

- NOTES:
- PROPERTY IS A&T LOT 811, A&T LOT 812, LOTS 2, 5, 15 & 16 IN SQUARE 6271 AS RECORDED IN BOOK 121 PAGE 14 AND LOT 32 SQUARE 6271 AS RECORDED IN BOOK 181 PAGE 151. ALL ALONG THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA AND BEING THE LANDS OF OP PARTNERS, LLC AS RECORDED IN INSTRUMENT NO 2006139984, RECORDED AMONG THE RECORDER OF DEEDS FOR THE DISTRICT OF COLUMBIA.
 - AREA = LOT 2 9,037.07 SQUARE FEET
 LOT 3 13,211.67 SQUARE FEET
 LOT 4 14,046.87 SQUARE FEET
 LOT 5 15,984.38 SQUARE FEET
 LOT 6 15,221.28 SQUARE FEET
 LOT 15 12,779.9 SQUARE FEET
 LOT 16 11,445.55 SQUARE FEET
 LOT 32 10,432.70 SQUARE FEET
 A&T LOT 811 19,760 SQUARE FEET
 A&T LOT 812 11,996 SQUARE FEET
 TOTAL 133,915.47 SQUARE FEET
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 - THIS SURVEY WAS PERFORMED IN THE FIELD ON MARCH 5, 2019 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY STEWART TITLE GUARANTY COMPANY, FILE NUMBER 18-3301 TC, WITH AN COMMITMENT DATE OF FEBRUARY 9, 2019. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, PART II:

TITLE DESCRIPTION

ALL THAT CERTAIN LOT OR PARCEL OF LAND SITUATE IN THE DISTRICT OF COLUMBIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT NUMBERED SIXTEEN (16) IN SQUARE NUMBERED SIXTY-TWO HUNDRED SEVENTY-ONE (6271) IN THAT SUBDIVISION MADE BY E. S. KENNEDY AND DONALD L. CHAMBERLIN AS PER PLAT RECORDED IN LIBER 121 AT FOLIO 14 IN THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.

AND LOTS NUMBERED TWO (2) THROUGH SIX (6), BOTH INCLUSIVE, AND FIFTEEN (15) AND SIXTEEN (16) IN SQUARE NUMBERED SIXTY-TWO HUNDRED SEVENTY-ONE (6271) IN A SUBDIVISION MADE BY E. S. KENNEDY AND DONALD L. CHAMBERLIN AS PER PLAT RECORDED IN LIBER 121 AT FOLIO 14 IN THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.

ALSO

LOTS NUMBERED THIRTEEN (13) AND FOURTEEN (14) IN SQUARE NUMBERED SIXTY-TWO HUNDRED SEVENTY-ONE (6271) IN A SUBDIVISION MADE BY E. S. KENNEDY AND DONALD L. CHAMBERLIN AS PER PLAT RECORDED IN LIBER 121 AT FOLIO 14 IN THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.

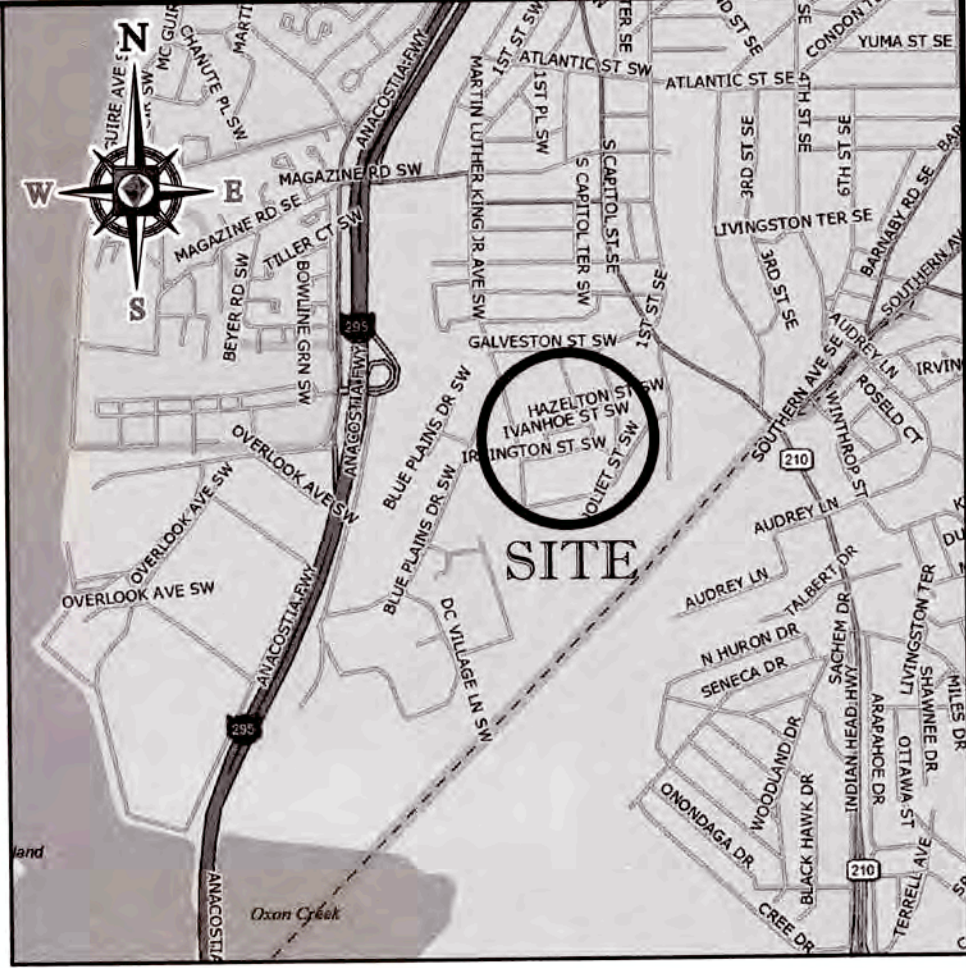
NOTE: LOTS NUMBERED THIRTEEN (13) AND FOURTEEN (14) BEING NOW KNOWN FOR ASSESSMENT AND TAXATION PURPOSES AS LOTS NUMBERED EIGHT HUNDRED ELEVEN (811) AND EIGHT HUNDRED TWELVE (812) AND THIRTY-TWO (32) IN SQUARE NUMBERED SIXTY-TWO HUNDRED SEVENTY-ONE (6271) (SAID LOT 32 IN A SUBDIVISION MADE BY DISTRICT OF COLUMBIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT AS PER PLAT RECORDED IN LIBER 181 AT FOLIO 151 IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA.

UTILITIES:

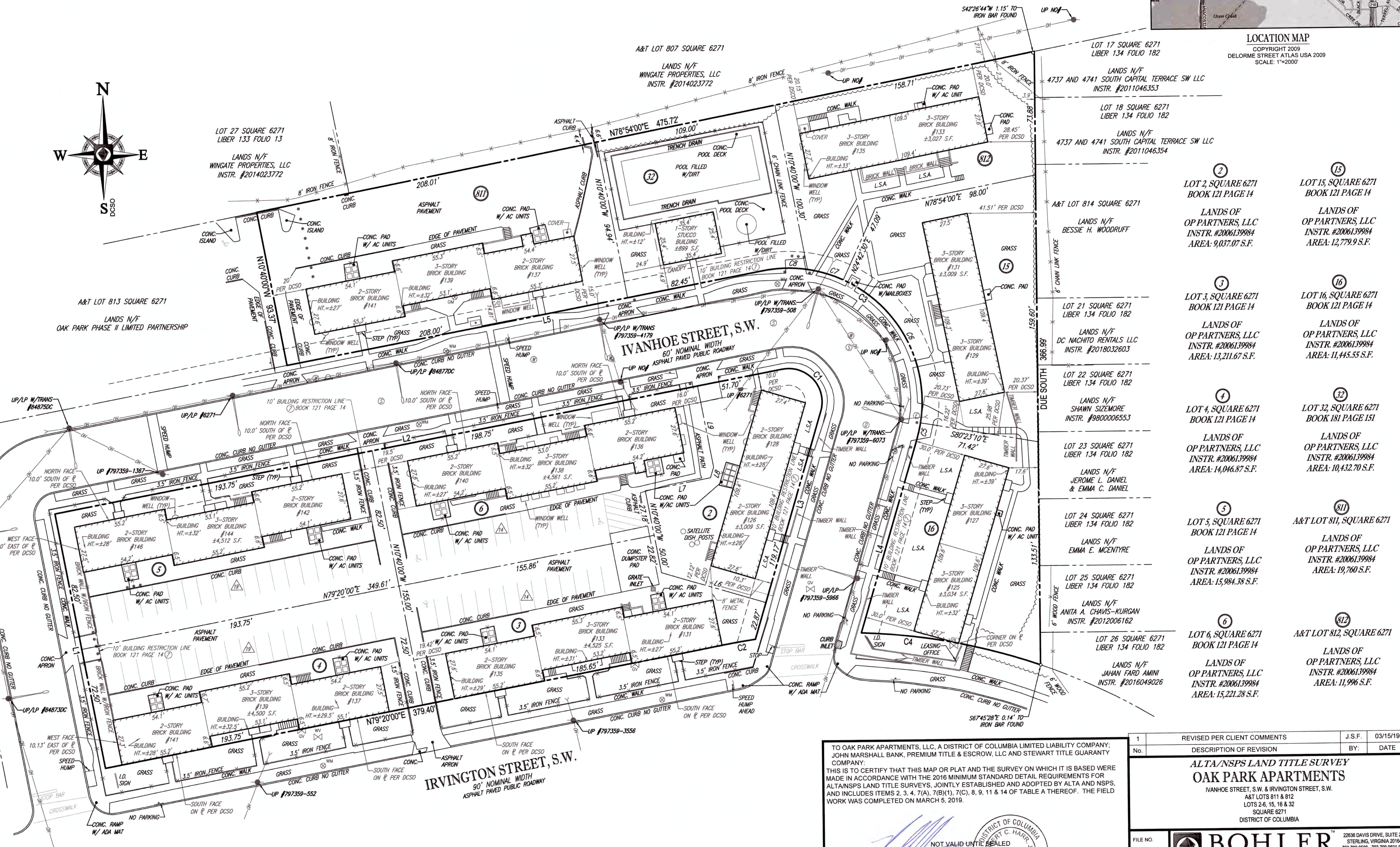
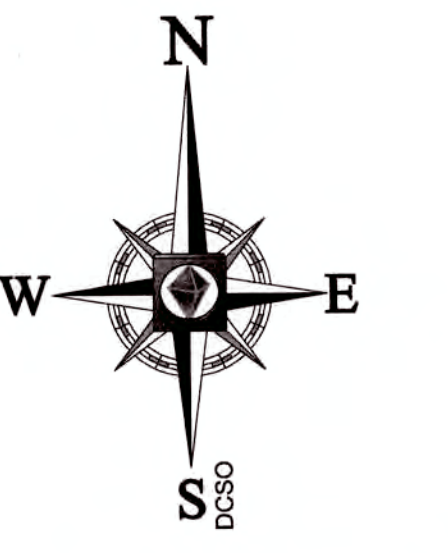
THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-257-7777) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 19129881, 19129809 & 19129886

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
COMCAST OF DC	NO CONFLICT	804-562-3409
DC DOT	NO CONFLICT	202-741-0965
PEPOCO/DCI UTILITY LOCATING	MARKED	800-834-4385
VERIZON	NO CONFLICT	800-834-4385
DC WATER & SEWER/DCI UTILITY LOCATOR	NO CONFLICT	800-634-4384
WASHINGTON GAS - UTILIQUEST	MARKED	703-754-2116

CURVE TABLE							LINE TABLE		
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT	LINE	BEARING	DISTANCE
C1	20.00'	40.93'	S42°02'19"E	34.15'	117°15'50"	32.81'	L1	N10°40'00"W	155.00'
C2	365.00'	17.52'	S80°42'27"W	17.52'	002°45'01"	8.76'	L2	N79°20'00"E	444.20'
C3	80.00'	163.73'	N42°02'11"W	136.61'	117°15'50"	131.23'	L3	S16°35'50"W	142.04'
C4	365.00'	109.42'	N79°19'27"W	109.01'	017°10'36"	55.12'	L4	N16°35'50"E	120.78'
C5	80.00'	9.76'	N13°06'08"E	9.75'	006°59'14"	4.88'	L5	S79°20'00"W	290.45'
C6	80.00'	104.58'	N27°50'23"W	97.29'	074°53'47"	61.27'	L6	N73°24'10"W	65.00'
C7	80.00'	22.34'	N73°17'17"W	22.27'	016°00'00"	11.24'	L7	N79°20'00"E	39.82'
C8	80.00'	27.06'	S89°01'19"W	26.93'	019°22'49"	13.66'	L8	N16°35'50"E	6.69'
							L9	N10°40'00"W	49.37'



- BUILDING RESTRICTION LINE SUBJECT TO THE BUILDING RESTRICTION LINE AS SHOWN ON PLAT RECORDED IN LIBER 121 AT FOLIO 14. AMONG THE RECORDS OF THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA, AND FURTHER SUBJECT TO THE AGREEMENT IN THE SAID SUBDIVISION PLAT THAT THE AREA BETWEEN SAID RESTRICTION LINES AND THE LINE OF THE STREETS SHALL BE SUBJECT TO THE REGULATIONS, RESTRICTIONS AND CONDITIONS AS EXPRESSED IN THE ACT OF CONGRESS OF MAY 31, 1901 (31 STATUTE AT LARGE, PAGES 248 AND 249), AFFECTS ALL LOTS IN THE SUBJECT PROPERTY, SHOWN.
- SUBJECT TO COVENANT AND AGREEMENT (WATER & SEWAGE "BUILDING CODES") BY EDGAR S. KENNEDY AND DONALD L. CHAMBERLIN TO AND WITH THE DISTRICT OF COLUMBIA AS CONTAINED IN THAT CERTAIN AGREEMENT RECORDED MAY 14TH, 1943 AS INSTRUMENT NUMBER 11116 IN BOOK NO 7856 AT PAGE 235, AMONG THE LAND RECORDS OF THE DISTRICT OF COLUMBIA, BENEFITS ALL LOTS IN THE SUBJECT PROPERTY, NOT PLOTTABLE.
- SUBJECT TO COVENANT AND AGREEMENT (ELECTRICAL "BUILDING CODES") BY EDGAR S. KENNEDY AND DONALD L. CHAMBERLIN TO AND WITH THE DISTRICT OF COLUMBIA AS CONTAINED IN THAT CERTAIN AGREEMENT RECORDED MAY 14TH, 1943 AS INSTRUMENT NUMBER 11116 IN BOOK NO 7856 AT PAGE 235, AMONG THE LAND RECORDS OF THE DISTRICT OF COLUMBIA, BENEFITS ALL LOTS IN THE SUBJECT PROPERTY, NOT PLOTTABLE.
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, DISTRICT OF COLUMBIA, WASHINGTON, D.C., PANEL 99 OF 100", MAP NUMBER 110010059C, WITH A MAP REVISED DATE OF SEPTEMBER 27, 2010.
- PARKING: 63 STANDARD 3 ADA 66 TOTAL SPACES
- ALL BEARINGS AND DISTANCES ARE RECORD AND MEASURED.
- BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH THE ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO REVIEW AND APPROVAL BY THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA. A "SURVEY TO MARK" PREPARED BY THE DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR IS REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY. THIS SURVEY DOES NOT REFLECT A "SURVEY TO MARK". THE PROPERTY LINE REFLECTED ON THIS SURVEY IS NOT TO BE USED FOR ANY CONSTRUCTION STAKEOUT PURPOSES. A "SURVEY TO MARK" MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR PRIOR TO BEGINNING ANY BUILDING DEMOLITION OR CONSTRUCTION OPERATIONS.



LOCATION MAP
 COPYRIGHT © 2009
 DELORME STREET ATLAS USA 2009
 SCALE: 1"=2000'

- | | |
|--|--|
| LOT 2, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
AREA: 9,037.07 S.F. | LOT 15, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 12,779.9 S.F. |
| LOT 3, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 13,211.67 S.F. | LOT 16, SQUARE 6271
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LANDS OF
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INSTR. #2006139984
AREA: 11,445.55 S.F. |
| LOT 4, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 14,046.87 S.F. | LOT 32, SQUARE 6271
BOOK 181 PAGE 151
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 10,432.70 S.F. |
| LOT 5, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 15,984.38 S.F. | A&T LOT 811, SQUARE 6271
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 19,760 S.F. |
| LOT 6, SQUARE 6271
BOOK 121 PAGE 14
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 15,221.28 S.F. | A&T LOT 812, SQUARE 6271
LANDS OF
OP PARTNERS, LLC
INSTR. #2006139984
AREA: 11,996 S.F. |

- LEGEND**
- HYDRANT
 - WATER VALVE
 - GAS VALVE
 - OVERHEAD WIRES
 - UTILITY POLE
 - SANITARY MANHOLE
 - ELECTRIC MANHOLE
 - WATER MANHOLE
 - STORM DRAIN MANHOLE
 - WATER METER
 - GAS METER
 - SIGN
 - MAIL BOX
 - BOLLARD
 - FENCE
 - LANDSCAPED AREA
 - CLEAN OUT
 - TITLE REPORT EXCEPTION
 - DENOTES PARKING SPACE COUNT
 - UTILITY POLE/LIGHT POLE
 - GUY WIRE
 - TREE LINE

TO OAK PARK APARTMENTS, LLC, A DISTRICT OF COLUMBIA LIMITED LIABILITY COMPANY; JOHN MARSHALL BANK, PREMIUM TITLE & ESCROW, LLC AND STEWART TITLE GUARANTY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 11 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 5, 2019.

NOT VALID UNLESS SEALED

ROBERT C. HARR, JR. LICENSED LAND SURVEYOR NO. 008059

DATE: 3-15-19

1	REVISED PER CLIENT COMMENTS	J.S.F.	03/15/19
No.	DESCRIPTION OF REVISION	BY:	DATE
ALTA/NSPS LAND TITLE SURVEY			
OAK PARK APARTMENTS			
IVANHOE STREET, S.W. & IRVINGTON STREET, S.W.			
A&T LOTS 811 & 812			
LOTS 2, 3, 4, 5, 6 & 32			
SQUARE 6271			
DISTRICT OF COLUMBIA			
FILE NO.	SR195514	22536 DAVIS DRIVE, SUITE 250 STERLING, VIRGINIA 20164 703.709.9600 • 703.709.9601 FAX	
DATE	03/14/19	 12500 W. WISCONSIN AVE., SUITE 100, WILMINGTON, DE 19804 302.436.7800 • 302.436.7801 FAX	
FILE DATE	03/05/19	CREW CHIEF	JO/JD
		DRAWN	SPT
		REVIEWED	SU
		APPROVED	JSF
		SCALE	1" = 30'
		DWG. NO.	1 OF 1

BOHLER ENGINEERING, ALL RIGHTS RESERVED. NO PART OF THIS SURVEY OR MAP MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING, INC.



I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

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APARTMENTS: 130-134 IVANHOE STREET, SW

WASHINGTON DC

RENDERING

REVISIONS

DATE JULY 09, 2019

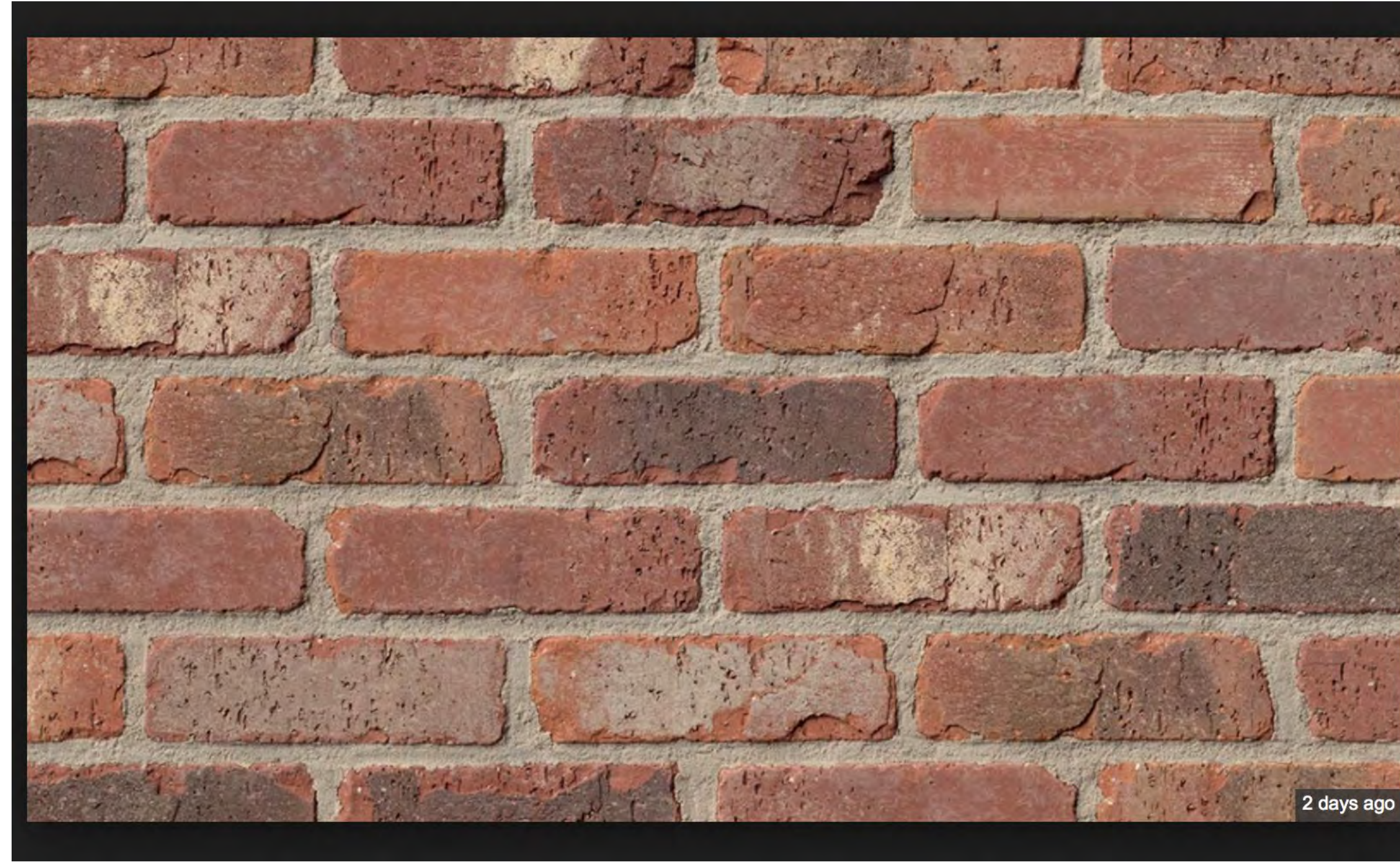
DRAWN CHECKED

JOB NO. A.xxxxxxx SCALE AS NOTED

DRAWING

A5.01

SHEET OF



Bell Tower
Hebron Brick Company

2 days ago



HARDI BOARD LAP SIDING
5-1/2" TO WEATHER AS SHOWN
PAINT PER COLOR CHOICE

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

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APARTMENTS: 130-134 IVANHOE STREET, SW
WASHINGTON DC
MATERIALS

REVISIONS

DATE JULY 09, 2019

DRAWN CHECKED

JOB NO. A.xxxxxxx SCALE AS NOTED

DRAWING

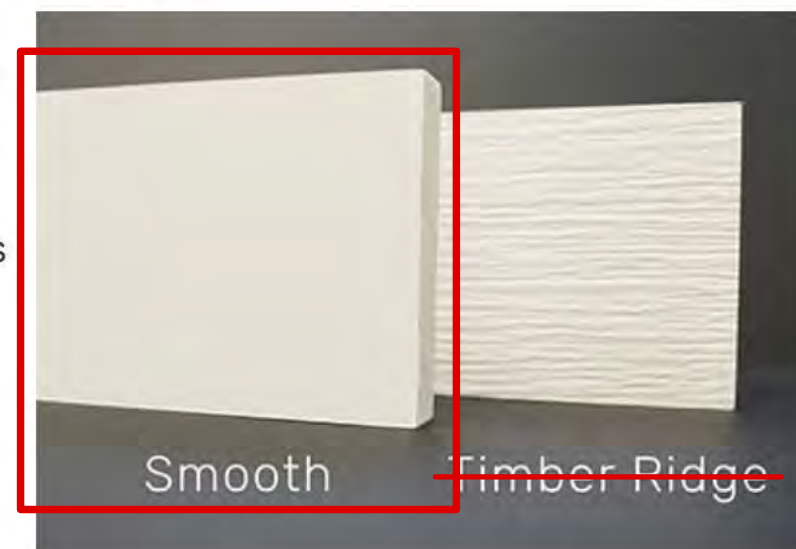
A5.02

SHEET OF

With the Most Thicknesses and Length Options, You're Never Limited.

With our sheet, possibilities are endless and limits are nonexistent. VERSATEX uses the most up-to-date extrusion technology to control sheet thickness tolerances to half that of the competition. The result is a more consistent sheet providing builders and fabricators high yields, less scrap, and a higher quality finished product for applications such as pergolas, arbors, gingerbread, gables, and much more.

Like our trimboards, we also offer cut-to-length sheets in unit quantities. VERSATEX features the most comprehensive sheet stock available, ranging from as thin as 1/4" to a full 1 1/2".



SHEET Actual Thickness	Width & Length (feet)				
	4x8'	4x10'	4x12'	4x18'	4x20'
1/4"	■	■			
3/8"	■	■	■	■	
1/2"	■	■	■	■	■
5/8"	■	■	■	■	■
3/4"	■	■	■	■	■
1"	■	■	■	■	■
1 1/4"	■	■	■	■	■
1 1/2"	■	■	■	■	■

PVC SHEET AND BOARD
QUOINS AND CORNER BOARDS
CUT TO SIZE- PAINT TO MATCH HARDI BOARD LAP SIDING



STEEL FENCING
GALVANIZED, BLACK POWER COATED