

NOTES:

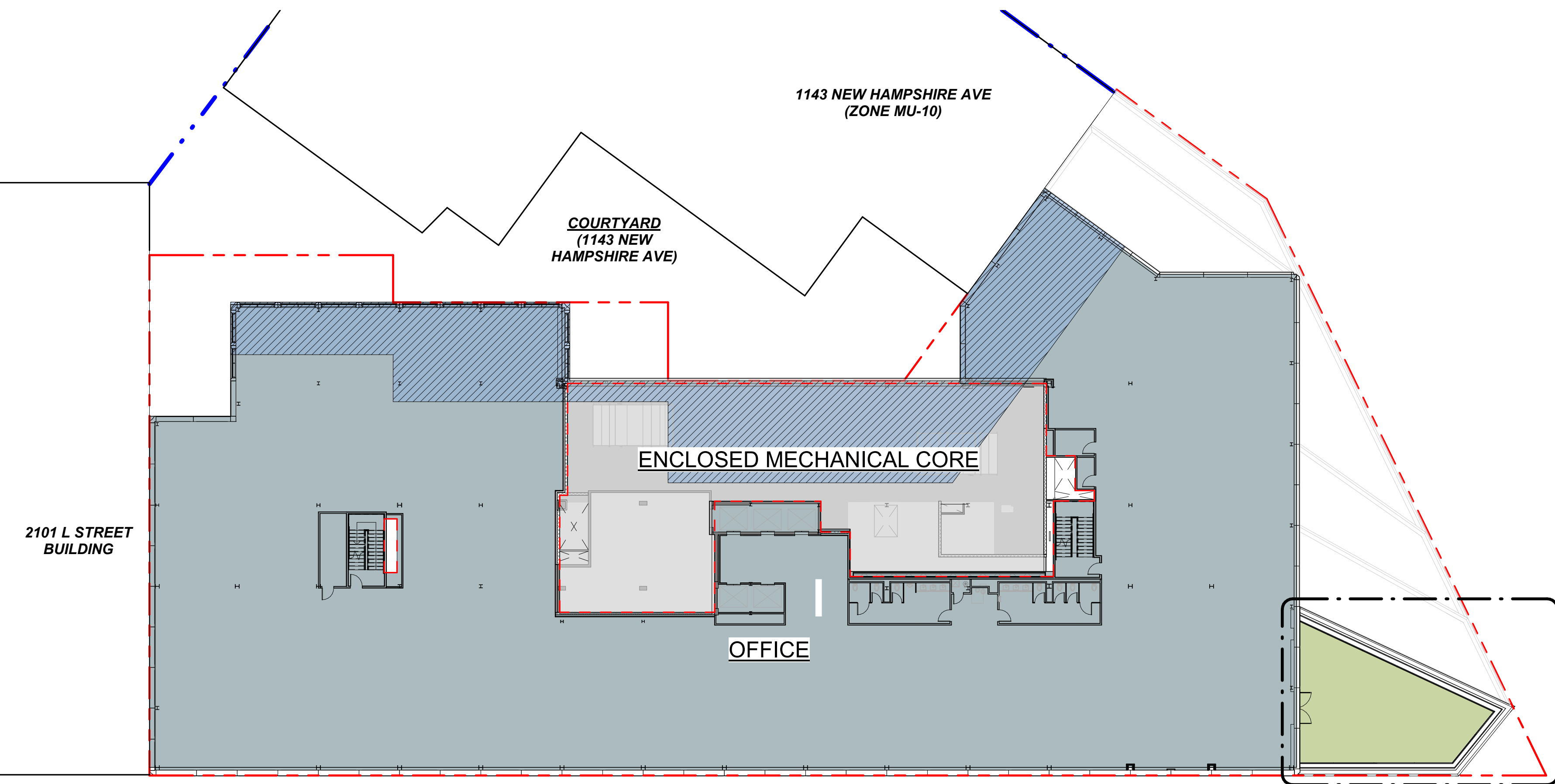
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- 3) ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0'-0".
- 4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.

LEGEND

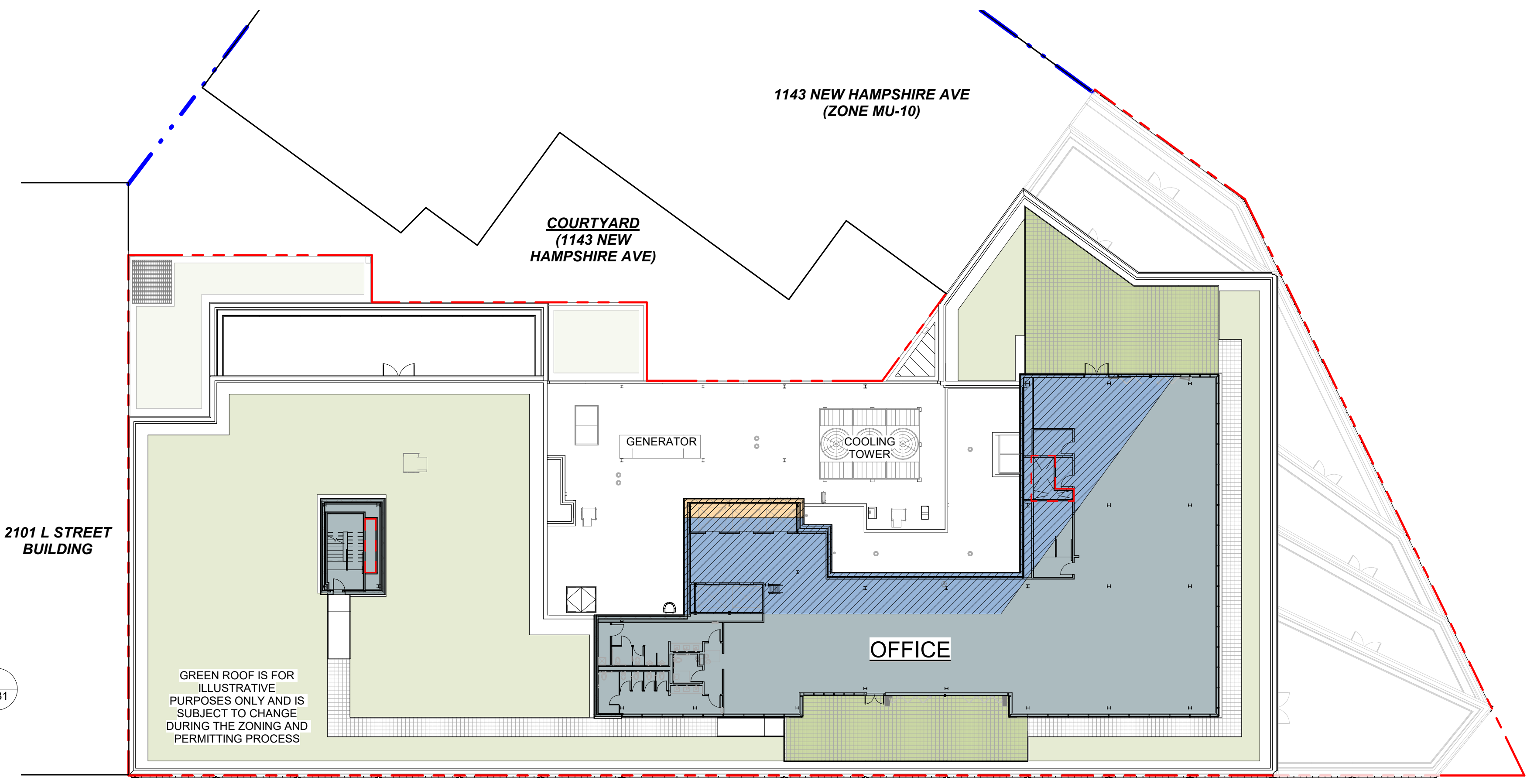
- - - PROPERTY LINE
- - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - 90' / 1143 NEW HAMPSHIRE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- FITNESS AREA
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK

GREEN ROOF NOTE:

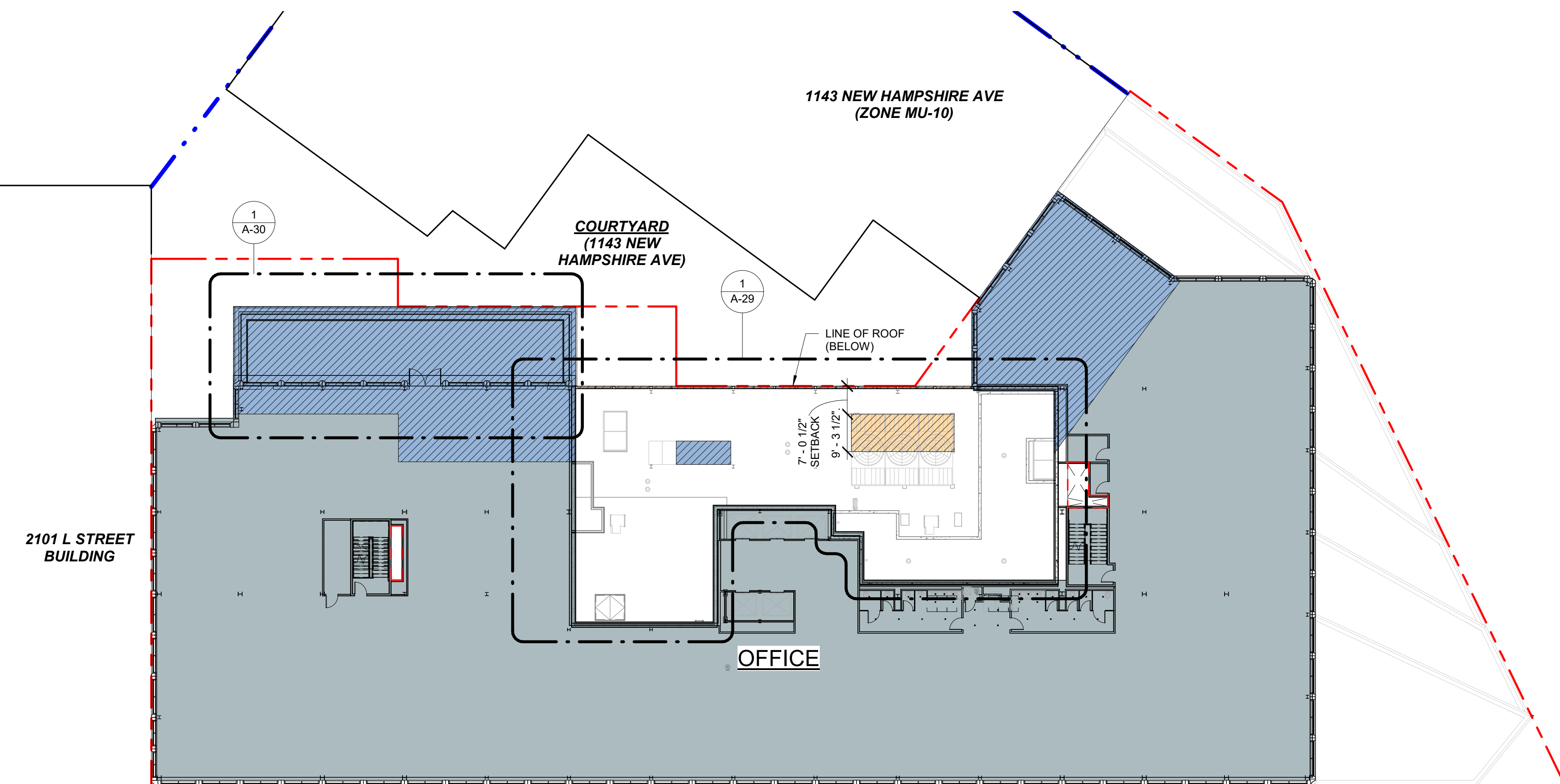
GREEN ROOF AREAS SHOWN ARE ILLUSTRATIVE AND SUBJECT TO CHANGE DURING DESIGN AND PERMITTING PROCESSES



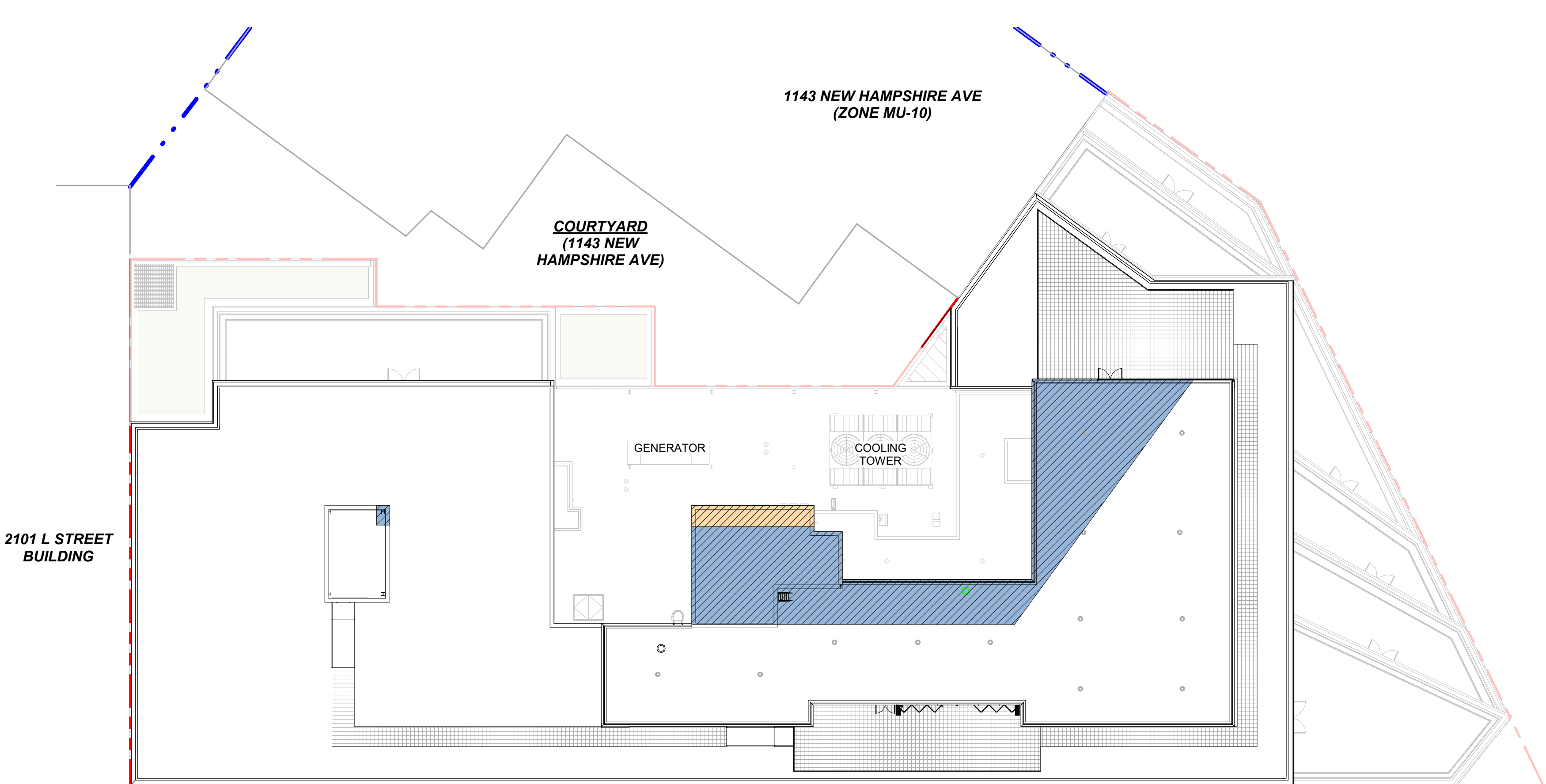
LEVEL 10: PROPOSED



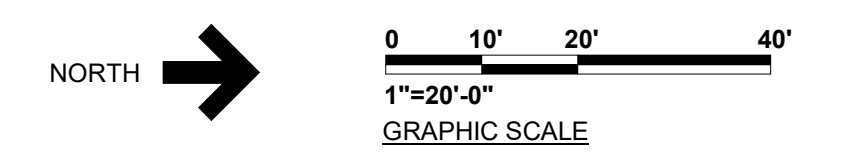
ROOF STRUCTURE: PROPOSED



LEVEL 11: PROPOSED

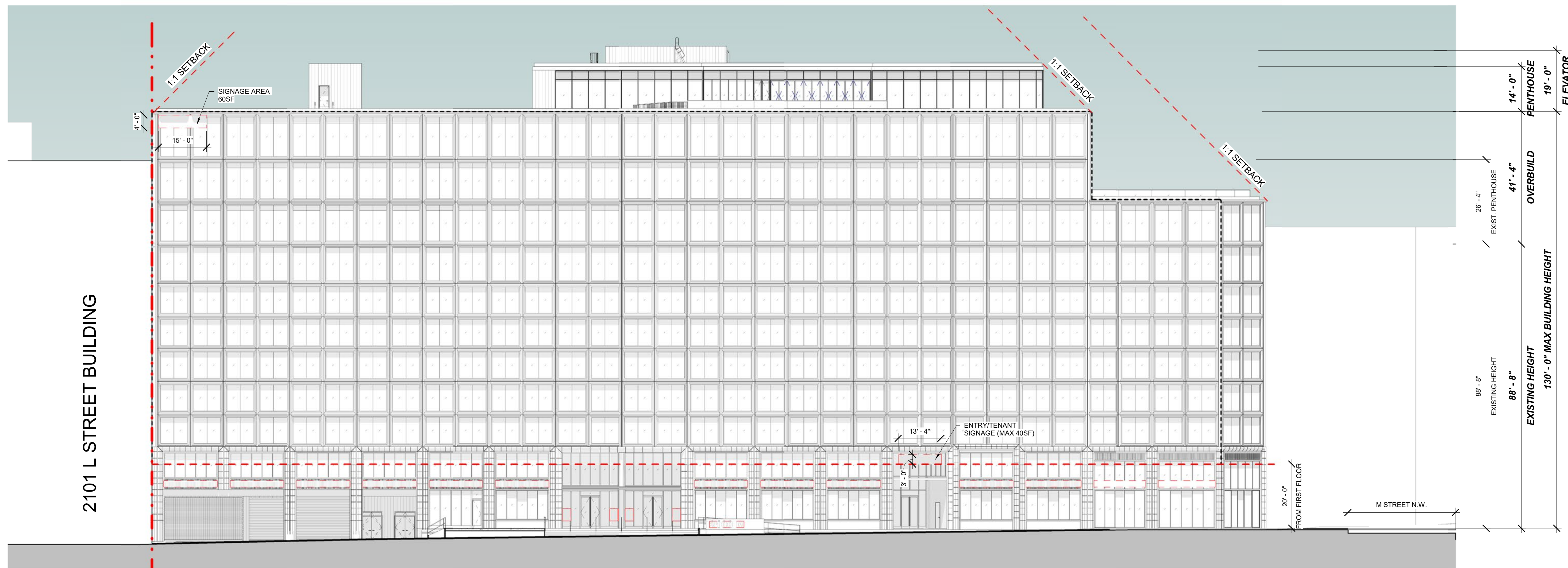


ROOF PLAN: PROPOSED

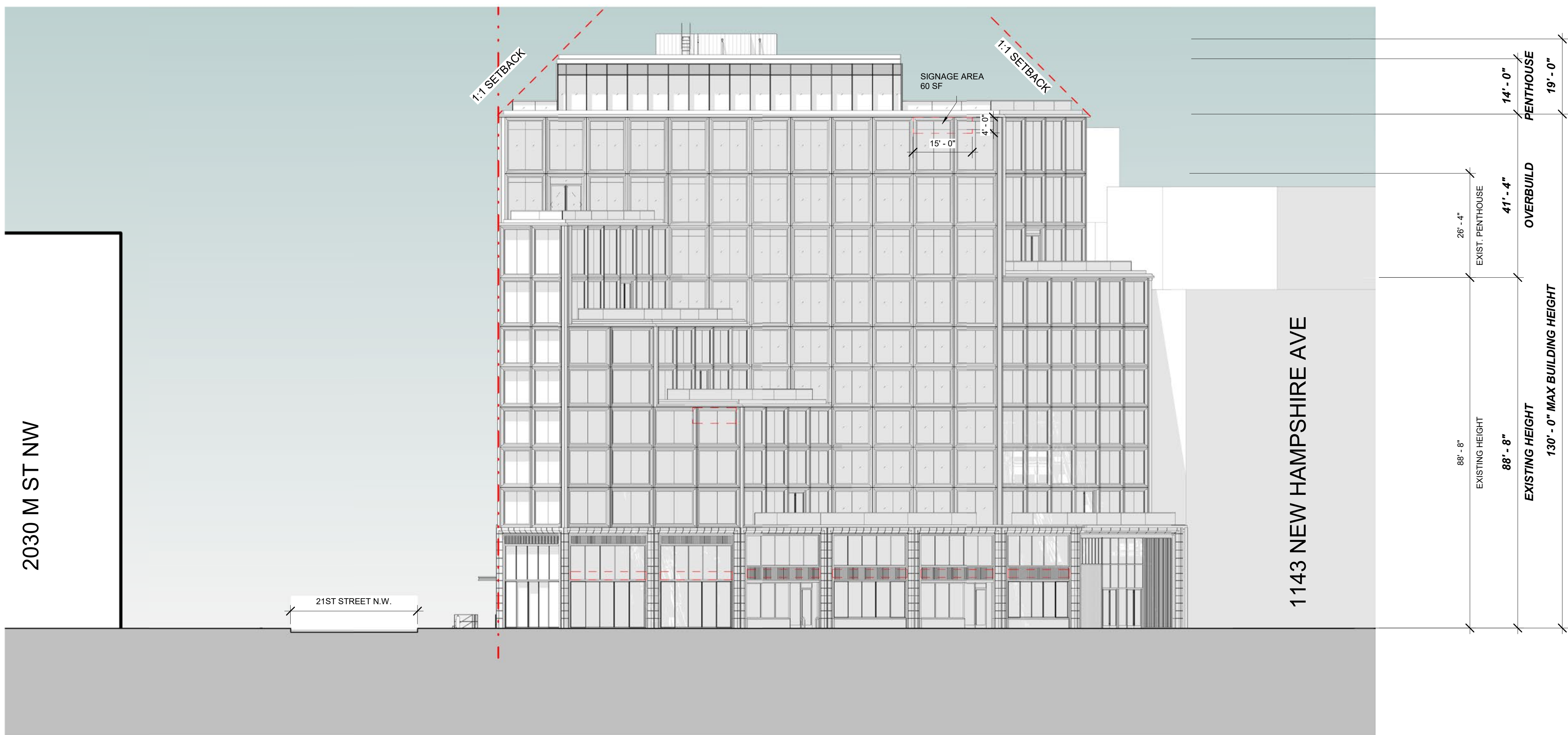


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- 5) SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES, APPROXIMATE LOCATION, AND SCALE AND WILL CHANGE DURING TENANT SPACE CONFIGURATION AND FINAL SIGN DESIGN.



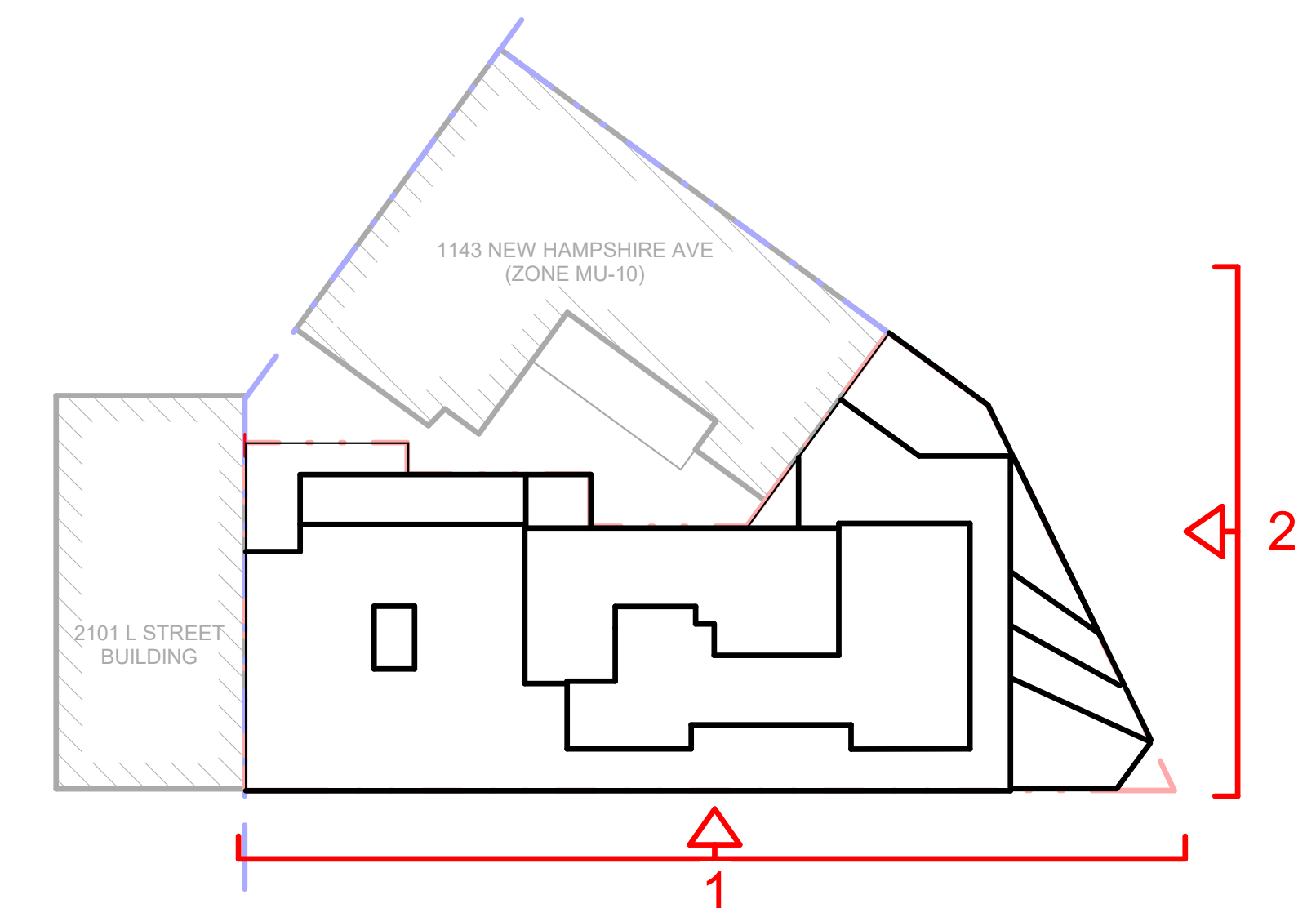
(1) EAST ELEVATION



(2) NORTH ELEVATION

LEGEND

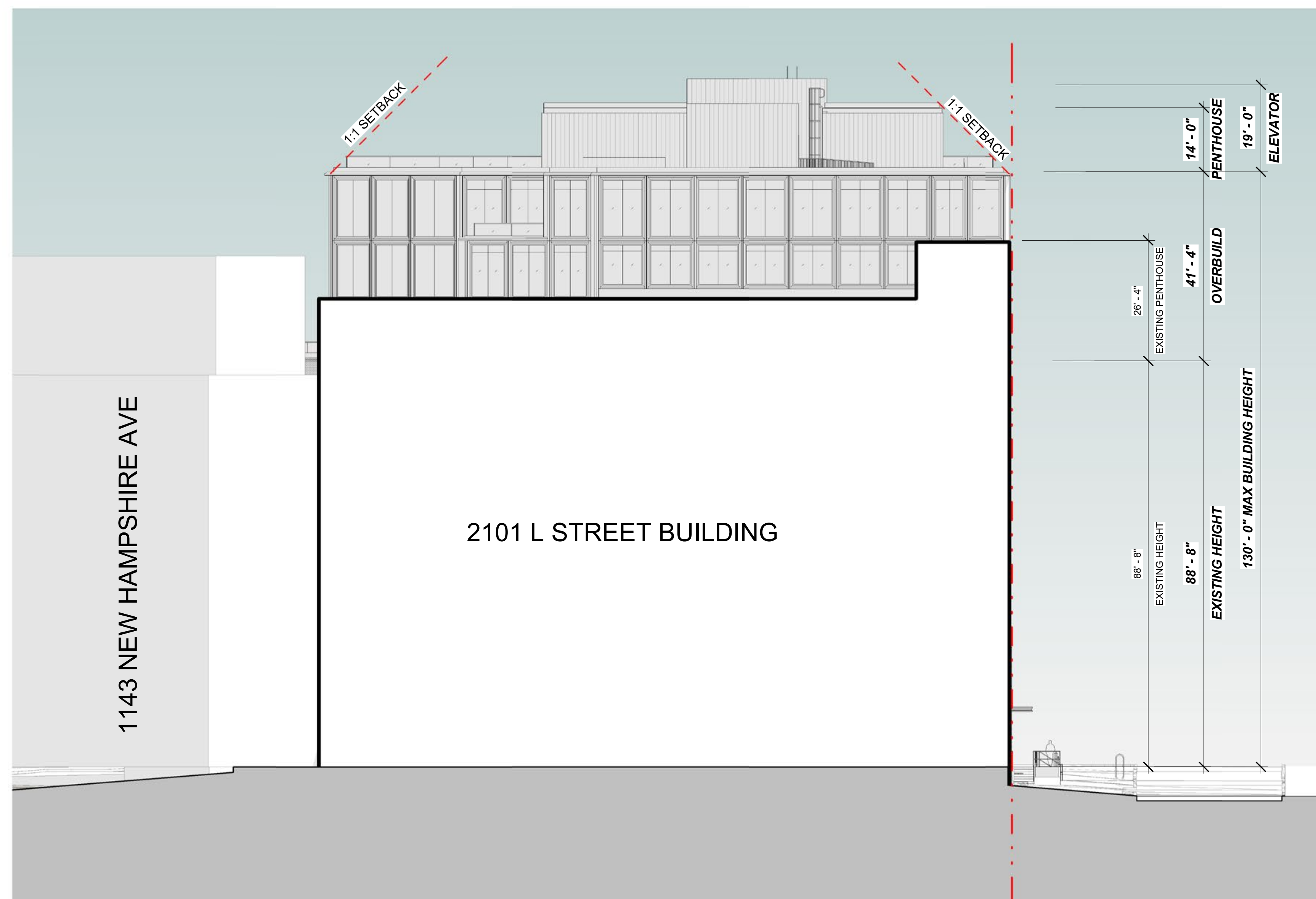
- - - - - PROPERTY LINE
- - - - - NEIGHBOR PROPERTY LINE
- - - - - ROOF STRUCTURE SETBACK
- - - - - POTENTIAL SIGNAGE LOCATION



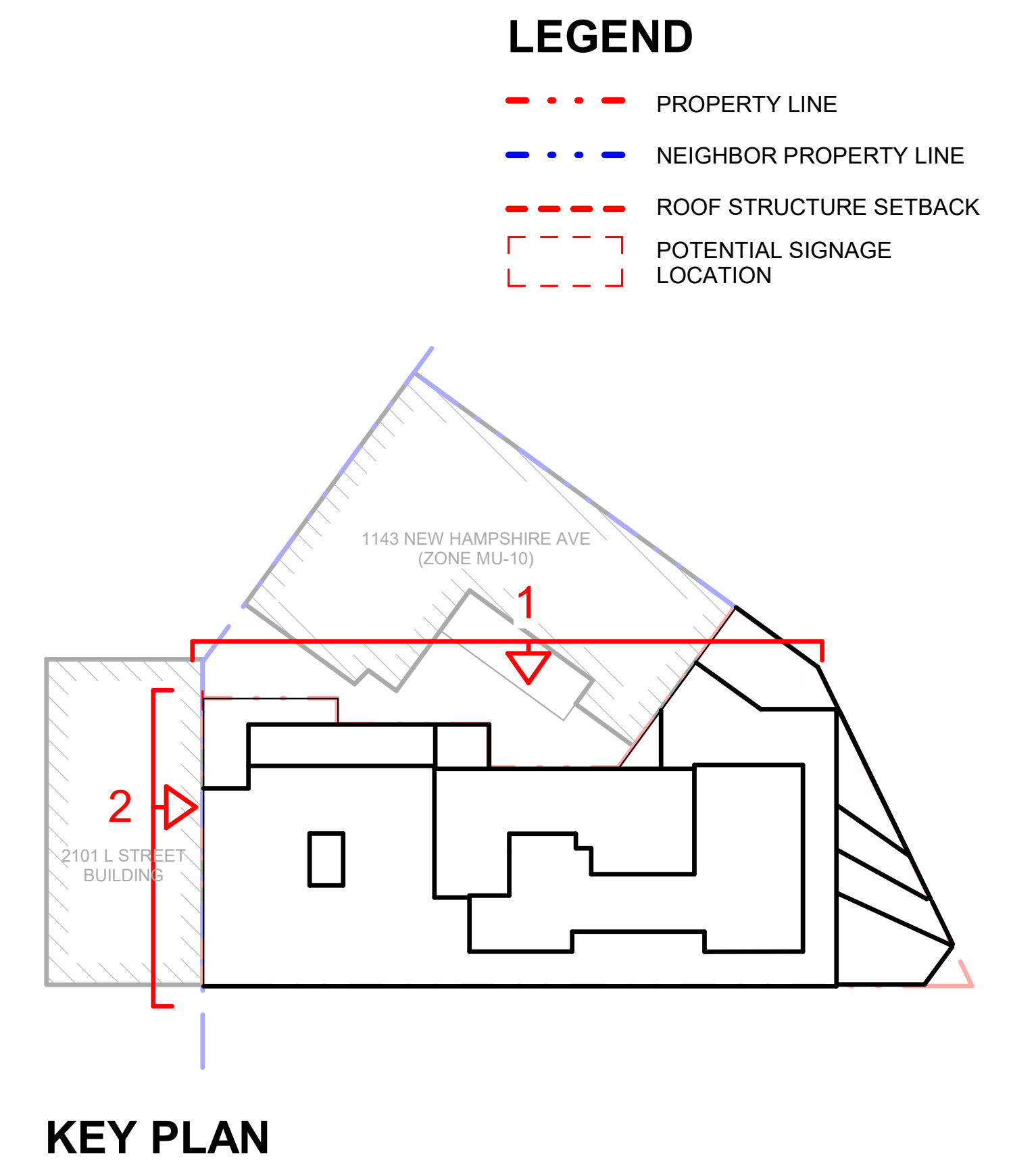
KEY PLAN



(1) WEST ELEVATION



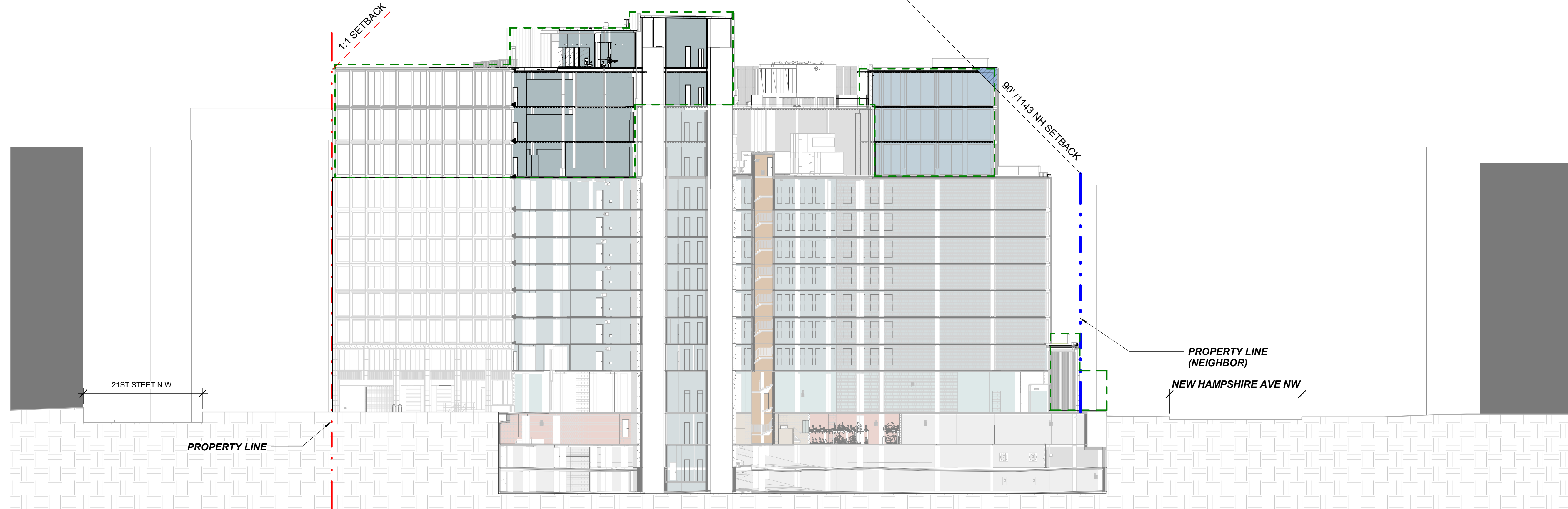
(2) SOUTH ELEVATION



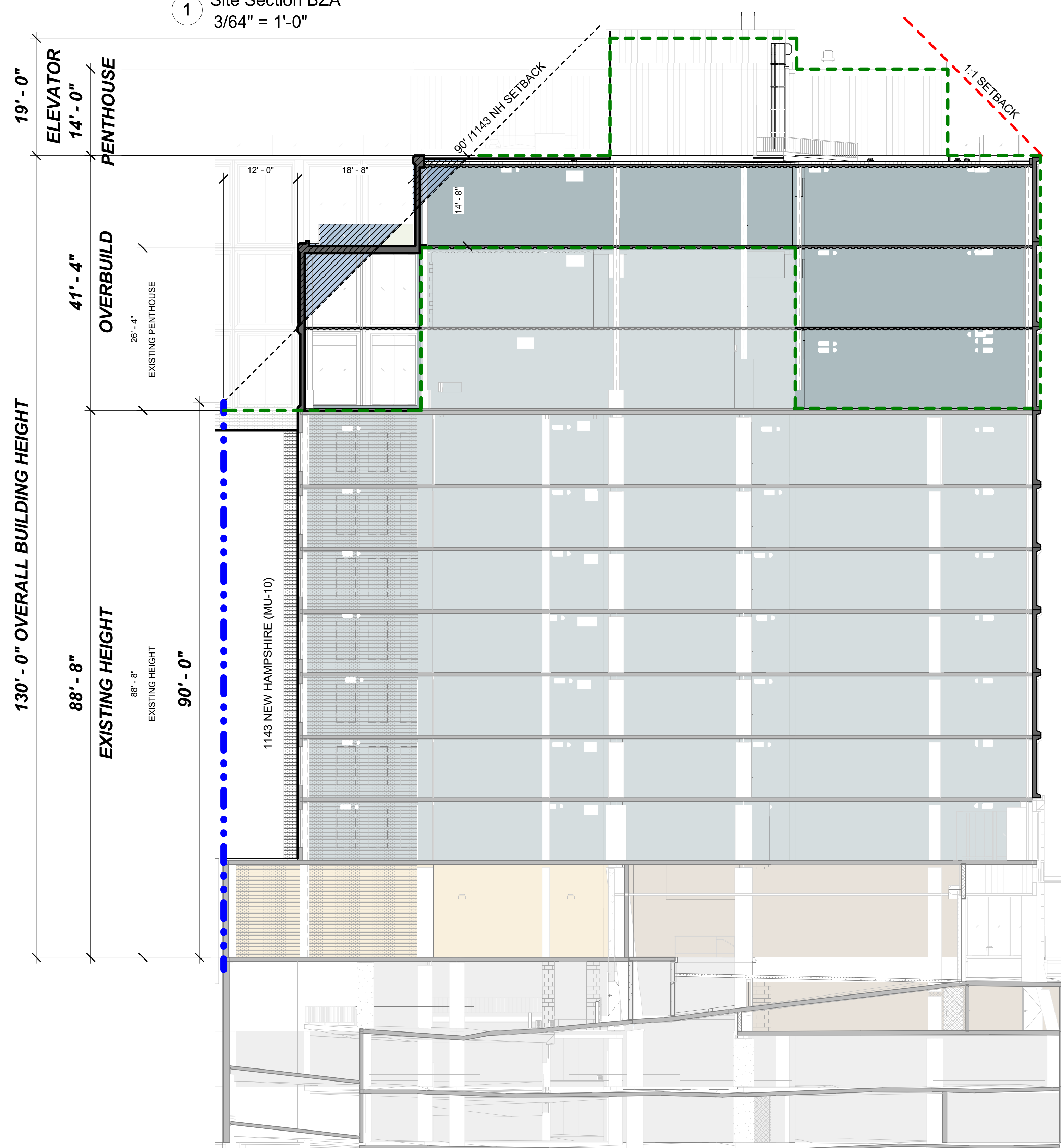
KEY PLAN

NOTES:

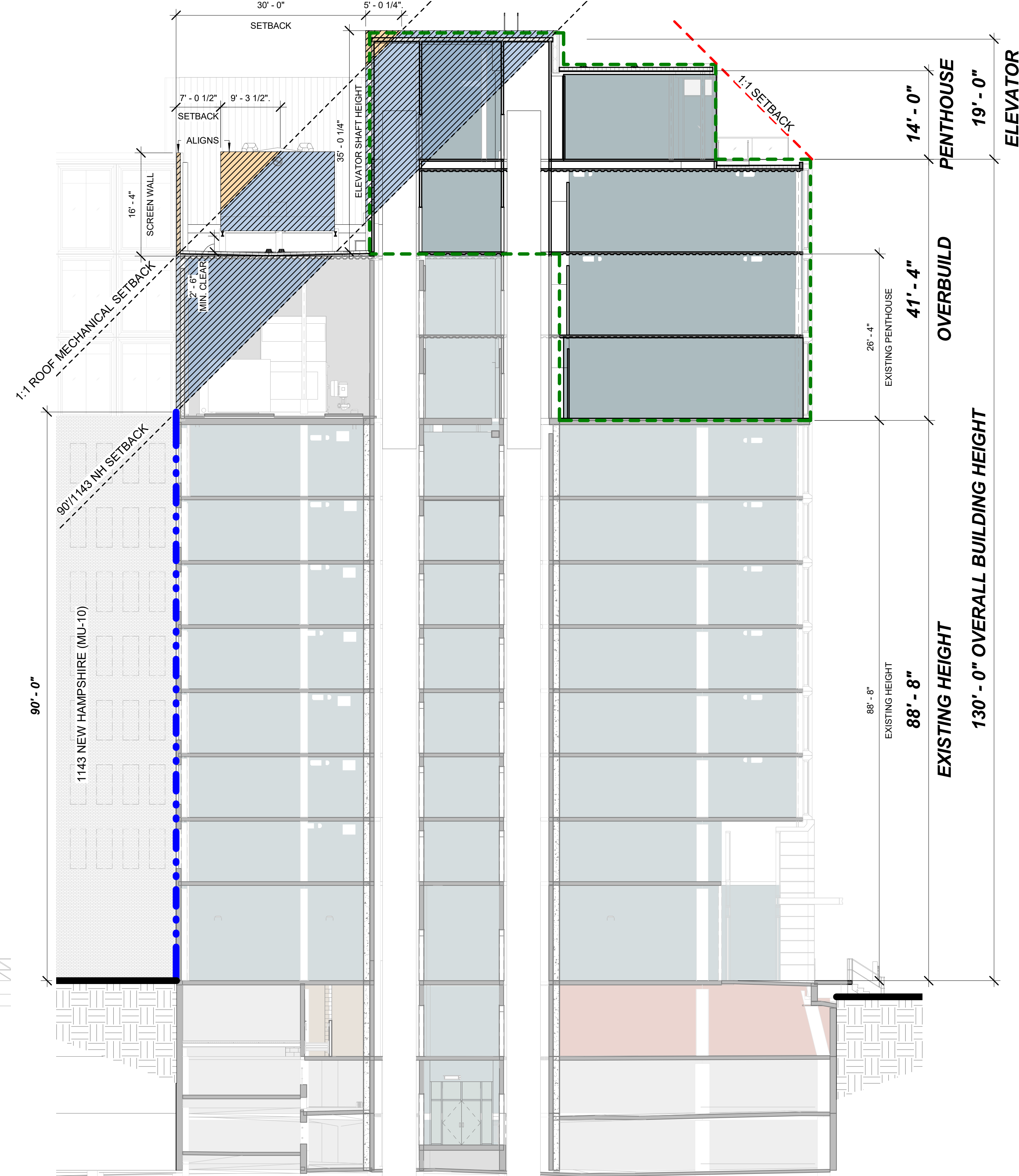
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1 Site Section BZA
3/64" = 1'-0"



2 BZA SECTION
3/32" = 1'-0"



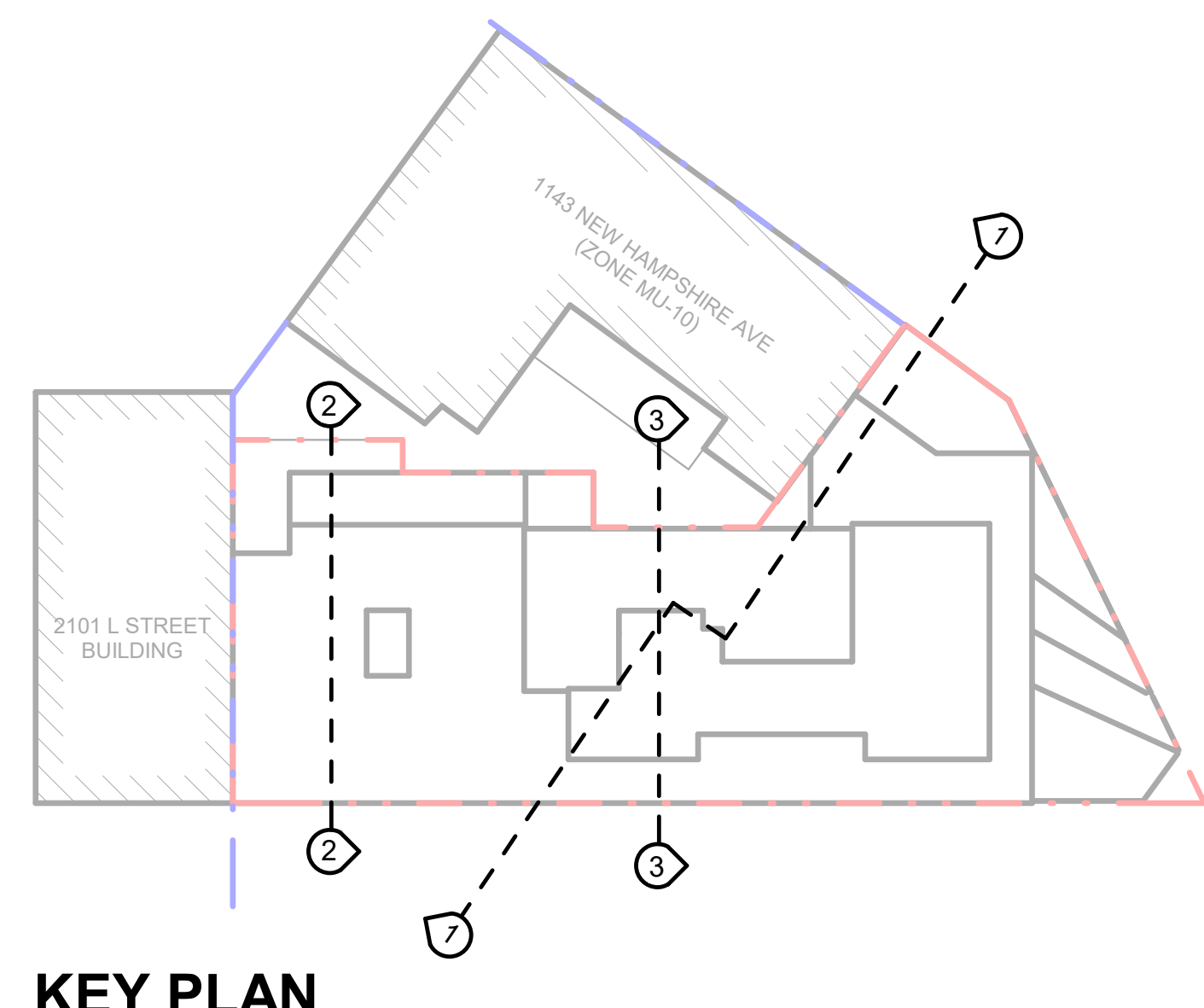
3 TRANSVERSE SECTION
3/32" = 1'-0"

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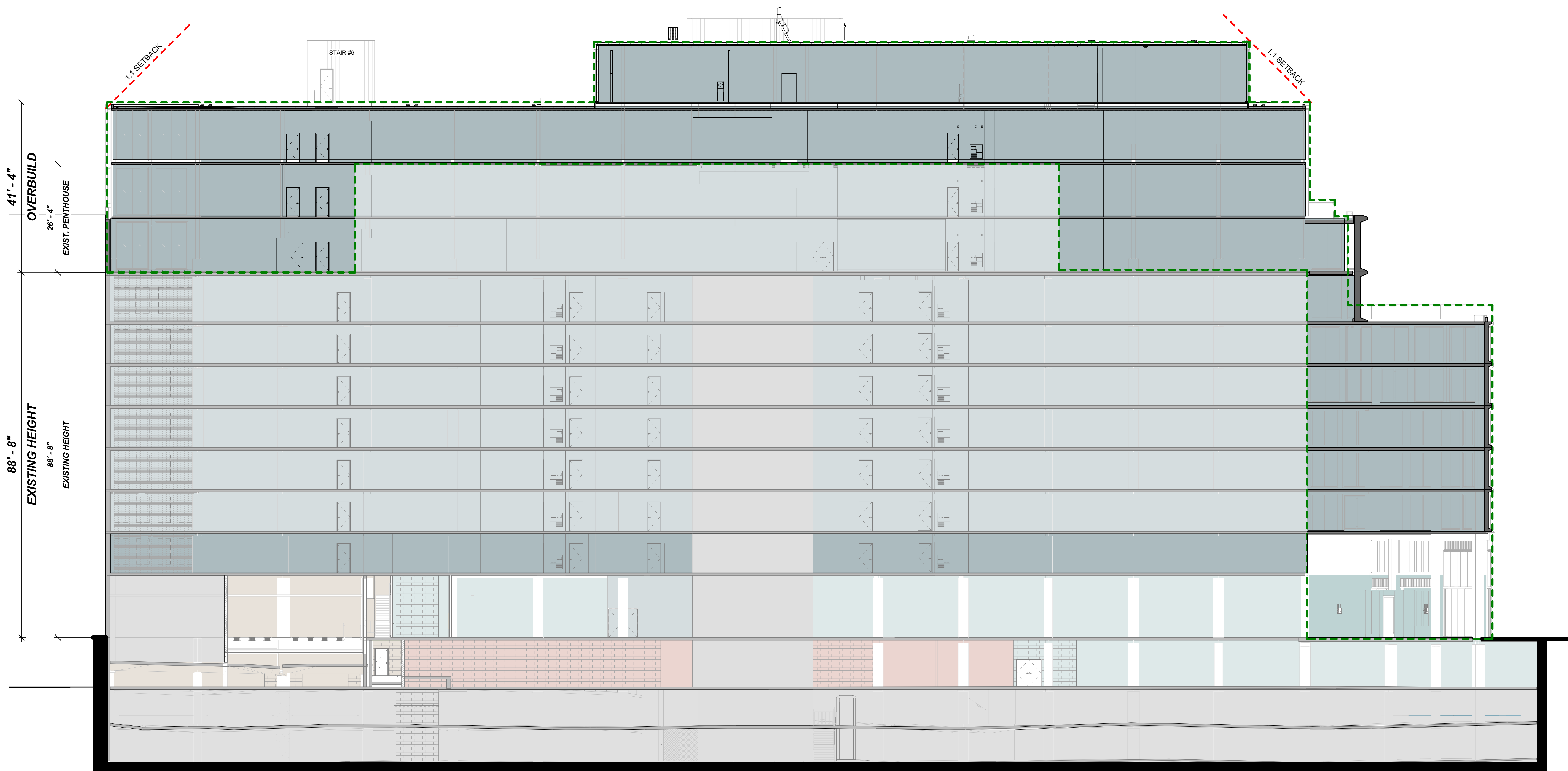
LEGEND

- - - PROPERTY LINE
- - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - 90°/1143 NEW HAMPSHIRE SETBACK
- - - ROOF STRUCTURE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- VERTICAL PENETRATION
- FITNESS AREA
- PROJECT ADDITION
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK



KEY PLAN





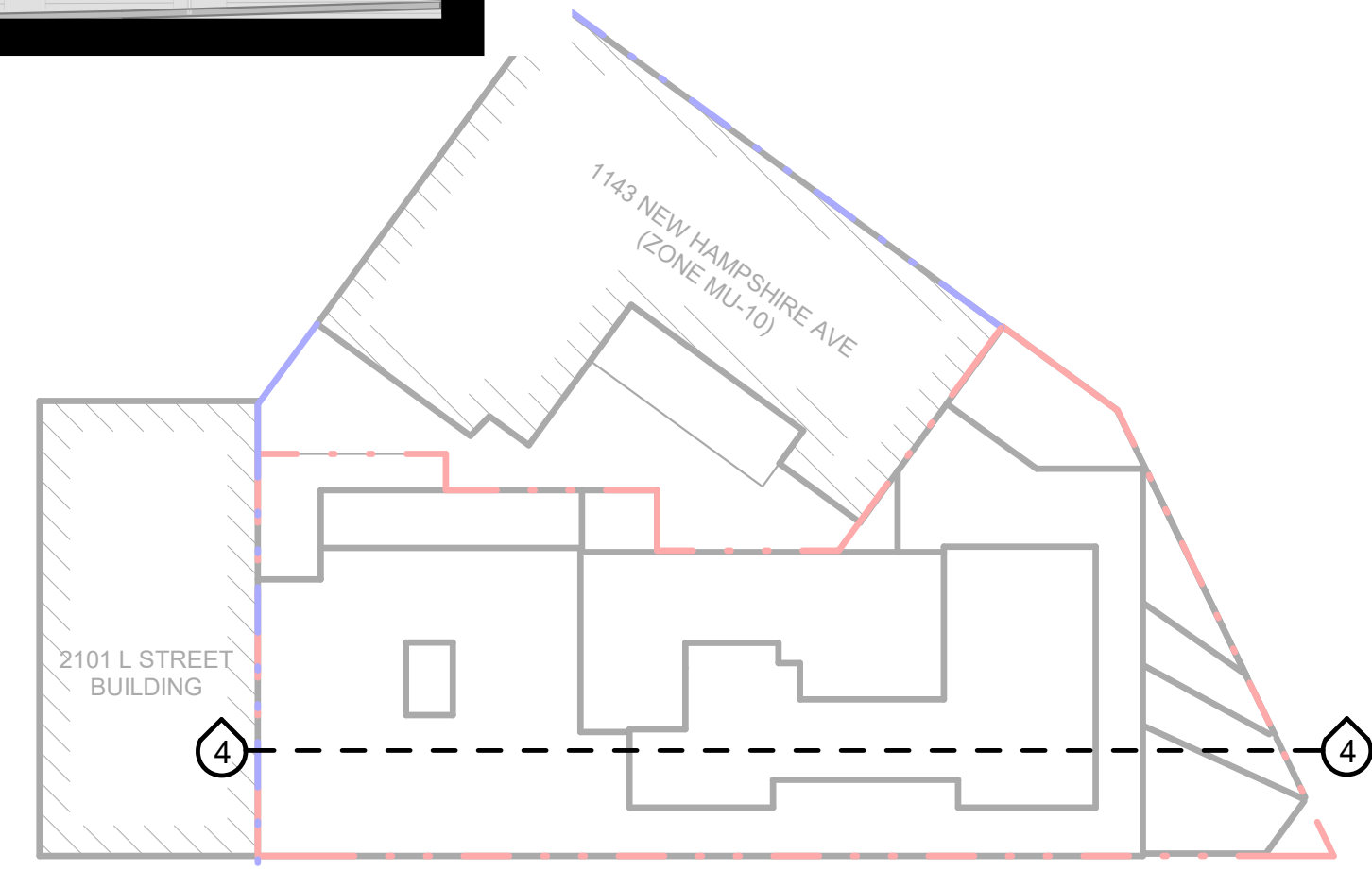
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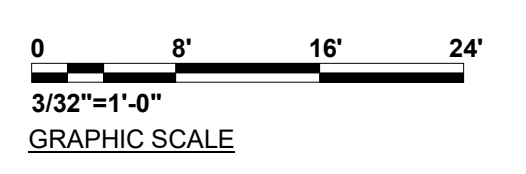
LEGEND

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- - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - 90' / 1143 NEW HAMPSHIRE SETBACK
- - - ROOF STRUCTURE SETBACK
- SERVICE
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- PROJECT ADDITION
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4 LONGITUDINAL SECTION
3/32" = 1'-0"

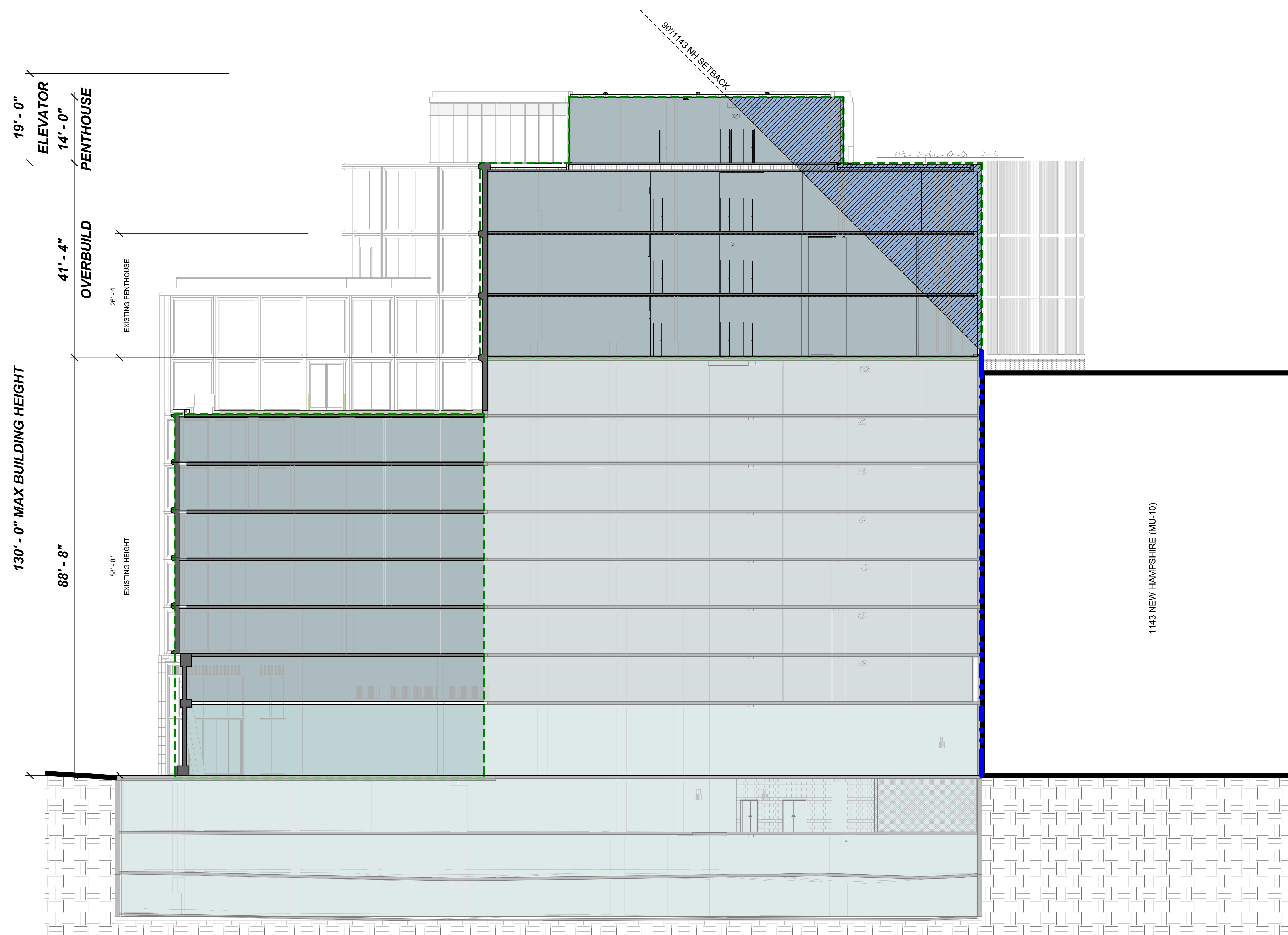


KEY PLAN



NOTES:

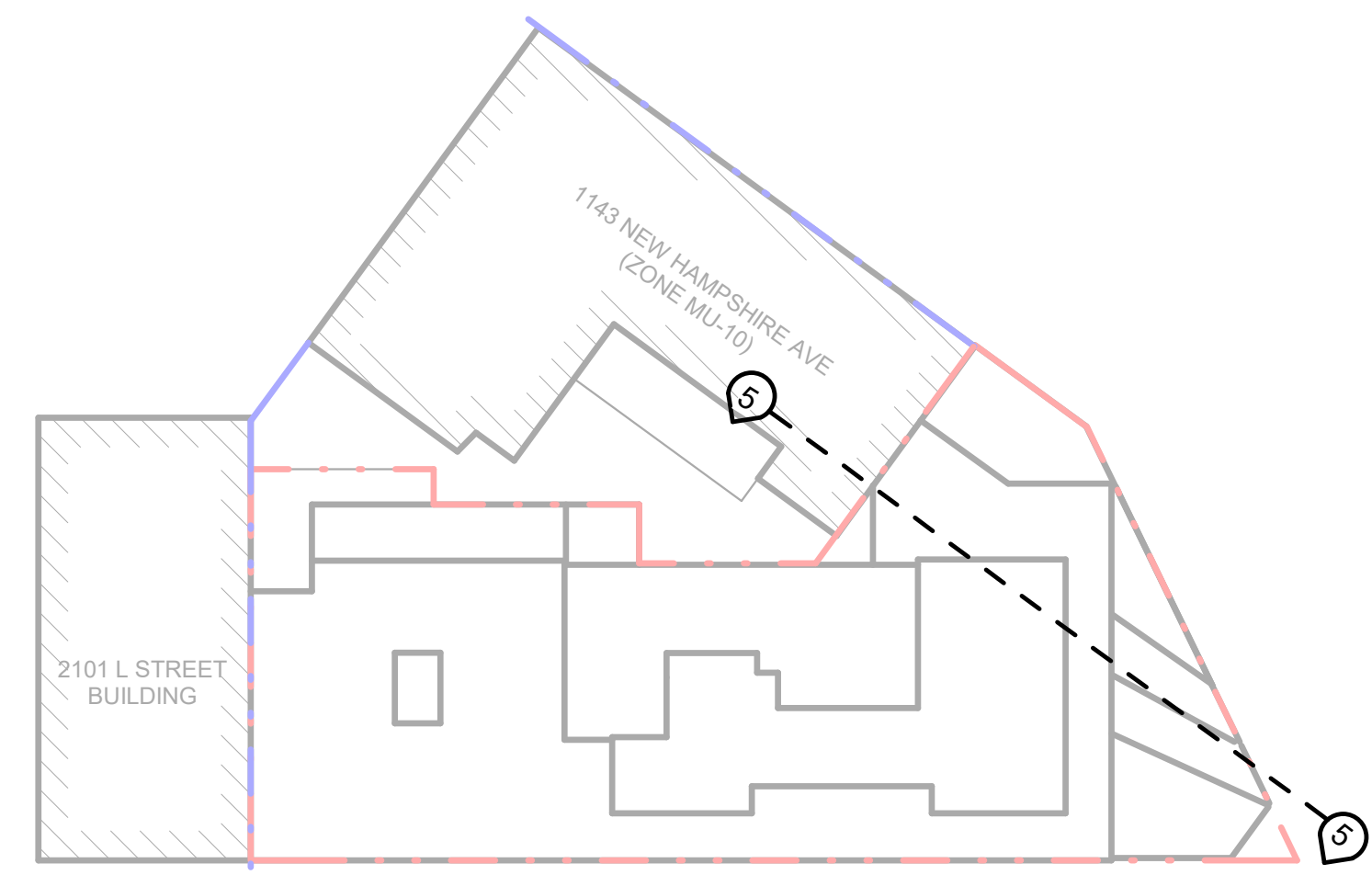
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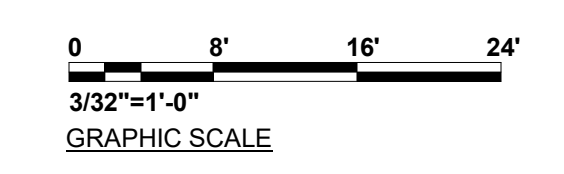
5 BZA SECTION
3/32" = 1'-0"

LEGEND

- - - - - PROPERTY LINE
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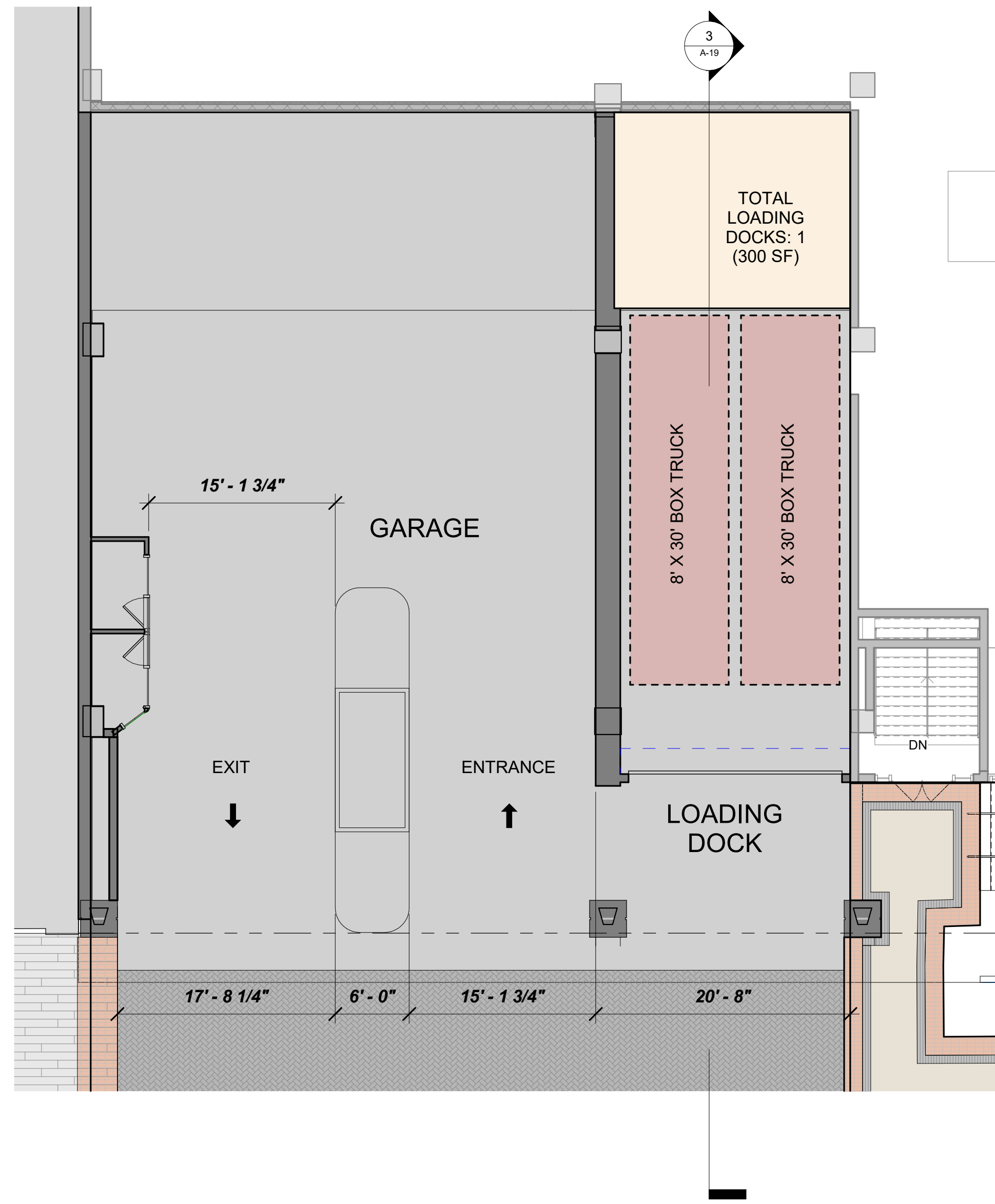


KEY PLAN

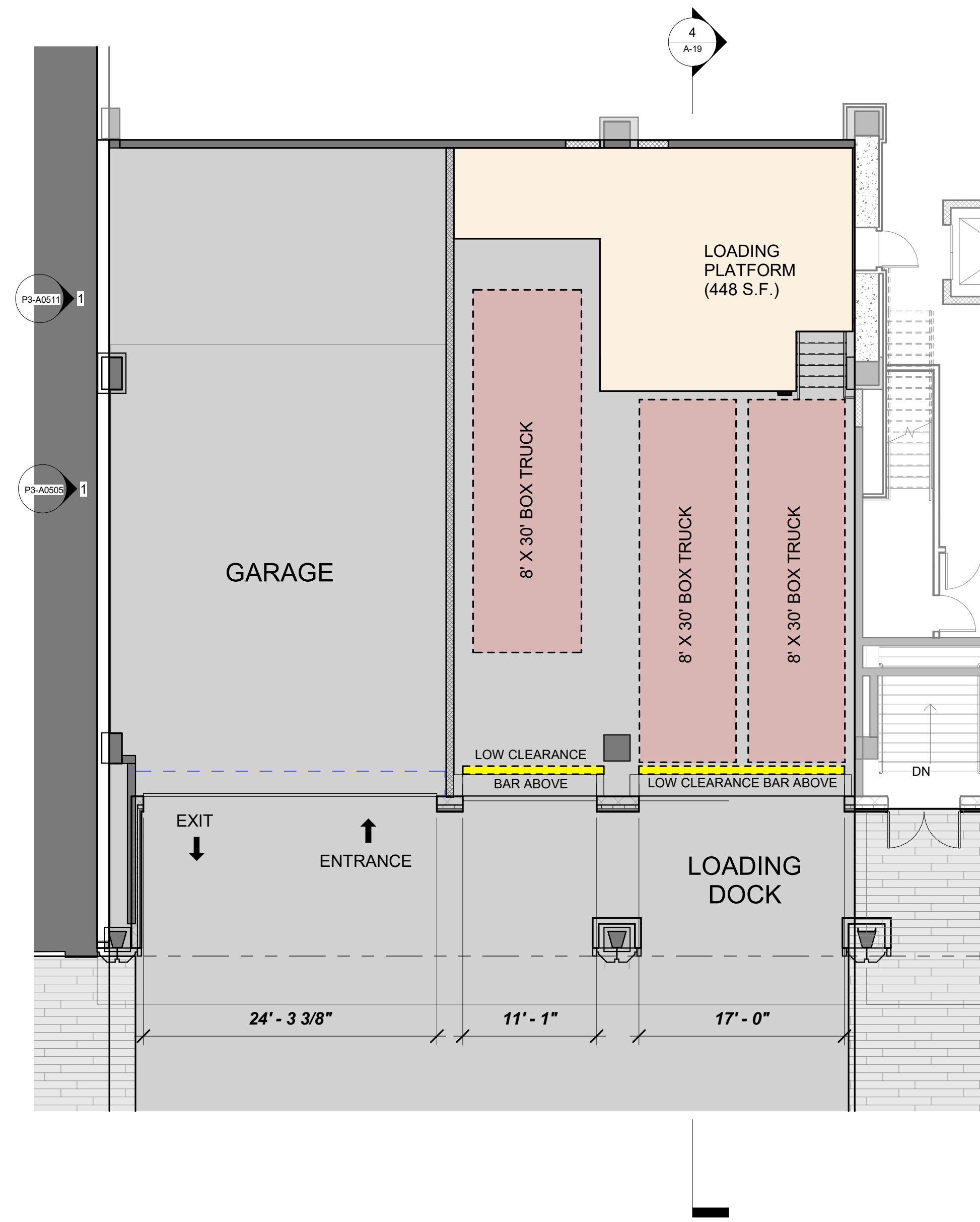


2100M STREET

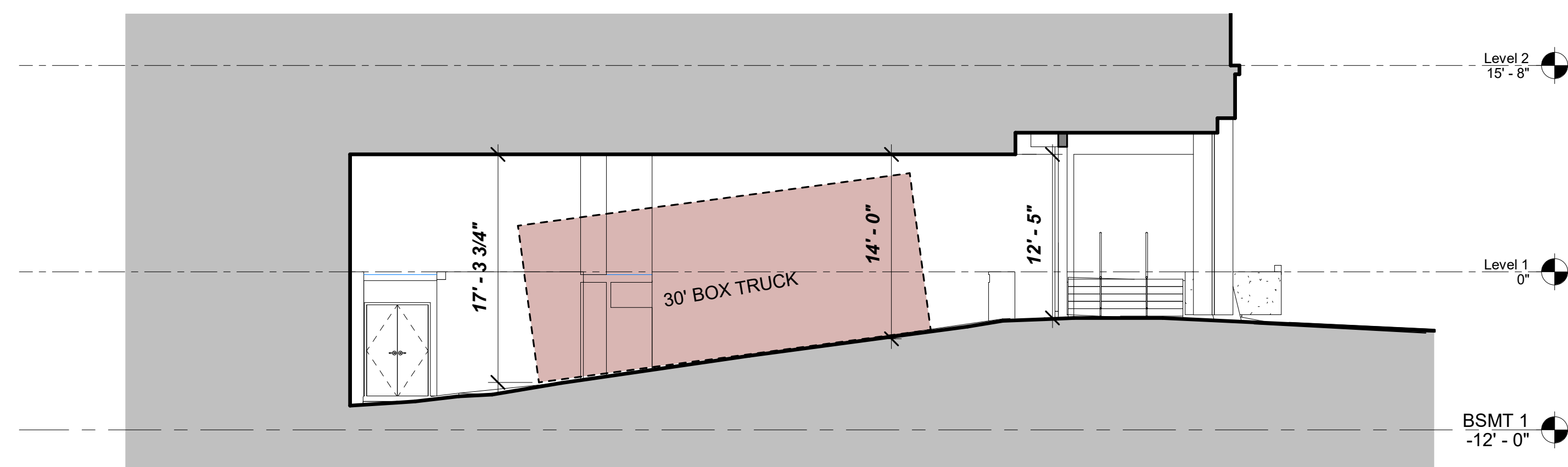




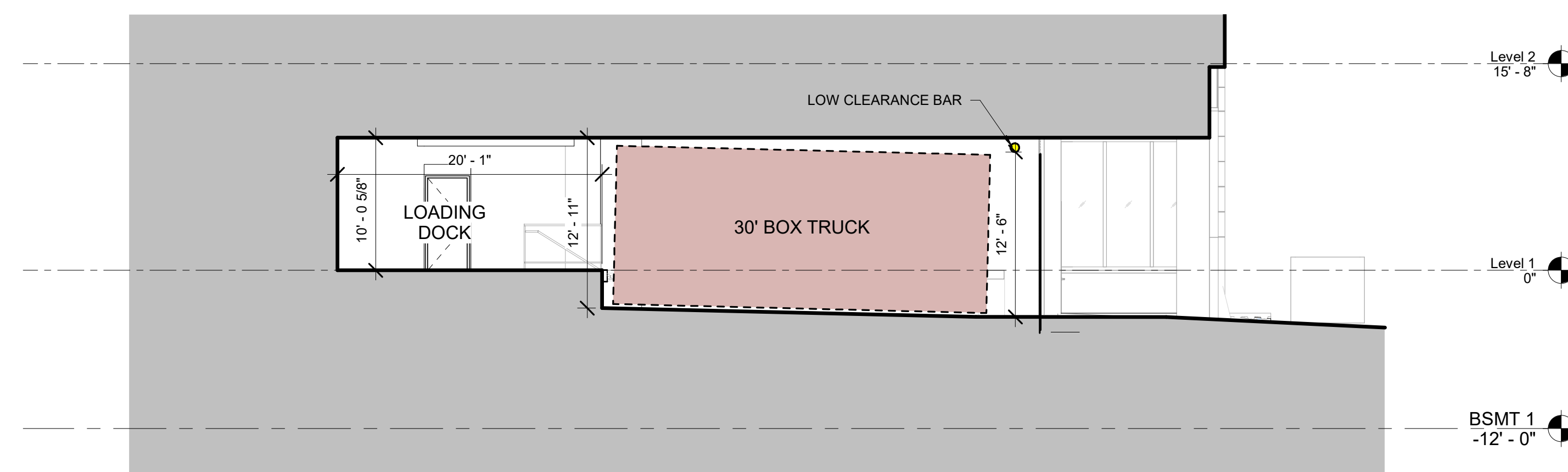
1 LOADING DOCK - EXISTING
1/8" = 1'-0"



2 LOADING DOCK - PROPOSED
1/8" = 1'-0"



3 SECTION THRU LOADING DOCK - EXIST.
1/8" = 1'-0"



NOTE:
ZONING RELIEF REQUESTED FOR VERTICAL
CLEARANCE <14 FT

4 SECTION THRU LOADING DOCK - PROP.
1/8" = 1'-0"

ZONING TABULATIONS

ZONING SUMMARY: D-5

TOTAL SITE AREA: +/- 41,196 SF

ZONING REGULATION	EXISTING	REQUIRED/ALLOWED	PROPOSED
Maximum Building Height	90' - 0"	130' - 0"	130' - 0"
Maximum FAR			
EXISTING TOTAL GFA	EXISTING AREAS BY USE	PROPOSED TOTAL GFA	PROPOSED AREAS BY USE
PENTHOUSE	NA	NA	8,636 GSF — 8,636 SF OFFICE
LEVEL 11	NA	NA	26,050 GSF — 26,050 SF OFFICE
LEVEL 10	NA	NA	27,255 GSF — 27,255 SF OFFICE
LEVEL 9	NA	NA	34,530 GSF — 34,530 SF OFFICE
LEVEL 8	34,810 GSF — 34,810 SF OFFICE		36,286 GSF — 36,286 SF OFFICE
LEVEL 7	34,810 GSF — 34,810 SF OFFICE		37,159 GSF — 37,159 SF OFFICE
LEVEL 6	34,810 GSF — 34,810 SF OFFICE		37,159 GSF — 37,159 SF OFFICE
LEVEL 5	34,810 GSF — 34,810 SF OFFICE		37,793 GSF — 37,793 SF OFFICE
LEVEL 4	34,810 GSF — 34,810 SF OFFICE		37,793 GSF — 37,793 SF OFFICE
LEVEL 3	34,810 GSF — 34,810 SF OFFICE		37,808 GSF — 37,808 SF OFFICE
LEVEL 2	34,810 GSF — 34,810 SF OFFICE		34,614 GSF — 34,614 SF OFFICE
LEVEL 1	28,764 GSF — 1,148 SF LOADING 2,362 SF PARKING 11,389 SF RETAIL 13,865 SF OFFICE		33,453 GSF — 2,267 SF LOADING 1,894 SF PARKING 19,440 SF RETAIL 9,852 SF OFFICE
GARAGE LVL 1	44,072 GSF — 8,619 SF PARKING 27,811 SF OFFICE 7,642 SF SERVICE		44,072 GSF — 8,600 SF PARKING 27,001 SF RETAIL 8,471 SF SERVICE
GARAGE LVL 2	44,600 GSF — 44,600 SF PARKING		44,600 GSF — 44,600 SF PARKING
GARAGE LVL 3	44,600 GSF — 44,600 SF PARKING		44,600 GSF — 44,600 SF PARKING
TOTAL SF BY USE ***W/O GARAGE LVL'S & PH	EXISTING AREAS BY USE		PROPOSED AREAS BY USE
PARKING	2,362 SF		1,894 SF
LOADING	1,148 SF		2,267 SF
RETAIL	11,389 SF		19,440 SF
OFFICE	257,535 SF		356,299 SF
Green Area Ratio GAR:		.20	.20
Maximum Lot Occupancy:	89.85 %	100%	97.13%

TOTAL EXISTING (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 272,434 GFA **IGNORED FOR ZONING PURPOSES**
TOTAL PROPOSED (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 379,901 GFA



	REQUIRED/ALLOWED	PROPOSED
Rear Yard Minimum	27.1' based on 130' BLDG. Ht	Provided (1/2 21 st St NW)
Side Yard Minimum:	not required (4' min)	not provided
Court-Open: Min. Width	commercial: 2 1/2"/ft (12' min)	See Diagram Sheet A-21
Court-Closed: Min. Width (width same as open)	commercial: 250sf min., or 2 x width squared	See Diagram Sheet A-21
Roof Structures (2)		
Gross Floor Area	0.4 FAR = 16,478 GSF	8,635 GSF
Number: 1 per core or stairwell	2	2 (See A-21)
Maximum Height	20'	varies (See A-21)
Setbacks	Equal to Height of Roof Structure	varies (see A-21)

PARKING	EXISTING	REQUIRED/ALLOWED	PROPOSED
Off-Street Parking (SEE A-7 & A-8)	271		246
Existing Counts (292 with vault spaces)		165 spaces (1958 zoning)	(265 with vault spaces)
GARAGE LEVEL 1	005		006
GARAGE LEVEL 2	140		124
GARAGE LEVEL 3	147		135
TOTAL # ADA SPACES	018		006
TOTAL # VALET SPACES	076		073
TOTAL # NON-ADA SPACES	177		167
TOTAL # VAULT SPACES	021		019

EXISTING (SEE A-7 & A-8)			
Retail / Service (11,389 SF)	1 per 750 sf	11	
Office (257,535 SF)	1 per 1,800 sf	142	
TOTAL		153	

PROPOSED (SEE A-7 & A-8) *** NEW OVERBUILD SF			
Retail / Service (8,051 SF)	1.33 per 1,000 sf	11	
Office (107,400 SF)	0.5 per 1,000 sf	54	
TOTAL (50% reduction due to metro proximity)		65 / 2 = 32.5	
TOTAL SPACES REQUIRED		153 + 32.5 = 186	246

Off-Street Loading		REQUIRED (ZR-58)	PROVIDED (SEE A-19)
EXISTING (SEE A-19)	Retail / Service (8,000 - 20,000 SF)	Berths: 1 @ 30' Platforms: 1 @ 100 SF Service/delivery space: 1 @ 20'	Legal Non-Conformity
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 30' BAYS Platforms: ~300 SF Service/delivery space: NONE
PROPOSED (SEE A-19)	Retail / Service (5,000 - 20,000 SF)	Berths: 1 @ 30' Platforms: 1 @ 100 SF	N/A
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 8' x 30' BAYS & (1) 12' x 30' BAY Platforms: 3 @ 100 SF Service/delivery space: NONE

Bicycle Parking	Short Term Spaces		Long Term Spaces	
	Formula	Proposed	Formula	Proposed
Office 364,935 GSF	1 per 40,000sf = 9 spaces		1 per 2,500sf = 146 spaces	
Retail 19,440 GSF	1 per 3,500sf = 6 spaces		1 per 10,000sf = 2 spaces	
Total	15 spaces	16 spaces	98+2 = 100 spaces	100 spaces (see A-8)

- Notes:
1- The Maximum building height is based on 110 ft if R.O.W. determining height is <110 ft. wide; 130 ft if > 110 ft. wide
2- The FAR is calculated based on record lot area. The FAR for each lot is compliant with DCMR Title 11 Chapter 2517.
3- Occupied Outdoor Spaces, ramp going to the parking levels, and mechanical shafts above ground floor are not included in GFA
4- Parking spaces located partially in public space do not count towards total parking for zoning purposes.

2100M STREET

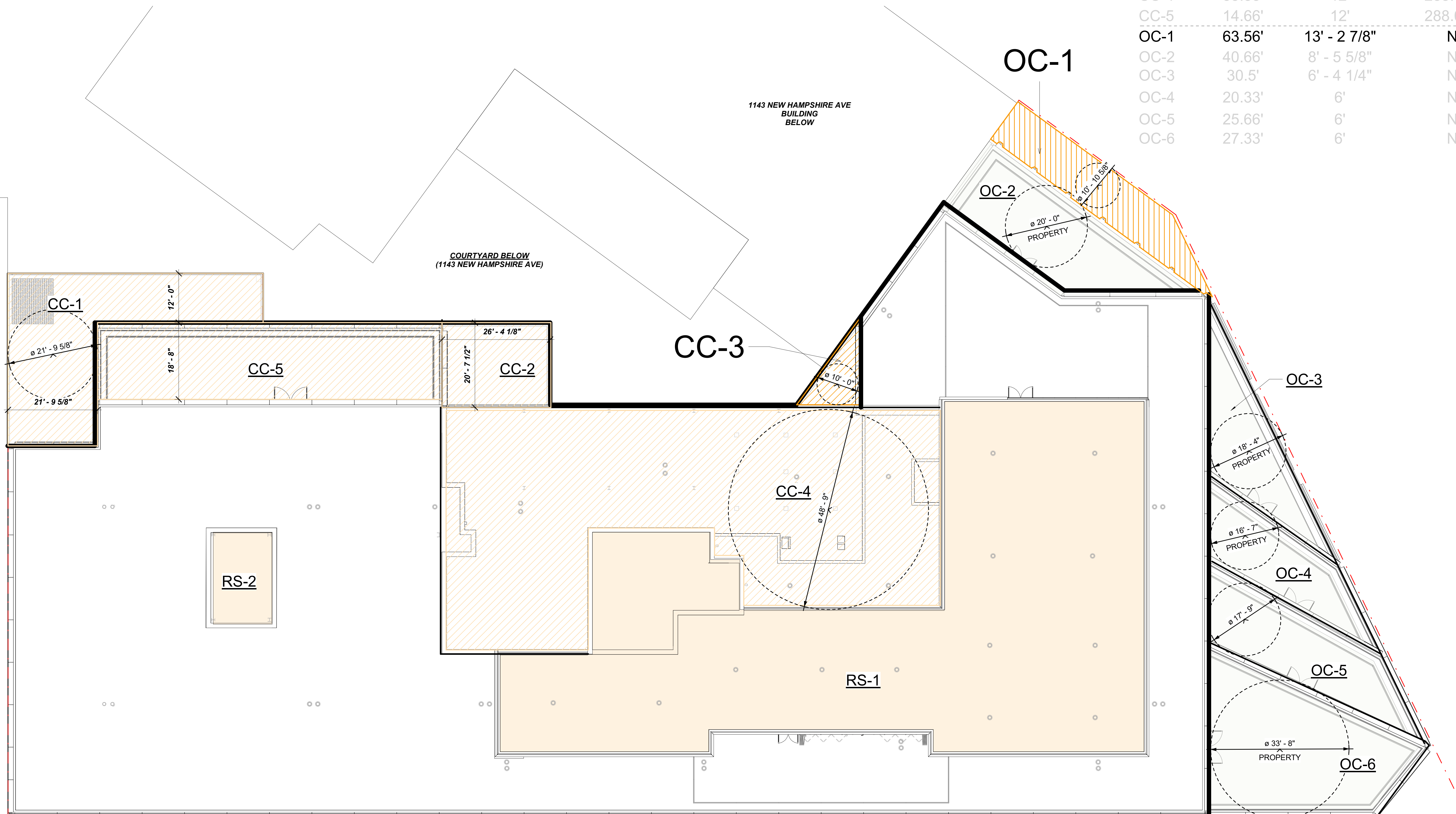
SCHEDULE OF ROOFTOP STRUCTURE HEIGHTS / SETBACK

Rooftop Structure	Height	Required Setback	Proposed Setback
RS-1	15' - 0"/20' - 0"	15' - 0"/20' - 0"	SEE A-24
RS-2	15' - 0"	15' - 0"	SEE A-24

SCHEDULE OF COURTS

COURT	WALL HEIGHT	COMMERCIAL REQUIRED WIDTH	MINIMUM AREA	PROVIDED WIDTH	PROVIDED AREA
CC-1	103.83'	21' - 7 1/2"	879.55 SF	21' - 9 5/8"	1,400 SF
CC-2	30.83'	12'	288.00 SF	20' - 7 1/2"	779 SF
CC-3	41.00'	12'	288.00 SF	10' - 0"	156 SF
CC-4	35.33'	12'	288.00 SF	48' - 9"	6,565 SF
CC-5	14.66'	12'	288.00 SF	18' - 8"	1,565 SF
OC-1	63.56'	13' - 2 7/8"	N/A	10' - 10 5/8"	627 SF
OC-2	40.66'	8' - 5 5/8"	N/A	20' - 0"	895 SF
OC-3	30.5'	6' - 4 1/4"	N/A	18' - 4"	484 SF
OC-4	20.33'	6'	N/A	16' - 7"	519 SF
OC-5	25.66'	6'	N/A	17' - 9"	684 SF
OC-6	27.33'	6'	N/A	33' - 8"	1,278 SF

RELIEF REQUIRED



COURT NOTES:

1) IF THE COURT IS NOT RECTANGULAR, THE WIDTH SHALL BE THE DIAMETER OF THE LARGEST CIRCLE THAT MAY BE INSCRIBED IN A HORIZONTAL PLANE WITHIN THE COURT. ***B-322.4

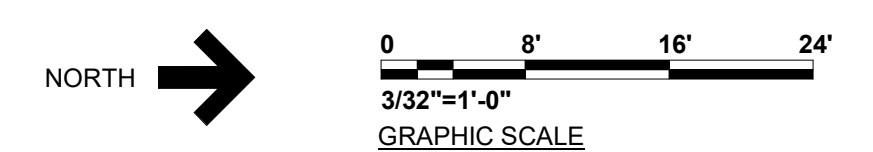
NOTES:

1) DIMENSIONS ON THIS SHEET ILLUSTRATE ROOF STRUCTURE PLAN, REAR YARD PLAN, AND OPEN COURTS PLAN
 2) SEE ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.

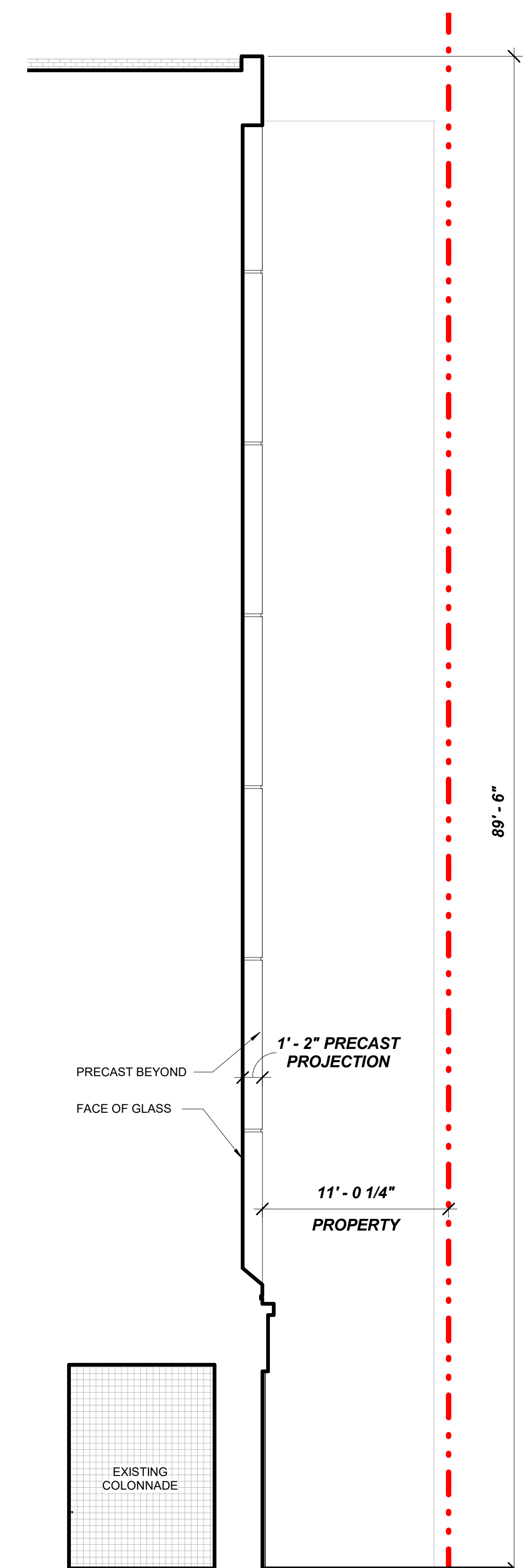
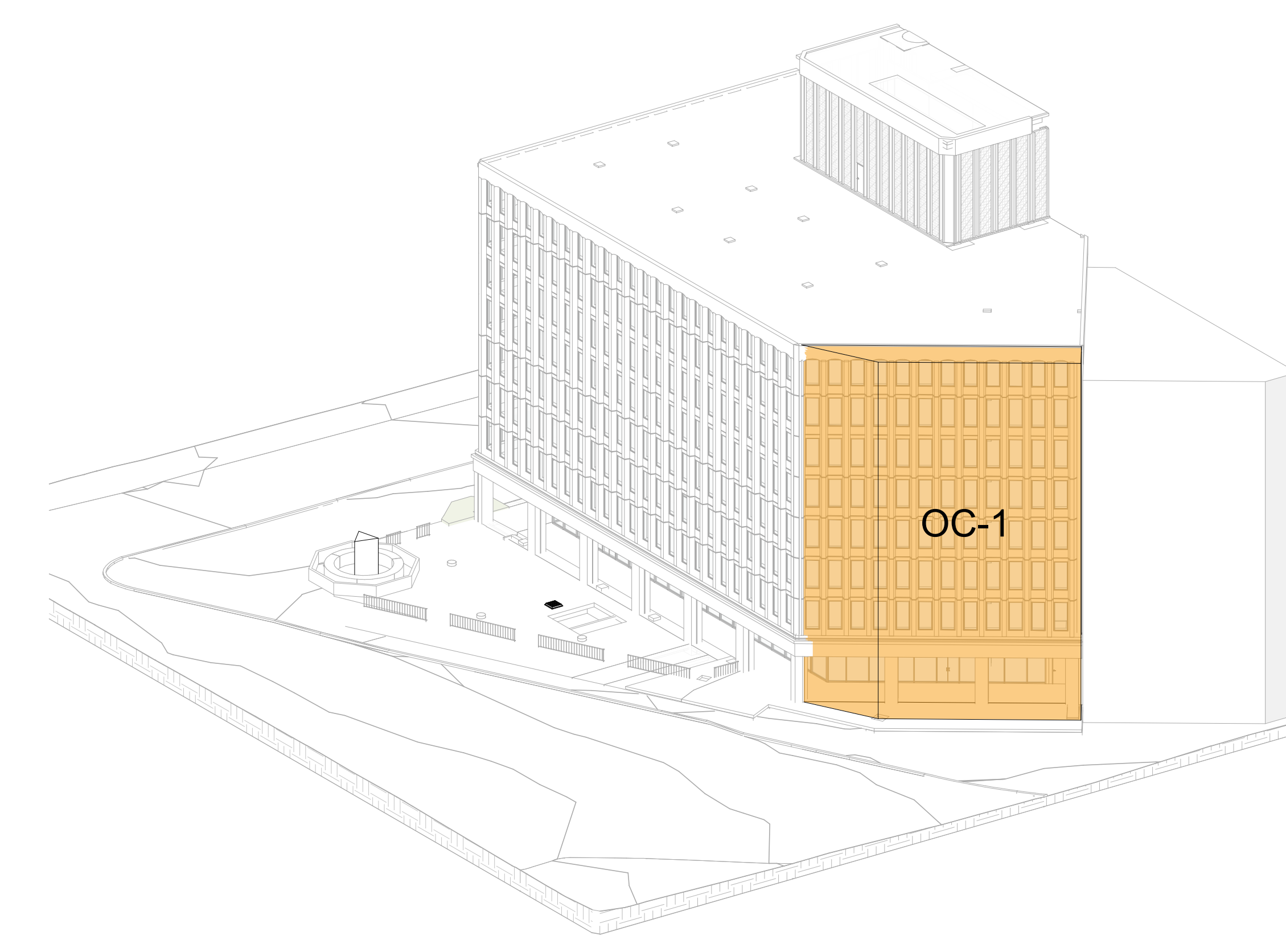
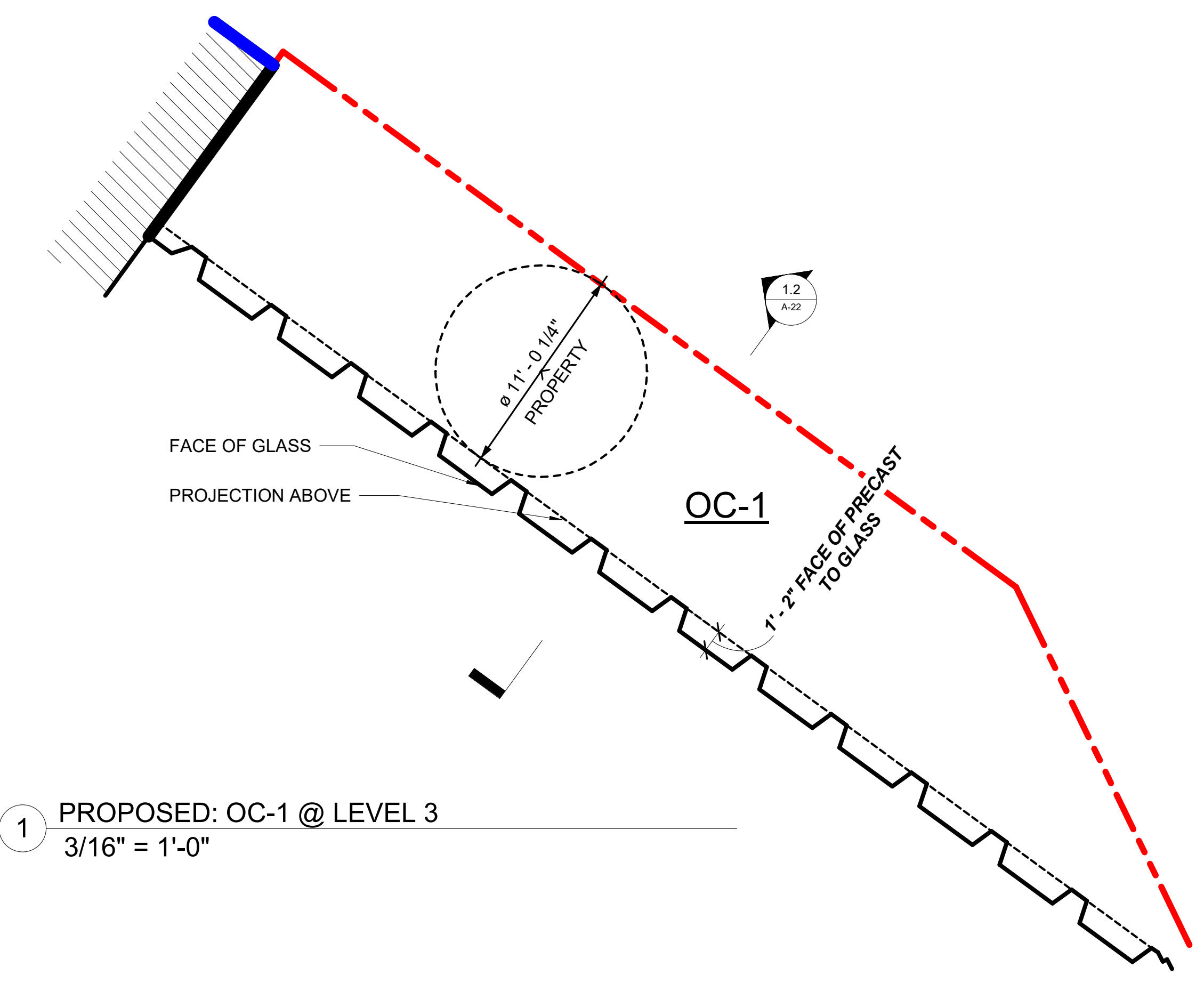
LEGEND

- - - - - PROPERTY LINE
- - - - - NEIGHBOR PROPERTY LINE
- - - - - ROOF STRUCTURE SETBACK
- ROOF STRUCTURES
- ▨ CLOSED COURT
- ▧ OPEN COURT
- OCCUPIED OUTDOOR SPACE AND OPEN COURT
- OPEN/CLOSED COURT WIDTH

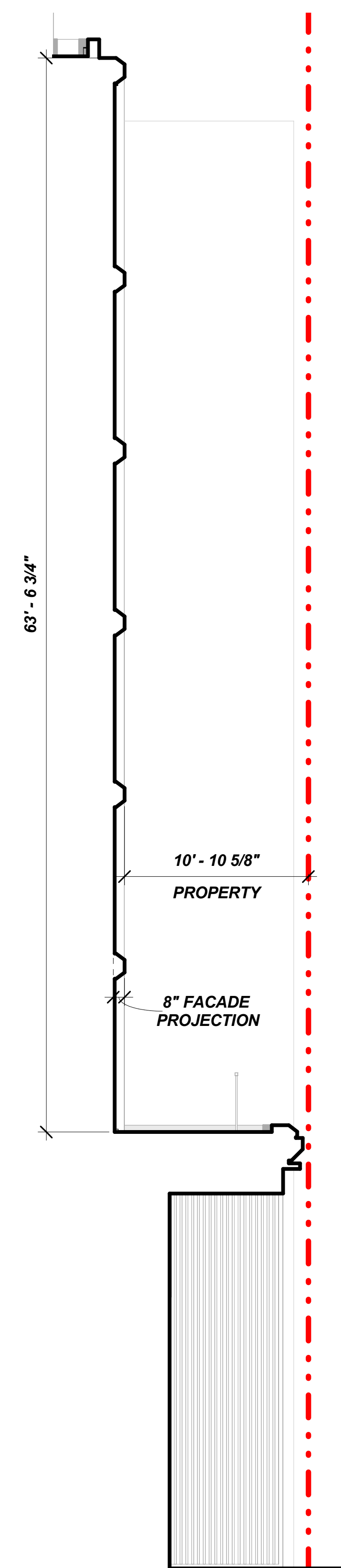
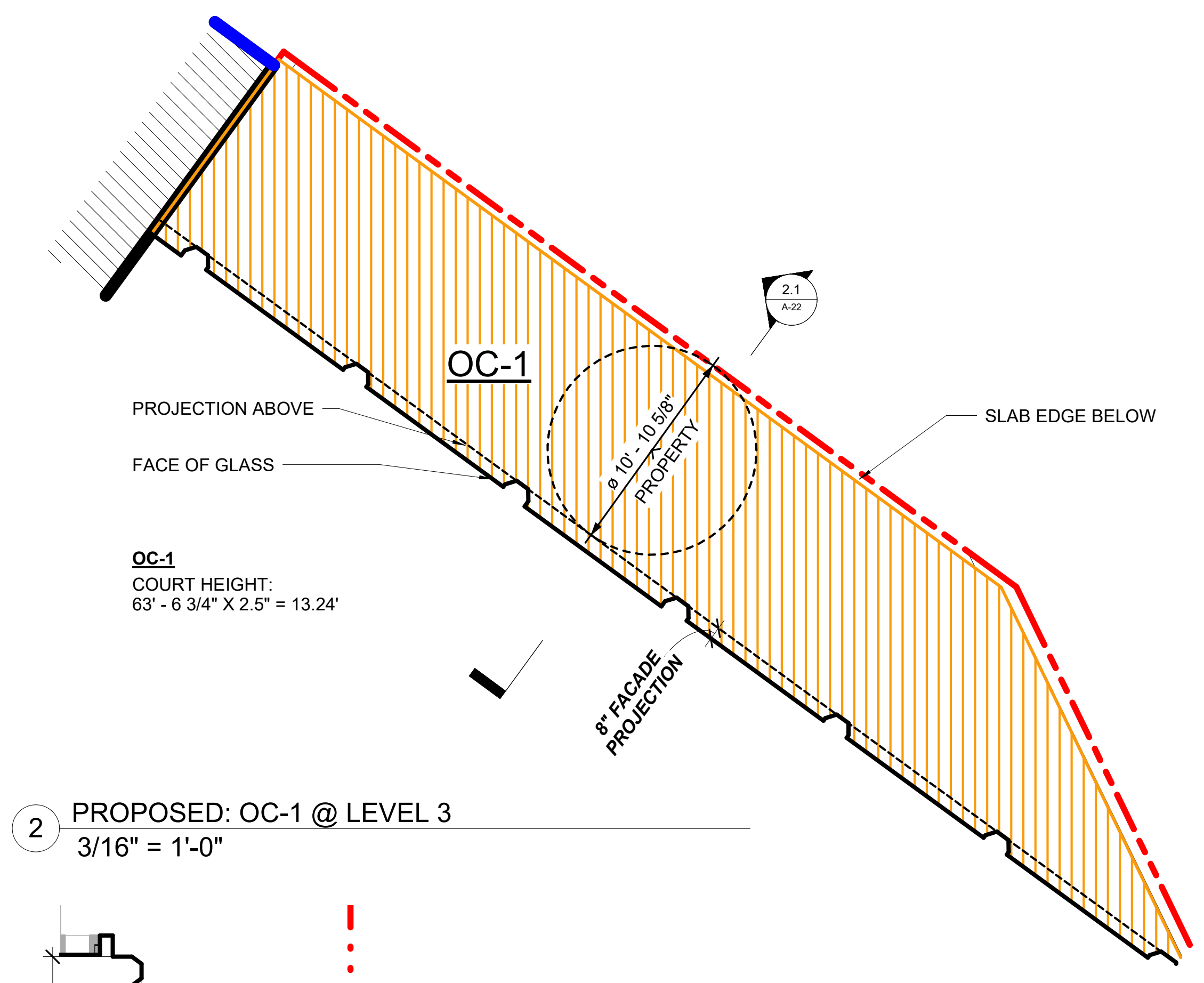
PROJECTIONS SHOWN WILL REQUIRE REVIEW AND APPROVAL BY DCRA AND ARE SUBJECT TO MODIFICATION AT THE REQUEST OF DCRA DURING SUCH PROCESS.



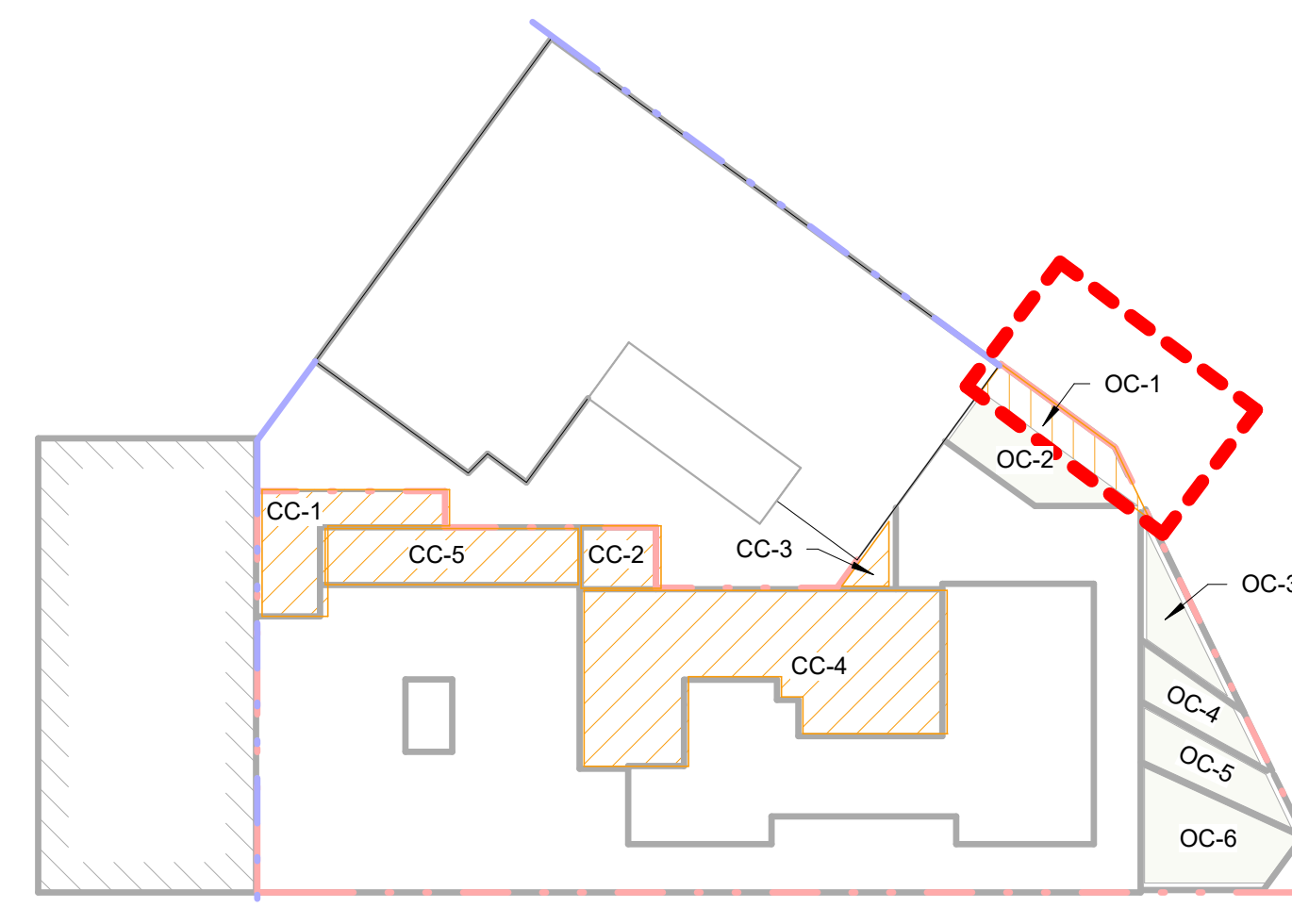
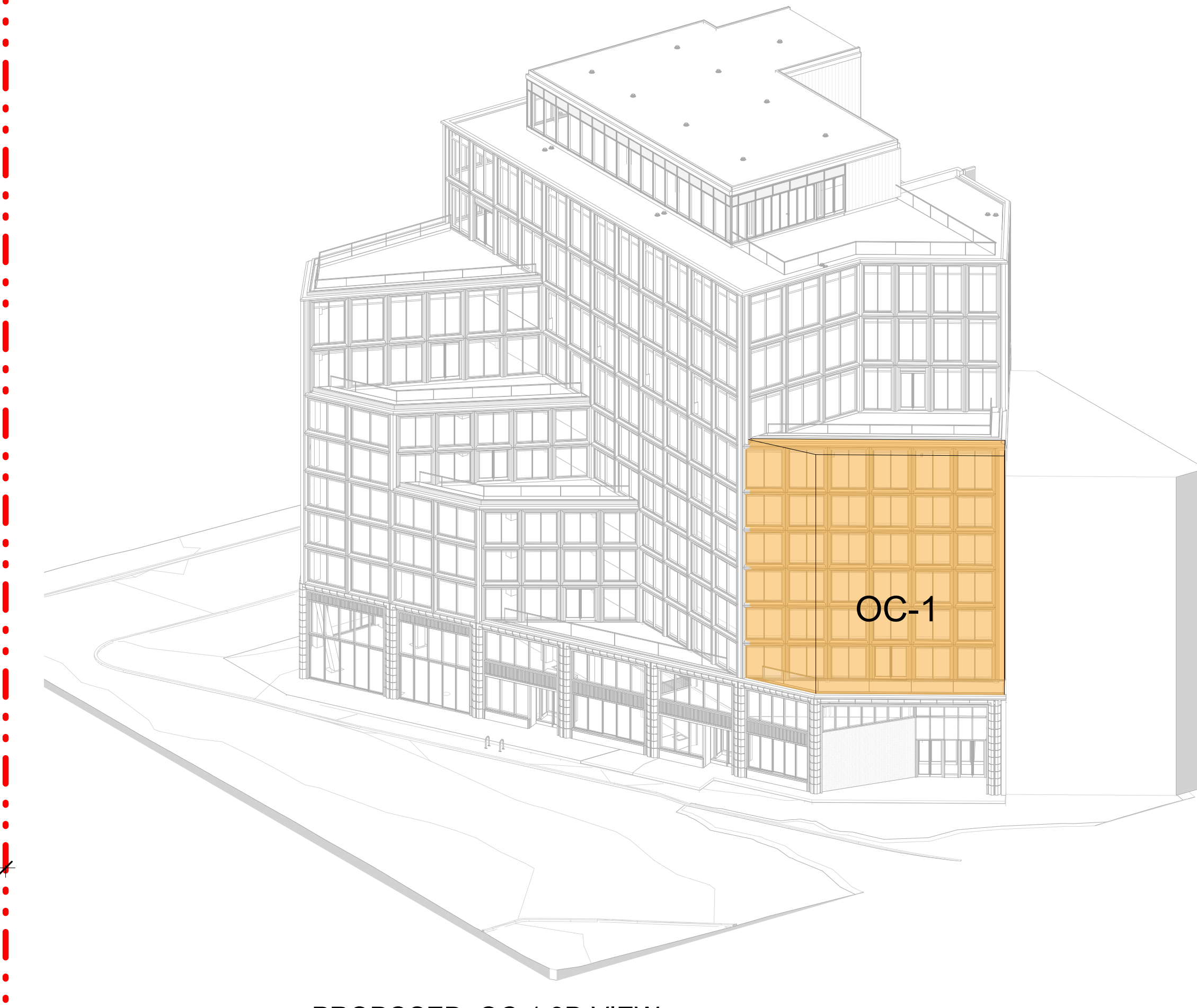
COURT PLAN



1.2 EXISTING: OC-1 SECTION
3/16" = 1'-0"



2.1 PROPOSED: OC-1 SECTION
3/16" = 1'-0"



- NOTES:**
- 1) REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
 - 2) THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF DEMISING WALLS, THE LOCATION OF BUILDING USE AND FUNCTIONAL COMPONENTS, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, ELEVATORS, AND PARKING GARAGE LAYOUTS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FURTHER DESIGN EVOLUTION.
 - 3) ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0' - 0".
 - 4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.

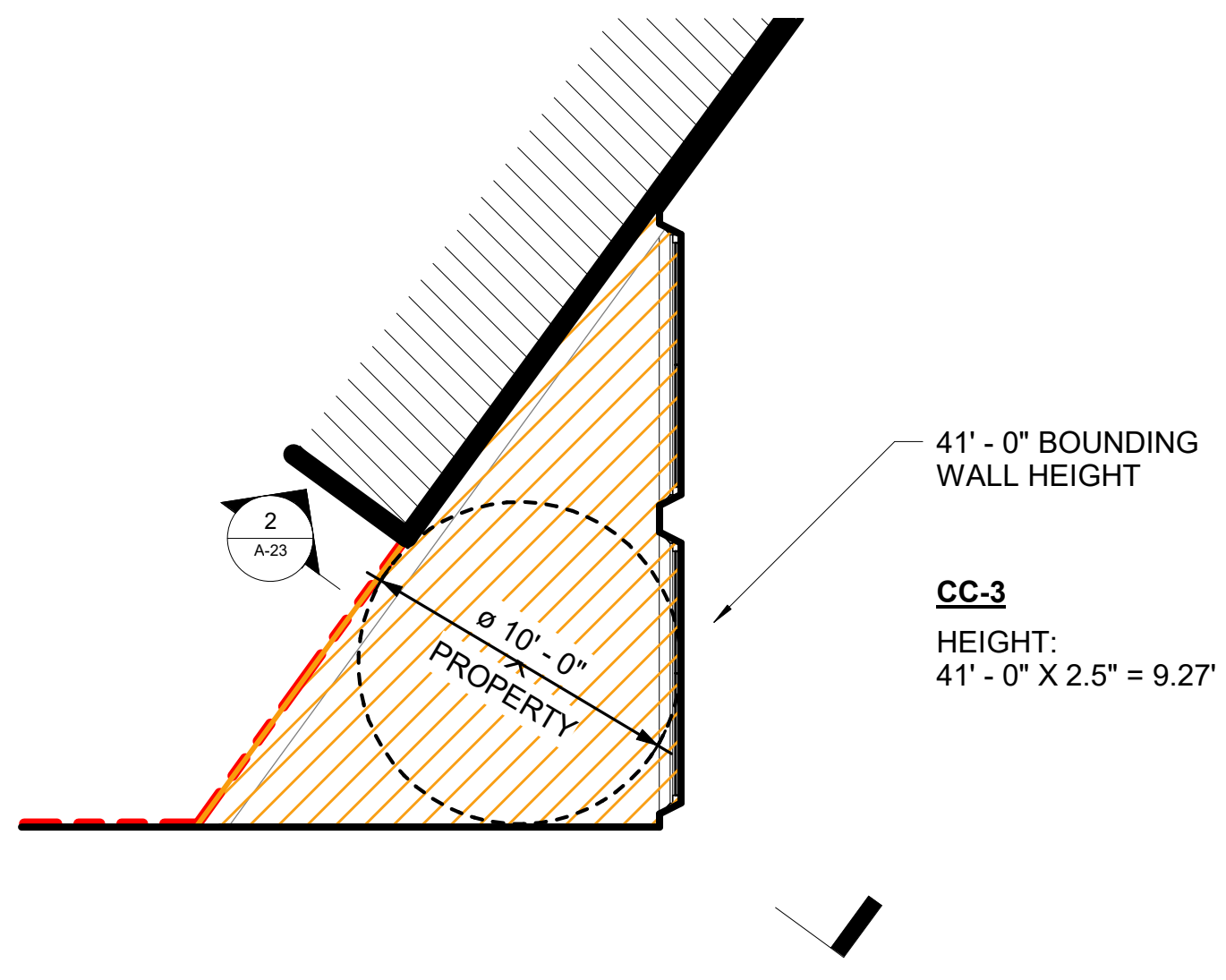
- COURT NOTES:**
- 1) IF THE COURT IS NOT RECTANGULAR, THE WIDTH SHALL BE THE DIAMETER OF THE LARGEST CIRCLE THAT MAY BE INSCRIBED IN A HORIZONTAL PLANE WITHIN THE COURT. ***B-322.4

- LEGEND**
- PROPERTY LINE
 - NEIGHBOR PROPERTY LINE
 - ROOF STRUCTURE SETBACK
 - ROOF STRUCTURES
 - CLOSED COURT
 - OPEN COURT
 - OCCUPIED OUTDOOR SPACE AND OPEN COURT
 - Ø OPEN/CLOSED COURT WIDTH



NOTES:

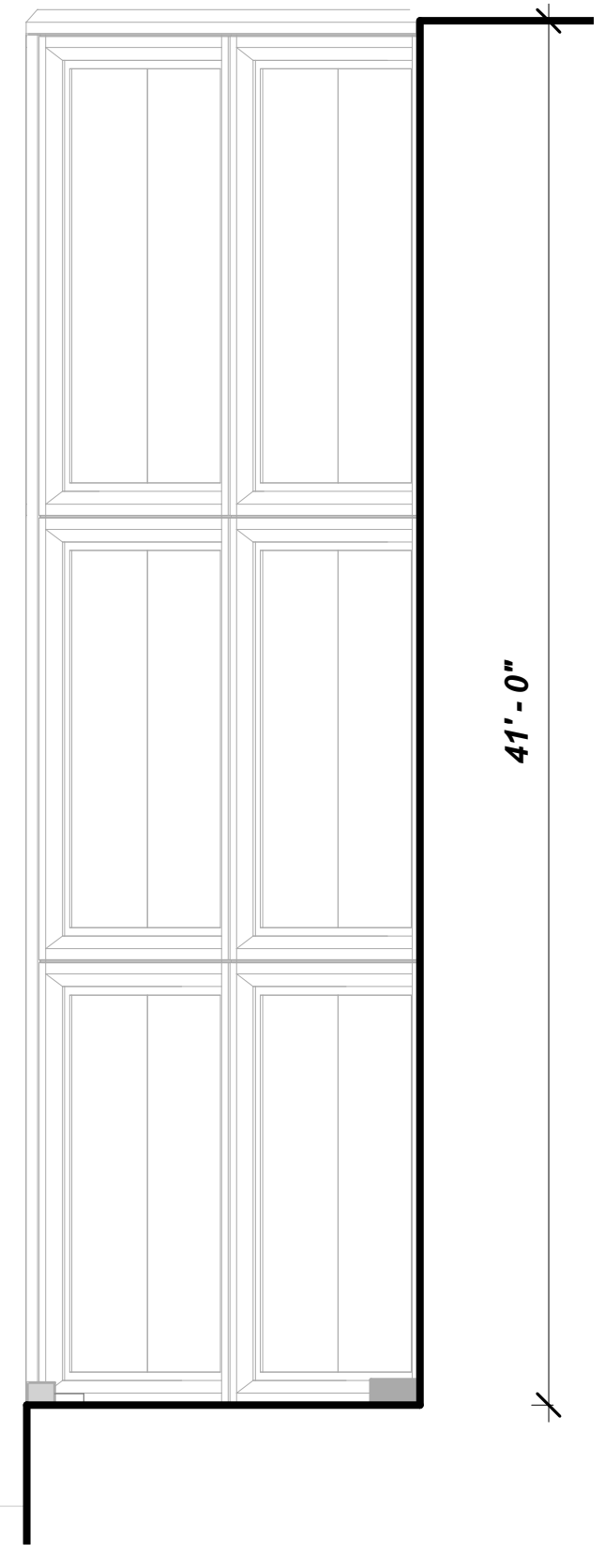
- 1) REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
- 2) THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS; THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF DEMISING WALLS, THE LOCATION OF BUILDING USE AND FUNCTIONAL COMPONENTS, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, ELEVATORS, AND PARKING GARAGE LAYOUTS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FURTHER DESIGN EVOLUTION.
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- 4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.



1 CC-3 @ LEVEL 9
3/16" = 1'-0"

COURT NOTES:

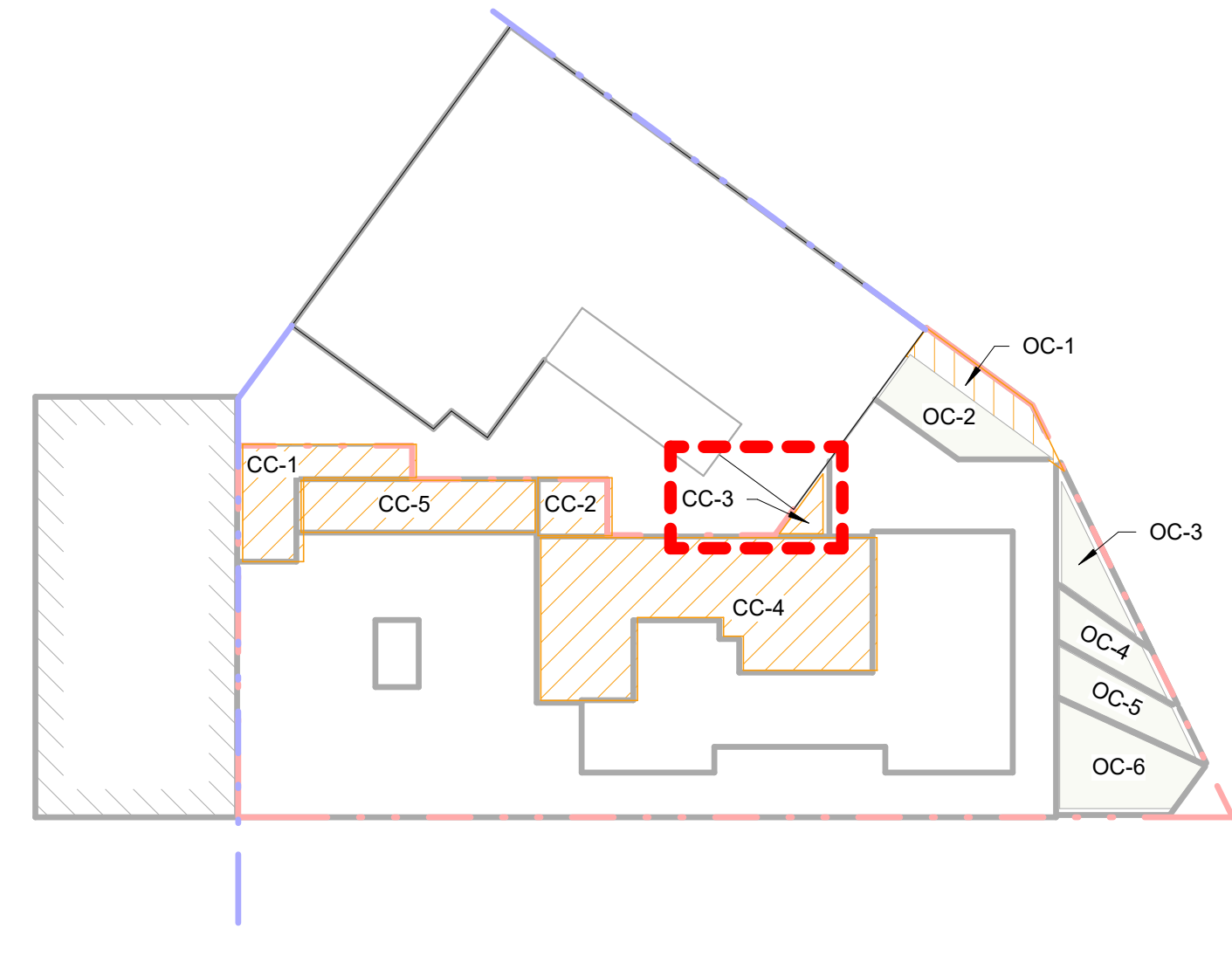
- 1) IF THE COURT IS NOT RECTANGULAR, THE WIDTH SHALL BE THE DIAMETER OF THE LARGEST CIRCLE THAT MAY BE INSCRIBED IN A HORIZONTAL PLANE WITHIN THE COURT. ***B-322.4



2 CC-3 SECTION
3/16" = 1'-0"

LEGEND

- - - - - PROPERTY LINE
- - - - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - - - 90' / 1143 NEW HAMPSHIRE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- FITNESS AREA
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK



KEY PLAN



NOTES:

1) REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.

2) THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF DEMISING WALLS, THE LOCATION OF BUILDING USE AND FUNCTIONAL COMPONENTS, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, ELEVATORS, AND PARKING GARAGE LAYOUTS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FURTHER DESIGN EVOLUTION.

3) ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0' - 0".

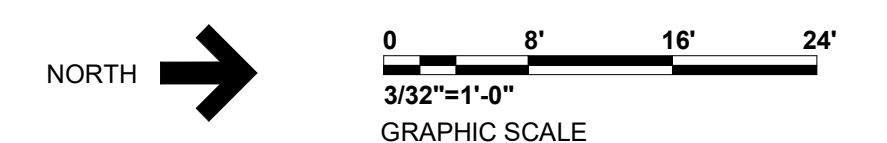
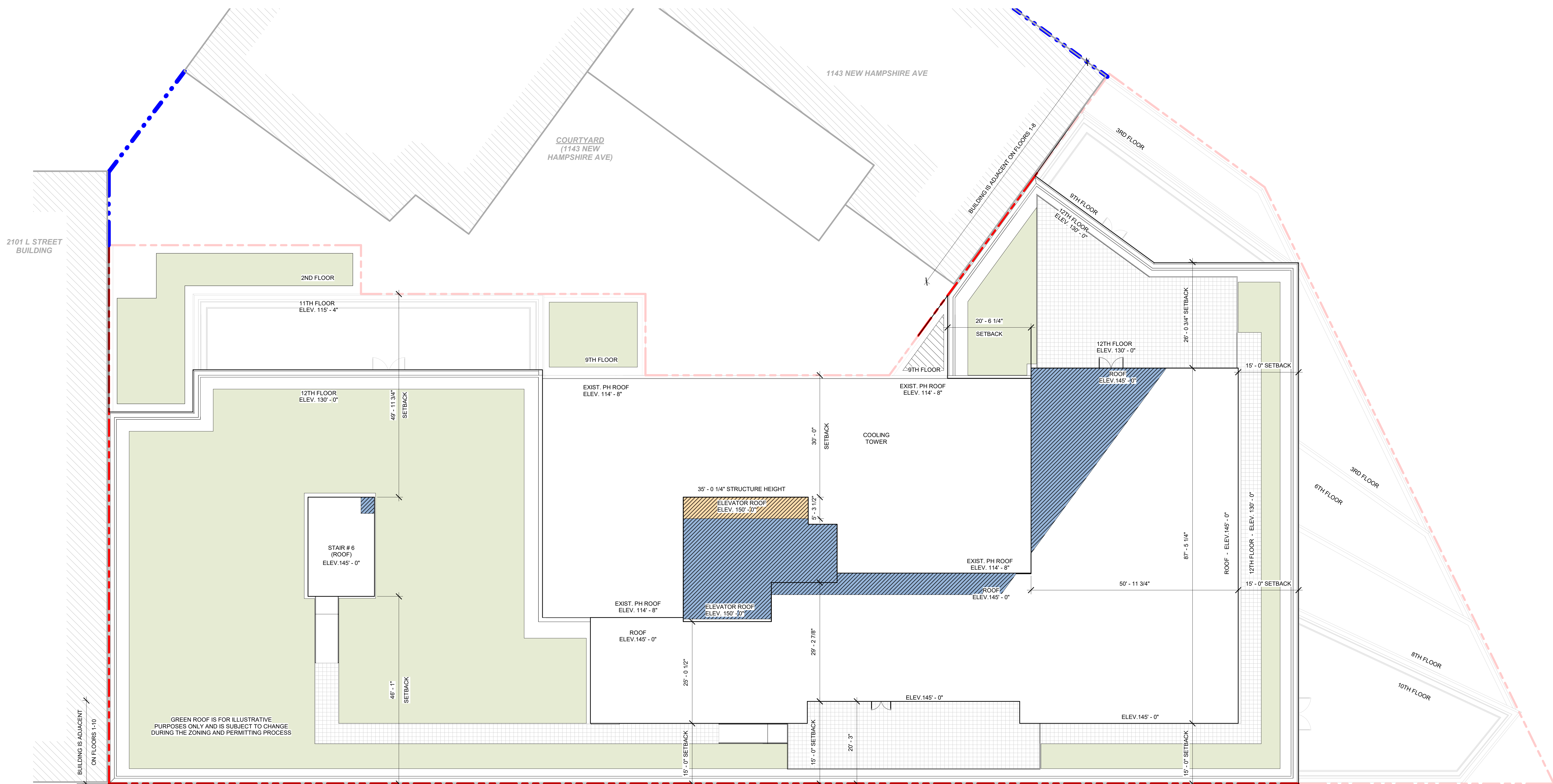
4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.

LEGEND

- - - - PROPERTY LINE
- - - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - - 90' / 1143 NEW HAMPSHIRE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- FITNESS AREA
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK

GREEN ROOF NOTE:

GREEN ROOF AREAS SHOWN ARE ILLUSTRATIVE AND SUBJECT TO CHANGE DURING DESIGN AND PERMITTING PROCESSES



ROOF PLAN - SETBACKS

