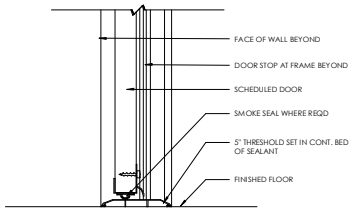
C3 DOOR HEAD - STANDARD
3" = 1'-0"



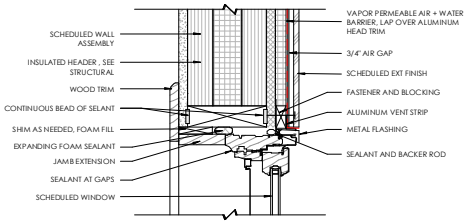
B3 WINDOW JAMB - WD - STANDARD
3" = 1'-0"



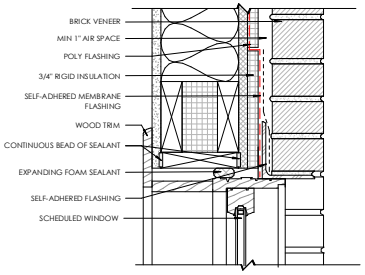
A3 WINDOW JAMB - MASONRY
3" = 1'-0"



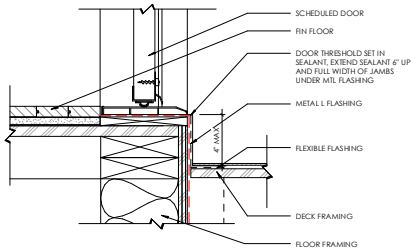
C2 DOOR SILL - STANDARD
3" = 1'-0"



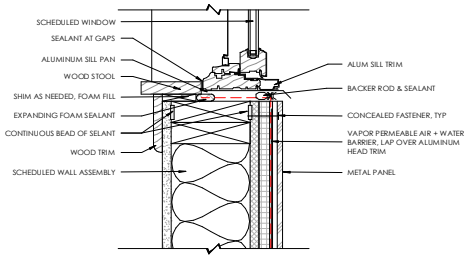
B2 WINDOW HD
3" = 1'-0"



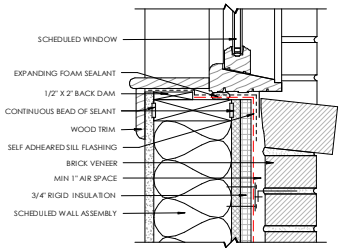
A2 WINDOW HEAD - MASONRY
3" = 1'-0"



C1 DOOR SILL STANDARD @ ENTRY
3" = 1'-0"



B1 WINDOW SILL
3" = 1'-0"



A1 WINDOW SILL - MASONRY
3" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA TRACY CRAIG LICENSED ARCHITECT

DETAILS - EXT - DOOR AND WINDOW

A920

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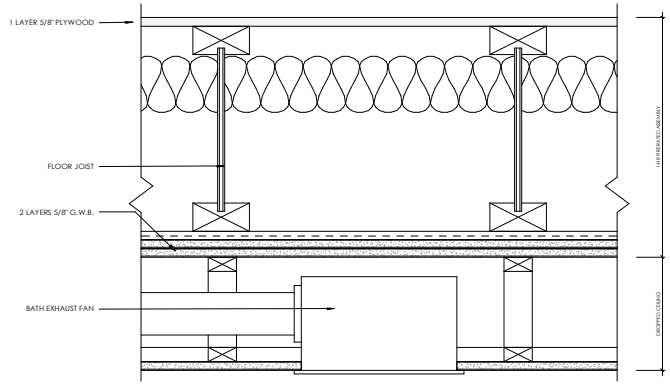
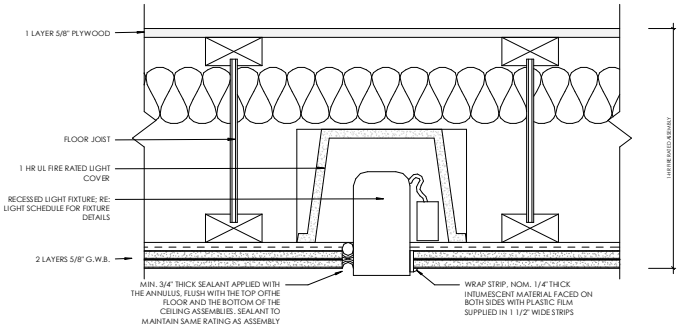
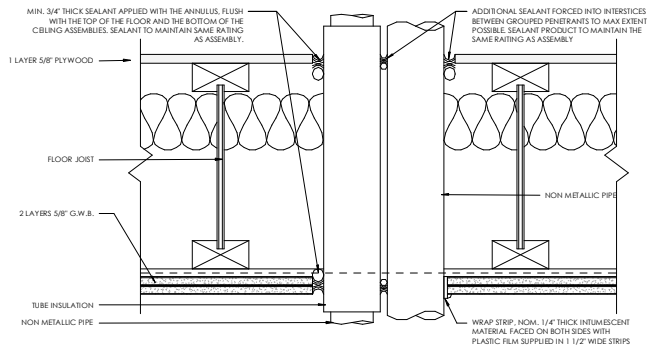


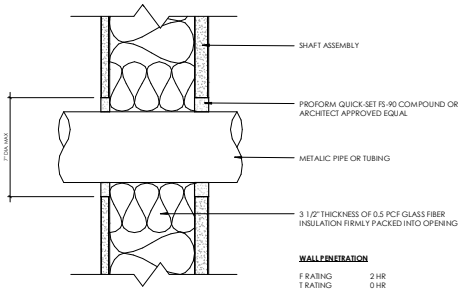
C3 RECESSED EXHAUST FAN AT DROPPED CEILING
3" = 1'-0"



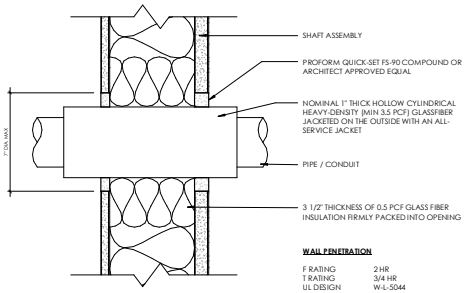
C2 RECESSED LIGHT AT RATED HORIZ. ASSEMBLY
3" = 1'-0"



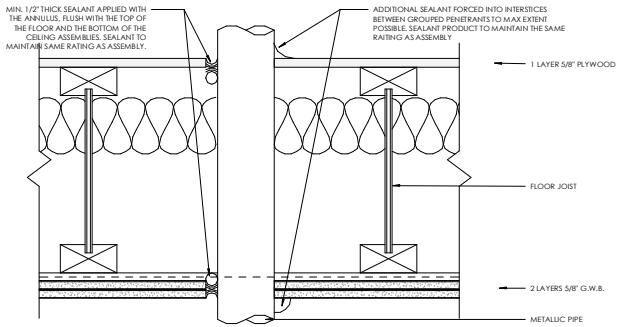
C1 NON-METALLIC PENETRATION AT RATED HORZ. ASSEMBLY
3" = 1'-0"



B3 METALLIC PENETRATION AT RATED VERT. ASSEMBLY
3" = 1'-0"



B2 NON-METALLIC PENTR. AT RATED VERT. ASSEM
3" = 1'-0"

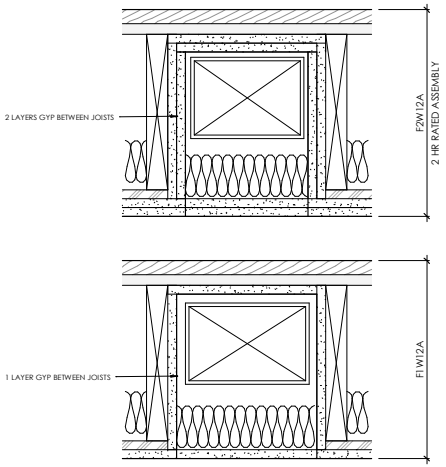


B1 METALLIC PENETRATION AT RATED HORZ. ASSEMBLY
3" = 1'-0"

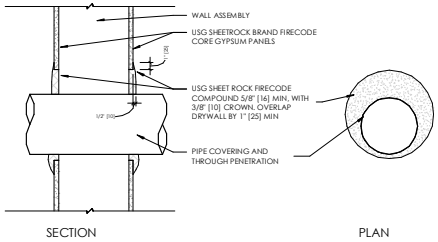
NOTES:

1. ASSEMBLY MUST BE 1-HR RATED (UL L570 SHOWN)
2. ALL UNITS REQUIRED TO MEET MIN. STC 50 (LAB-RATED) ASSEMBLY BETWEEN RESIDENTIAL UNITS, PER IBC 2012., SECTION 1207.2.
3. ALL PENETRATION IN ACOUSTIC-RATED WALLS/CEILINGS MUST BE TRAGGERED OR SPACED 48" O.C. AND SEALED.
4. SEE MANUFACTURER/PRODUCT INFORMATION REGARDING PERFORMANCE, APPLICATION, AND TYPICAL INSTALLATION DETAILS.
5. FLOOR/CEILING ASSEMBLIES REQUIRED TO MEET IIC 50(LAB RATED), ASSEMBLY BETWEEN RESIDENTIAL UNITS. PER IBC 2012, SECTION 1207.3.
6. 1 HOUR RATED CEILING ASSEMBLY SHALL BE CONTINUOUS AND WILL NOT BE INTERRUPTED BY THE TOP PLATES OF INTERIOR PARTITIONS.
7. ALL SEALANTS AND INTUMESCENT MATERIALS SHALL MEET UL 1479.
8. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING; ELECTRICAL DEVICES; RECESSED CABINETS; BATHTUBS; SOFFITS; OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED STC RATINGS. THIS REQUIREMENT SHALL NOT APPLY TO DWELLING UNIT AND SLEEPING UNIT ENTRANCE DOORS; HOWEVER, SUCH DOORS SHALL BE TIGHT FITTING TO THE FRAME AND SILL.
9. THROUGH-PENETRATION FIRESTOP SYSTEM PER 714.4.1.1.2 THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479. WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER (2.49 PA). THE SYSTEM SHALL HAVE AN F RATING/T RATING OF NOT LESS THAN 1 HOUR BUT NOT LESS THAN THE REQUIRED RATING OF THE FLOOR PENETRATED.

   EXCEPTIONS:
   FLOOR PENETRATIONS CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL ABOVE THE FLOOR OR BELOW THE FLOOR DO NOT REQUIRE A T RATING. FLOOR PENETRATIONS BY FLOOR DRAINS, TUB DRAINS OR SHOWER DRAINS CONTAINED AND LOCATED WITHIN THE CONCEALED SPACE OF A HORIZONTAL ASSEMBLY DO NOT REQUIRE A T RATING.



A2 RATED DUCT ASSEMBLY
3" = 1'-0"



F-RATING 1 HR/ T-RATING & 1HR

SYSTEM NO. W-L-1087

A1 RATED PENETRATION
1 1/2" = 1'-0"

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1 439 LT 0060

NO.	DESCRIPTION	DATE

PERMIT SUBMISSION

2024-0510

DISTRICT OF COLUMBIA TRACY CRAIG LICENSED ARCHITECT

DETAILS - INT - FIRE PENETRATION

A930

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EXISTING EXTERIOR CONDITIONS

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA
TRACY A. STRAUSS
LICENSED ARCHITECT

EXISTING CONDITIONS

D100

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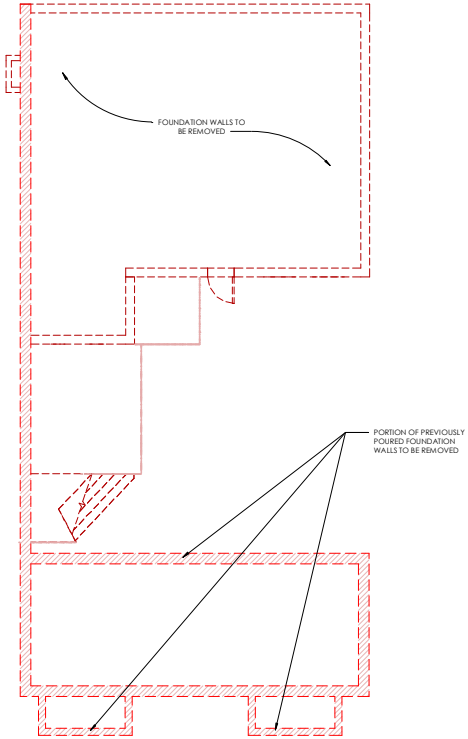
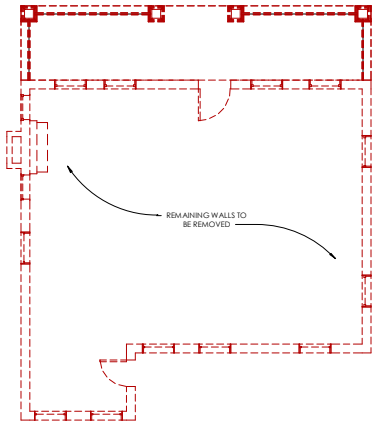


1 CELLAR PLAN
3/16" = 1'-0"



2 FIRST FLOOR DEMOLITION
3/16" = 1'-0"

DEMOLITION - GENERAL NOTES

1. VISIT SITE TO DETERMINE AND VERIFY CONDITIONS. DISCREPANCIES MUST BE REPORTED TO THE OWNER AS SOON AS THEY ARE KNOWN.
2. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACING AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF STRUCTURAL MEMBERS.
3. TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK AND BEYOND.
4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
6. MAINTAIN EXISTING STRUCTURE IN WATERTIGHT CONDITIONS AT ALL TIMES.
7. REMOVE EXISTING MILLWORK AND OTHER SURFACE MOUNTED ITEMS.
8. PATCH EXISTING HOLES INCLUDING FLOOR, WALL AND CEILING PENETRATIONS NOT REUSED TO MATCH SURROUNDING CONSTRUCTION.
9. PROVIDE "DUMPSTER" FOR TRASH REMOVAL. IF A DUMPSTER CANNOT BE PROVIDED, **DAILY TRASH REMOVAL SHALL BE REQUIRED.**
10. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT GENERAL PUBLIC FROM INJURY WHILE MAINTAINING ACCESS/EGRESS TO/FROM WORK AREAS DURING DEMOLITION AND CONSTRUCTION.
11. MAINTAIN EXISTING UTILITIES TO REMAIN. KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVICING OCCUPIED AREAS OF BUILDING WITHOUT ADVANCE NOTICE.
12. PROTECT WORK IN PLACE AND EXISTING SURFACES THAT WILL REMAIN DURING DEMOLITION AND CONSTRUCTION. REPAIR SURFACES DAMAGED BY CUTTING, MOVING, REMOVAL OPERATIONS, ETC., MATCHING ADJACENT SURFACES.
13. REMOVE EXISTING ABANDONED ELECTRICAL, TELEPHONE, DATA AND OTHER OUTLETS FROM PERIMETER WALLS, COLUMNS AND CORE WALLS. PRIOR TO DEMOLITION.
14. REMOVE EXCESS DEBRIS AND MATERIALS FROM FLOOR SURFACE, INCLUDING, BUT NOT LIMITED TO LOOSE/ DAMAGED FLASH PATCHING, GLUE, FLOORING MATERIAL BACKING, ETC.
15. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO THE OWNER.
16. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
17. BUILDING OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
18. REMOVE ABANDONED ELECTRICAL, DATA, TELEPHONE, AND OTHER OUTLETS AFFECTED BY PARTITION DEMOLITION. PULL ALL CABLES AND TIE BACK TO ITS ORIGINAL SOURCE.
19. PATCH HOLES AND OPENING IN FLOOR TO FLUSH AND LEVEL WITH EXISTING FLOOR. REPAIR FLOOR HOLES AND OPENINGS WITH MATERIALS SUITABLE FOR INTENDED APPLICATION AND THAT WILL MAINTAIN STRUCTURAL AND FIRE-RATING INTEGRITY OF FLOOR ASSEMBLY.

SCOPE OF WORK

EXISTING VACANT DETACHED SINGLE-FAMILY HOUSE

- DEMOLISH AS SHOWN.
- EXISTING FOOTINGS TO REMAIN. SEE STRUCT. DWGS FOR FOUNDATION PLAN AND DETAILS.

GRAPHIC LEGEND

EXTG WALLS TO BE DEMOLISHED

EXIST ELEMENT TO BE DEMOLISHED

2PLYS

5122 CATHEDRAL AVE. NW

SINGLE-FAMILY HOME

SQ 1439 LT 0060

PERMIT SUBMISSION

NO.	DESCRIPTION	DATE

2024-0510

DISTRICT OF COLUMBIA
TRACY CONRAD
LICENSED ARCHITECT

EXISTING PLANS

D101

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