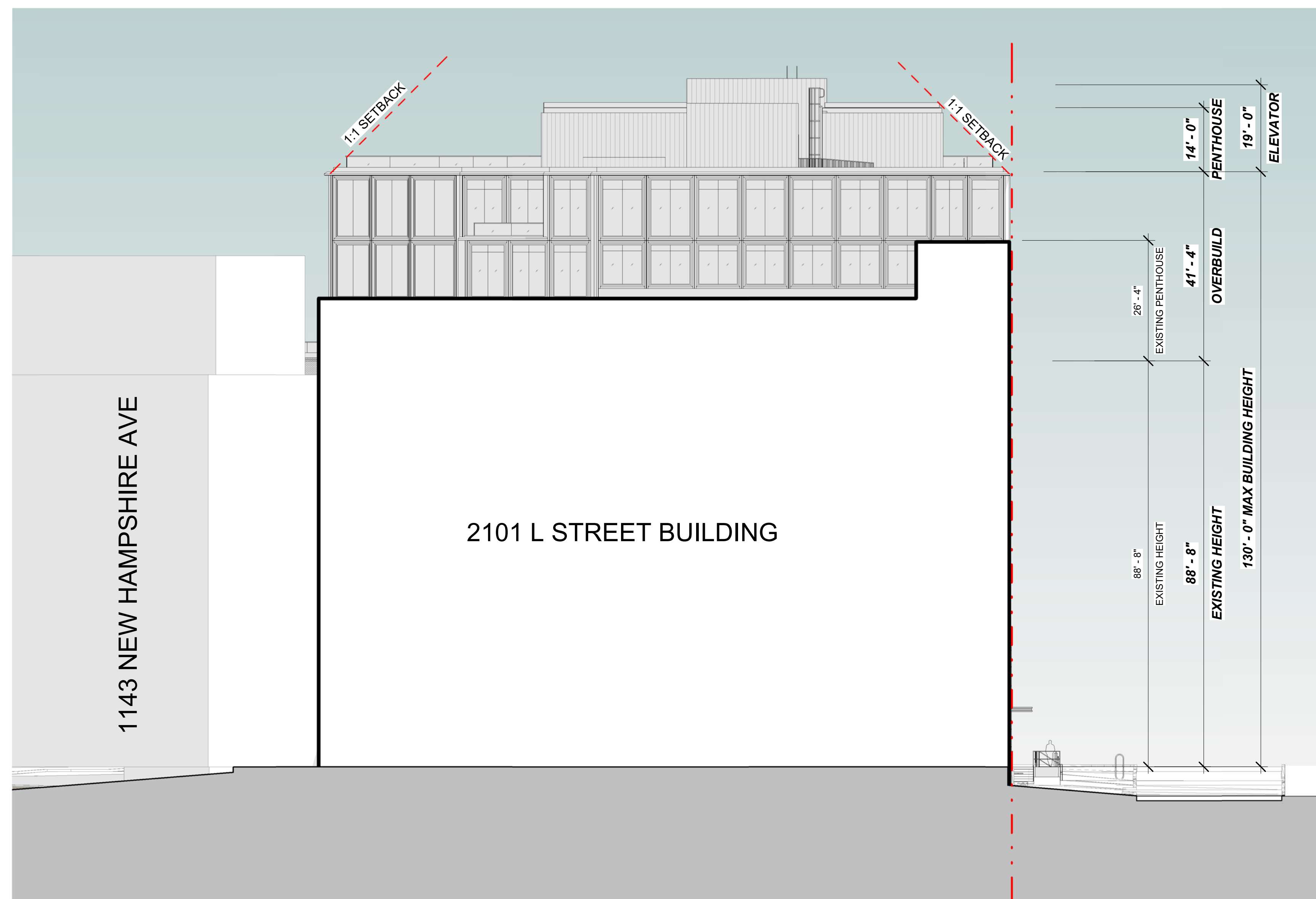
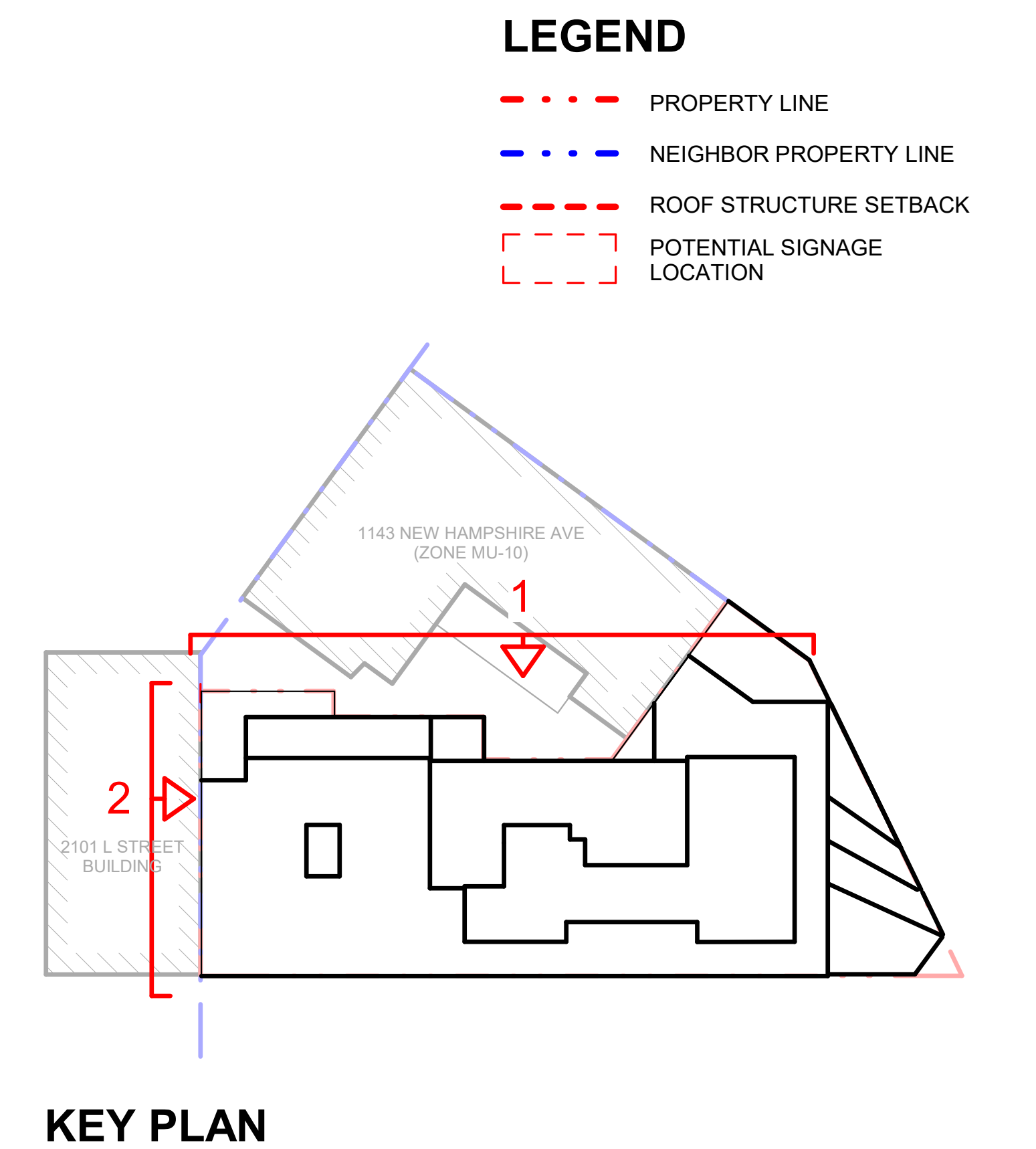


(1) WEST ELEVATION



(2) SOUTH ELEVATION

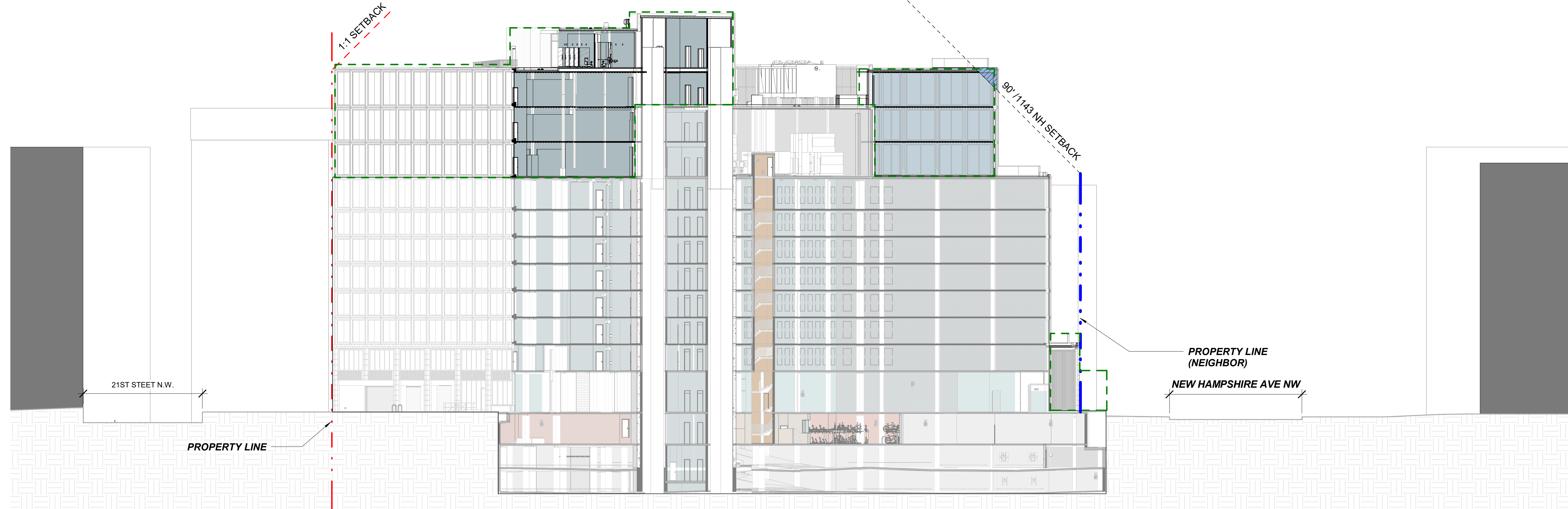


**LEGEND**

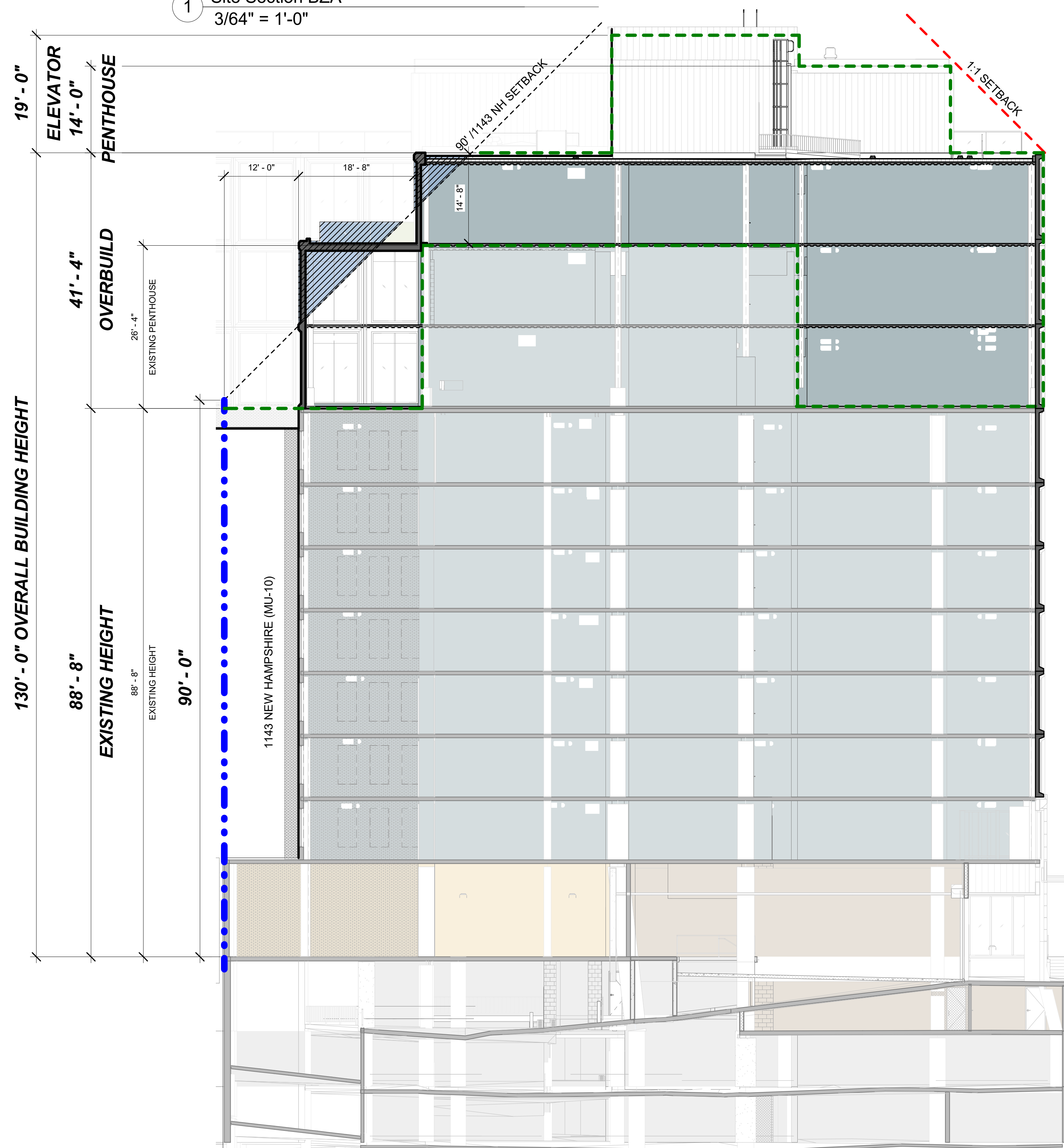
- - - PROPERTY LINE
- - - NEIGHBOR PROPERTY LINE
- - - ROOF STRUCTURE SETBACK
- - - POTENTIAL SIGNAGE LOCATION

**NOTES:**

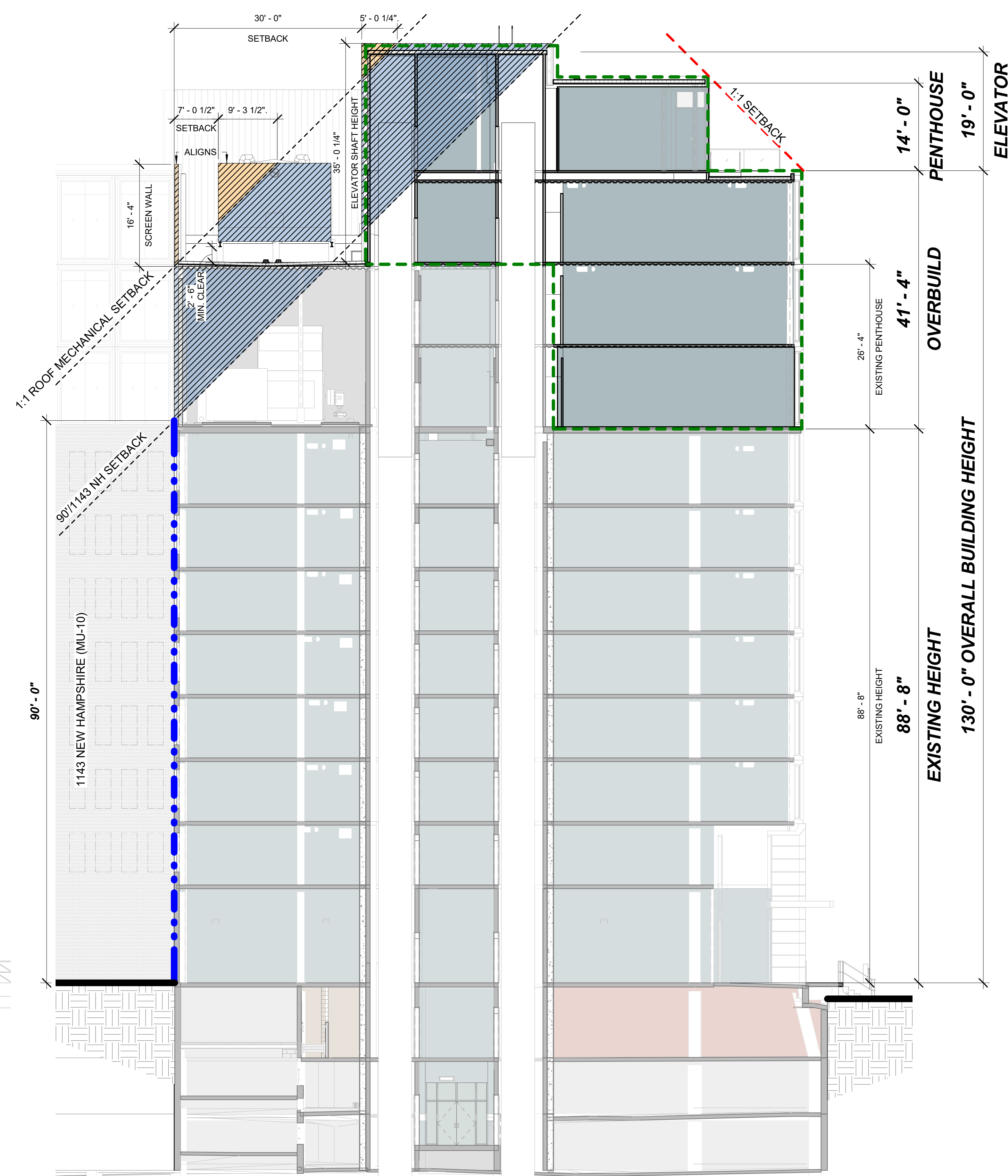
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- 3) ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0' - 0".
- 4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.
- 5) SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES, APPROXIMATE LOCATION, AND SCALE AND WILL CHANGE DURING TENANT SPACE CONFIGURATION AND FINAL SIGN DESIGN.



1 Site Section BZA  
3/64" = 1'-0"



2 BZA SECTION  
3/32" = 1'-0"



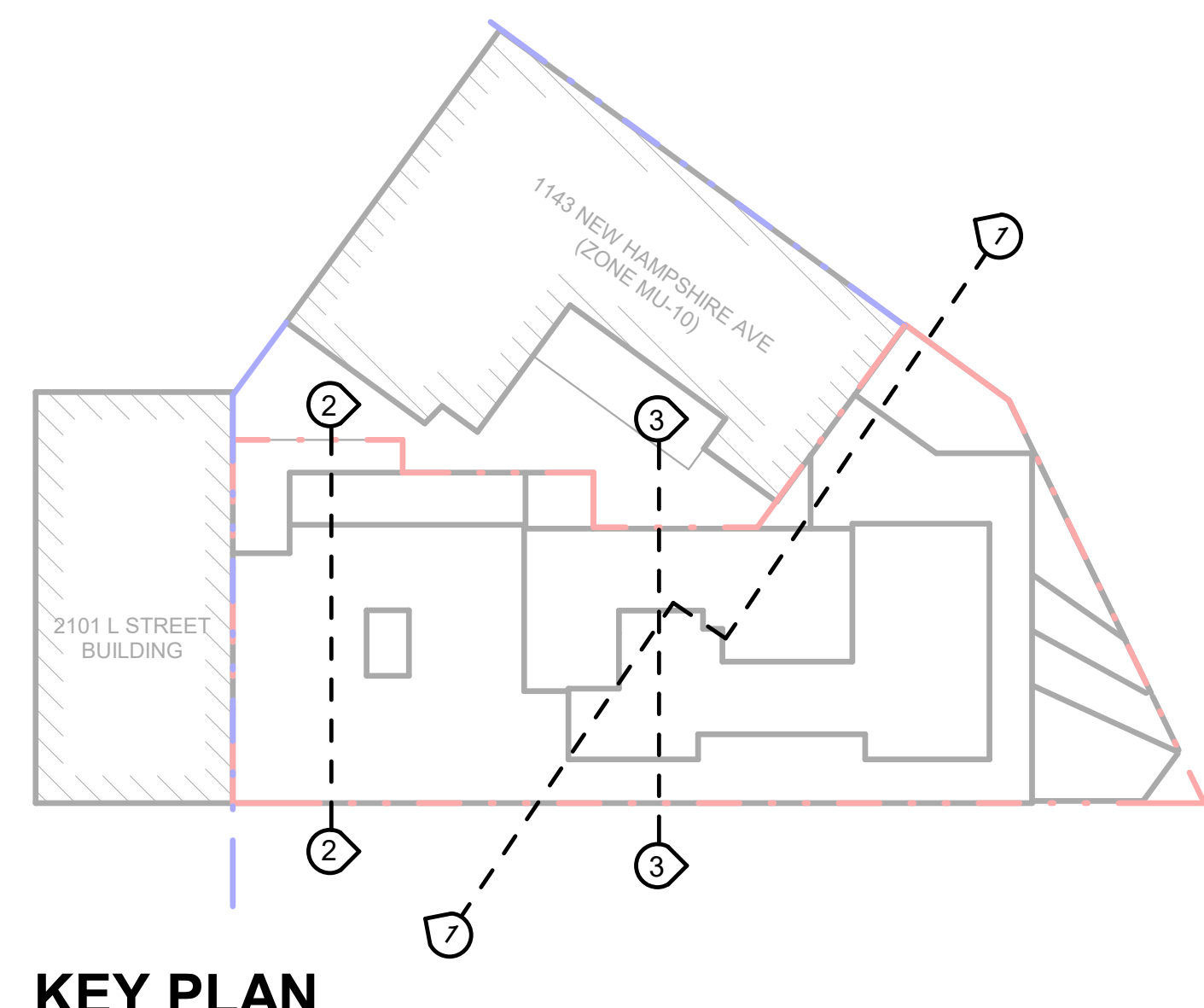
3 TRANSVERSE SECTION  
3/32" = 1'-0"

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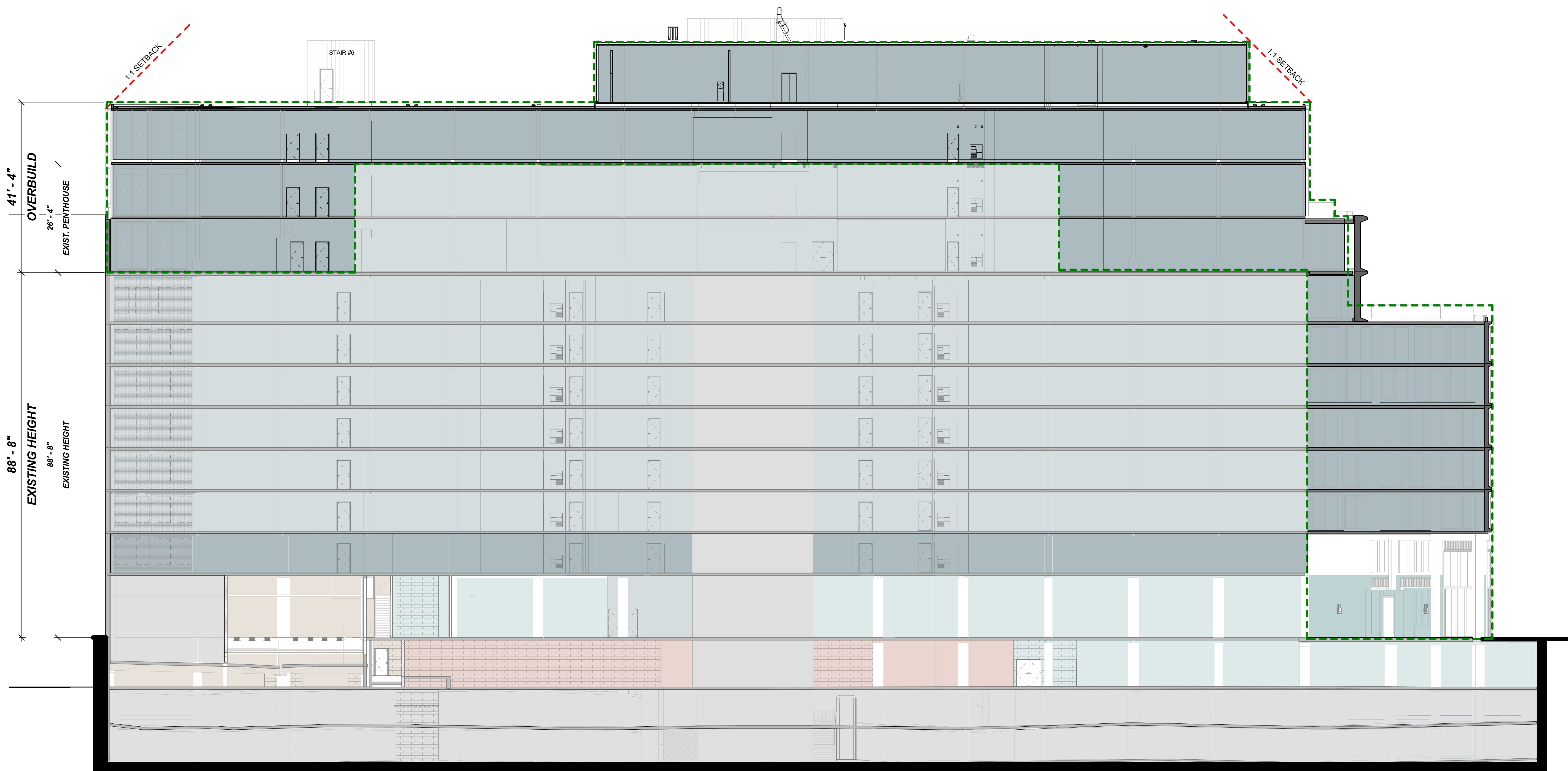
**LEGEND**

- - - PROPERTY LINE
- - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - 90°/1143 NEW HAMPSHIRE SETBACK
- - - ROOF STRUCTURE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- VERTICAL PENETRATION
- FITNESS AREA
- PROJECT ADDITION
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK



KEY PLAN





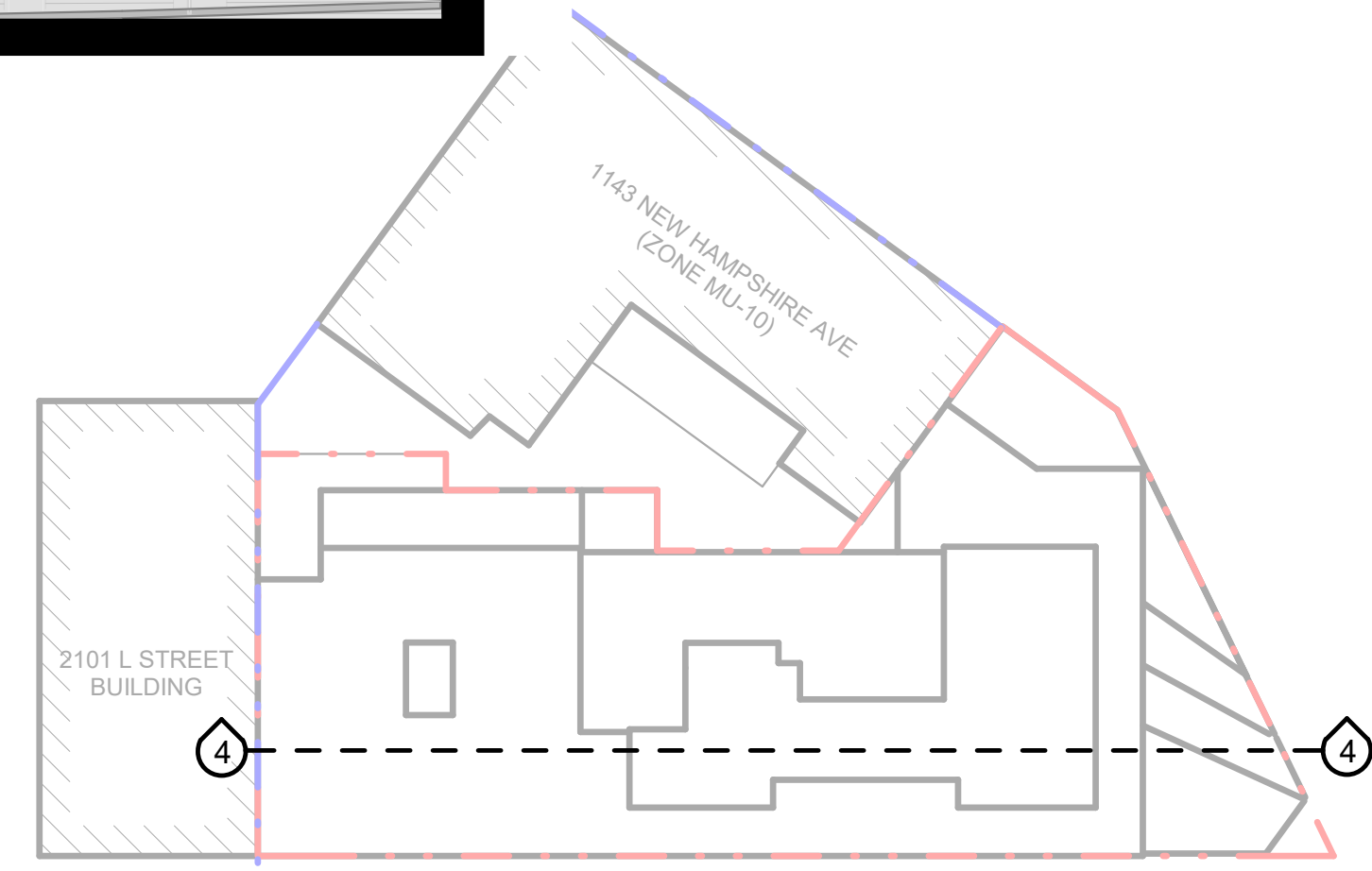
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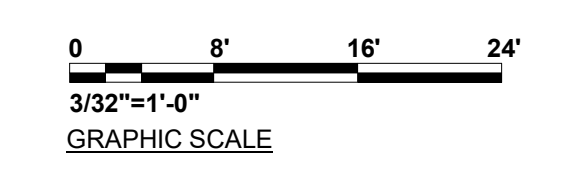
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- - - - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - - - 90' / 1143 NEW HAMPSHIRE SETBACK
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4 LONGITUDINAL SECTION  
3/32" = 1'-0"

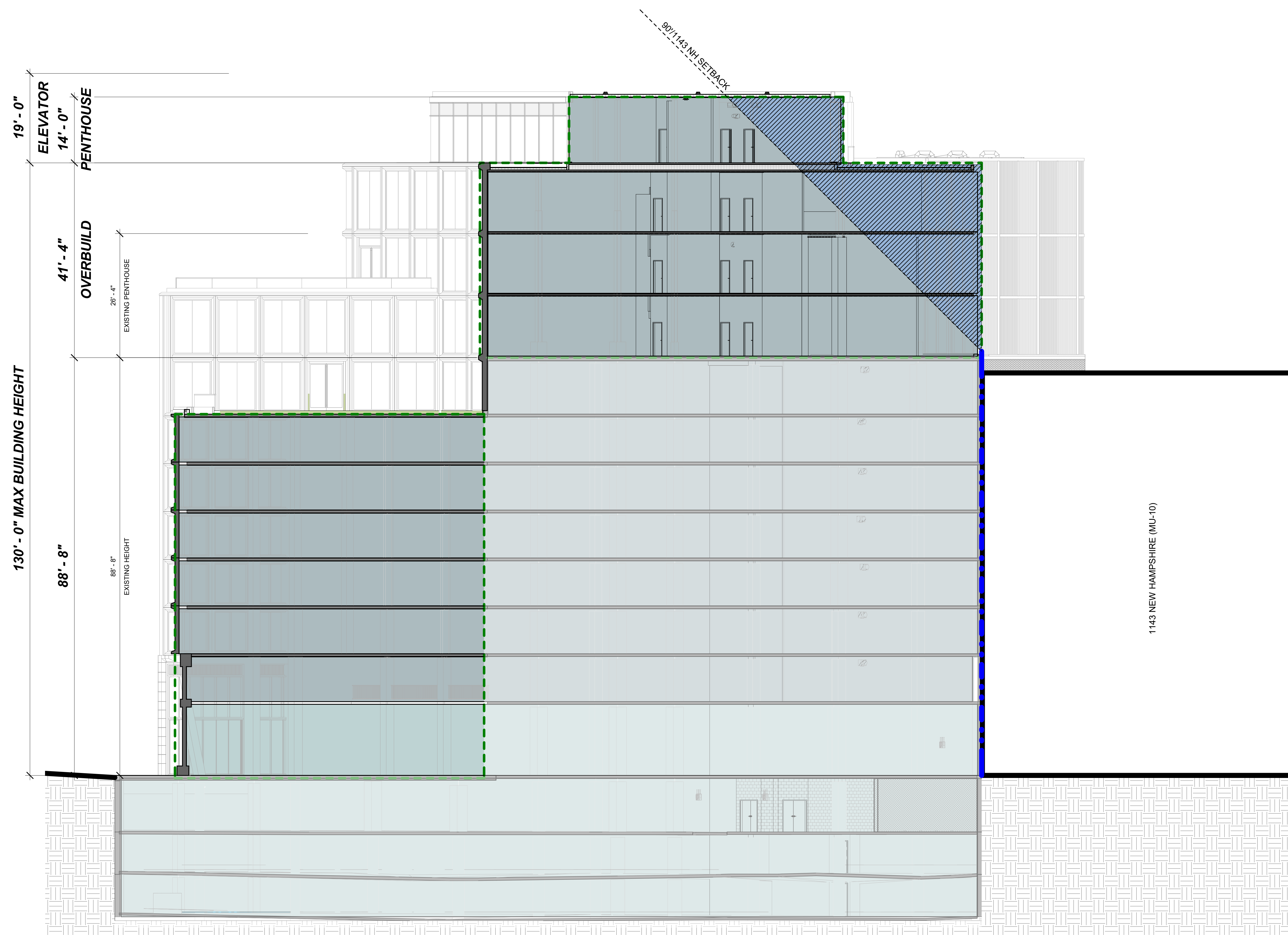


KEY PLAN



**NOTES:**

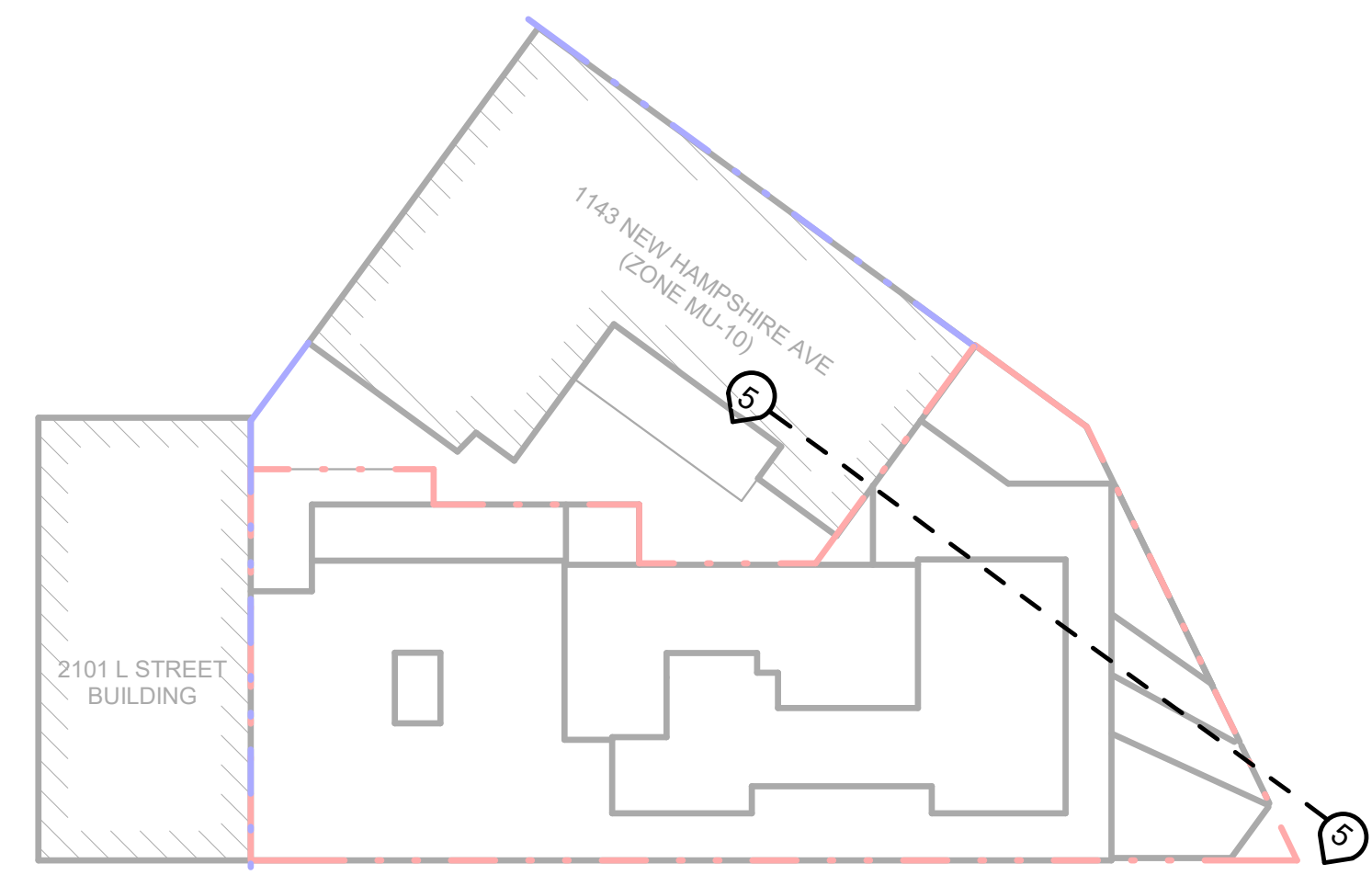
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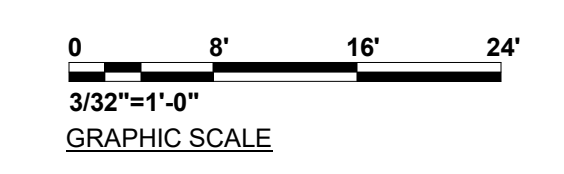
5 BZA SECTION  
3/32" = 1'-0"

**LEGEND**

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- - - - - 1143 NEW HAMPSHIRE PROPERTY LINE
- - - - - 90' / 1143 NEW HAMPSHIRE SETBACK
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- FITNESS AREA
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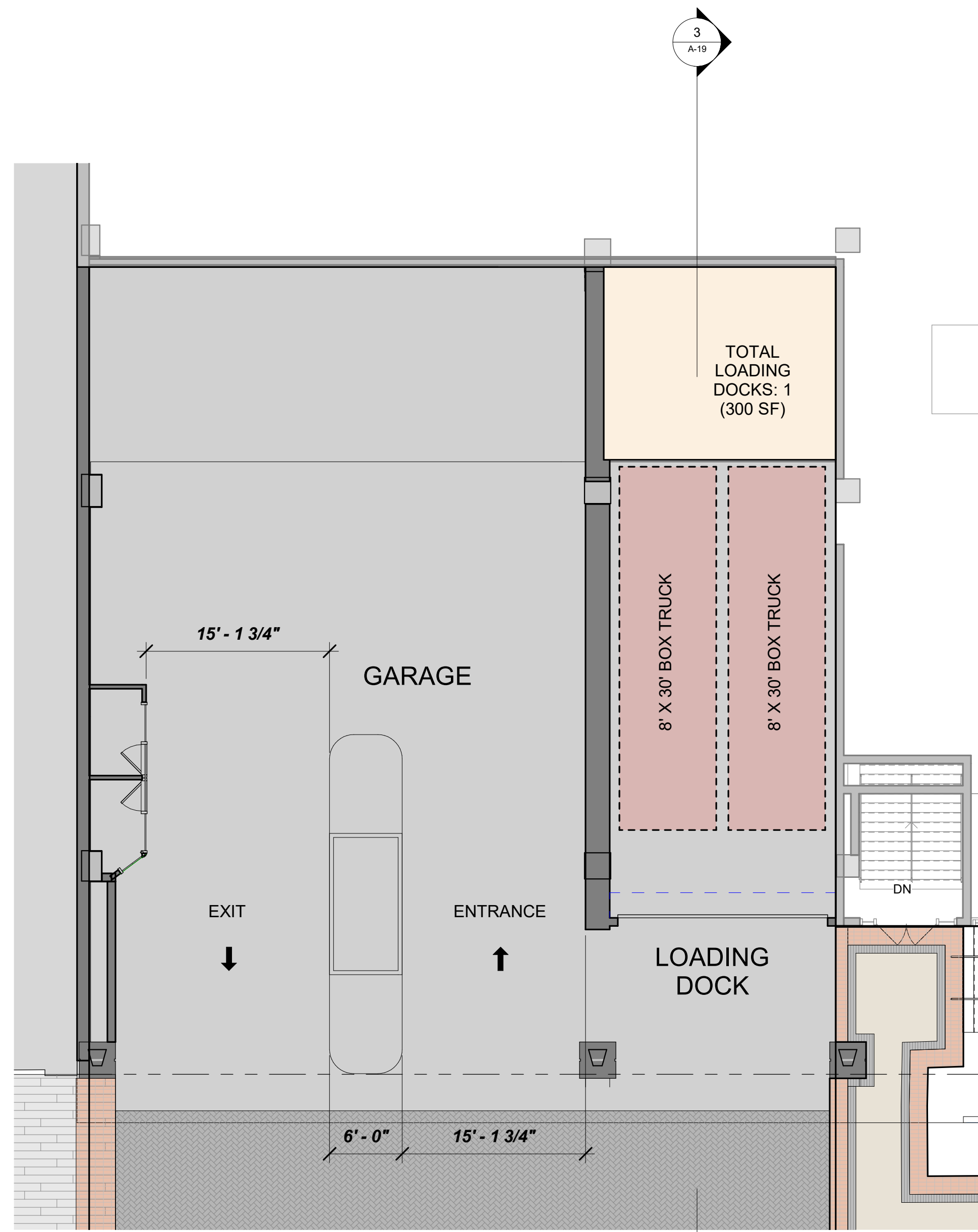


KEY PLAN

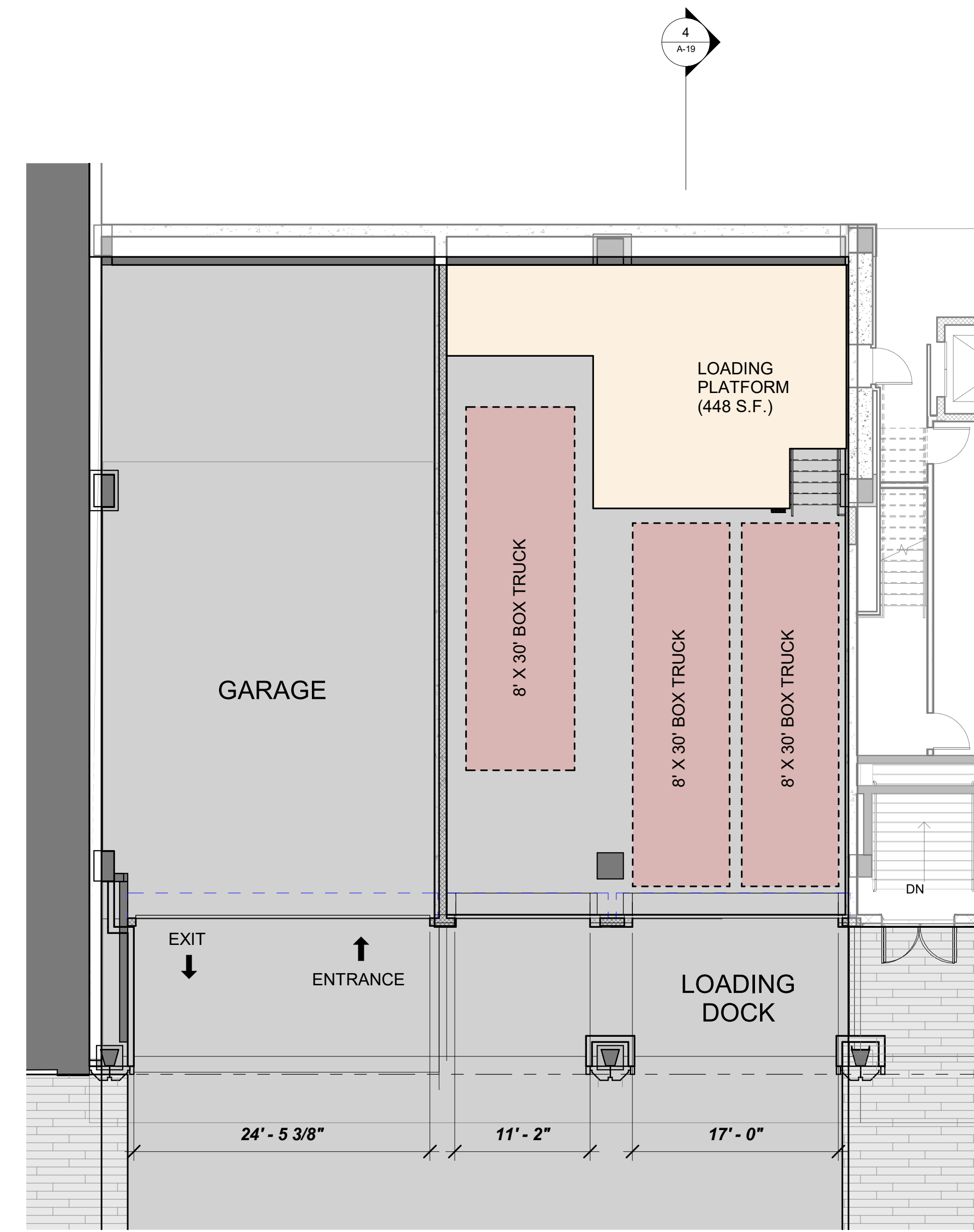


2100M STREET

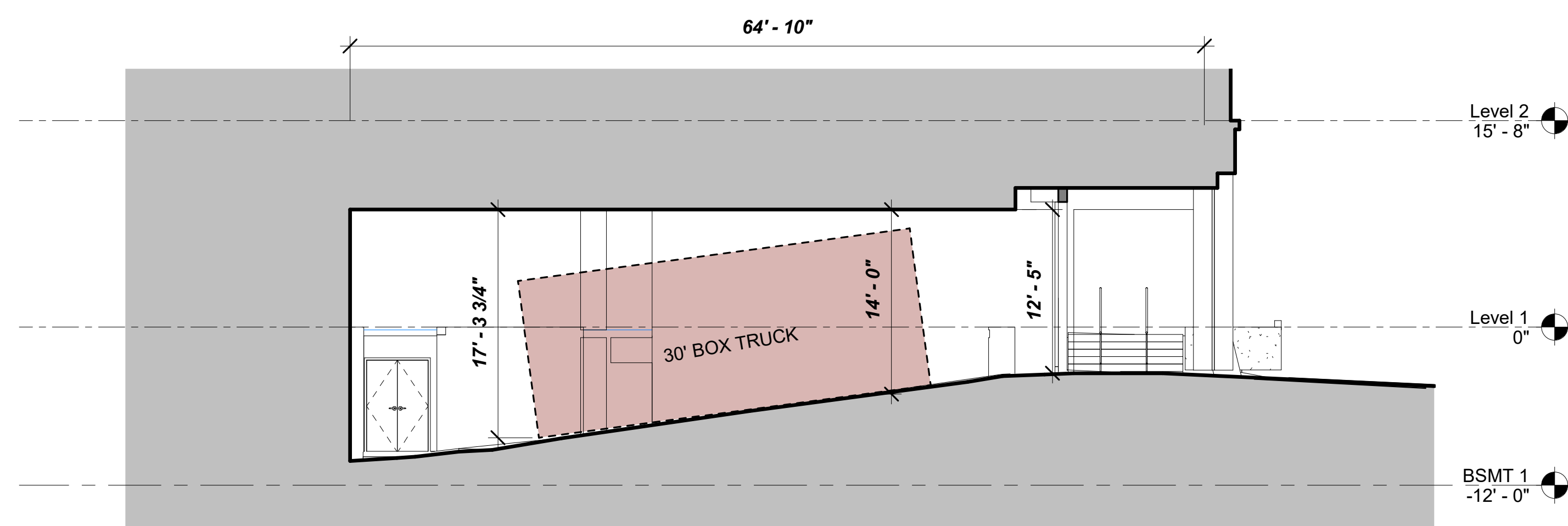




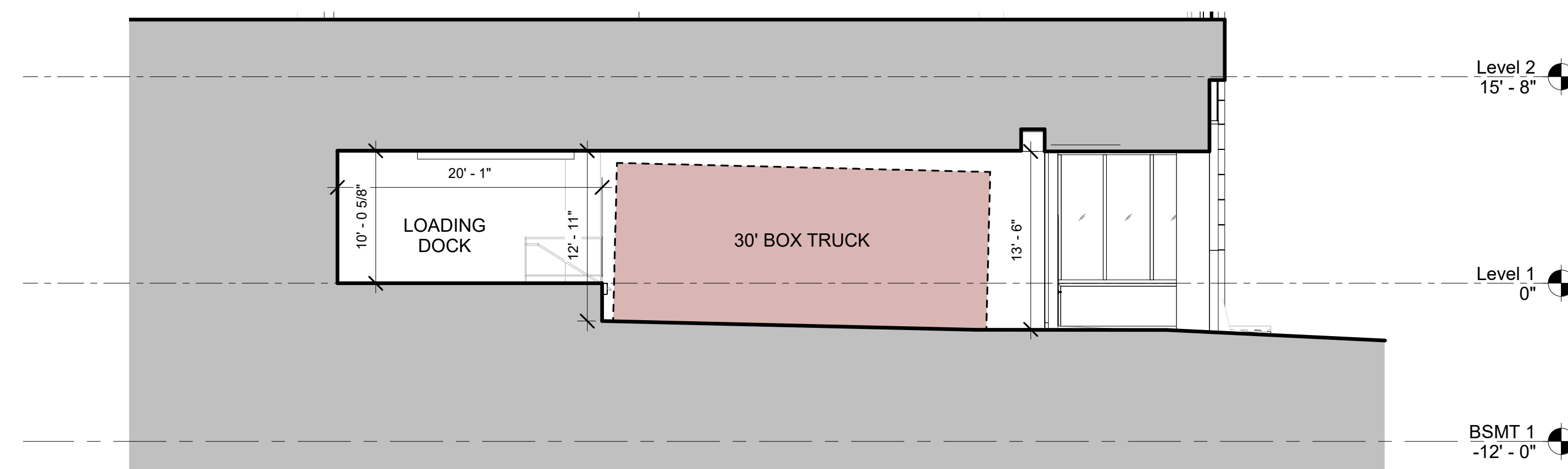
1 LOADING DOCK - EXISTING  
1/8" = 1'-0"



2 LOADING DOCK - PROPOSED  
1/8" = 1'-0"



3 SECTION THRU LOADING DOCK - EXIST.  
1/8" = 1'-0"



NOTE:  
ZONING RELIEF REQUESTED FOR  
VERTICAL CLEARANCE <14 FT

4 SECTION THRU LOADING DOCK - PROP.  
1/8" = 1'-0"

# ZONING TABULATIONS

## ZONING SUMMARY: D-5

TOTAL SITE AREA: +/- 41,196 SF

ZONING REGULATION	EXISTING	REQUIRED/ALLOWED	PROPOSED
Maximum Building Height	90' - 0"	130' - 0"	130' - 0"
Maximum FAR			
<b>EXISTING TOTAL GFA</b>	<b>EXISTING AREAS BY USE</b>	<b>PROPOSED TOTAL GFA</b>	<b>PROPOSED AREAS BY USE</b>
<b>PENTHOUSE</b>	NA	NA	8,635 GSF — 8,635 SF OFFICE
<b>LEVEL 11</b>	NA	NA	26,050 GSF — 26,050 SF OFFICE
<b>LEVEL 10</b>	NA	NA	27,255 GSF — 27,255 SF OFFICE
<b>LEVEL 9</b>	NA	NA	34,530 GSF — 34,530 SF OFFICE
<b>LEVEL 8</b>	34,810 GSF — 34,810 SF OFFICE		36,286 GSF — 36,286 SF OFFICE
<b>LEVEL 7</b>	34,810 GSF — 34,810 SF OFFICE		37,159 GSF — 37,159 SF OFFICE
<b>LEVEL 6</b>	34,810 GSF — 34,810 SF OFFICE		37,159 GSF — 37,159 SF OFFICE
<b>LEVEL 5</b>	34,810 GSF — 34,810 SF OFFICE		37,793 GSF — 37,793 SF OFFICE
<b>LEVEL 4</b>	34,810 GSF — 34,810 SF OFFICE		37,793 GSF — 37,793 SF OFFICE
<b>LEVEL 3</b>	34,810 GSF — 34,810 SF OFFICE		37,807 GSF — 37,807 SF OFFICE
<b>LEVEL 2</b>	34,810 GSF — 34,810 SF OFFICE		34,614 GSF — 34,614 SF OFFICE
<b>LEVEL 1</b>	28,764 GSF — 1,148 SF LOADING 2,362 SF PARKING 11,389 SF RETAIL 13,865 SF OFFICE		33,453 GSF — 2,267 SF LOADING 1,894 SF PARKING 19,440 SF RETAIL 9,852 SF OFFICE
<b>GARAGE LVL 1</b>	44,072 GSF — 8,619 SF PARKING 27,811 SF OFFICE 7,642 SF SERVICE		44,072 GSF — 8,600 SF PARKING 27,001 SF RETAIL 8,471 SF SERVICE
<b>GARAGE LVL 2</b>	44,600 GSF — 44,600 SF PARKING		44,600 GSF — 44,600 SF PARKING
<b>GARAGE LVL 3</b>	44,600 GSF — 44,600 SF PARKING		44,600 GSF — 44,600 SF PARKING
<b>TOTAL SF BY USE</b> ***W/O GARAGE LVL'S & PH	<b>EXISTING AREAS BY USE</b>		<b>PROPOSED AREAS BY USE</b>
PARKING	2,362 SF		1,894 SF
LOADING	1,148 SF		2,267 SF
RETAIL	11,389 SF		19,440 SF
OFFICE	257,535 SF		356,298 SF
Green Area Ratio GAR:		.20	.20
Maximum Lot Occupancy:	89.85 %	100%	97.13%

**TOTAL EXISTING (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 272,434 GFA**   **IGNORED FOR ZONING PURPOSES**  
**TOTAL PROPOSED (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 376,509 GFA**



	REQUIRED/ALLOWED	PROPOSED
Rear Yard Minimum	27.1' based on 130' BLDG. Ht	Provided (1/2 21 <sup>st</sup> St NW)
Side Yard Minimum:	not required (4' min)	not provided
Court-Open: Min. Width	commercial: 2 1/2"/ft (12' min)	See Diagram Sheet A-21
Court-Closed: Min. Width (width same as open)	commercial: 250sf min., or 2 x width squared	See Diagram Sheet A-21
Roof Structures (2)		
Gross Floor Area	0.4 FAR = 16,478 GSF	8,635 GSF
Number: 1 per core or stairwell	2	2 (See A-21)
Maximum Height	20'	varies (See A-21)
Setbacks	Equal to Height of Roof Structure	varies (see A-21)

PARKING	EXISTING	REQUIRED/ALLOWED	PROPOSED
Off-Street Parking (SEE A-7 & A-8)	<b>271</b>		<b>246</b>
Existing Counts (292 with vault spaces)		165 spaces (1958 zoning)	(265 with vault spaces)
GARAGE LEVEL 1	005		006
GARAGE LEVEL 2	140		124
GARAGE LEVEL 3	147		135
TOTAL # ADA SPACES	018		006
TOTAL # VALET SPACES	076		073
TOTAL # NON-ADA SPACES	177		167
TOTAL # VAULT SPACES	021		019

EXISTING (SEE A-7 & A-8)			
Retail / Service (11,390 SF)	1 per 750 sf	11	
Office (257,535 SF)	1 per 1,800 sf	142	
<b>TOTAL</b>		<b>153</b>	
<b>PROPOSED (SEE A-7 &amp; A-8) *** NEW OVERBUILD SF</b>			
Retail / Service (8,051 SF)	1.33 per 1,000 sf	11	
Office (107,467 SF)	0.5 per 1,000 sf	54	
<b>TOTAL (50% reduction due to metro proximity)</b>		<b>65 / 2 = 32.5</b>	
<b>TOTAL SPACES REQUIRED</b>		<b>153 + 32.5 = 186</b>	<b>246</b>

Off-Street Loading		REQUIRED (ZR-58)	PROVIDED (SEE A-19)
<b>EXISTING (SEE A-19)</b>	Retail / Service (8,000 - 20,000 SF)	Berths: 1 @ 30' Platforms: 1 @ 100 SF Service/delivery space: 1 @ 20'	Legal Non-Conformity
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 30' BAYS Platforms: ~300 SF Service/delivery space: NONE
<b>PROPOSED (SEE A-19)</b>	Retail / Service (5,000 - 20,000 SF)	Berths: 1 @ 30' Platforms: 1 @ 100 SF	N/A
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 8' x 30' BAYS & (1) 12' x 30' BAY Platforms: 3 @ 100 SF Service/delivery space: NONE

Bicycle Parking	Short Term Spaces		Long Term Spaces	
	Formula	Proposed	Formula	Proposed
Office <b>356,298 GSF</b>	1 per 40,000sf = 9 spaces		1 per 2,500sf = 143 spaces	
Retail <b>19,440 GSF</b>	1 per 3,500sf = 6 spaces		1 per 10,000sf = 2 spaces	
<b>Total</b>	15 spaces	16 spaces	97+2 = 99 spaces	100 spaces (see A-8)

- Notes:
- The Maximum building height is based on 110 ft if R.O.W. determining height is <110 ft. wide; 130 ft if > 110 ft. wide
  - The FAR is calculated based on record lot area. The FAR for each lot is compliant with DCMR Title 11 Chapter 2517.
  - Occupied Outdoor Spaces, ramp going to the parking levels, and mechanical shafts above ground floor are not included in GFA
  - Parking spaces located partially in public space do not count towards total parking for zoning purposes.

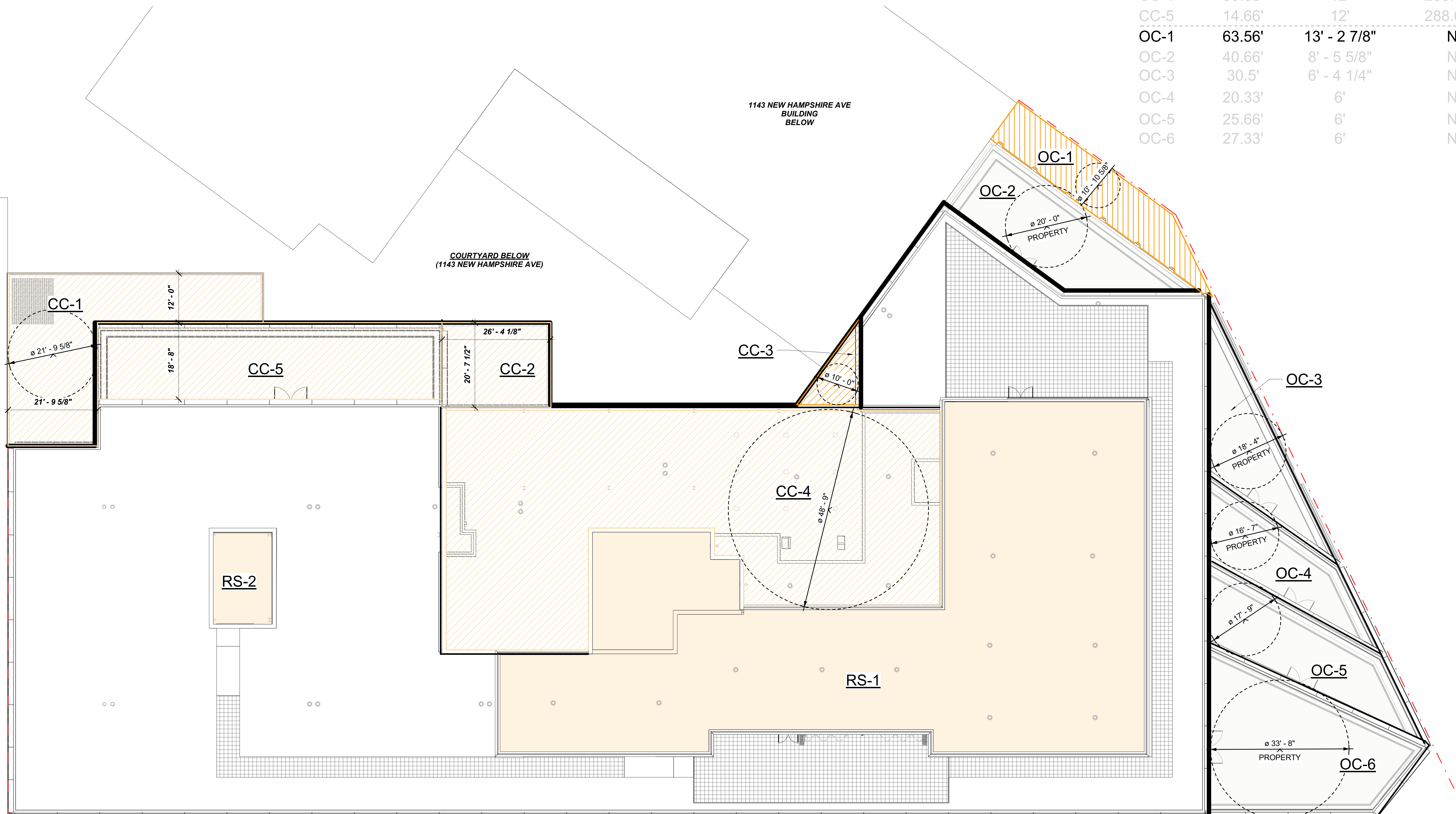
**SCHEDULE OF ROOFTOP STRUCTURE HEIGHTS / SETBACK**

Rooftop Structure	Height	Required Setback	Proposed Setback
RS-1	15' - 0"/20' - 0"	15' - 0"/20' - 0"	SEE A-24
RS-2	15' - 0"	15' - 0"	SEE A-24

**SCHEDULE OF COURTS**

COURT	WALL HEIGHT	COMMERCIAL REQUIRED WIDTH	MINIMUM AREA	PROVIDED WIDTH	PROVIDED AREA
CC-1	103.83'	21' - 7 1/2"	879.55 SF	21' - 9 5/8"	1,400 SF
CC-2	30.83'	12'	288.00 SF	20' - 7 1/2"	779 SF
CC-3	44.50'	12'	288.00 SF	10' - 0"	156 SF
CC-4	35.33'	12'	288.00 SF	48' - 9"	6,565 SF
CC-5	14.66'	12'	288.00 SF	18' - 8"	1,565 SF
OC-1	63.56'	13' - 2 7/8"	N/A	10' - 10 5/8"	627 SF
OC-2	40.66'	8' - 5 5/8"	N/A	20' - 0"	895 SF
OC-3	30.5'	6' - 4 1/4"	N/A	18' - 4"	484 SF
OC-4	20.33'	6'	N/A	16' - 7"	519 SF
OC-5	25.66'	6'	N/A	17' - 9"	684 SF
OC-6	27.33'	6'	N/A	33' - 8"	1,278 SF

RELIEF REQUIRED



**COURT NOTES:**

1) IF THE COURT IS NOT RECTANGULAR, THE WIDTH SHALL BE THE DIAMETER OF THE LARGEST CIRCLE THAT MAY BE INSCRIBED IN A HORIZONTAL PLANE WITHIN THE COURT. \*\*\*B-322.4

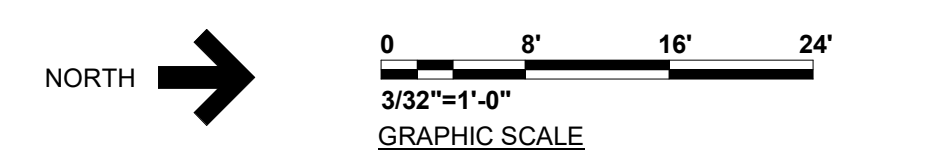
**NOTES:**

1) DIMENSIONS ON THIS SHEET ILLUSTRATE ROOF STRUCTURE PLAN, REAR YARD PLAN, AND OPEN COURTS PLAN  
2) SEE ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.

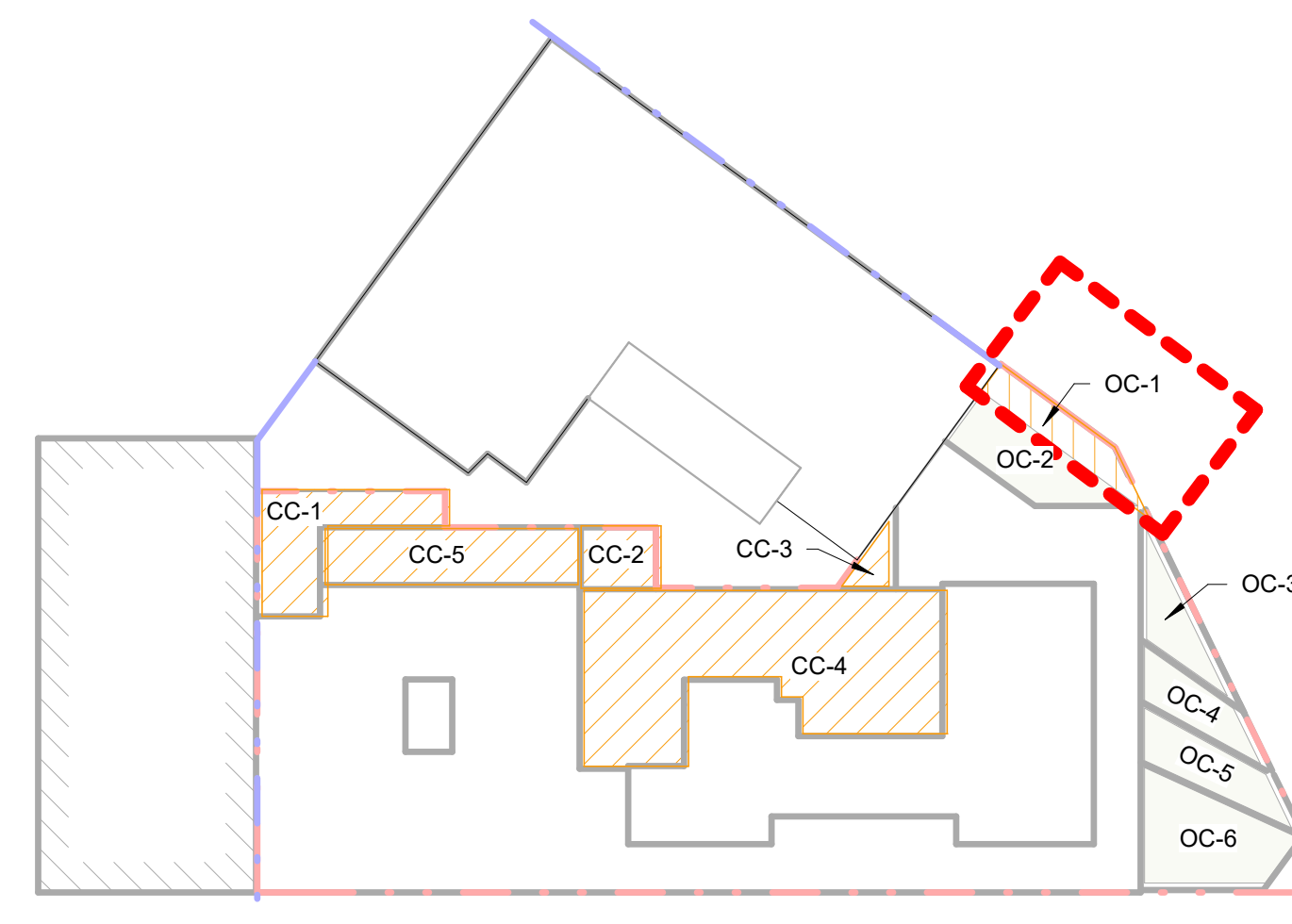
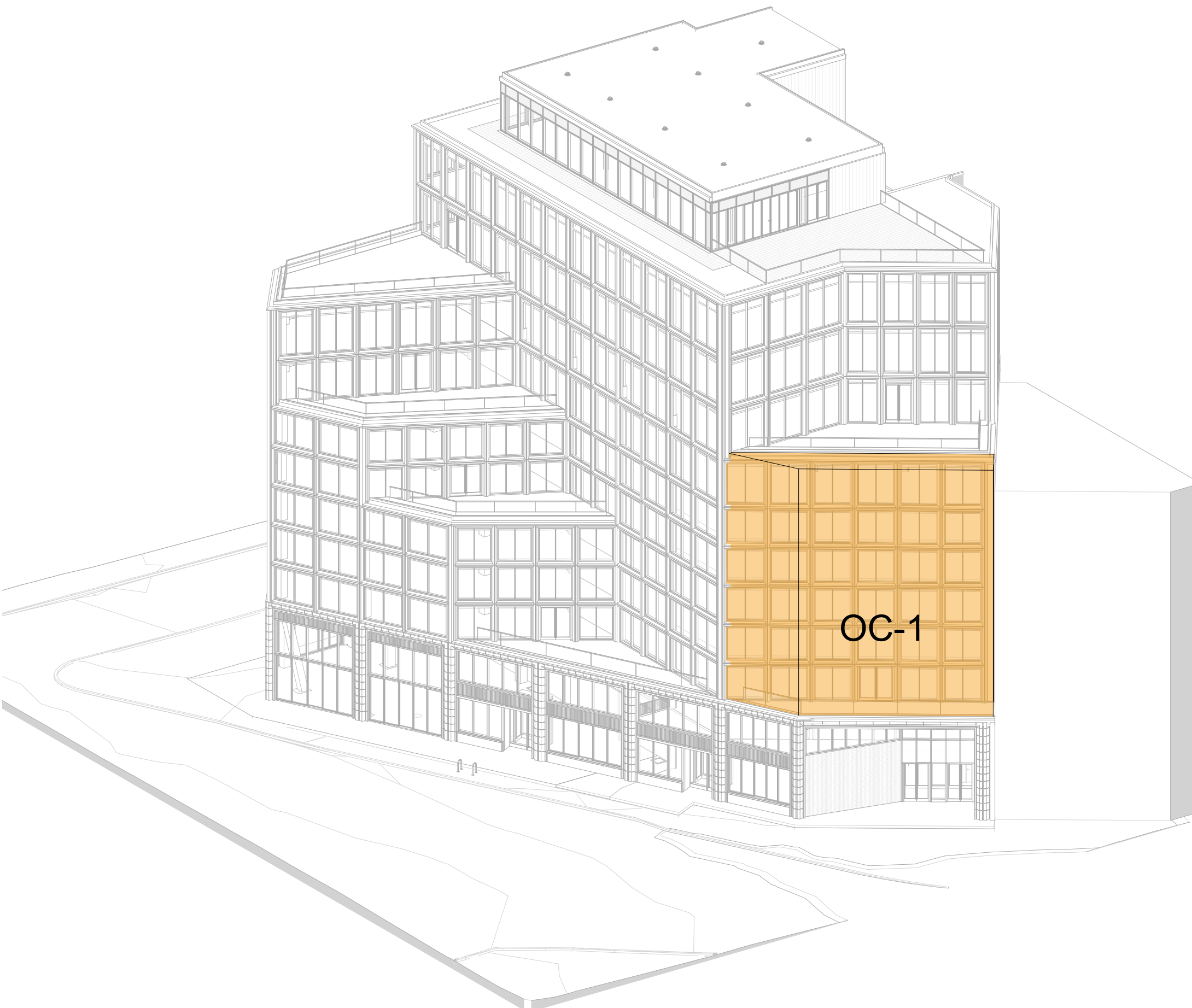
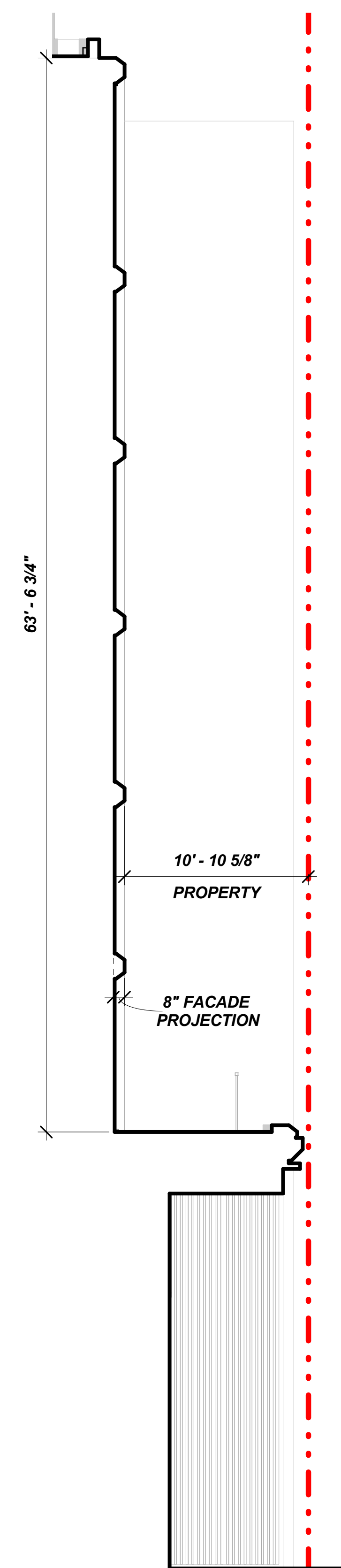
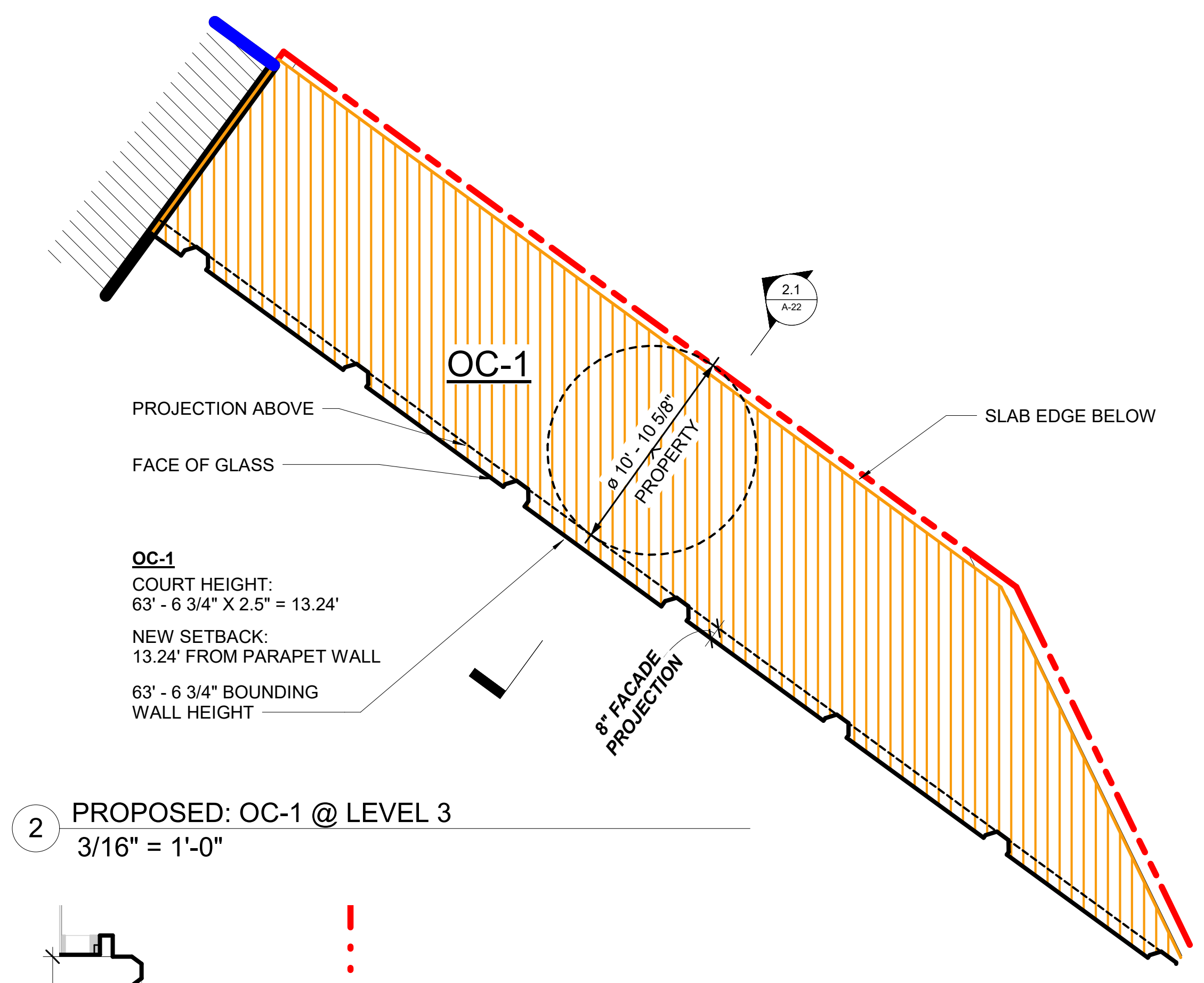
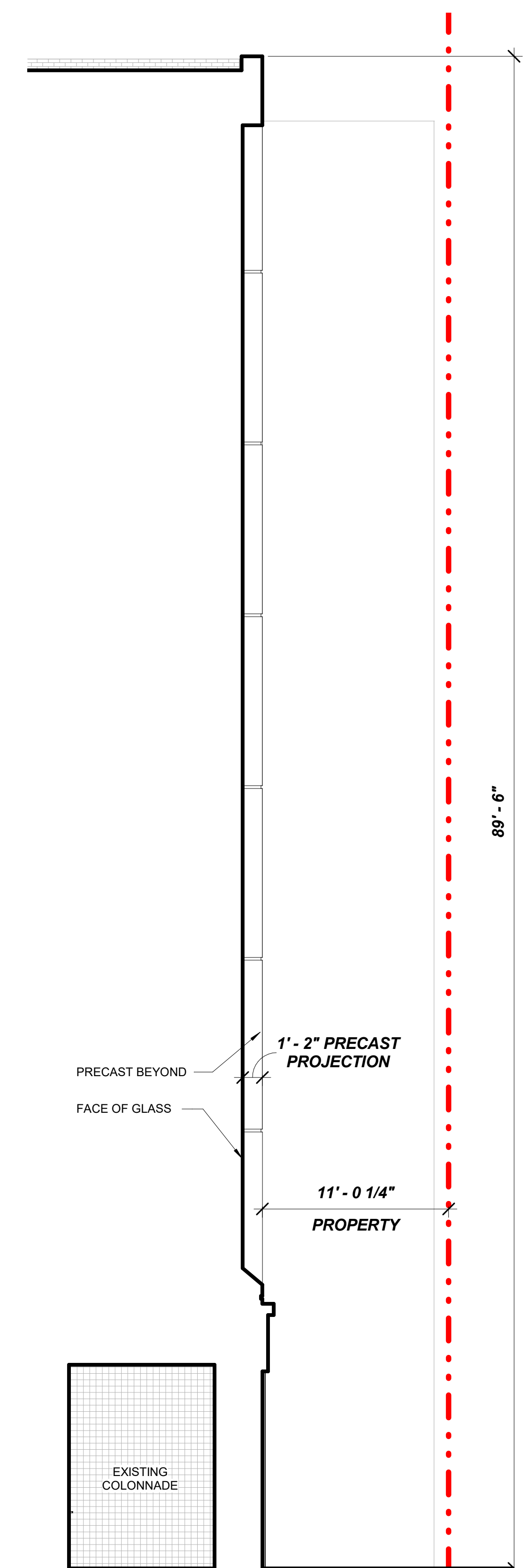
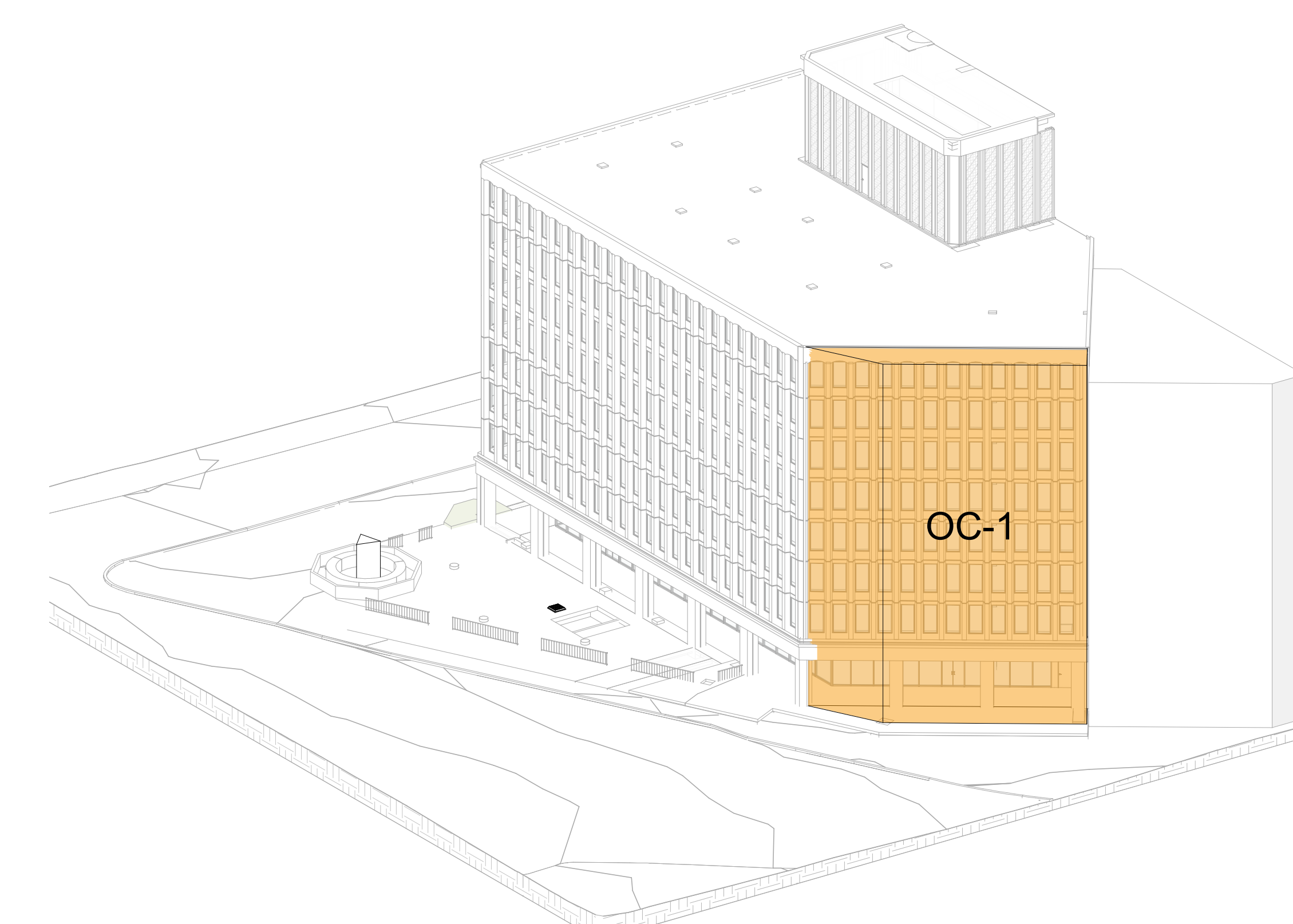
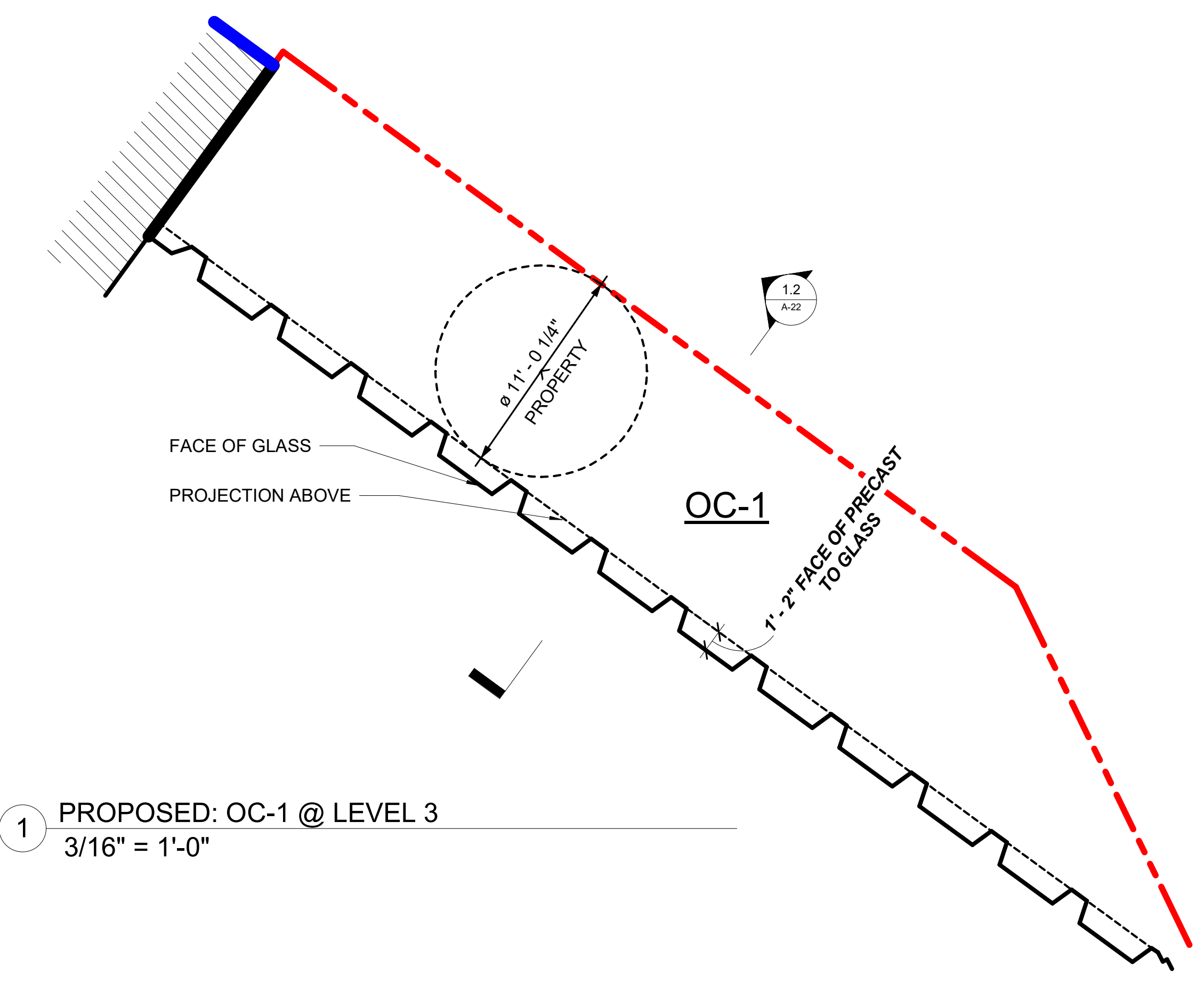
**LEGEND**

- - - - - PROPERTY LINE
- - - - - NEIGHBOR PROPERTY LINE
- - - - - ROOF STRUCTURE SETBACK
- ROOF STRUCTURES
- ▨ CLOSED COURT
- ▨ OPEN COURT
- OCCUPIED OUTDOOR SPACE AND OPEN COURT
- OPEN/CLOSED COURT WIDTH

PROJECTIONS SHOWN WILL REQUIRE REVIEW AND APPROVAL BY DCRA AND ARE SUBJECT TO MODIFICATION AT THE REQUEST OF DCRA DURING SUCH PROCESS.



**COURT PLAN**



**NOTES:**

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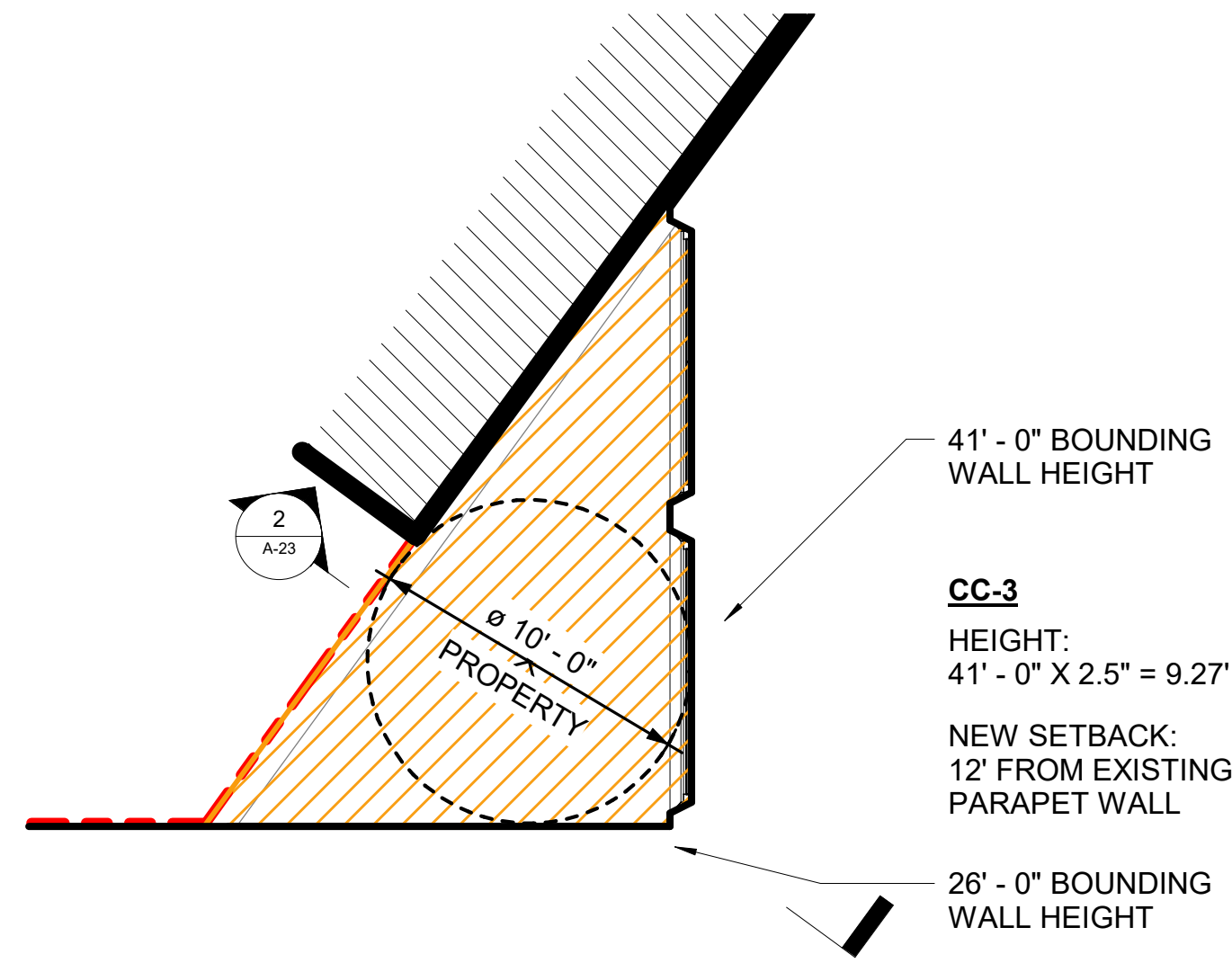
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**LEGEND**

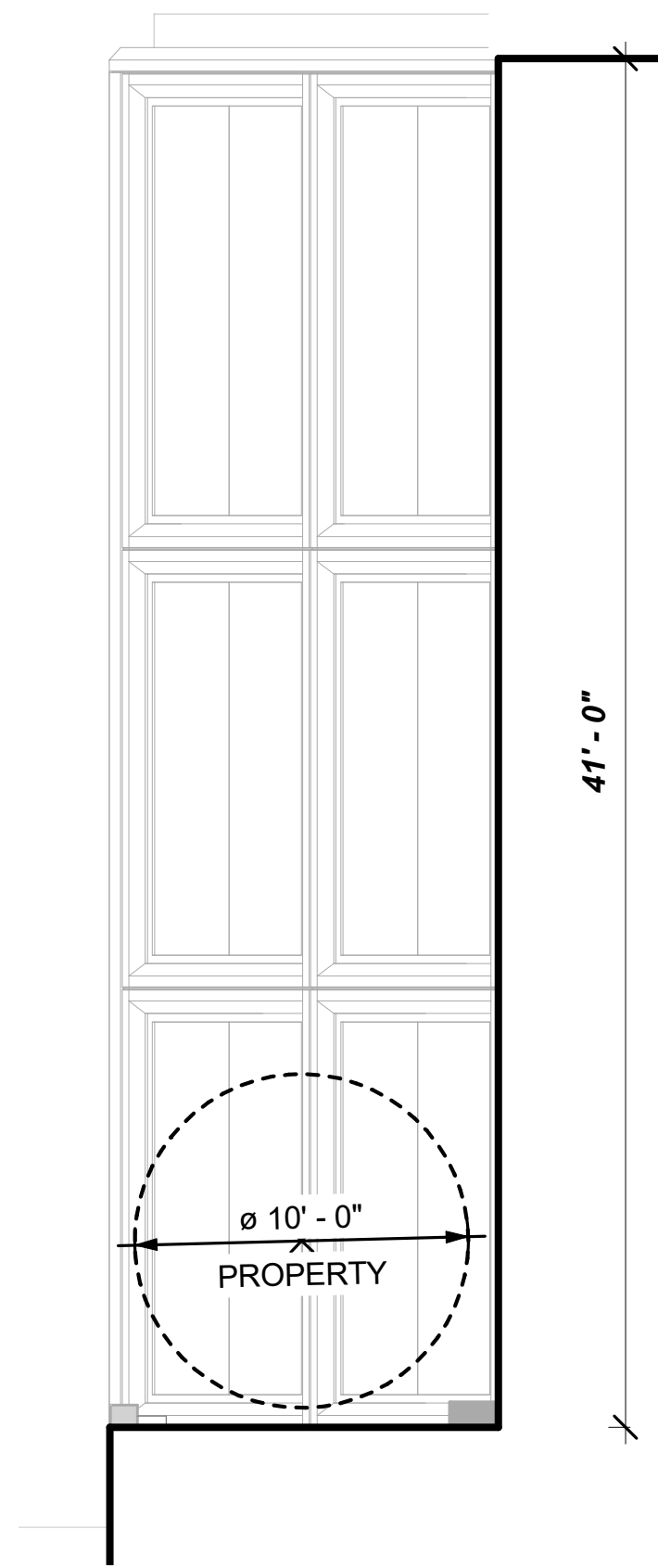
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- ROOF STRUCTURE SETBACK
- ROOF STRUCTURES
- CLOSED COURT
- OPEN COURT
- OCCUPIED OUTDOOR SPACE AND OPEN COURT
- OPEN/CLOSED COURT WIDTH







1 CC-3 @ LEVEL 9  
3/16" = 1'-0"



2 CC-3 SECTION  
3/16" = 1'-0"

**NOTES:**

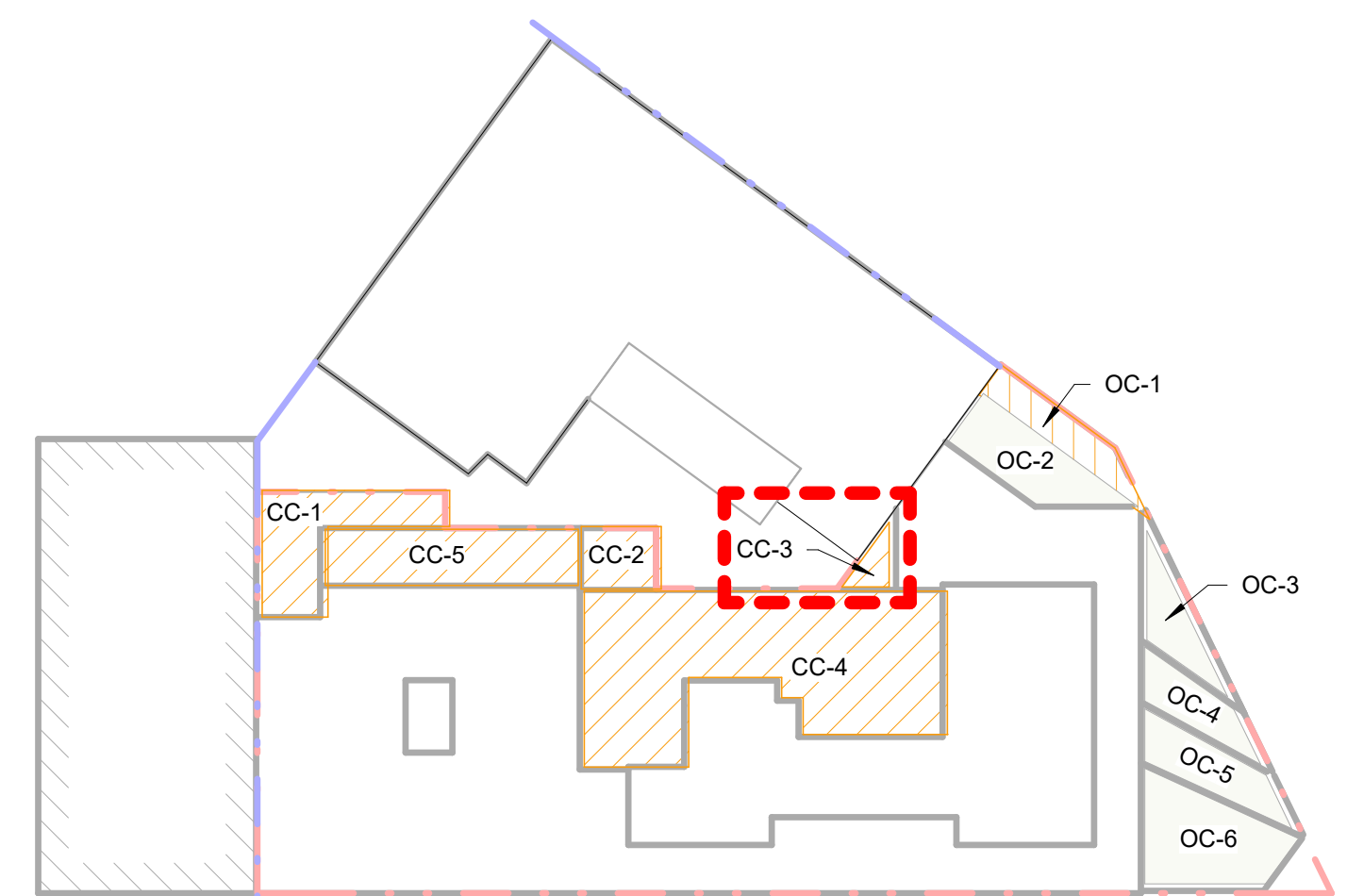
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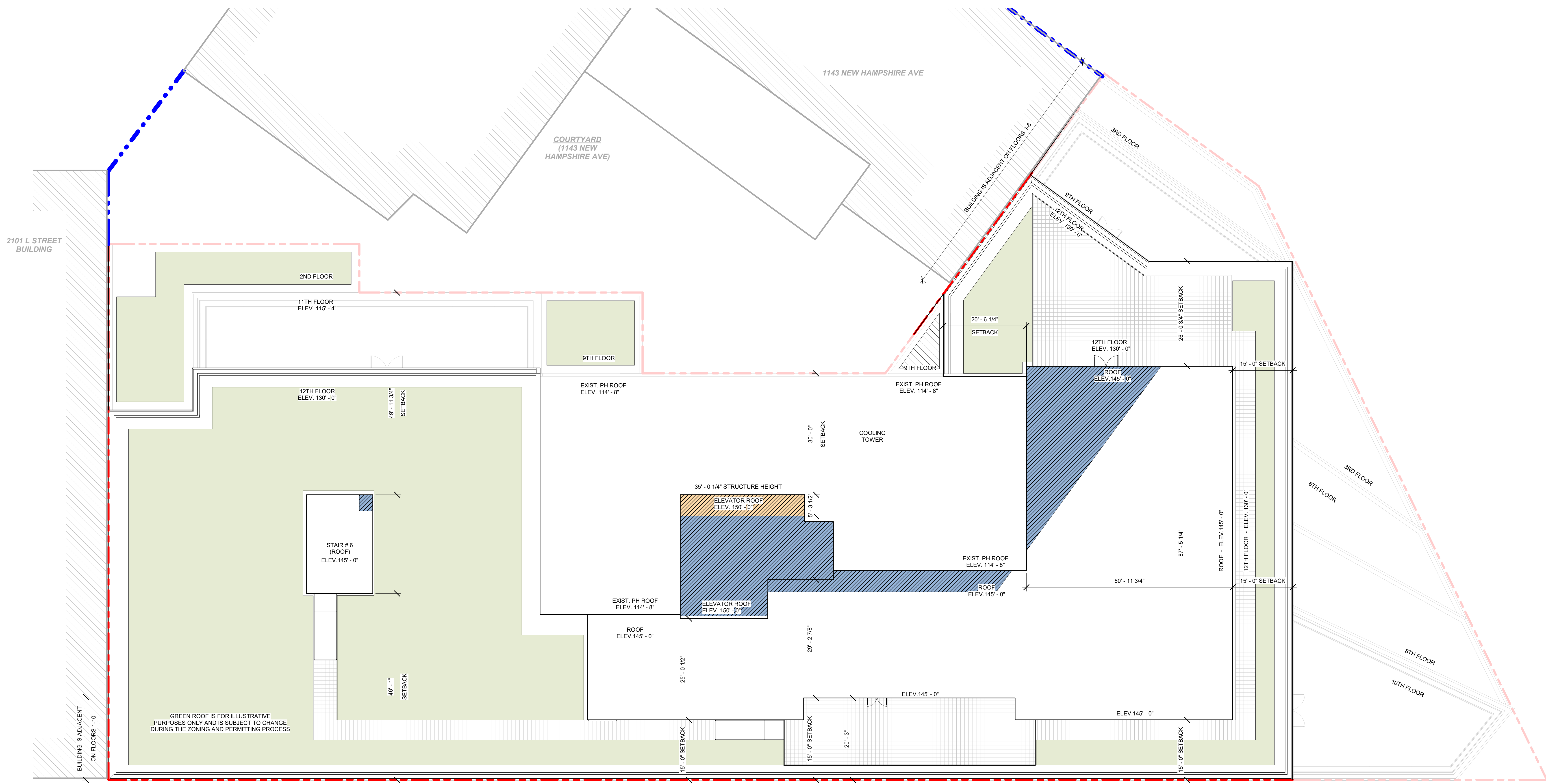
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- PARKING AREA
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- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- FITNESS AREA
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK



KEY PLAN

**NOTES:**

- 1) REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
- 2) THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF DEMISING WALLS, THE LOCATION OF BUILDING USE AND FUNCTIONAL COMPONENTS, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, ELEVATORS, AND PARKING GARAGE LAYOUTS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FURTHER DESIGN EVOLUTION.
- 3) ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0' - 0'.
- 4) ALL OCCUPIED OUTDOOR AREA LOCATIONS AND ASSOCIATED RAILINGS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.

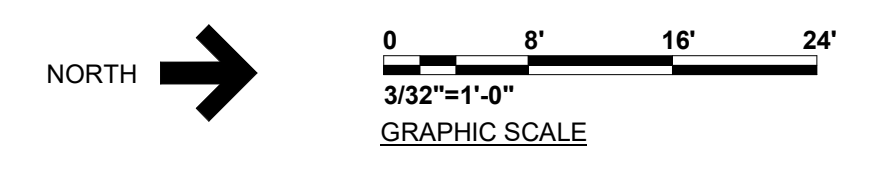


**LEGEND**

- PROPERTY LINE
- 1143 NEW HAMPSHIRE PROPERTY LINE
- 90' / 1143 NEW HAMPSHIRE SETBACK
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- FITNESS AREA
- MU-10 ZONING SETBACK
- 1:1 ROOF STRUCTURE SETBACK

**GREEN ROOF NOTE:**

GREEN ROOF AREAS SHOWN ARE ILLUSTRATIVE AND SUBJECT TO CHANGE DURING DESIGN AND PERMITTING PROCESSES



**ROOF PLAN - SETBACKS**

