

# 421 T ST NW

WASHINGTON DC 20001

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SD1.3	EXISTING PHOTOGRAPHS - REAR
SD1.4	EXISTING PHOTOGRAPHS - INTERIOR OF SQUARE
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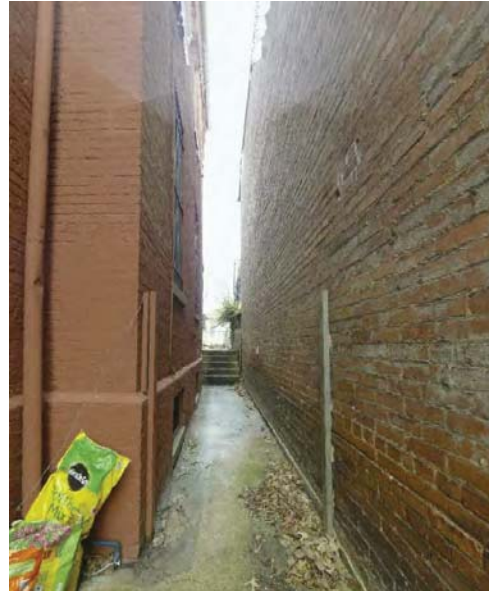
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T STREET LOOKING NORTHEAST



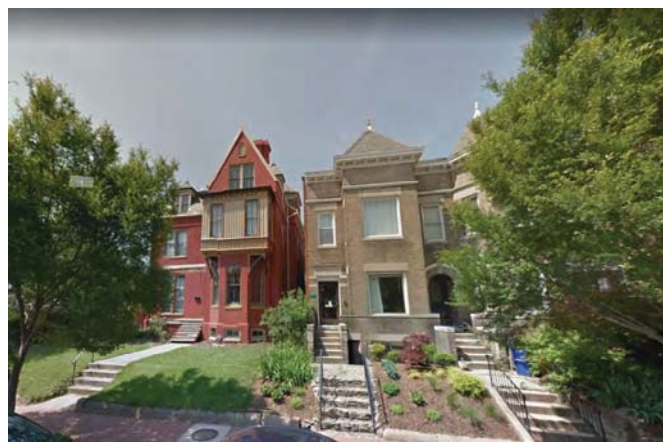
EAST SIDE YARD



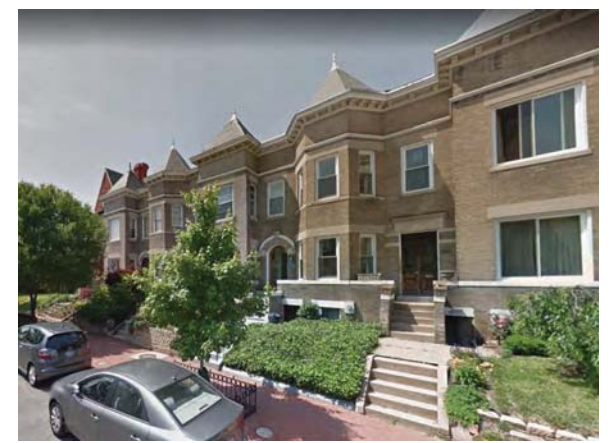
5TH STREET LOOKING EAST



FRONT PORCH



T STREET LOOKING NORTHWEST



T STREET NEIGHBORING BUILDINGS



REAR YARD LOOKING SOUTHWEST



REAR YARD LOOKING SOUTH



REAR YARD LOOKING NORTH



WEST SIDE YARD



ALLEY VIEW OF EAST ELEVATION



NEIGHBORING GARAGE OFF ALLEY



ALLEY ENTRANCE TO PROPERTY

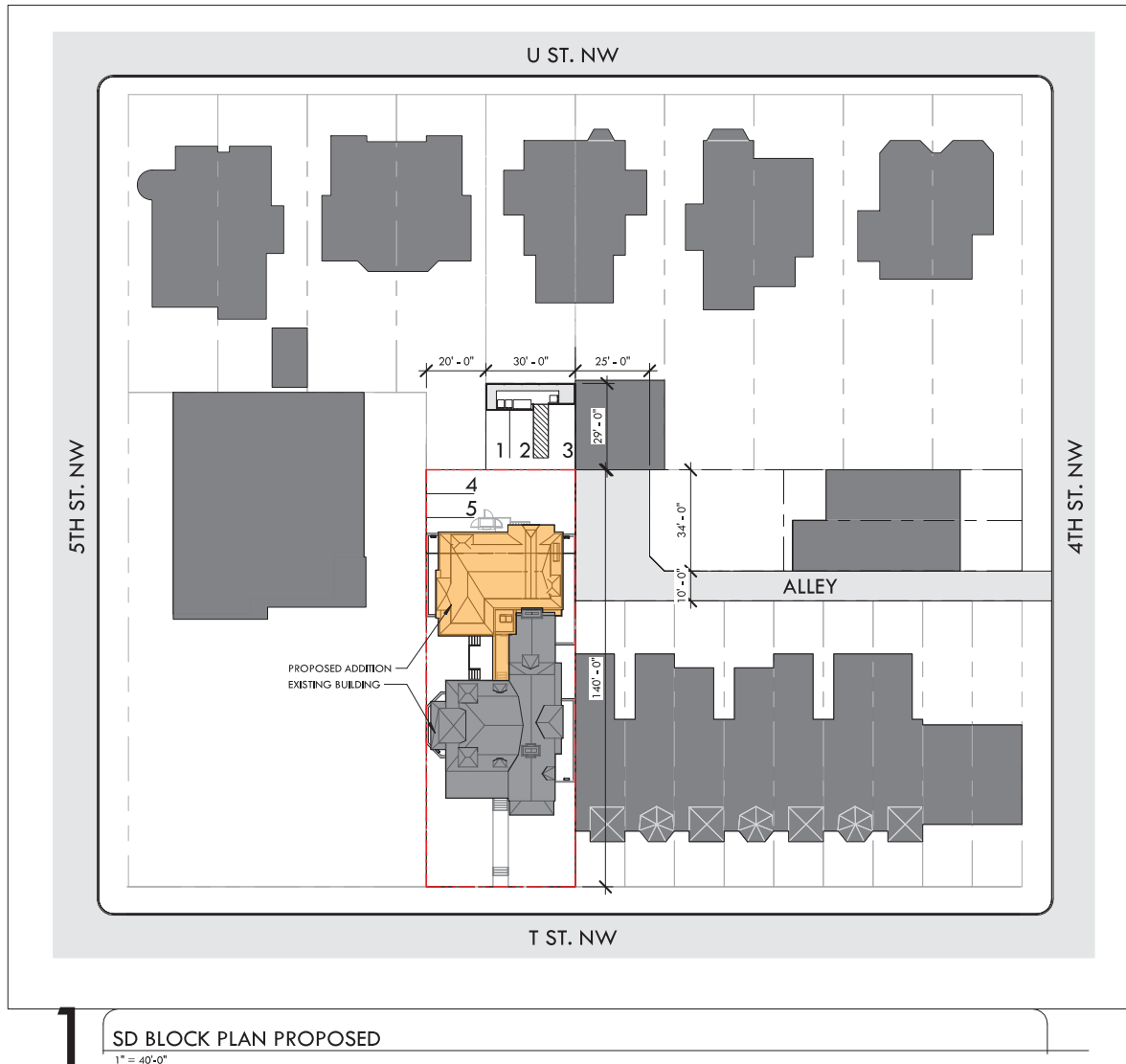


ALLEY LOOKING WEST



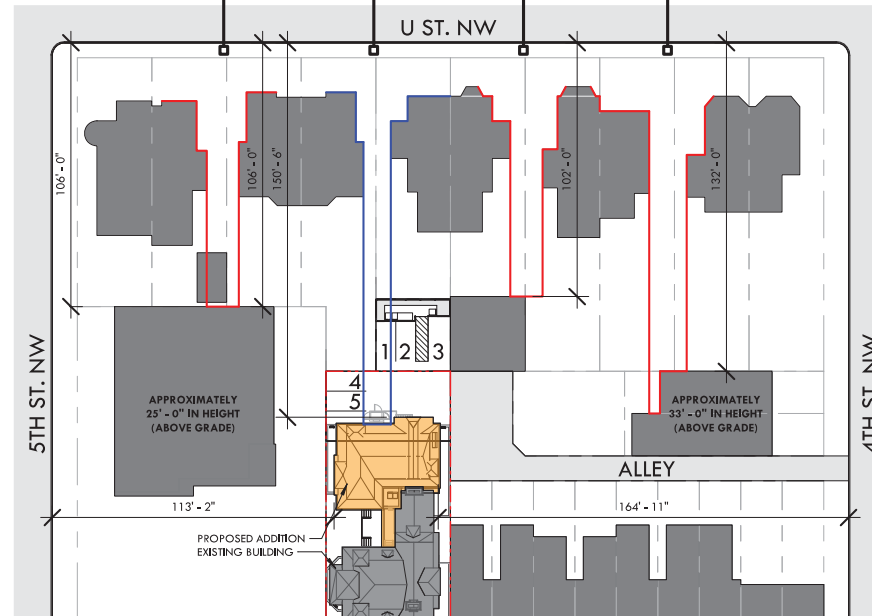
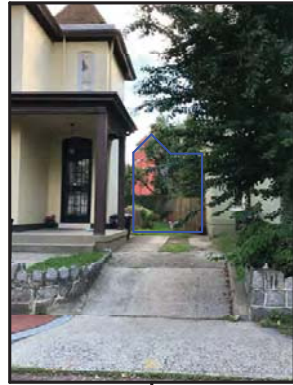
ALLEY LOOKING NORTHEAST





SD BLOCK PLAN PROPOSED

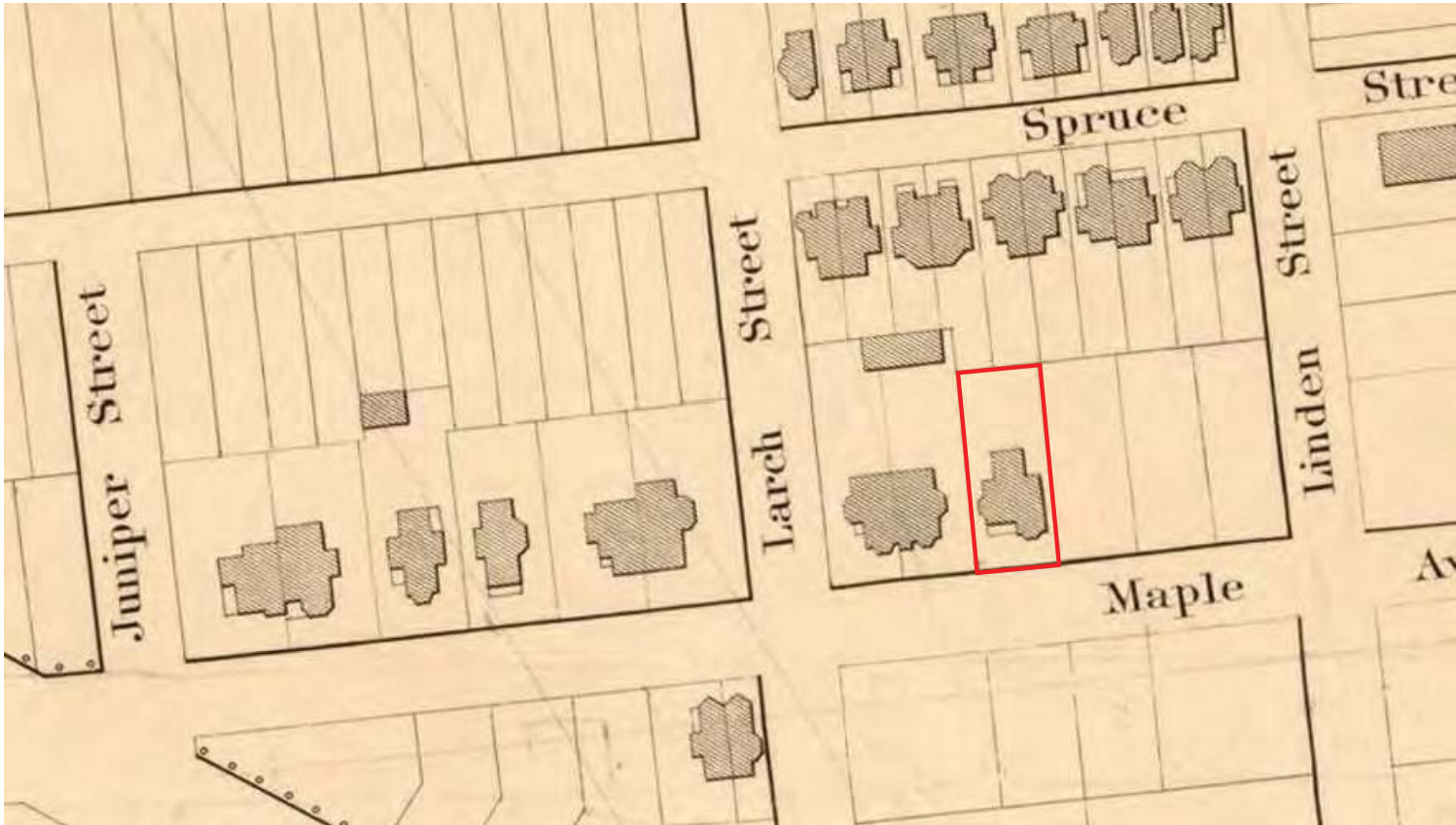
1" = 40'-0"



SD BLOCK PLAN - VISUAL IMPACT

1" = 50'-0"







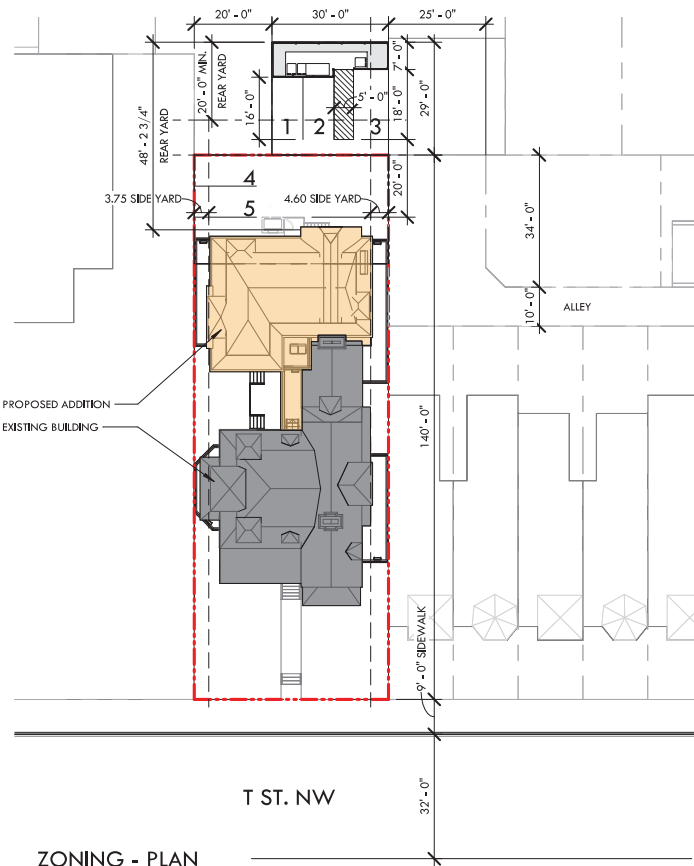


# ZONING ANALYSIS

## PROJECT INFORMATION

**PROJECT ADDRESS:** 421 T ST, NW, WASHINGTON, DC. 20001  
**PROJECT SCOPE:** HISTORIC RENOVATION WITH ADDITION TO PROVIDE 7 RESIDENTIAL DWELLING UNITS  
**SQUARE:** 3090  
**LOT:** 13, 807  
**ZONE:** RF-1  
**LOT SIZE:** 7,870 SF  
**HISTORIC:** LEDROIT PARK HISTORIC DISTRICT

FLOOR	EXISTING GFA	PROPOSED GFA
CELLAR:	1,764 SF	3,114 SF
FIRST:	2,021 SF	3,148 SF
SECOND:	1,813 SF	3,184 SF
THIRD:	1,409 SF	2,486 SF
TOTAL:	7,007 SF	11,932 SF

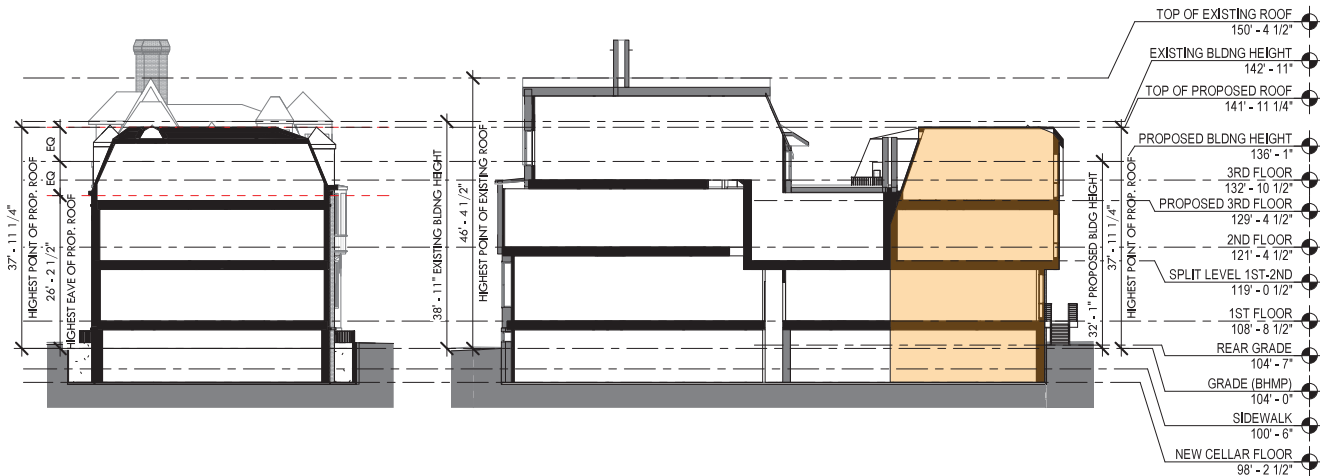


ZONING - PLAN

1/32" = 1'-0"

## ZONING CONSTRAINTS

	ALLOWABLE / REQUIRED	EXISTING	PROPOSED
LOT SIZE	7,870 SF	7,870 SF	7,870 SF
LOT OCCUPANCY	60% (4,722 SF)	26.7% (2,102 SF)	42.6% (3,356 SF)
FAR	N/A	N/A	N/A
PENTHOUSE RES. FAR	N/A	N/A	N/A
REAR YARD SETBACK	20' - 0" MIN.	7'6" - 0"	48' - 2 3/4"
SIDE YARD SETBACK	5' - 0" MIN.	EAST YARD: 4' - 7 1/4" (4.60') WEST YARD: 2' - 8 3/8" (2.70')	EAST YARD: 4' - 7 1/4" (4.60') WEST YARD: 3' - 9" (3.75')
BUILDING HEIGHT	35' - 0" (40' - 0" AS A SPECIAL EXCEPTION)	38' - 11" (PER SUBTITLE B SECTION 308.4)	32' - 1" (PER SUBTITLE B SECTION 308.4)
PENTHOUSE HEIGHT	N/A	N/A	N/A
OPEN COURT WIDTH	2.5'/1' - 0" OF HEIGHT, NOT LESS THAN 6' - 0"	N/A	15' - 6" (9' - 8" REQUIRED WIDTH)
CLOSED COURT WIDTH	2.5'/1' - 0" OF HEIGHT, NOT LESS THAN 12' - 0"	N/A	N/A
CLOSED COURT AREA	TWICE THE SQUARE OF REQD. WIDTH ≥ 350 SF, MIN AREA	N/A	N/A
RESIDENTIAL PARKING	1 SPACE / 2 DWELLING UNITS (REQUIRED FOR AN EXPANSION OR CHANGE OF USE WITHIN AN EXISTING BUILDING)	N/A (1 SPACE REQUIRED)	5 PARKING SPACES 7 UNITS / 2 = 3.5; 4 - 1 = 3 SPACES REQUIRED
RETAIL PARKING	1.33 SPACES / 1000 SF IN EXCESS OF 3000 SF	N/A	N/A
LONG TERM BICYCLE PARKING - RESIDENTIAL	1 SPACE / 3 DWELLING UNITS	N/A	8 SPACES 7 UNITS / 3 = 2.3 (3 SPACES REQUIRED)
LONG TERM BICYCLE PARKING - RETAIL	1 SPACE / 10,000 SF	N/A	N/A
SHORT TERM BICYCLE PARKING - RESIDENTIAL	1 SPACE / 20 DWELLING UNITS	N/A	N/A
SHORT TERM BICYCLE PARKING - RETAIL	1 SPACE / 10,000 SF	N/A	N/A
GAR	N/A	N/A	N/A



ZONING - CROSS SECTION

3/64" = 1'-0"

ZONING - LONGITUDINAL SECTION

3/64" = 1'-0"

**EXISTING SITE CONDITIONS**



VIEW FROM 2ND FLOOR

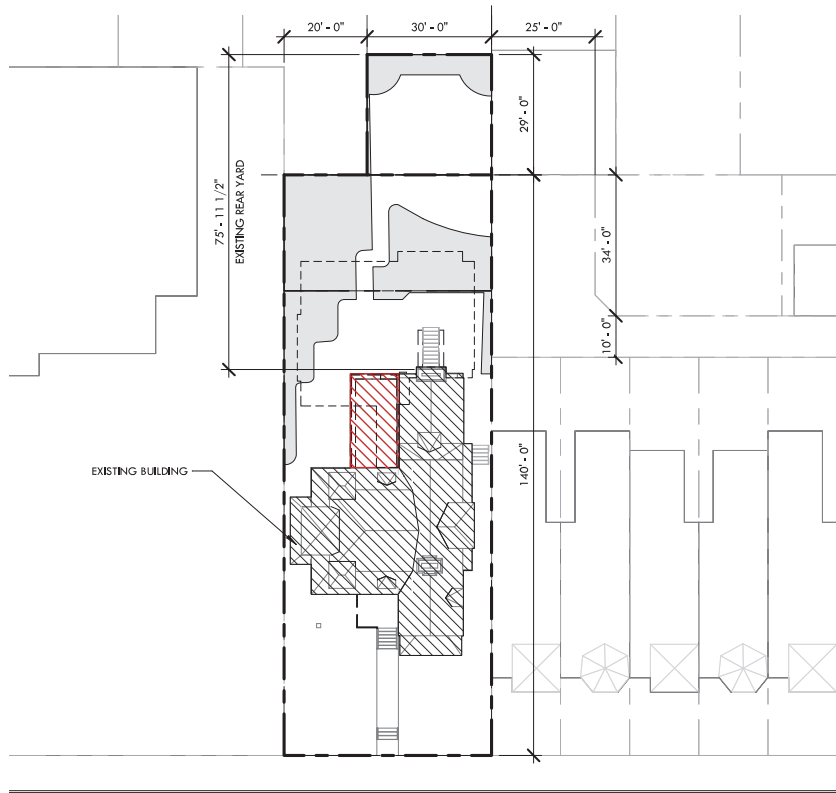


VIEW FROM REAR YARD

**PAVEMENT/PLANTING AREA**  
 EXISTING PLANTING: 1,561 SF  
 EXISTING PAVEMENT: 2,080 SF

**ADDED GREEN AREA**  
 PAVEMENT BECOMING PLANTING: 263 SF  
 PAVEMENT BECOMING GREEN PAVERS: 1,036 SF

**LOCATION OF ADDITION**  
 ADDITION ON PLANTING: 477 SF  
 ADDITION ON PAVEMENT: 790 SF  
 TOTAL SITE ADDITION: 1,267 SF



T ST. NW

SD SITE PLAN EXISTING  
 1" = 30'-0"

**SITE MATERIAL OPTIONS**



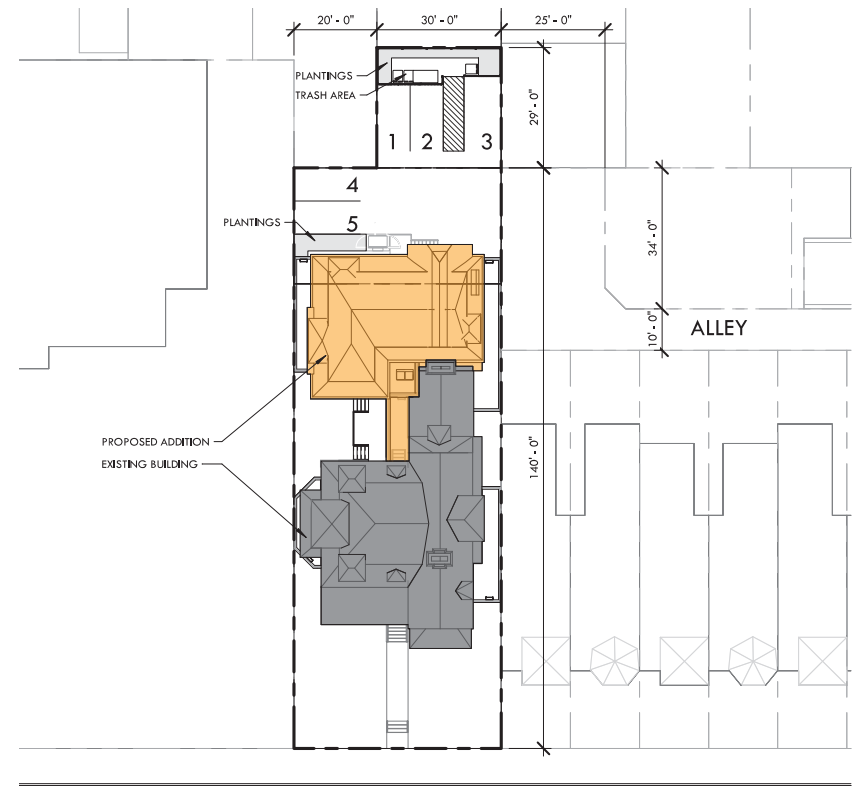
BELGARD TURFSTONE



TECHO BLOC PAVER

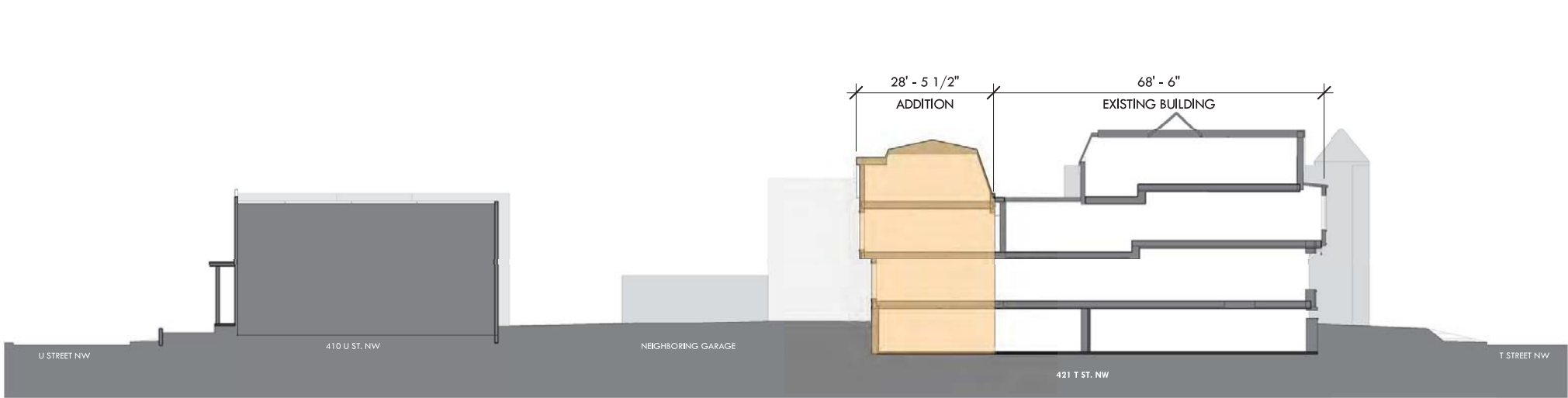


GREEN WALL



T ST. NW

SD SITE PLAN PROPOSED  
 1" = 30'-0"



**SITE SECTION A**

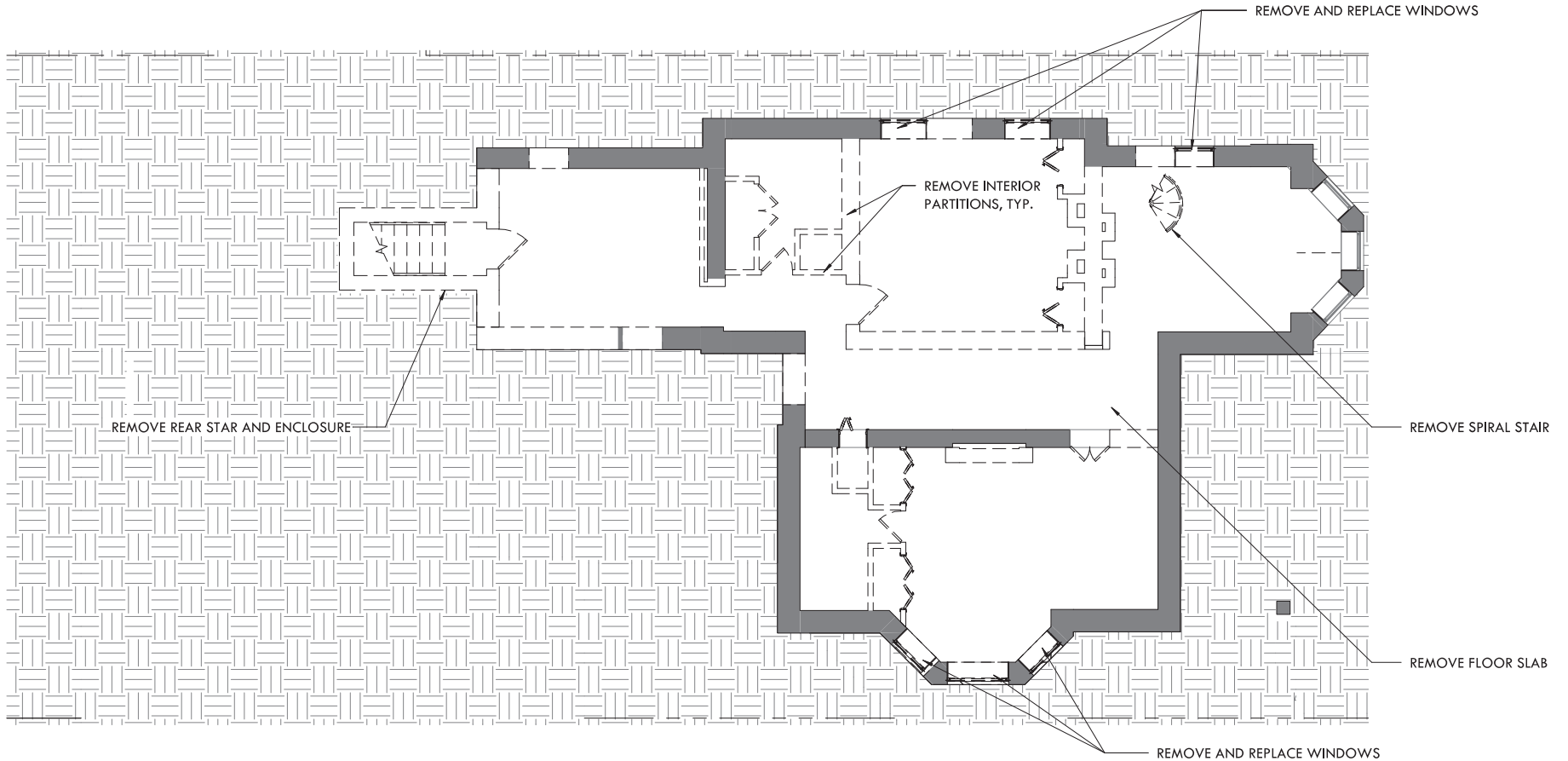
1" = 20'-0"

LEVEL	GSF OF JOISTS TO REMAIN	TOTAL AREA OF EXIST. JOISTS	% OF JOISTS TO REMAIN
CELLAR	N/A	N/A	N/A
FIRST	1,333.5 GSF	1,448 GSF	92.1%
SECOND	1,508 GSF	1,733.5 GSF	87%
THIRD	1,019 GSF	1,038 GSF	98.2%
ROOF	N/A	N/A	N/A
<b>TOTAL</b>	<b>3,860.5 SF</b>	<b>4,219.5 SF</b>	<b>91.5%</b>

LEVEL	GSF OF INTERIOR WALL TO REMAIN	TOTAL AREA OF INTERIOR WALLS	% OF WALLS TO REMAIN
CELLAR	35 GSF	155 GSF	22.6%
FIRST	66.5 GSF	165 GSF	40.3%
SECOND	18 GSF	90 GSF	20%
THIRD	18 GSF	61 GSF	29.5%
ROOF	N/A	N/A	N/A
<b>TOTAL</b>	<b>1,074 SF</b>	<b>1,544 SF</b>	<b>69.5%</b>

LEVEL	GSF OF EXTERIOR WALL TO REMAIN	TOTAL AREA OF EXTERIOR WALLS	% OF WALLS TO REMAIN
CELLAR	313 GSF	376 GSF	83.2%
FIRST	207 GSF	276 GSF	75%
SECOND	236 GSF	256 GSF	92.2%
THIRD	168 GSF	168 GSF	100%
ROOF	N/A	N/A	N/A
<b>TOTAL</b>	<b>924 SF</b>	<b>1,076 SF</b>	<b>85.9%</b>

LEVEL	GSF OF ORIGINAL EXT. TO REMAIN	TOTAL AREA OF ORIGINAL EXT.	% OF WALLS TO REMAIN
CELLAR	313 GSF	376 GSF	83.2%
FIRST	243 GSF	288 GSF	84.4%
SECOND	236 GSF	256 GSF	92.2%
THIRD	168 GSF	168 GSF	78.8%
ROOF	N/A	N/A	N/A
<b>TOTAL</b>	<b>960 SF</b>	<b>1,088 SF</b>	<b>88.2%</b>



SD DEMO PLAN - CELLAR

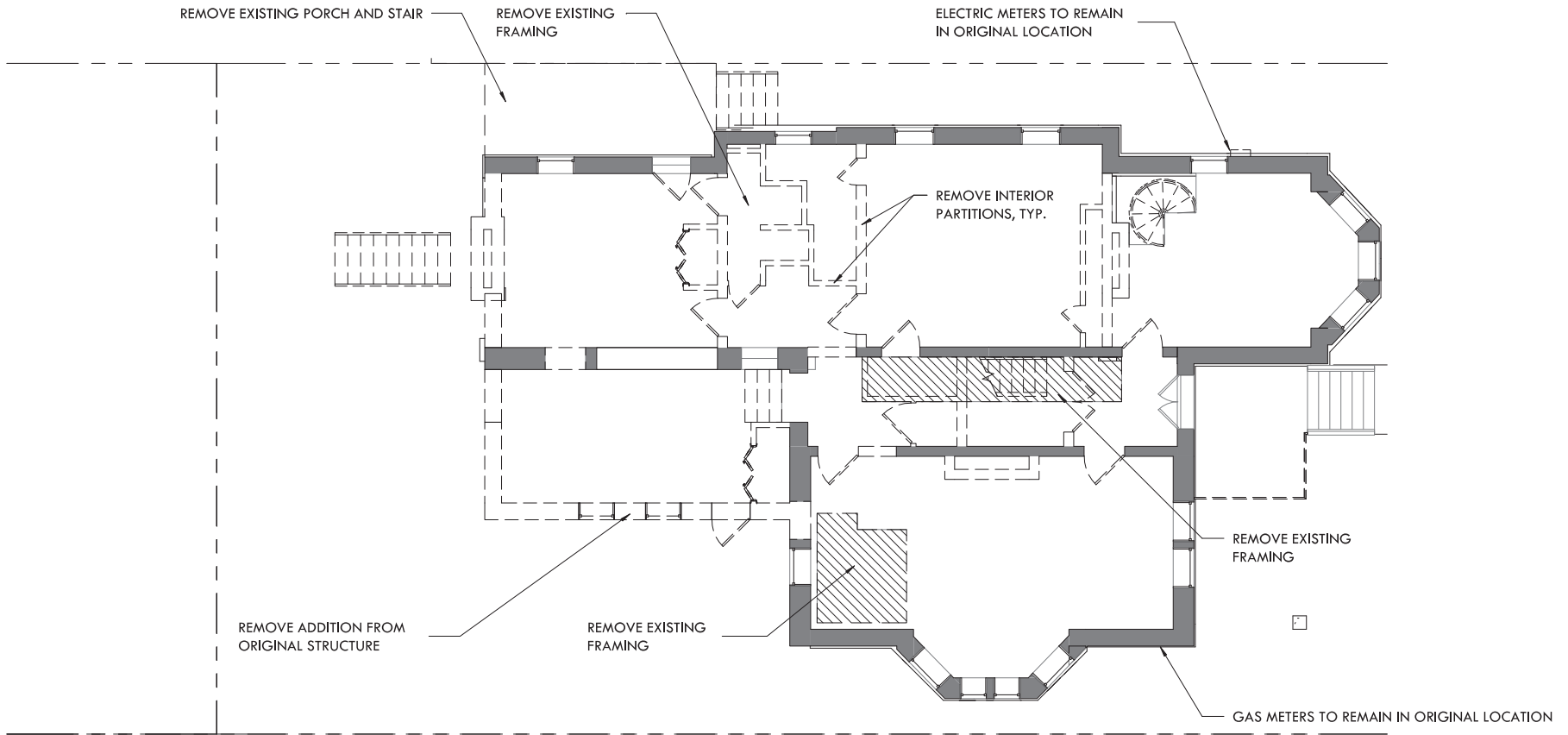
1/8" = 1'-0"

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CELLAR	N/A	N/A	N/A
FIRST	1,333.5 GSF	1,448 GSF	92.1%
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SD DEMO PLAN - 1ST FLOOR

1/8" = 1'-0"

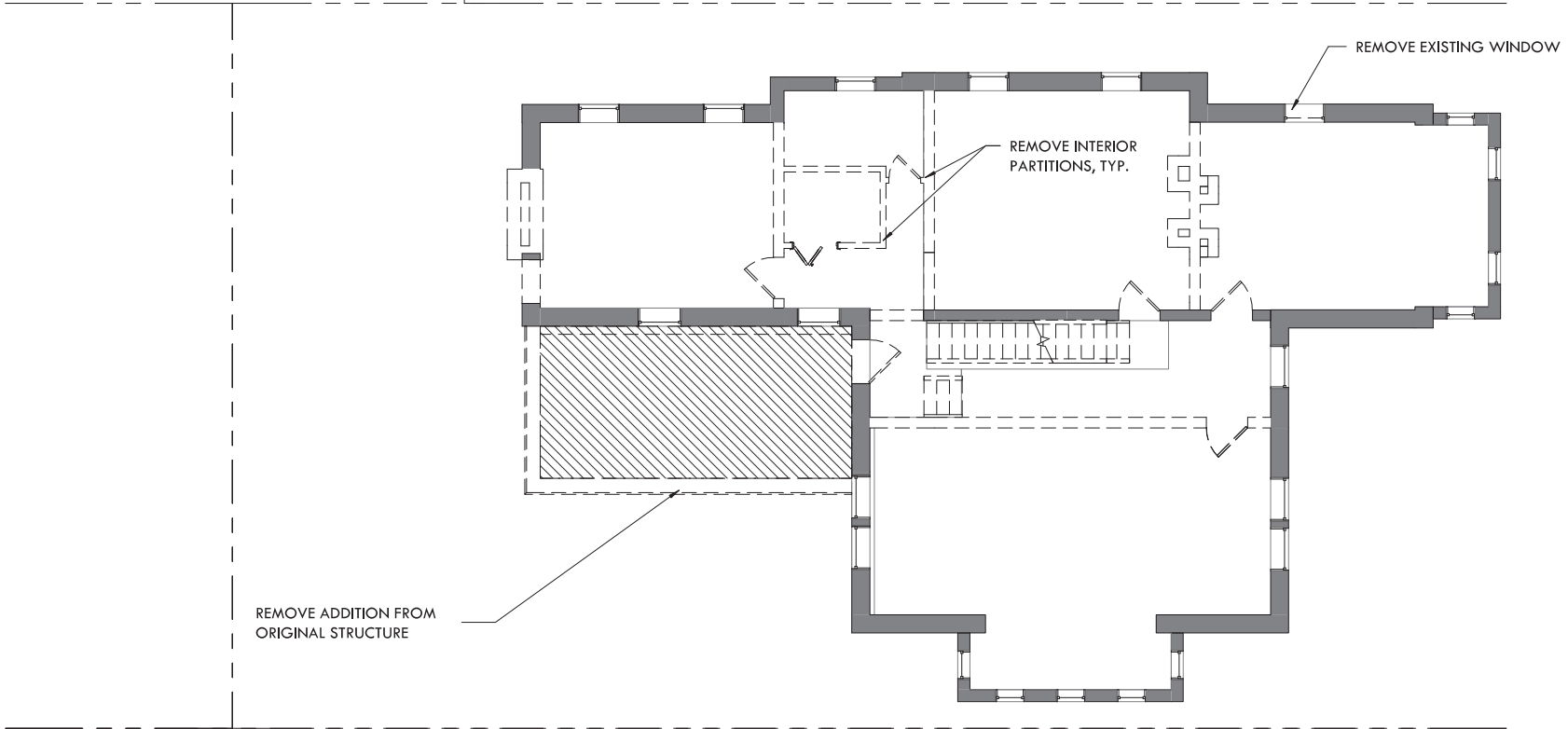


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SD DEMO PLAN - 2ND FLOOR

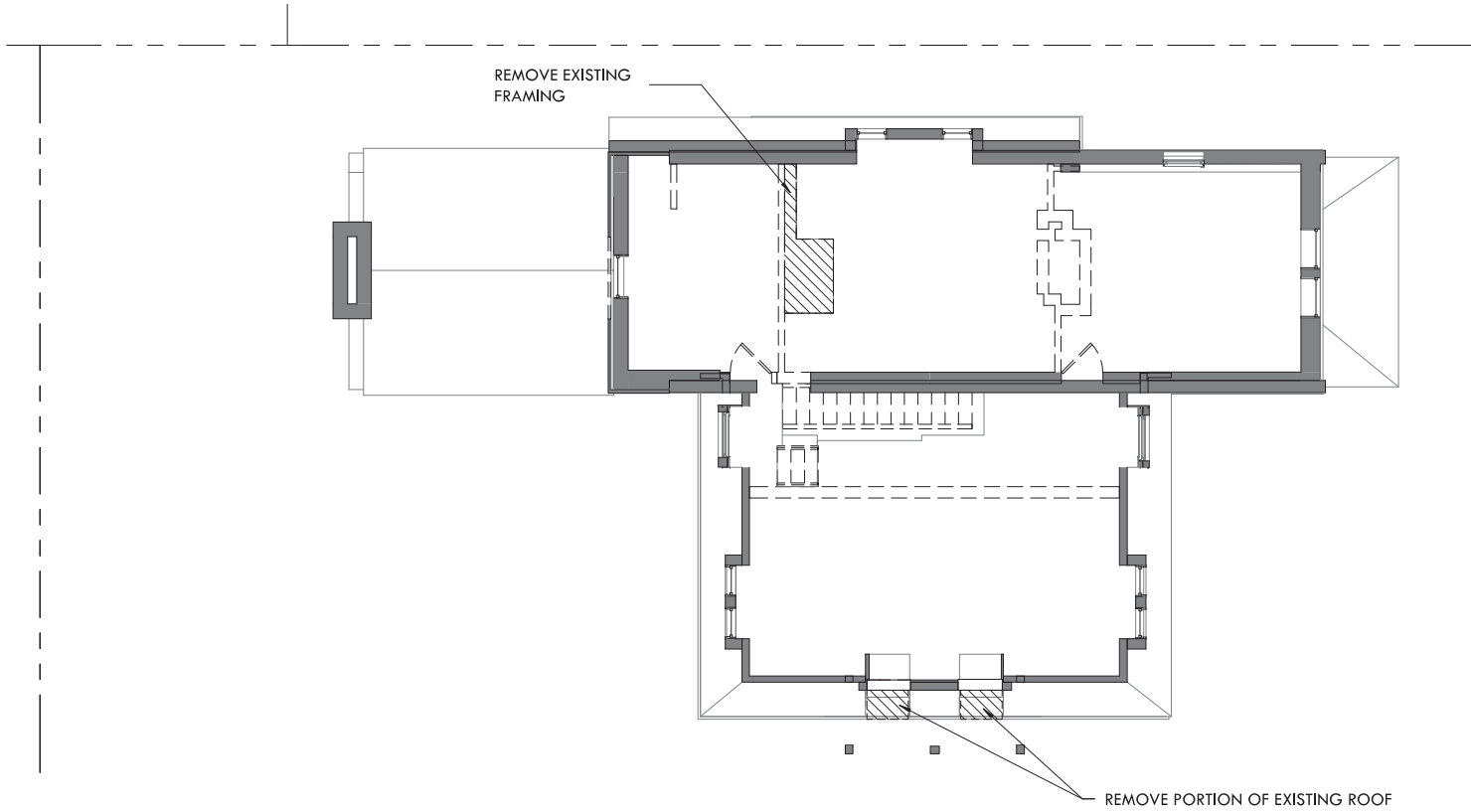
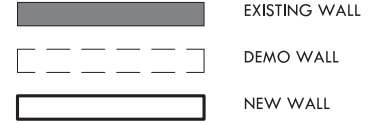
1/8" = 1'-0"

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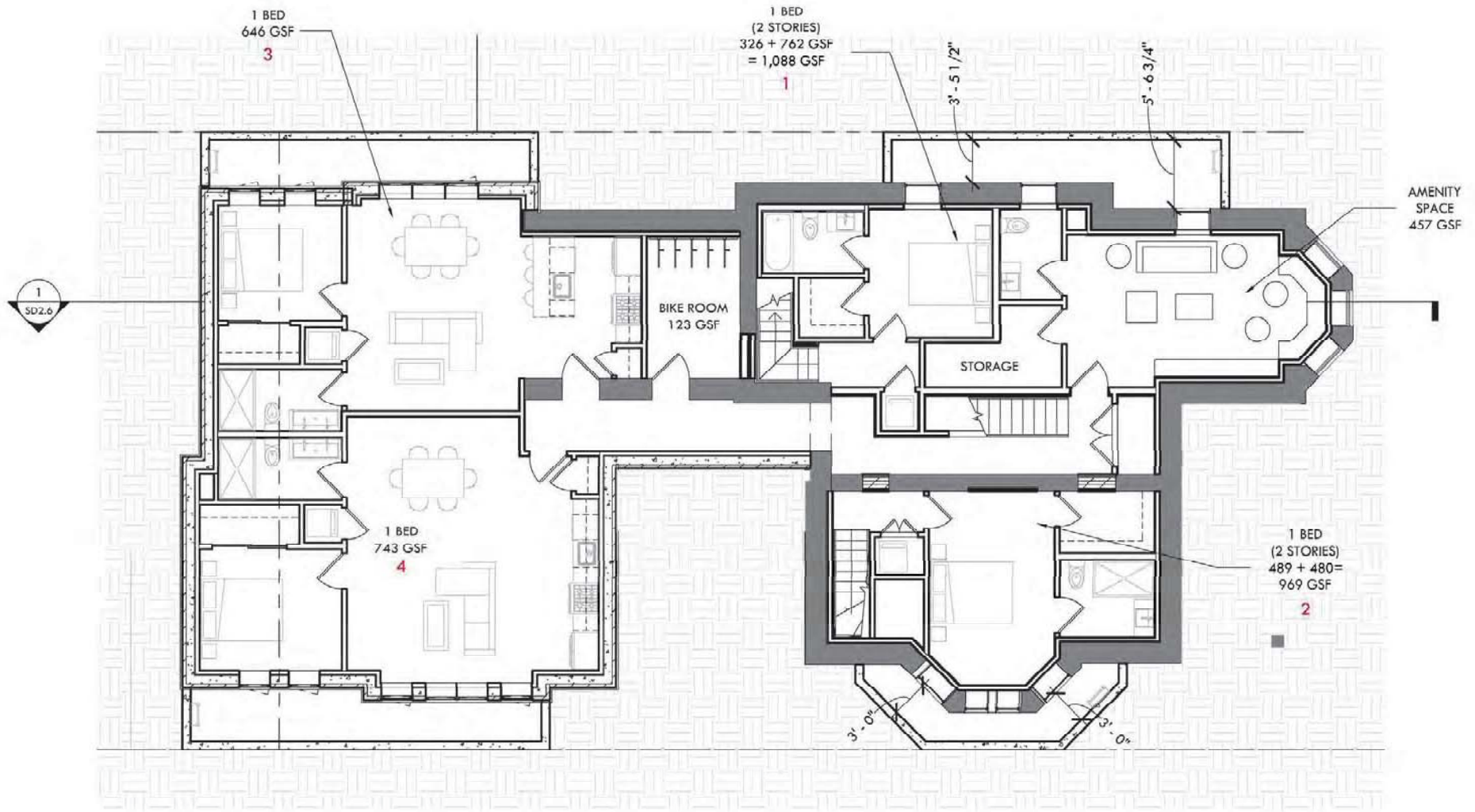
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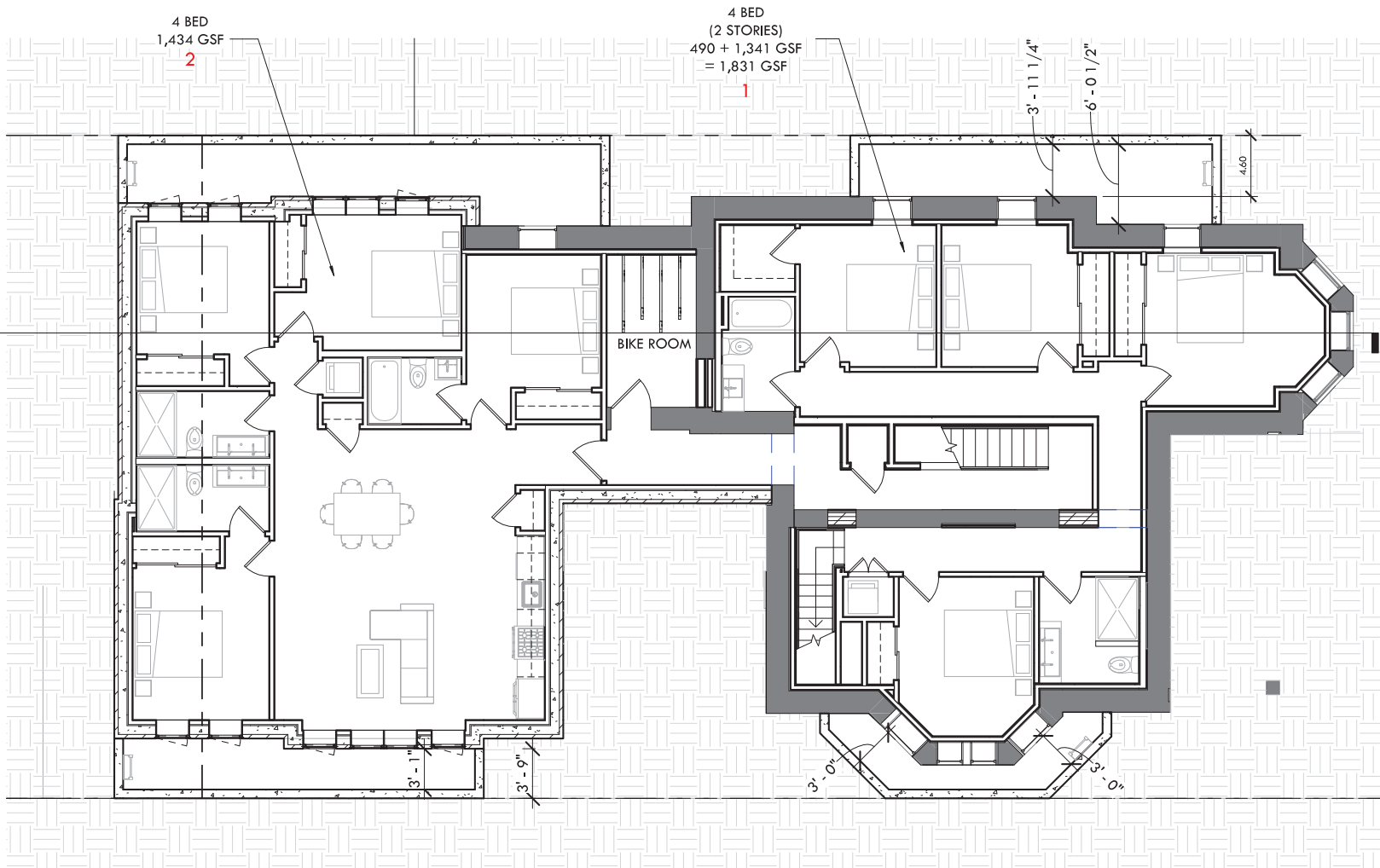
SD DEMO PLAN - 3RD FLOOR

1/8" = 1'-0"



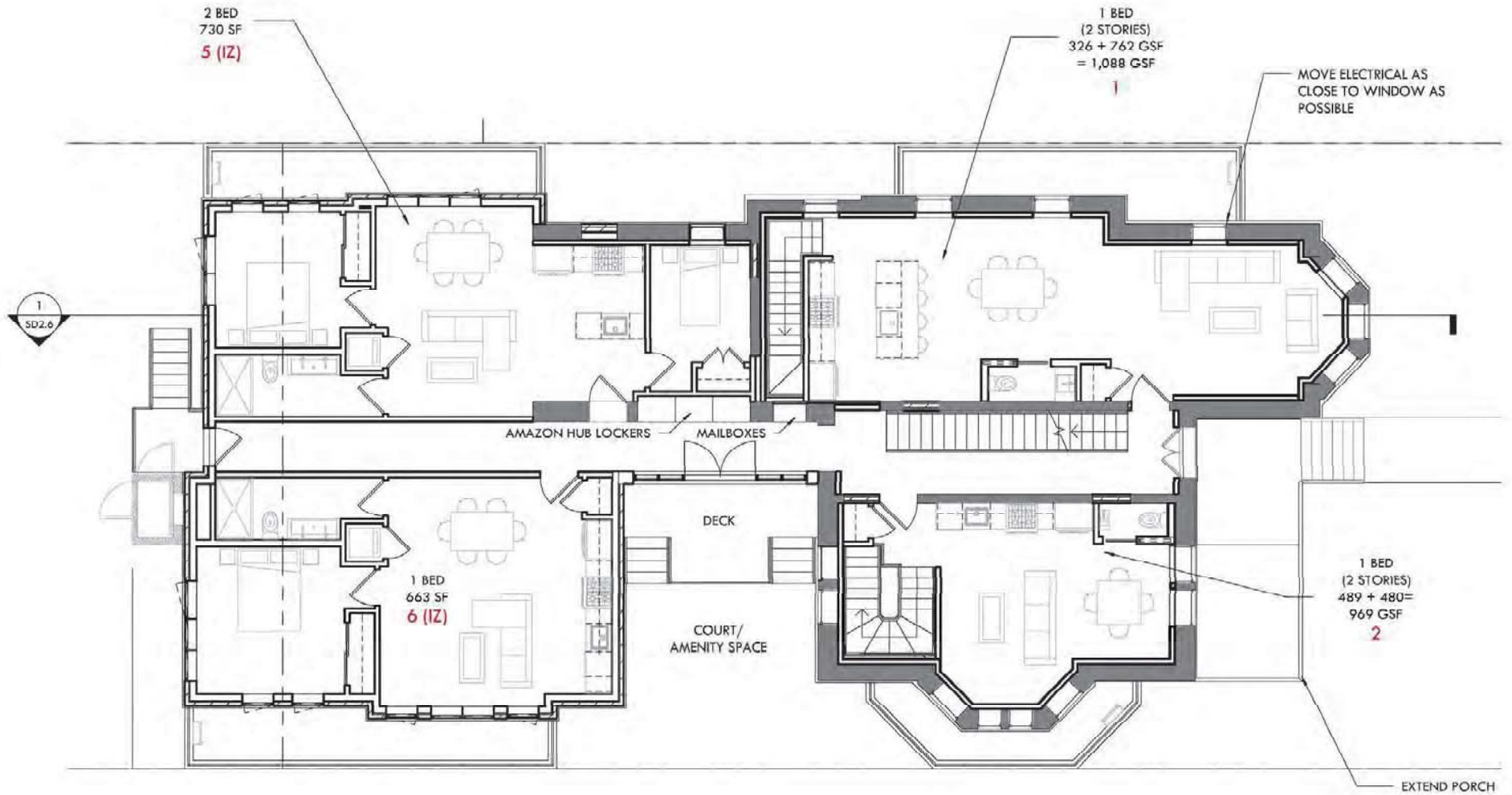
SD PLAN - CELLAR - 09.24.2020  
1/8" = 1'-0"

1  
SD3.11



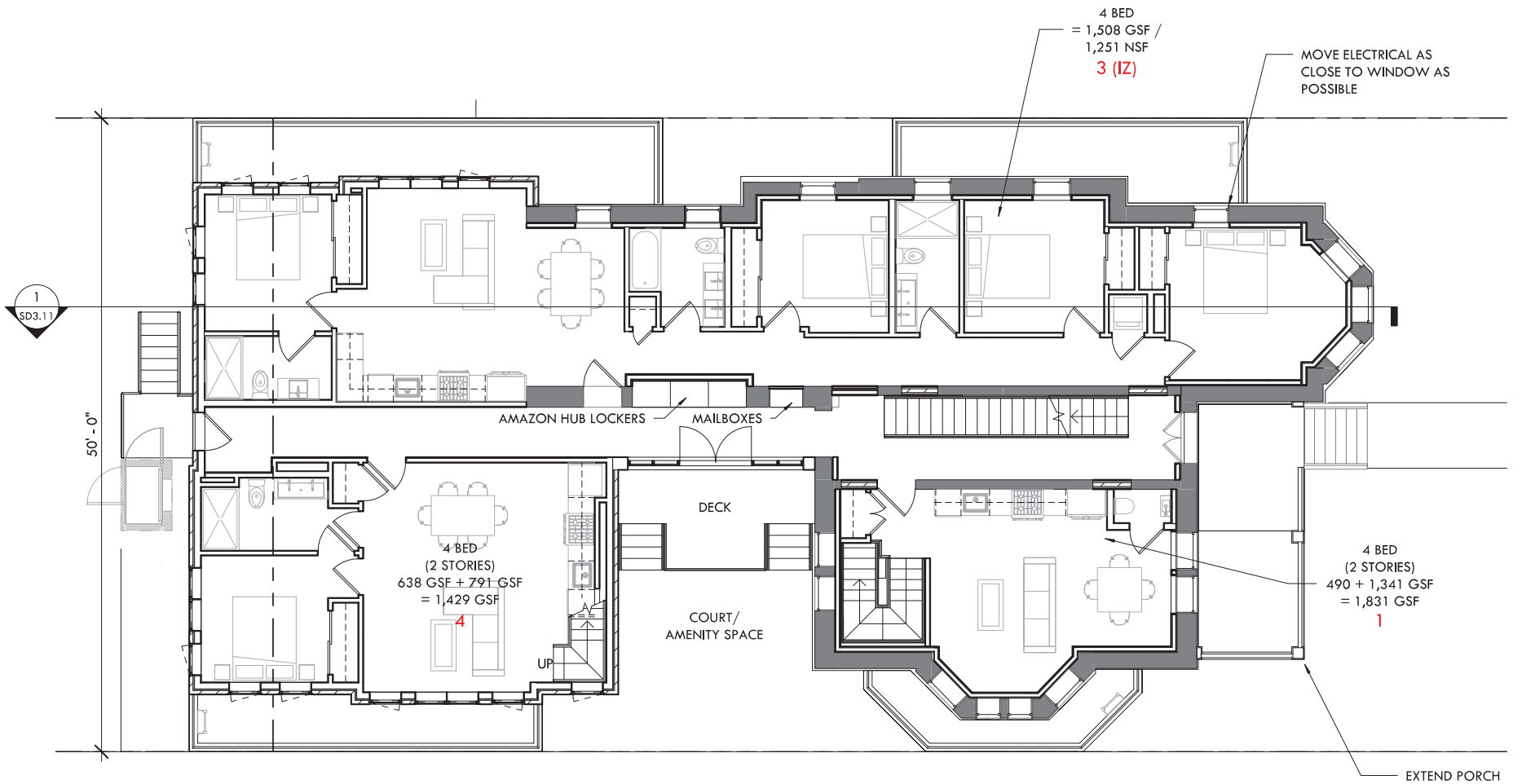
SD PLAN - CELLAR

1/8" = 1'-0"



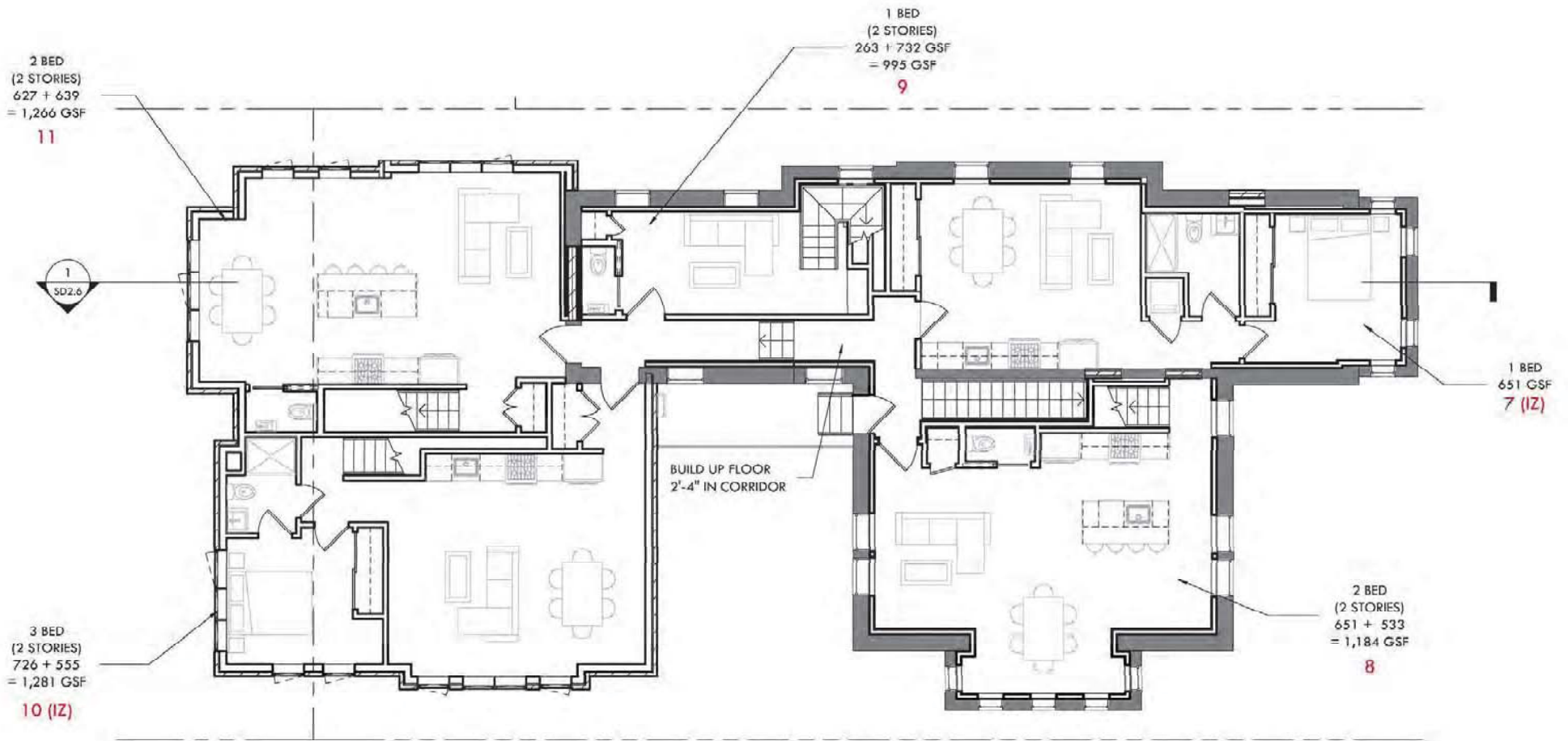
SD PLAN - 1ST FLOOR - 09.24.2020

1/8" = 1'-0"



SD PLAN - 1ST FLOOR

1/8" = 1'-0"

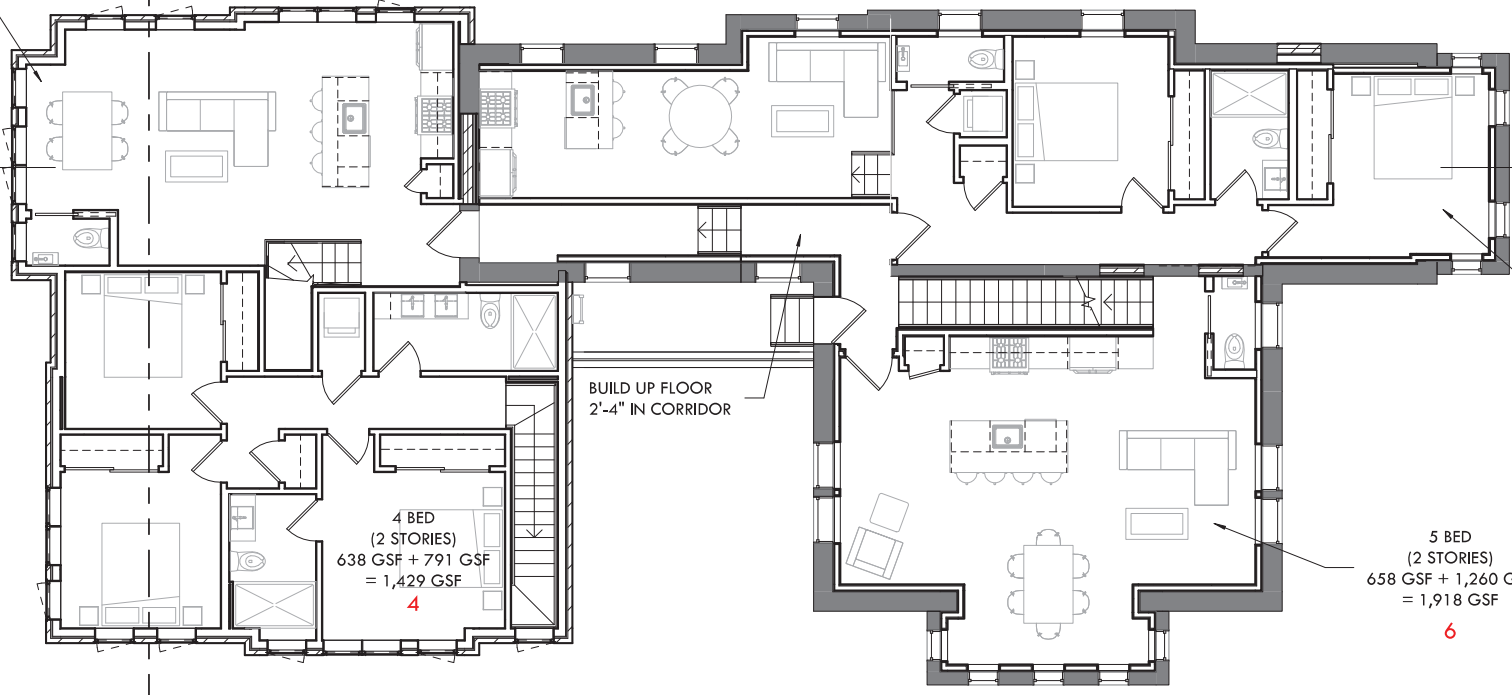


SD PLAN - 2ND FLOOR - 09.24.2020

1/8" = 1'-0"

4 BED  
(2 STORIES)  
523 GSF + 1,088 GSF  
= 1,611 GSF  
**7**

1  
SD3.11



2 BED  
930 GSF /  
742 NSF  
**5 (IZ)**

4 BED  
(2 STORIES)  
638 GSF + 791 GSF  
= 1,429 GSF  
**4**

5 BED  
(2 STORIES)  
658 GSF + 1,260 GSF  
= 1,918 GSF  
**6**

SD PLAN - 2ND FLOOR  
1/8" = 1'-0"



2 BED  
(2 STORIES)  
627 + 639  
= 1,266 GSF  
**11**



3 BED  
(2 STORIES)  
726 + 555  
= 1,281 GSF  
**10 (12)**

MAINTAIN SPLIT LEVEL  
WITHIN UNIT  
(2'-6" DIFFERENCE)

1 BED  
(2 STORIES)  
263 + 732 GSF  
= 995 GSF  
**9**

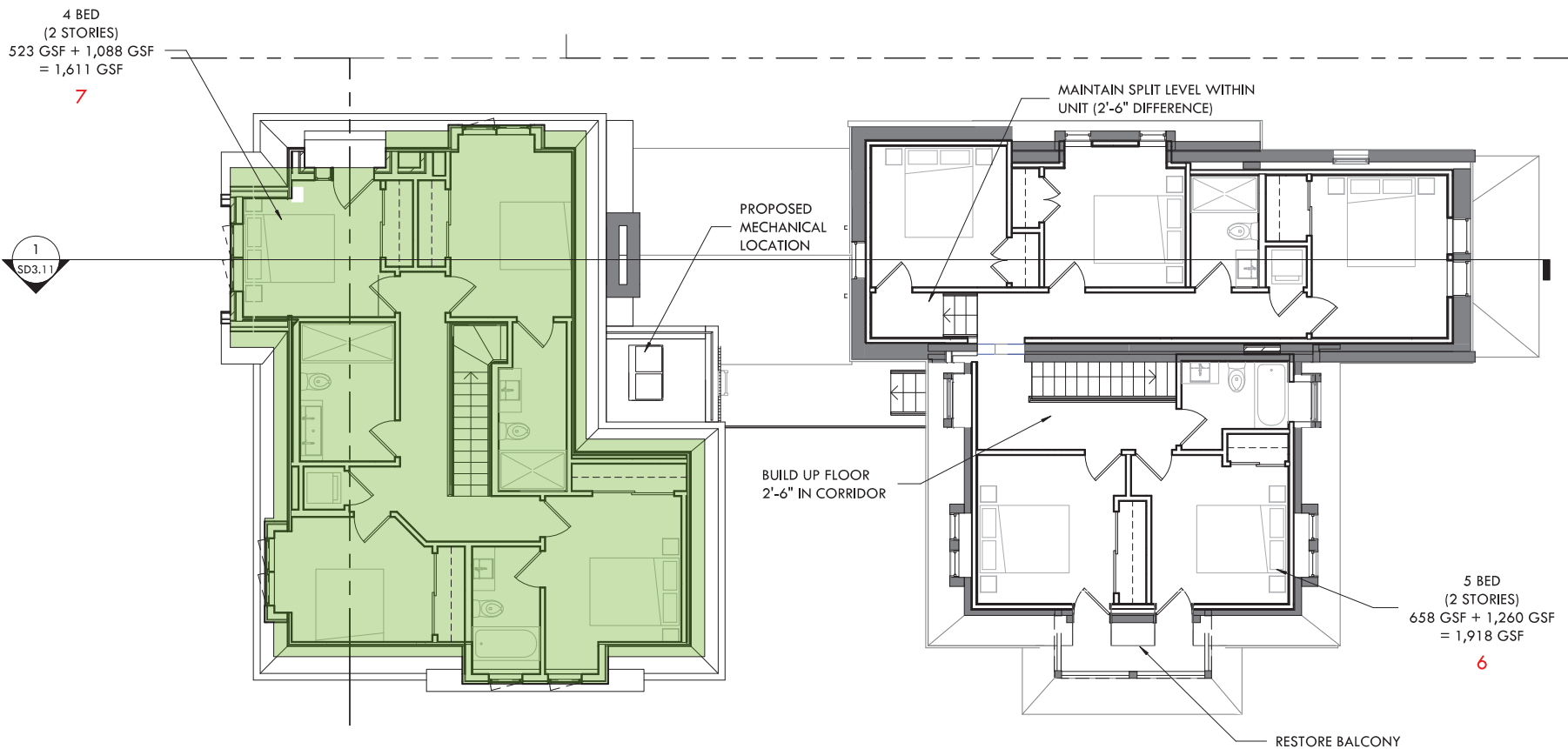
PROPOSED  
MECHANICAL  
LOCATION

BUILD UP FLOOR  
2'-6" IN CORRIDOR

2 BED  
(2 STORIES)  
651 + 533  
= 1,184 GSF  
**8**

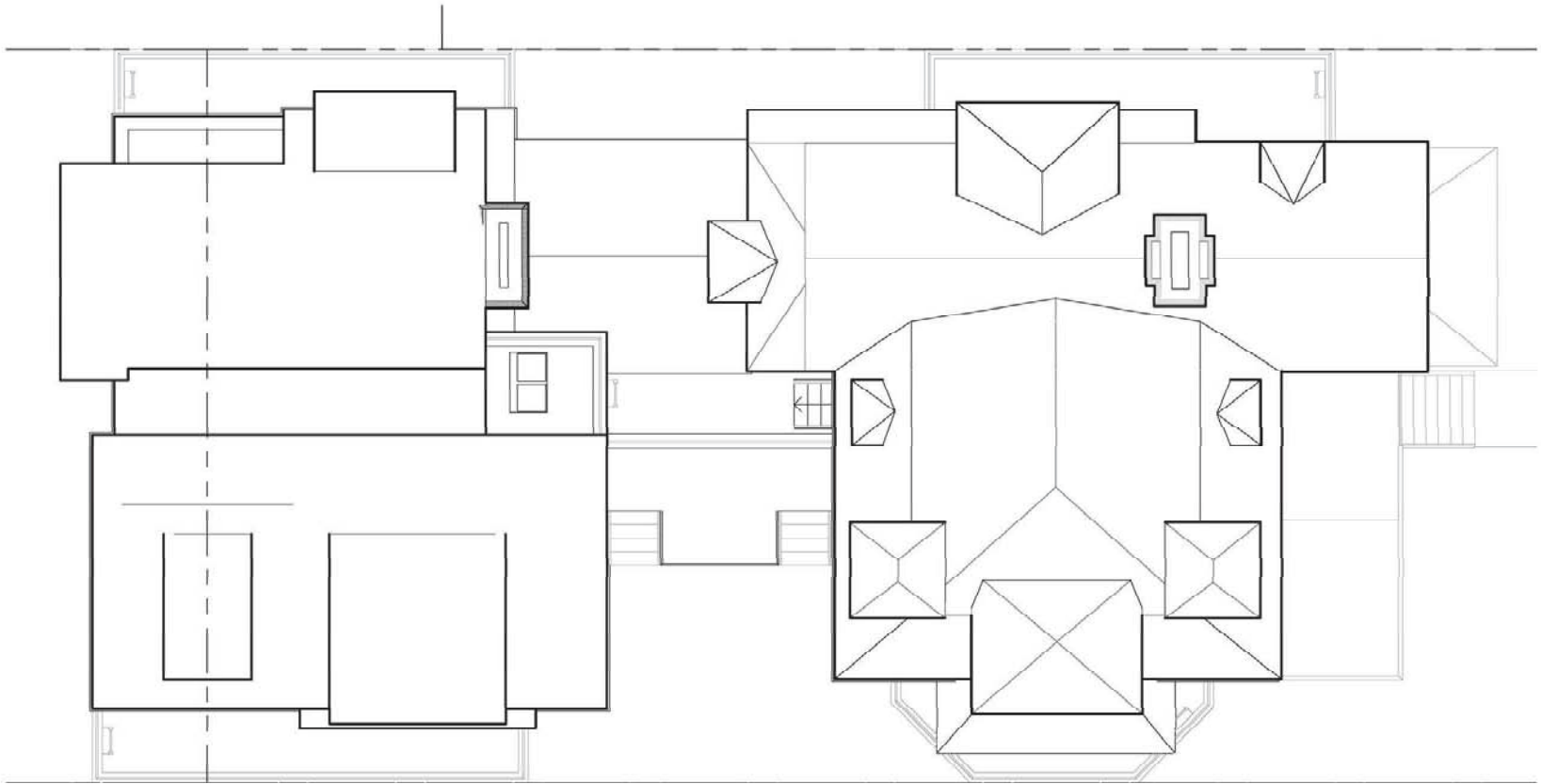
RESTORE BALCONY

SD PLAN - 3RD FLOOR - 09.24.2020  
1/8" = 1'-0"



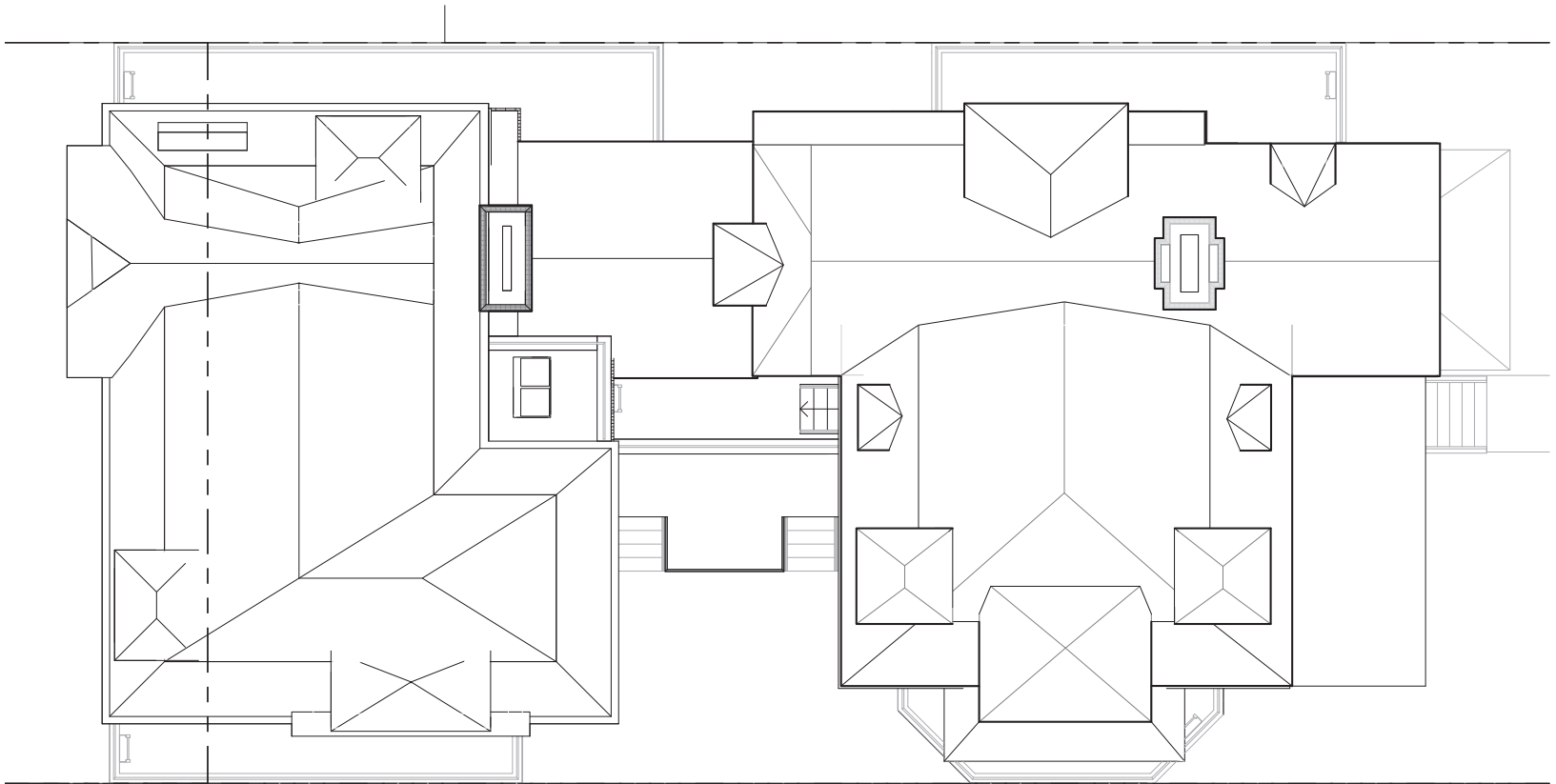
SD PLAN - 3RD FLOOR

1/8" = 1'-0"



SD PLAN - ROOF - 09.24.2020

1/8" = 1'-0"



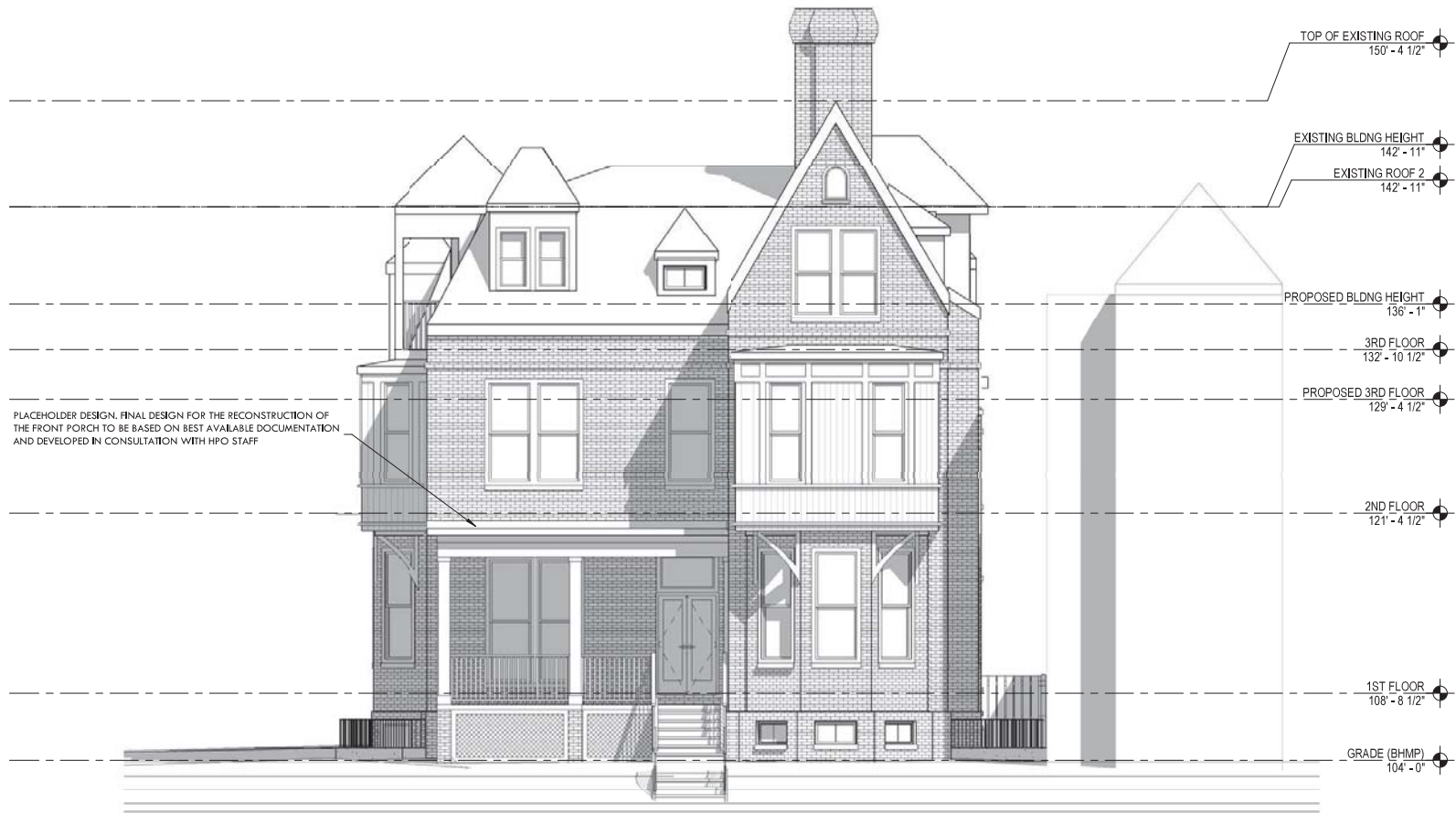
SD PLAN - ROOF

1/8" = 1'-0"



SD ELEVATION - SOUTH - 09.24.2020

1/8" = 1'-0"

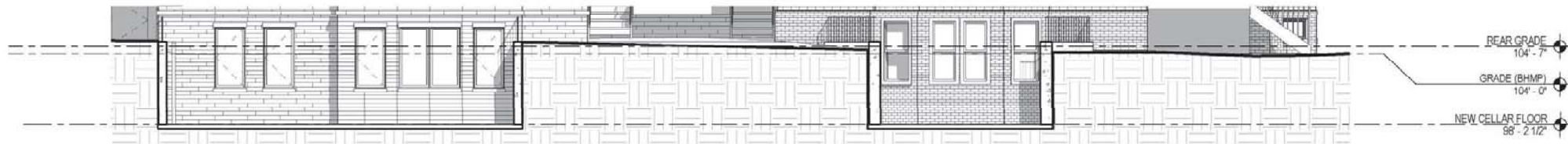


SD ELEVATION - SOUTH

1/8" = 1'-0"



SD ELEVATION - WEST - 09.24.2020  
1/8" = 1'-0"

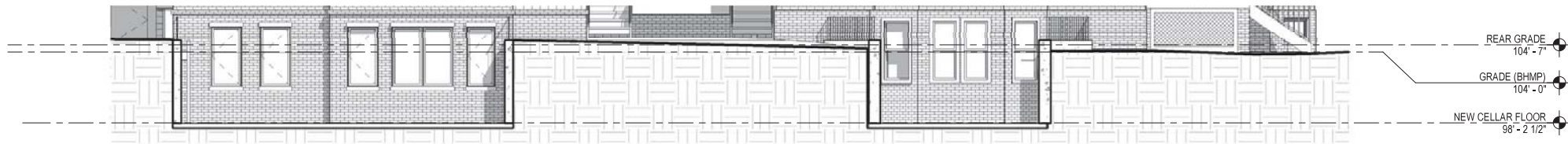


SD ELEVATION - WEST AREAWAY - 09.24.2020  
1/8" = 1'-0"



SD ELEVATION - WEST

1/8" = 1'-0"



SD ELEVATION - WEST AREAWAY

1/8" = 1'-0"





SD ELEVATION - NORTH - 09.24.2020

1/8" = 1'-0"

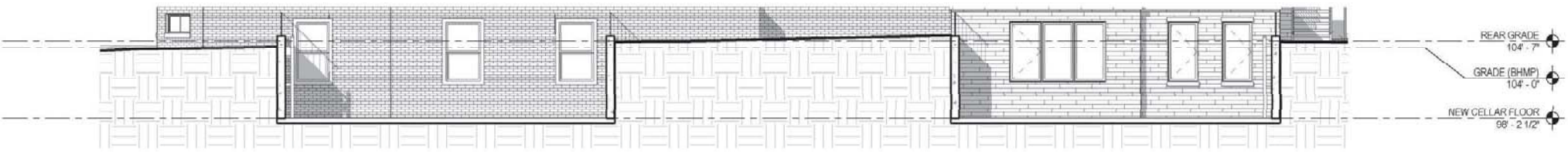


SD ELEVATION - NORTH

1/8" = 1'-0"



SD ELEVATION - EAST - 09.24.2020  
 1/8" = 1'-0"

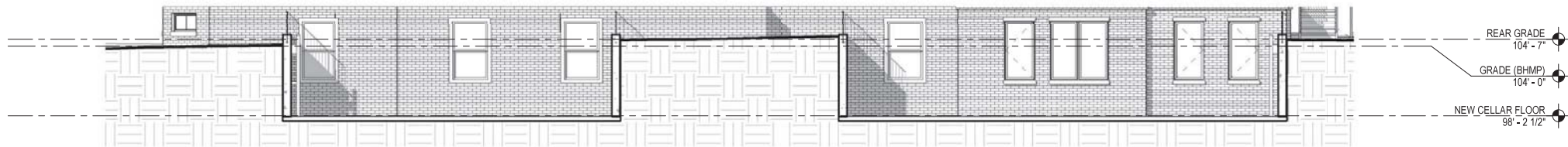


SD ELEVATION - EAST AREAWAY - 09.24.2020  
 1/8" = 1'-0"



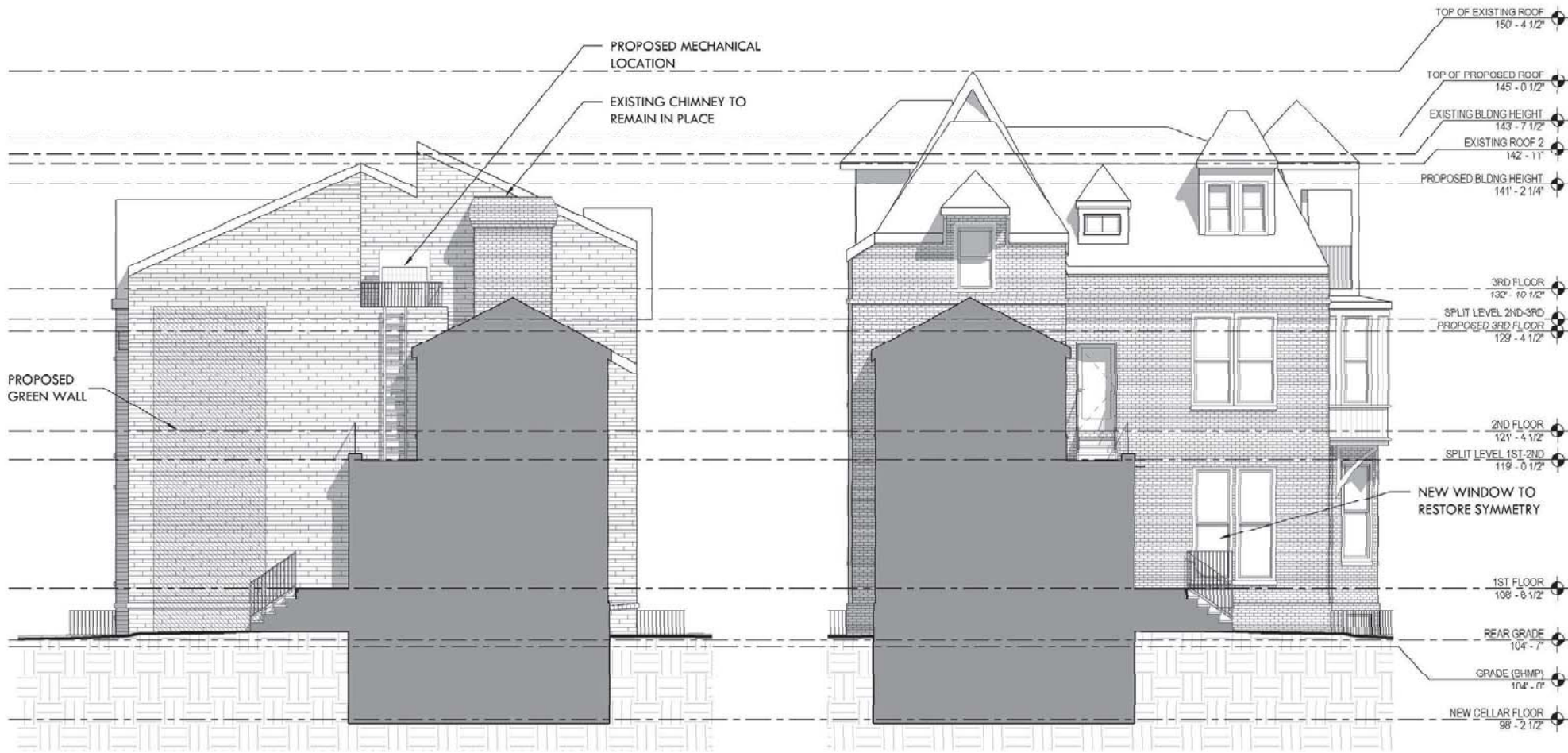
SD ELEVATION - EAST

1/8" = 1'-0"



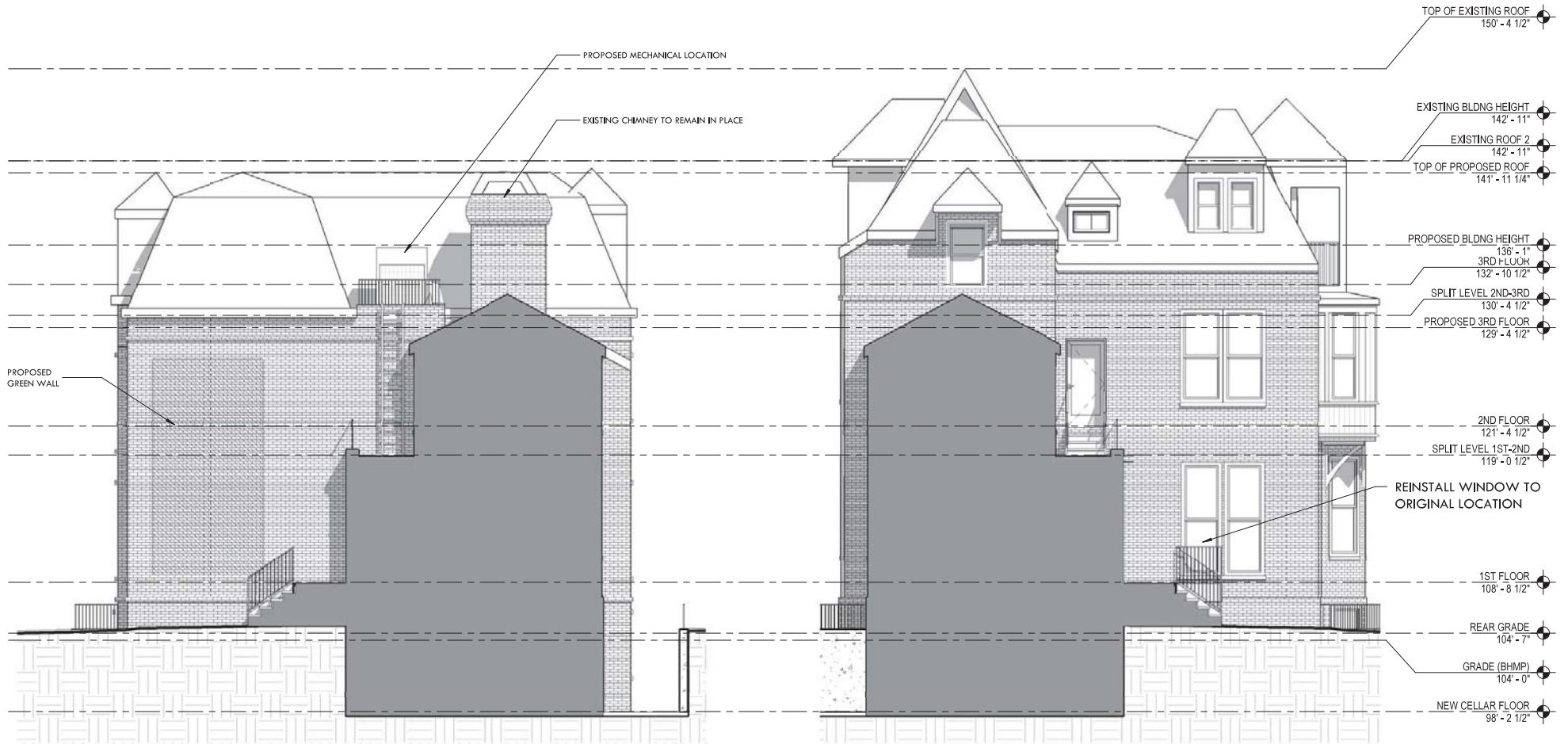
SD ELEVATION - EAST AREAWAY

1/8" = 1'-0"



SD ELEVATION - SOUTH COURT - 09.24.2020  
 1/8" = 1'-0"

SD ELEVATION - NORTH COURT - 09.24.2020  
 1/8" = 1'-0"

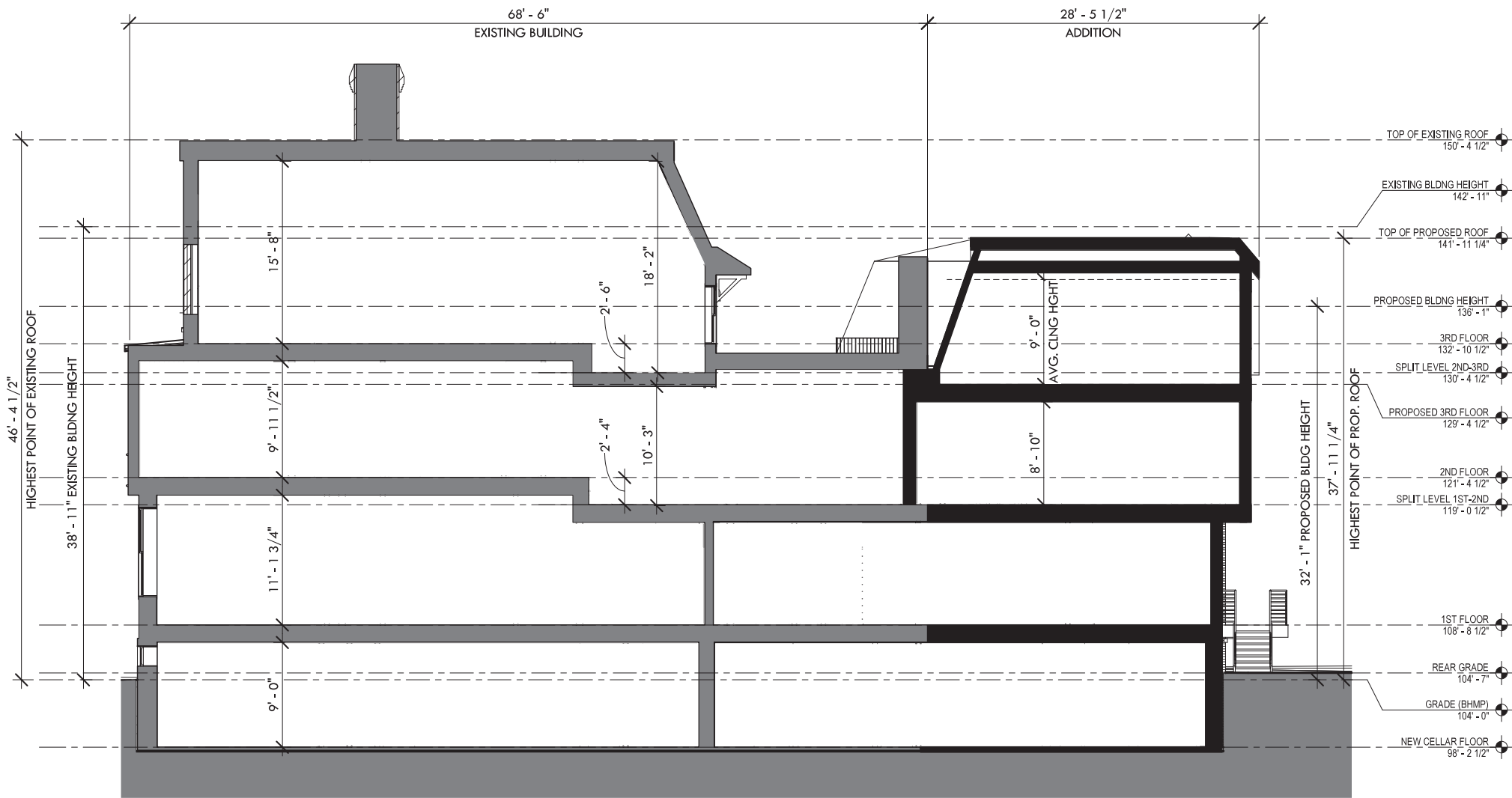


SD ELEVATION - SOUTH COURT

1/8" = 1'-0"

SD ELEVATION - NORTH COURT

1/8" = 1'-0"



SECTION - LONGITUDINAL

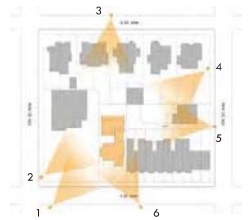
1/8" = 1'-0"



1 - PREVIOUS - 09.24.2020



1 - PROPOSED - T ST. EAST



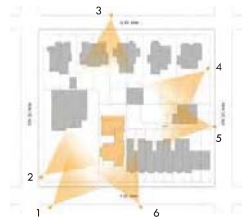




2 - PREVIOUS - 09.24.2020



2 - PROPOSED - 5TH ST.

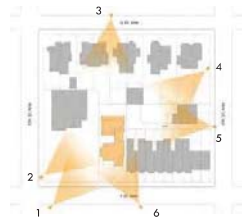




3 - PREVIOUS - 09.24.2020



3 - PROPOSED - U ST.

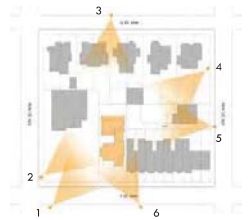




4 - PREVIOUS - 09.24.2020

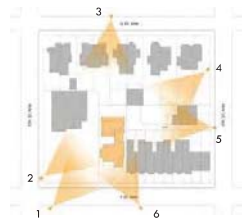


4 - PROPOSED - 4TH ST.





5 - PROPOSED - 4TH ST. ALLEY

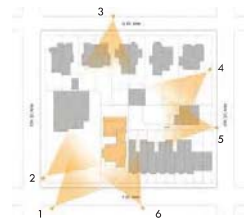




6 - PREVIOUS - 09.24.2020



6 - PROPOSED - T ST. WEST



**MASONRY COLOR OPTIONS**



**RUM RAISIN  
VELOUR**



**BRANDYWINE  
VELOUR**



**SIENNA BLEND  
VELOUR**

**ADDITION METAL ROOFING OPTIONS**



**QUADRO PANEL  
FINISH TBD**



**MORIN  
FINISH TBD**



**SD ELEVATION - WEST MATERIALS**

1/8" = 1'-0"

## **Preservation Plan for the Exterior of 421 T Street, NW**

This Preservation Plan has been prepared to establish the manner in which the rehabilitation of the exterior of 421 T Street, NW will be undertaken; it is a framework for the treatment of the exterior of the house. The rehabilitation of 421 T Street, a contributing building in the LeDroit Park Historic District, will extend the residential use of the building. It is a component of a larger project that includes an addition at the rear house. The treatment of the exterior of the house will be undertaken in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* using the *Guidelines for Rehabilitating Historic Buildings*. Work will comply with all approvals granted pursuant to the DC Historic Protection Act, its applicable regulations, and the Historic Preservation Review Board's Standards and Guidelines.

The exterior of 421 T Street, NW is generally in good condition and most of its original features remain intact. Sadly, the original front porch, except for its supporting brick piers, was removed years ago, leaving the front elevation missing perhaps its most important feature. This Plan calls for the reconstruction of an appropriately-designed front porch. The new porch will bring back a major character-defining feature of the house, thereby enhancing the historic appearance of the house and its contribution to the streetscape and historic district.

LeDroit Park was one of Washington's early planned and architecturally cohesive suburban subdivisions. Land for the subdivision was purchased, surveyed, and subdivided in 1873 by A.L. Barber & Co., which then chose prominent Washington architect James H. McGill to design the houses that established the character of its new subdivision. McGill's substantial houses were designed in the tradition of Andrew Jackson Downing. The first houses were freestanding on large lots, followed by duplexes on much smaller lots. Although no two houses looked alike, the use of the same materials and a common architectural vocabulary created a remarkably cohesive collection of buildings. Perhaps the most prominent feature of these houses was their front porches, many original examples of which remain today. The McGill houses reflect the exuberance of later Victorian design and combine aspects of the Second Empire and Queen Anne styles. Later rowhouses on smaller lots, designed by architects other than McGill, completed the development of the historic district.



A. ADAMS & CO.

## **Preservation Plan for the Exterior of 421 T Street, NW (cont.)**

Built in 1876, 421 T Street, NW is a three-story, free-standing brick structure. It features different and intersecting slate-covered roof forms with dormers, asymmetrical elevations, and one-over-one and two-over-two windows. The front façade is currently dominated by an unusual two-story bay, the first story of which is brick and the second story of which is frame, detailed very differently from the story below. The once-prominent front porch is missing. The west elevation is similar but secondary to the T Street elevation. There is a small covered porch at the top of the bay. The east elevation has fenestration but is otherwise strictly utilitarian. The north elevation is a blank brick wall, topped however, by an elaborately-detailed chimney.

The exterior of 421 T Street, NW is remarkably intact, save for the missing front porch, one window opening that has been bricked in and is currently covered by an addition at the back of the house, replaced basement windows, and some alteration of the porch on the west bay. Overall, the brick, including the chimney at the rear of the house, and the roof are in generally good condition. The windows, except for the basement windows, and front doors appear to be original, and are in generally good condition. The condition of the window trim and sills varies from good to deteriorated.

## **Treatment of the Exterior of 421 T Street, NW**

### General Provisions

All work on the exterior of the building will be undertaken in accordance with the rehabilitation section of *The Secretary of the Interior's Standards for the Treatment of Historic Buildings* and such Department of the Interior Preservation Briefs as may be relevant. All historic fabric will be retained and, if necessary, repaired to match the original. Any historic fabric that cannot be repaired will be replaced to match the appearance of the original. Work will be conducted by qualified contractors and subcontractors with experience working on historic buildings. Prior to any work being undertaken the exterior of the house will be surveyed to determine the condition of the envelope and architectural features and their appropriate treatment. The result of that survey will be shared with the Historic Preservation Office staff and the appropriate drawings and details will be incorporated into the project's permit drawings submitted to the Historic Preservation Office for final review and approval.

### Treatment of Specific Features

#### *Exterior Brick*

The painted brick exterior of 421 T Street, NW appears to be in generally good condition. Any repair or repointing will be accomplished in accordance with Preservation Brief #2, Repointing Mortar Joints in Historic Masonry Buildings. The building will be repainted.

A. ADAMS & CO.



## Treatment of the Exterior of 421 T Street, NW

### Treatment of Specific Features (cont.)

#### Roof

The original slate roof appears to be in good condition. The roof will be retained and any repair or replacement will be accomplished with slate to match the original.

#### Front Porch

The existing front porch is neither original nor architecturally appropriate (photo 1 and 2). It will be removed except for the brick piers that were part of the original porch (photo 3) and replaced with a new, appropriately-designed covered porch, the design and materials of which will be based on historic documentation or, in the absence of such documentation, based on LeDroit Park's idiosyncratic porch vocabulary and consultation with the HPO staff.



1



2



3

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## Treatment of the Exterior of 421 T Street, NW

### Treatment of Specific Features (cont.)

#### *Windows, Window Trim, and Sills*

The wood windows in the house appear to be original and will be retained and repaired as necessary. The sash appear to be in fairly good condition (photo 4). Some of the original window trim and sills are significantly deteriorated (photos 5 and 6). Where repair is not possible trim and sills will be replaced to match the original. The basement windows have been replaced with metal sliders, which will be retained. One window opening was bricked in and hidden when the rear addition was constructed (photos 7 and 8). Upon removal of that addition the window opening will be reopened and returned to its original size and a new window matching the original windows in the house will be installed in that opening.



4



5



6



7



8

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## Treatment of the Exterior of 421 T Street, NW

### Treatment of Specific Features (cont.)

#### *Front Doors*

The front doors (photo 9) appear to be original. They will be restored to their original condition and appearance.

#### *Frame and Wood Features*

The dormers (photo 10) and brackets (photo 11) appear to be in generally good condition and will be retained, repaired as necessary, and painted. Portions of the frame second stories of the bays appear to be in reasonably good condition and will be retained, repaired as needed, and repainted. The corner posts of those features appear in less good condition (photo 12) and may need to be replaced to match the originals.

#### *Security Bars and Doors*

The existing security bars and doors at the first floor will be replaced by a code-compliant simpler version.

#### *New Lights, Entry Hardware, and Miscellaneous Items*

At such time as these items are selected owner will submit information on same to the Historic Preservation Office staff for review and approval.



9



10



11

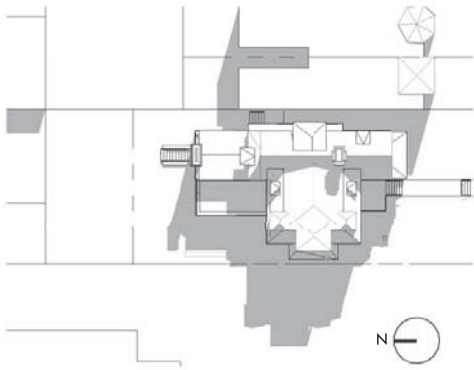


12

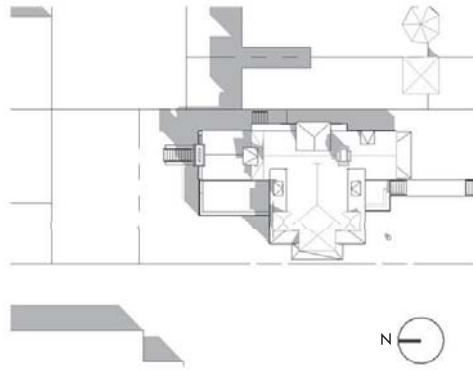
A. ADAMS & CO.



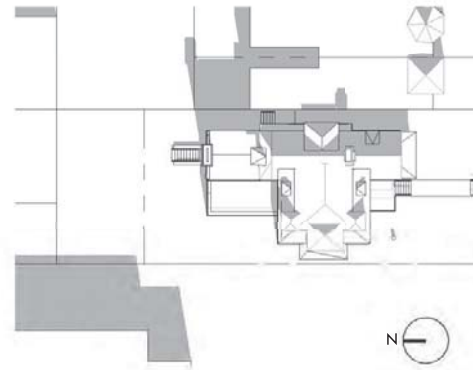
# APPENDIX



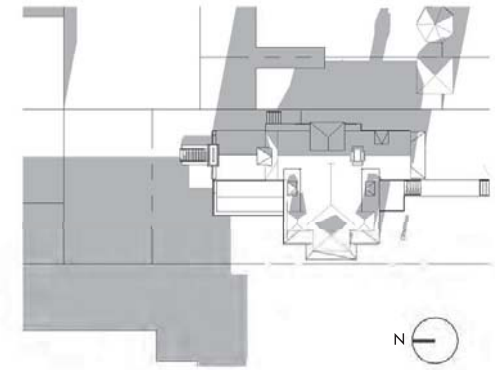
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1" = 40'-0"



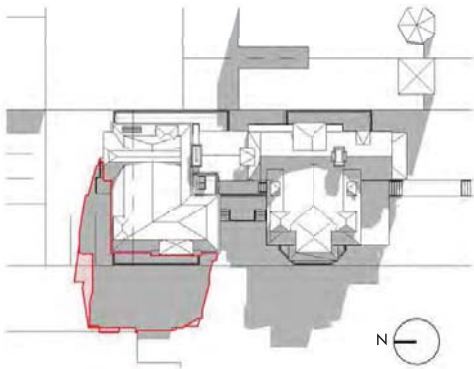
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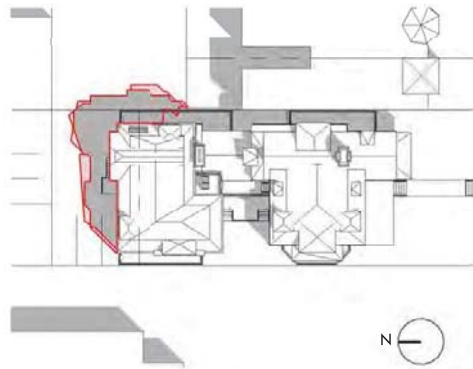
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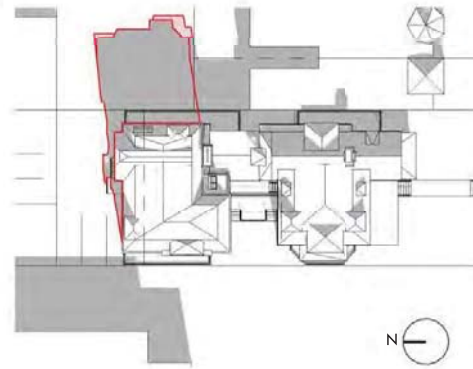
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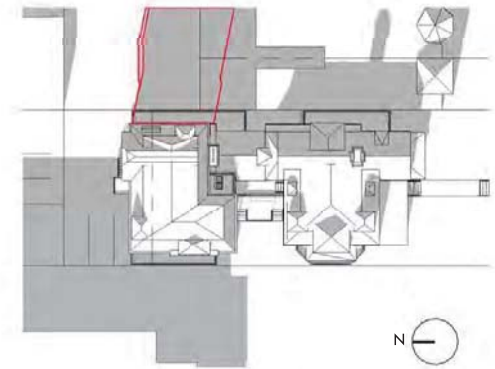
06/21 - 9 AM - PROPOSED  
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06/21 - 1 PM - PROPOSED  
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06/21 - 3 PM - PROPOSED  
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06/21 - 5 PM - PROPOSED  
1" = 40'-0"

DIAGRAM KEY



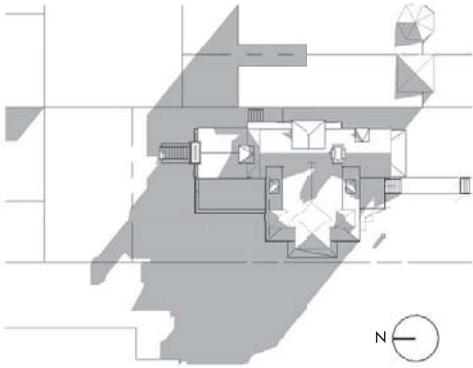
CURRENT SHADOW CAST BY SURROUNDING PROPERTIES.



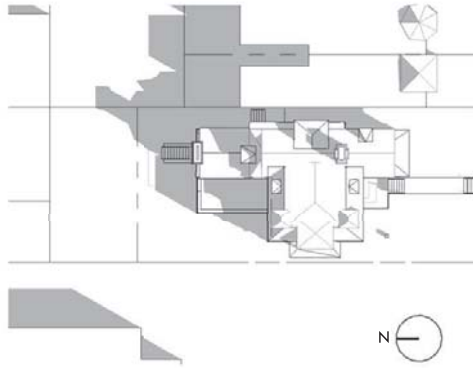
AREA OF SHADOW CAST BY PROPOSED PROJECT.



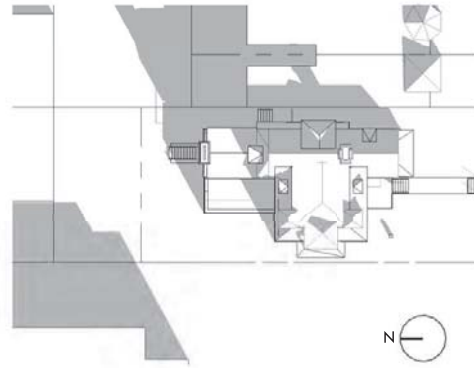
ADDITIONAL AREA OF SHADOW CAST BY PREVIOUS 09.24.2020 DESIGN



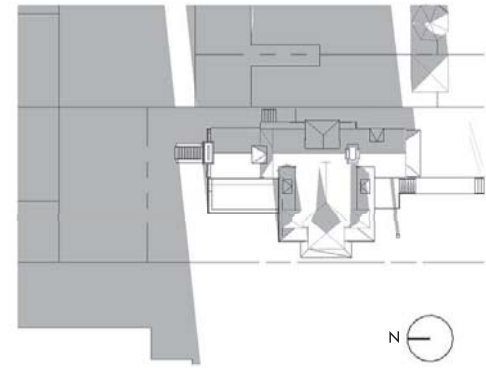
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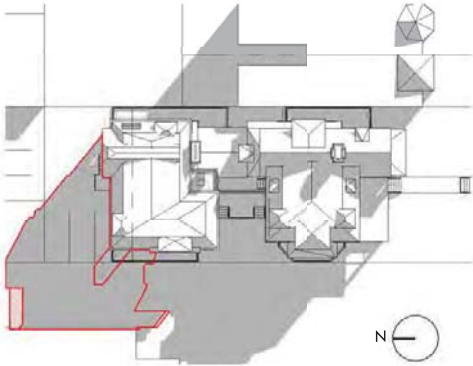
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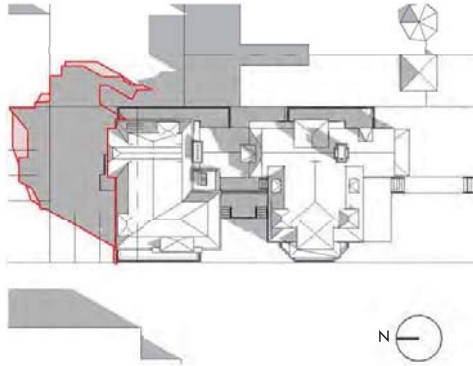
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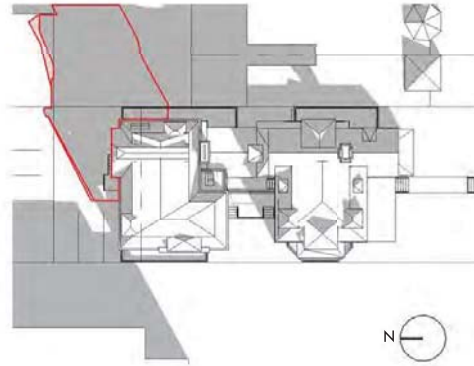
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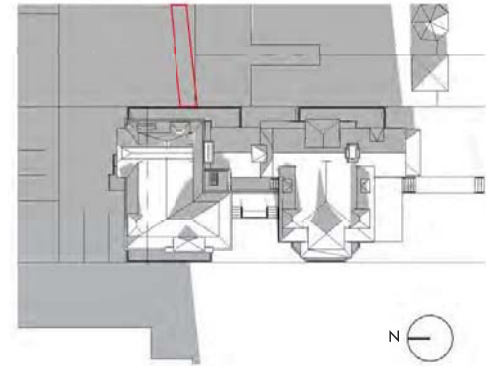
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09/21 - 1 PM - PROPOSED  
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09/21 - 5 PM - PROPOSED  
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DIAGRAM KEY



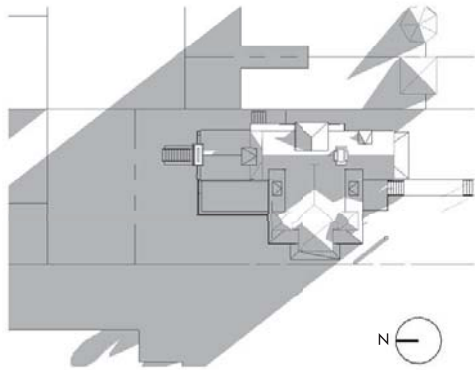
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AREA OF SHADOW CAST BY PROPOSED PROJECT.

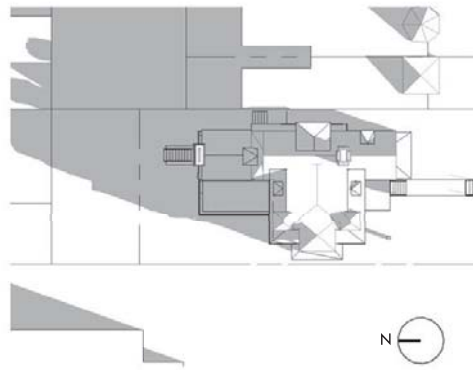


ADDITIONAL AREA OF SHADOW CAST BY PREVIOUS 09.24.2020 DESIGN



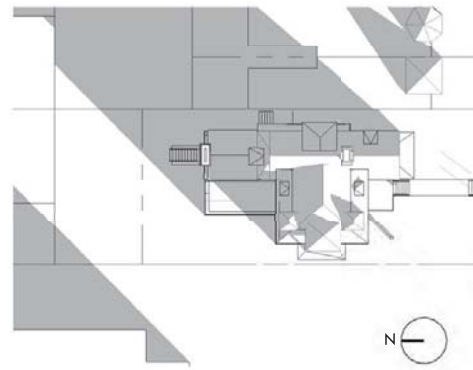
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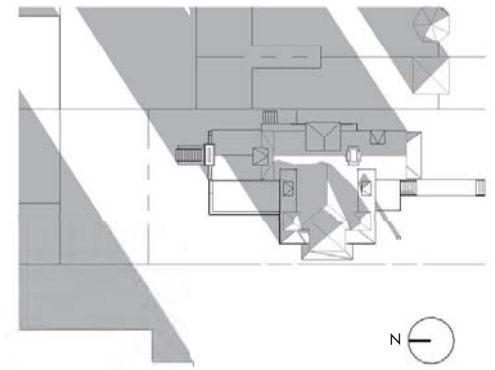
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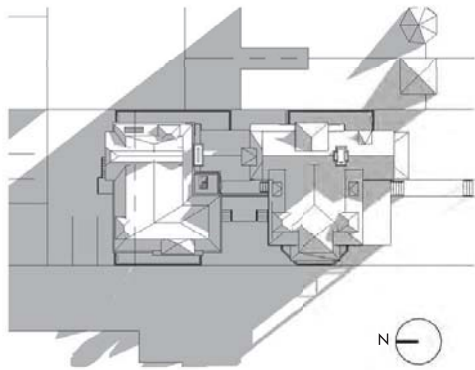
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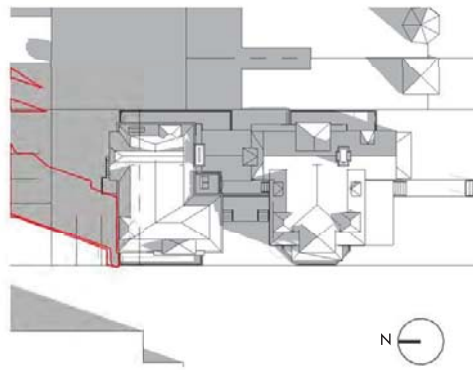
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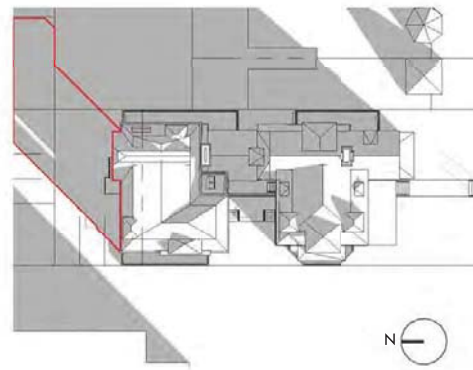
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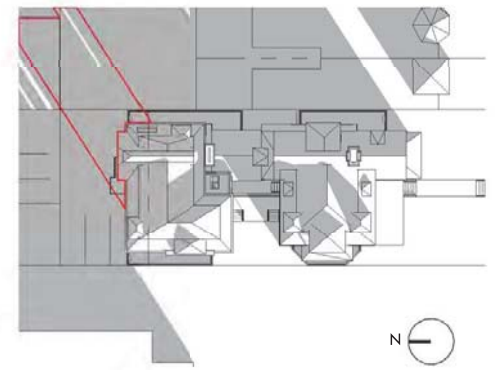
12/21 - 1 PM - PROPOSED

1" = 40'-0"



12/21 - 3 PM - PROPOSED

1" = 40'-0"



12/21 - 5 PM - PROPOSED

1" = 40'-0"

DIAGRAM KEY



CURRENT SHADOW CAST BY SURROUNDING PROPERTIES.



AREA OF SHADOW CAST BY PROPOSED PROJECT.



ADDITIONAL AREA OF SHADOW CAST BY PREVIOUS 09.24.2020 DESIGN





BIRD'S EYE - FRONT



**SQUARE 134 ARCHITECTS**  
1301 11th Street NW, Suite 3, Washington DC 20001  
202.328.0134

421 T STREET NW  
Washington, DC 20001

BZA SUBMISSION  
12/09/2020

BIRD'S EYE - FRONT

SD6.4



BIRD'S EYE - REAR