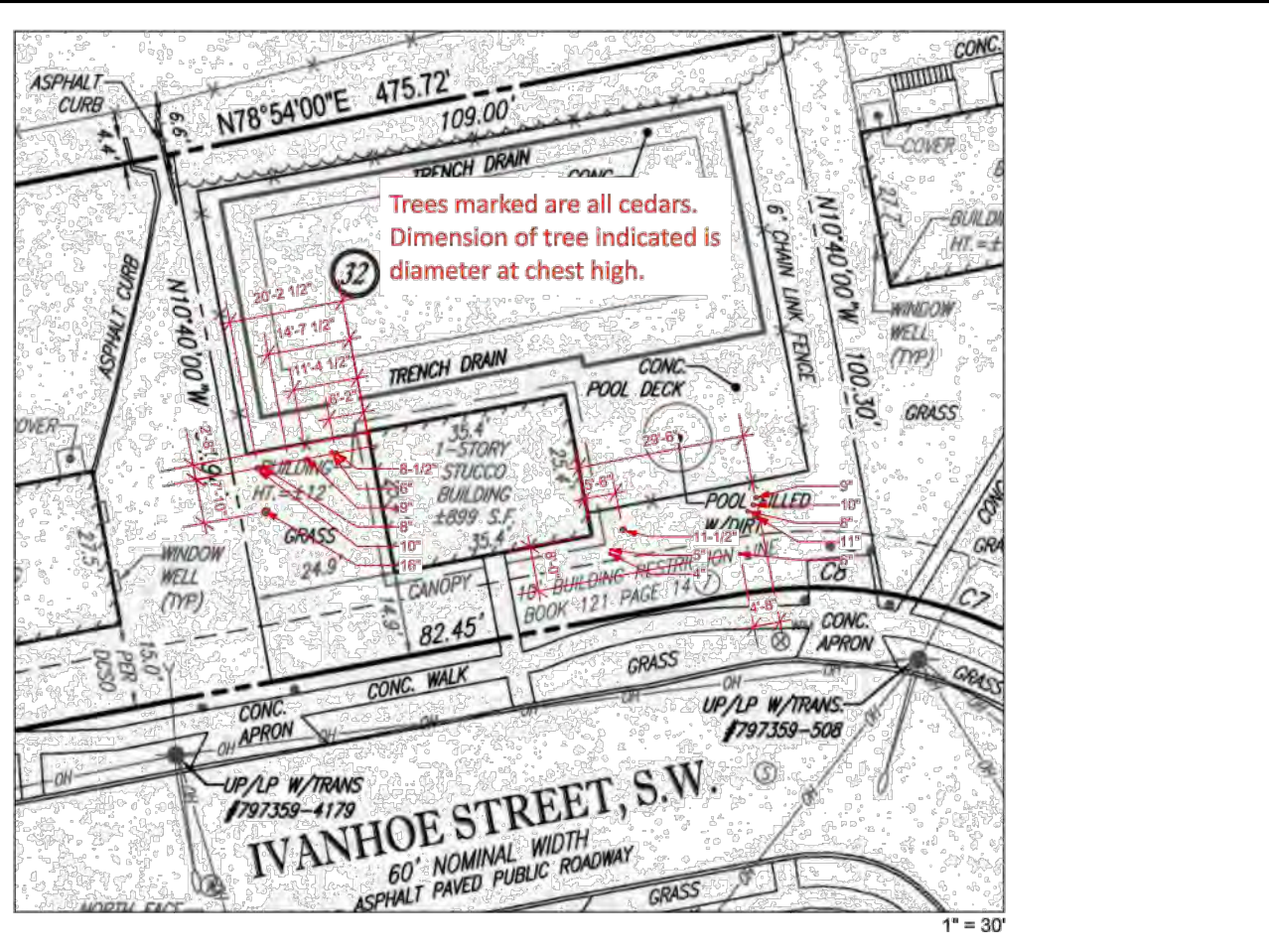
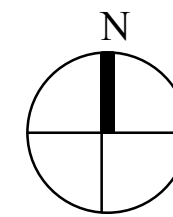
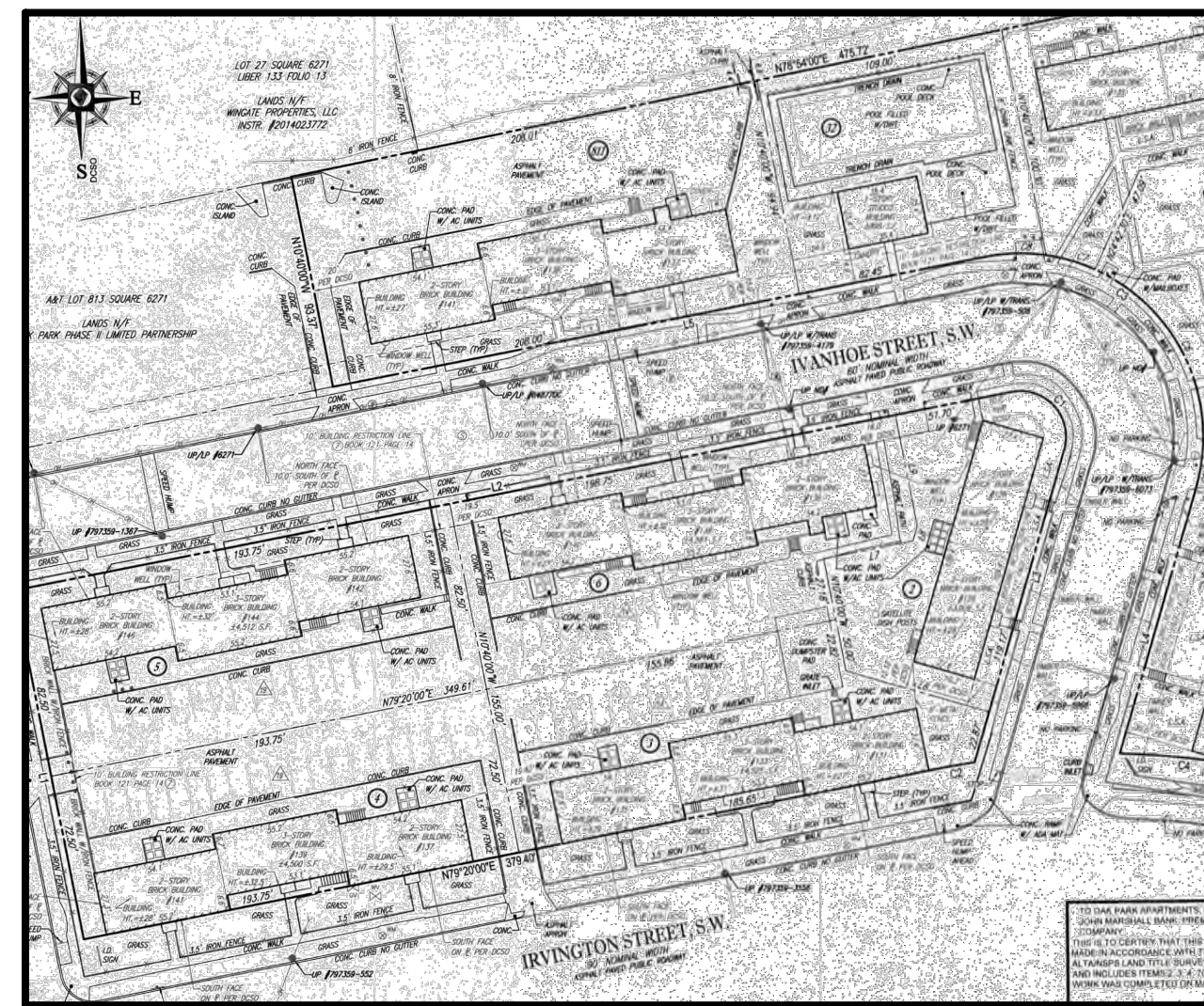


EXISTING TREE PLAN:



TREE LOCATION PLAN

SITE PLAN (refer to detailed SITE PLAN)



LOCATION PLAN : N.T.S.



LIST OF DRAWINGS:

- ARCHITECTURAL DRAWING SHEETS
- A100_ COVER SHEET
- A101_ CONCEPTUAL LANDSCAPE PLAN
- A200_ CELLAR & FIRST FLOOR PLANS
- A201_ TYP SECOND & THIRD FLOOR PLANS
- A2.02_ ROOF PLAN, AREA CALCULATIONS
- A2.03_ EXISTING BUILDING PICTURES
- A301_ FRONT ELEVATION
- A302_ SIDE ELEVATION
- A303_ REAR ELEVATION
- A501_ RENDERINGS
- A502_ MATERIALS
- EXISTING SURVEY 1 SHEET

:APARTMENTS :

**130 - 134 IVANHOE STREET, S.W.
WASHINGTON DC 200XX**

PROJECT INFORMATION :

PERMIT APPLICATION #: B-XXXXX
 OWNERS: OAK PARK APARTMENTS LLC
 ARCHITECT: STEPHAN DUPONT JR.
 PROJECT DESIGNED: KIRIT THAKKAR
 STRUCTURAL ENGINEER: XXXX ASSOCIATES
 MEP ENGINEER: XXXXX
 DESCRIPTION: PROPOSED TO DEVELOP A CELLAR + 3 STORIES APARTMENT BUILDING HAVING 29 UNITS. CELLAR LEVEL HAS 5 UNITS. CELLAR CEILING IS MAX 3'11" ABOVE AVG FRONT GRADE. EXISTING LOT GRADING WILL REMAIN THE SAME.

LOT INFORMATION: LOT 0032 SQUARE 6271, ZONE: RA1 HEIGHT ALLOWED - 40'
 LOT AREAS BY RECORD 10,433.00 SFT
 FAR 0.9% i.e. 9,389.70 SFT
 IZ BONUS 20% OF FAR i.e. 1,877.94 SFT
 TOTAL AREA PERMITTED 11,267.64 SFT
 (i.e. 3755.33 sft per floor)

AREA PERMITTED: CELLAR ALLOWED 40% ie 4,173.20 SFT
 CELLAR PROVIDED 39.93% ie 3,912.00 SFT
 EX. BUILDING FOOT-PRINT 1 STORY 899.00 SFT APPRX.
 EXISTING LOT COVERAGE - 8.6 %
 LOT COVERAGE ALLOWED 10,433.00x40% = 4,173.20 SFT
 LOT COVERAGE PROPOSED 37.50 % = 3,912.00 SFT
 AREA OF 1st FLOOR = 3,912.00 SFT
 LESS (160.0 SFT CLOSETS @6'8" HIGH SO NOT IN FAR)
 PROPOSED 1st FLOOR = 3,752.00 SFT
 2, & 3 FLOOR 3,752.00 x 2 FLOORS = 7,504.00 SFT
 PROPOSED AREA OF BUILDING = 11,256.00 SFT

AREA PROPOSED: TOTAL PROPOSED AREA = 11,256.00 SFT
 CELLAR AREA 3912.00 SFT, IS NOT TAKEN INTO BUILDING AREA CALCULATIONS.
 FIRST FLOOR IS MAX 4'11" ABOVE GRADE - BHMP

TYPE OF CONSTRUCTION: BLDG. IS CONSTRUCTION TYPE VA, PROTECTED & SPRINKLERED
 ALL DOORS WITHIN ENCLOSURES ARE 1 HR RATED FIRE DOORS.
 THE BUILDING IS FULLY SPRINKLERED & PROTECTED PER NFPA 13, i.e. IBC SECTION 903.3.1.1
 STANDPIPES ARE PROVIDED PER IBC SECTION 905, SEE MEP DWGS.

USE GROUP:
ACCESSIBLE UNITS:

PARKING REQUIREMENTS:
EXISTING BUILDING:
PROJECT STORIES:
EXITS:

EXIT DISCHARGE SECTION 1027.1:

EMERGENCY ESCAPE AND RESCUE:
INTERIOR EXIT STAIRWAYS:

STAIRS:
DWELLING UNIT SEPARATION:

PARTY WALL/FIRE WALL:

FIRE WALL EXTENSION SECTION 706.5:

PARAPET:
FIRE SUPPRESSION:

SECTION EC-4021 - BLDG. THERMAL ENVELOPE BUILDING INSULATION PER TABLE EC-402.1.1

FIRE/SMOKE DETECTORS:
SHAFT ENCLOSURE:
OPENING PROTECTIVE:

BICYCLE PARKING SPACE

NEIGHBOR'S CHIMNEY
SPIRAL STAIR
INSULATION

ENERGY DISPLAY SCREEN
EVS CHARGING STATION

ZONING CALCULATIONS:

GREEN CODE COMPLIANCE:

CELLAR LEVEL CEILING IS MAX. 3'11" FROM THE EXISTING GRADE. CELLAR LEVEL HAS 5 UNITS NOT COUNTED IN FAR.
 R2 - FOR RESIDENTIAL
 15% OF 29 UNITS = 4.35, I.E 5 ACCESSIBLE UNITS, ALL ON FIRST FLOOR MIN ONE SHALL BE W ROLL-IN SHOWER - REQD
 5 ACCESSIBLE UNITS ARE PROVIDED AS TYPE A UNITS, AS FOLLOWS:
 UNIT # 101 ACCESSIBLE - 339.00 SFT STUDIO UNIT
 UNIT # 102 ACCESSIBLE - 415.00 SFT 1 BEDROOM UNIT
 UNIT # 103 ACCESSIBLE - 428.00 SFT 1 BEDROOM+1BATH
 UNIT # 104, ACCESSIBLE -380.00 SFT 3 BEDROOMS +1BATH
 UNIT # 108, ACCESSIBLE -380.00 SFT 1 BEDROOM+1BATH
 5 REQUIRED PARKING IS OFF-SITE PER C-701.8(B)(1)
 EXISTING 1 STORY POOL EQUIPMENT BUILDING TO BE DEMOLISHED
 PROPOSED CELLAR + 3 STORIES + PENTHOUSE LEVEL
 TWO EXITS FROM ANY SPACE REQUIRED, IBC SECTION 1015.1
 TWO EXITS ARE PROVIDED
 50% OF INTERIOR EXIT STAIRWAYS IS PERMITTED TO EGRESS THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE, WITH EXCEPTIONS 1027.1.1, 1027.1.2
 EXIT DISCHARGE FROM STAIRCASE #1 & FROM STAIRCASE #2 THROUGH DIRECTLY TO OUTSIDE OF THE BLDG.
 IBC 2012 SECTION 1029 -
 R2 BUILDINGS HAVING 2 MEANS OF EGRESS, FULLY SPRINKLERED AND MORE THAN ONE STORY IN HEIGHT, NEED NOT HAVE EMERGENCY ESCAPE, SECTION 1022
 SHALL BE PER SECTION 1009
 SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER IBC 2012, CHAPTER 420.2 AND SECTION 708.
 THE ROOF DECK SHALL BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD FOR A DISTANCE OF 4'. IBC 2012 SECTION 706.6.4.3
 BUILDING IS A FREE STANDING BLDG, HENCE FIREWALL IS NOT REQD.
 SHALL BE PER SECTION 705.11.1
 AUTOMATIC FIRE SPRINKLER SYSTEMS PER NFPA-13 IS PROVIDED.
 FIRE/SMOKE DETECTORS PROVIDED, REFER MEP
 ALL EXTERIOR WALLS TO HAVE R21 INSULATION.
 ROOF CEILING ASSEMBLY TO HAVE R49 INSULATION.
 PORTABLE FIRE EXTINGUISHERS INSTALLED.
 SHALL BE PER SECTION 713
 SECTION 716.5 & TABLE 705.8 - OPENINGS IN THE WALL FOR DISTANCE BET 5' TO 10' SHALL BE 25%
 1 PER 3 UNITS, i.e. 10 LONG TERM REQD., & 1 PER 20 UNITS, SHORT TERM i.e. 1 SHORT TERM SPACE REQD., - TABLE C-802.1
 NO CHIMNEY ON BOTH SIDE.
 SPIRAL STAIR IS NOT A PART OF MEANS OF EGRESS STAIRS
 ALL EXTERIOR WALL INSULATION SHALL BE R21 AND ROOF CEILING TO BE R49, ALL FLOOR/CEILING INSULATION SHALL BE R35.
 ENERGY DISPLAY SCREEN NOT REQUIRED PER GREEN ELECTIVE SECTION A106.7
 ONE EVS CHARGING STATIONS ARE PROVIDED IN THE REAR YARD.
 FOLLOWING CALCULATIONS ARE AS ATTACHED
 ONE EVS CHARGING STATIONS ARE PROVIDED.
 CONSTRUCTION PHASE MOISTURE CONTROL: DURING THE CONSTRUCTION PHASE, POROUS MATERIALS AND OTHER MATERIALS SUBJECT TO MOISTURE DAMAGE SHALL BE PROTECTED (2013 DCRA GREEN CODE 502.1.2)

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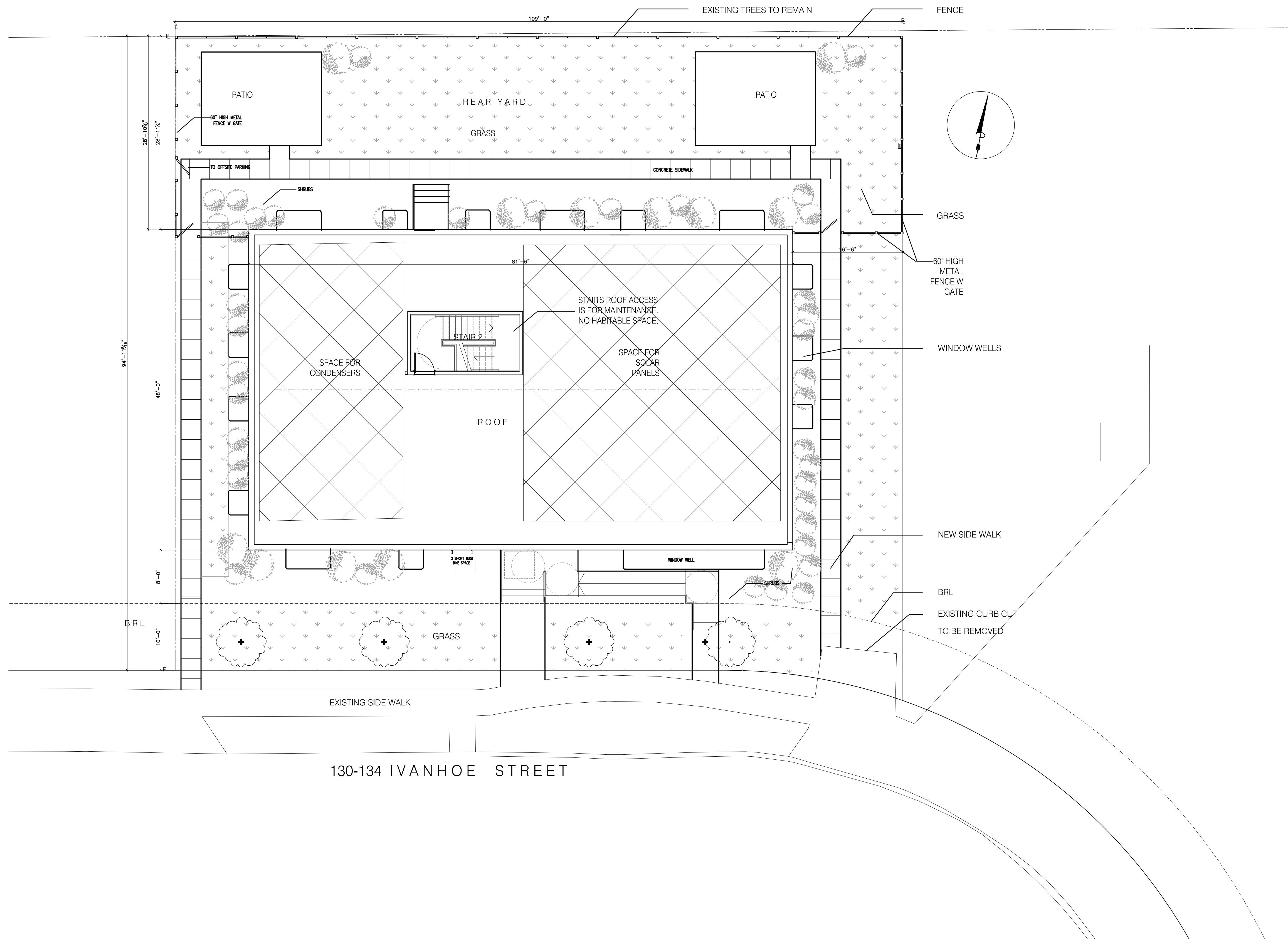
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APARTMENTS: 130-134 IVANHOE STREET, SW

WASHINGTON DC
COVER SHEET

REVISIONS	
DATE	JULY 07, 2019
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE AS NOTED
DRAWING	

A1.00



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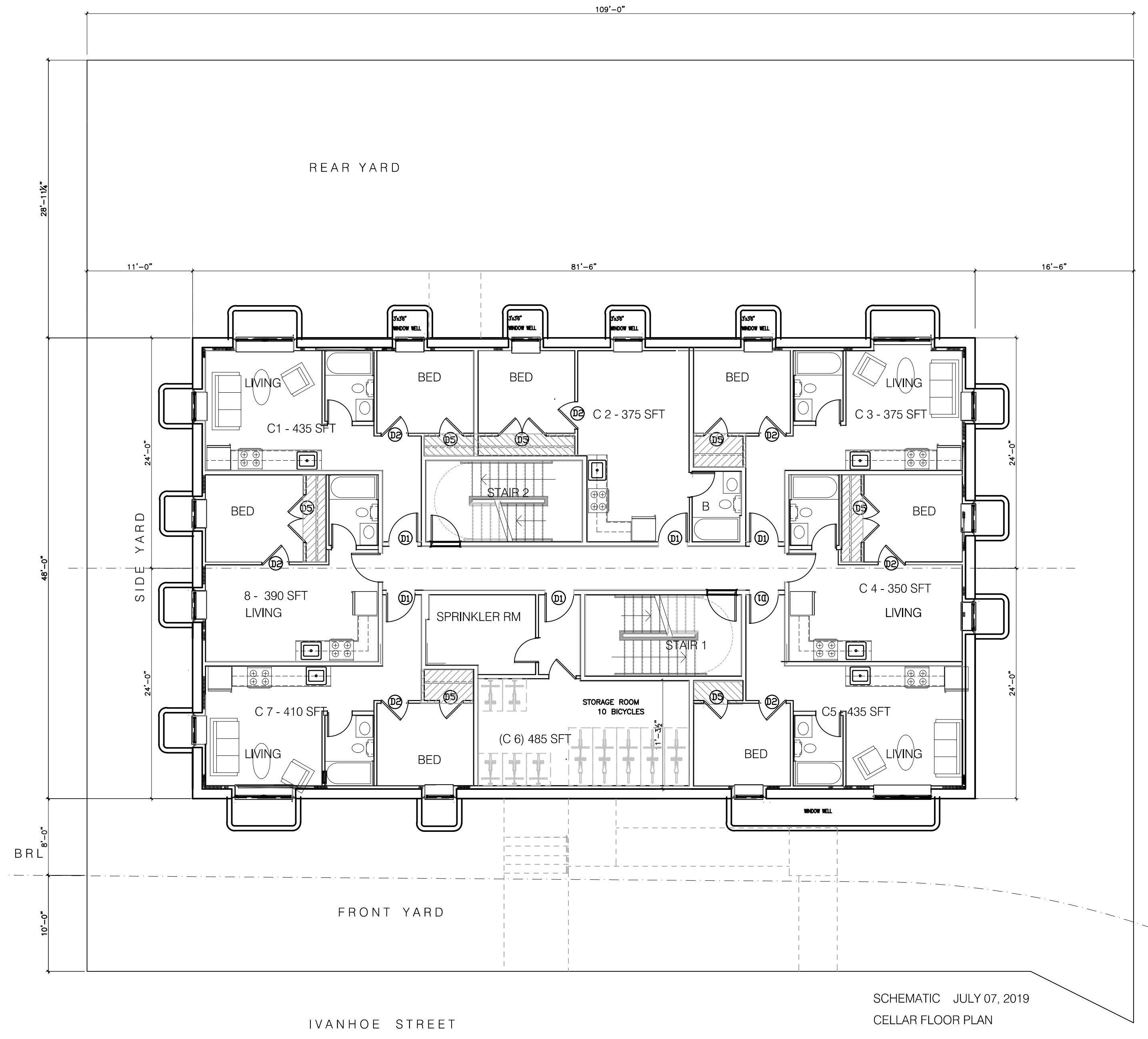
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BOARD OF ZONING ADJUSTMENT REVIEW
130 - 134 IVANHOE STREET SW.
 WASHINGTON DC
 COCEPTUAL LANDSCAPE PLAN:

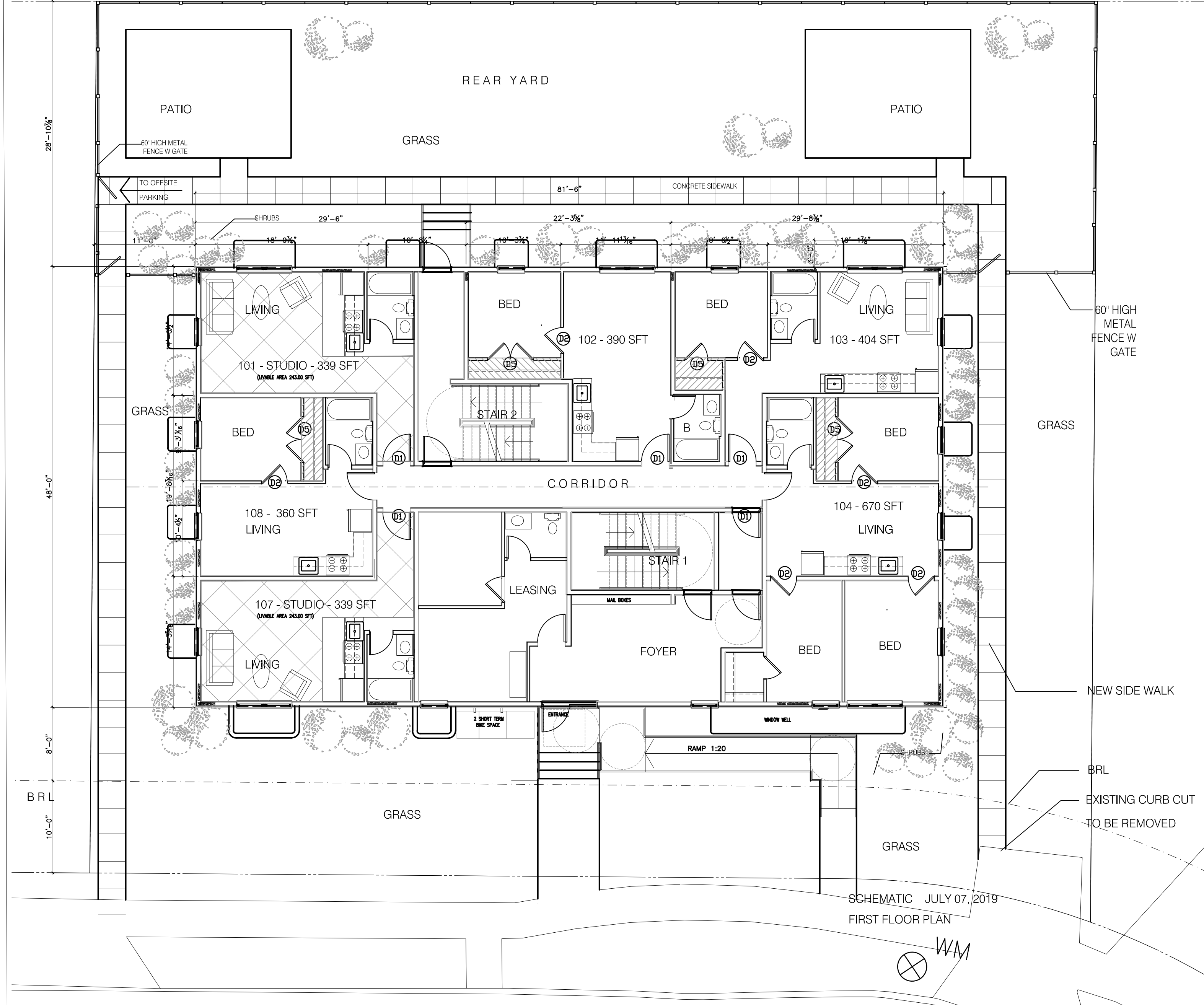
REVISIONS	
DATE	JULY 10, 2019
DRAWN	CHECKED
JOB NO. A.xxxxxxx	SCALE AS NOTED
DRAWING	

A1.01
 SHEET ___ OF ___

1 COCEPTUAL LANDSCAPE PLAN:
 SCALE: 1/8" = 1'-0"



SCHEMATIC JULY 07, 2019
CELLAR FLOOR PLAN



SCHEMATIC JULY 07, 2019
FIRST FLOOR PLAN

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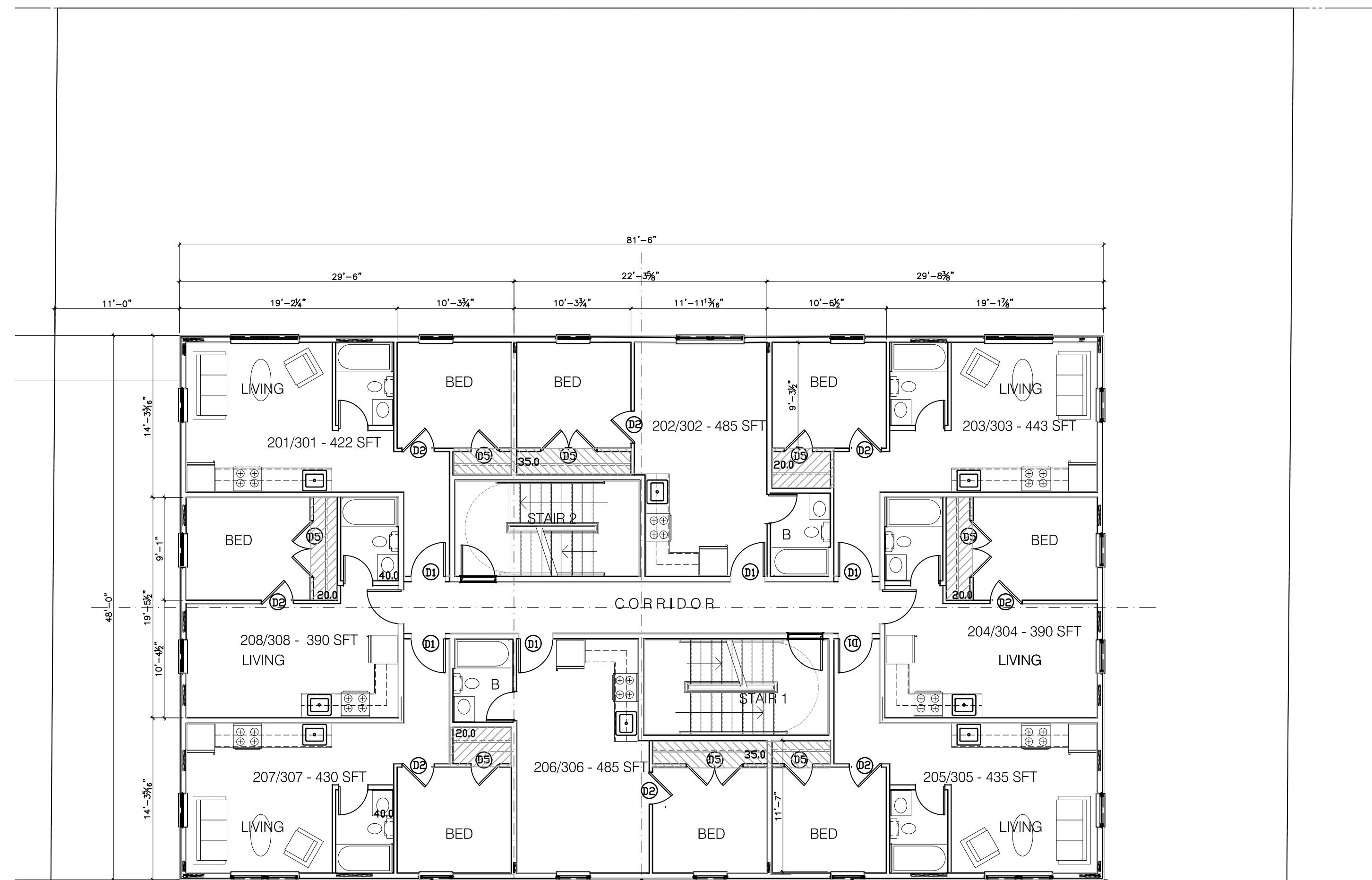
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APARTMENTS: 130 - 134 IVANHOE STREET, SW
WASHINGTON DC
CELLAR & FIRST FLOOR PLANS

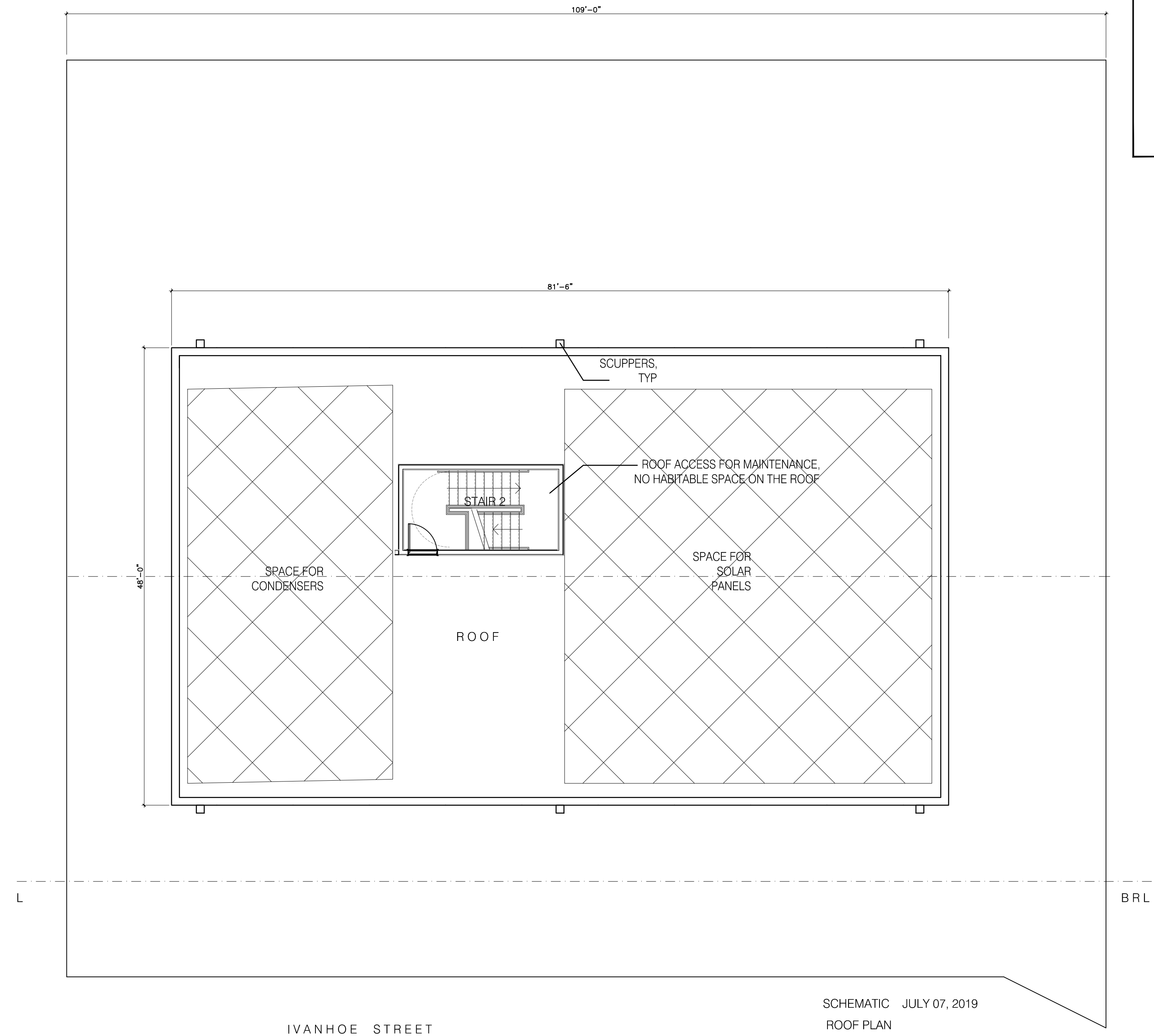
REVISIONS	

DATE JULY 07, 2019
DRAWN _____ CHECKED _____
JOB NO. A.xxxxxxx SCALE AS NOTED
DRAWING _____

A2.00



1 TYP SECOND & THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ROOF PLAN
SCALE: 1/8" = 1'-0"

PERMIT # ----- 130-134 IVANHOE STREET SW - UNIT AREA CONFIGURATIONS: TOTAL 29 UNITS - 07/01/2019

UNIT NUMBERS	#	CENTER OF WALL	DRYWALL/DRYWALL	UNIT TYPE	REMARKS
201, 205, 301, 305	4	425.00 SFT	400.00 SFT	1 BEDRM+1 BATH	
103, 203, 207, 303, 307	5	428.00 SFT	404.00 SFT	1 BEDRM+1 BATH	
108, 204, 208, 304, 308	5	380.00 SFT	360.00 SFT	1 BEDRM+1 BATH	
102, 202, 206, 302, 306	5	415.00 SFT	390.00 SFT	1 BEDRM+1 BATH	
C1, C3, C5, C7	4	407.00 SFT	375.00 SFT	1 BEDRM+1 BATH	
C2,	1	402.00 SFT	375.00 SFT	1 BEDRM+1 BATH	
C4, C8	2	370.00 SFT	350.00 SFT	1 BEDRM+1 BATH	
101, 107	2	356.00 SFT	339.00 SFT	STUDIO+1 BATH	STUDIO UNIT
104	1	670.00 SFT	645.00 SFT	3 BEDRM+1 BATH	
TOTAL	29				
ACCESSIBLE UNITS: 101, 102, 103, 104, 108					

3 UNIT MIX & CONFIGURATION
SCALE: NTS

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WASHINGTON DC

SECOND & THIRD FLOOR PLANS

REVISIONS

DATE JULY 07, 2019

DRAWN CHECKED

JOB NO. A.xxxxxx SCALE AS NOTED

DRAWING

A2.01

SHEET OF



2 EXISTING LEFT SIDE BUILDING
SCALE: N.T.S.



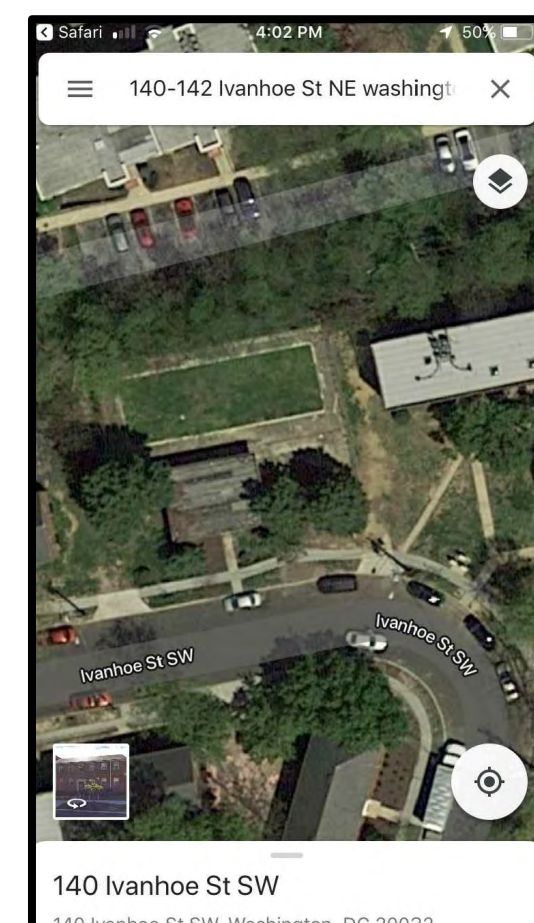
3 EXISTING RIGHT SIDE BUILDING
SCALE: N.T.S.



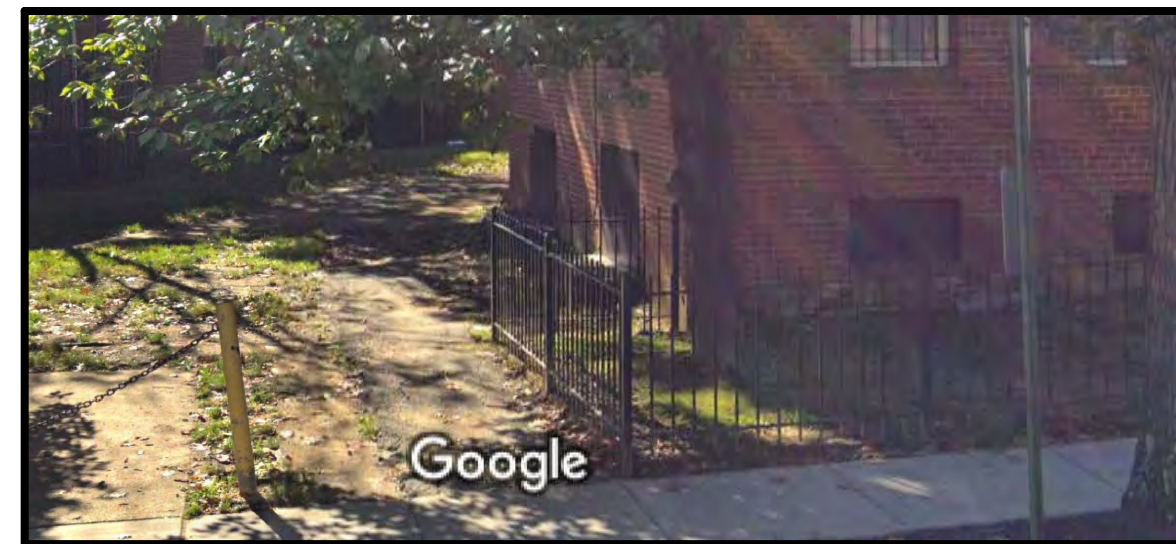
5 EXISTING LEFT SIDE BUILDING'S ENTRANCE
SCALE: N.T.S.



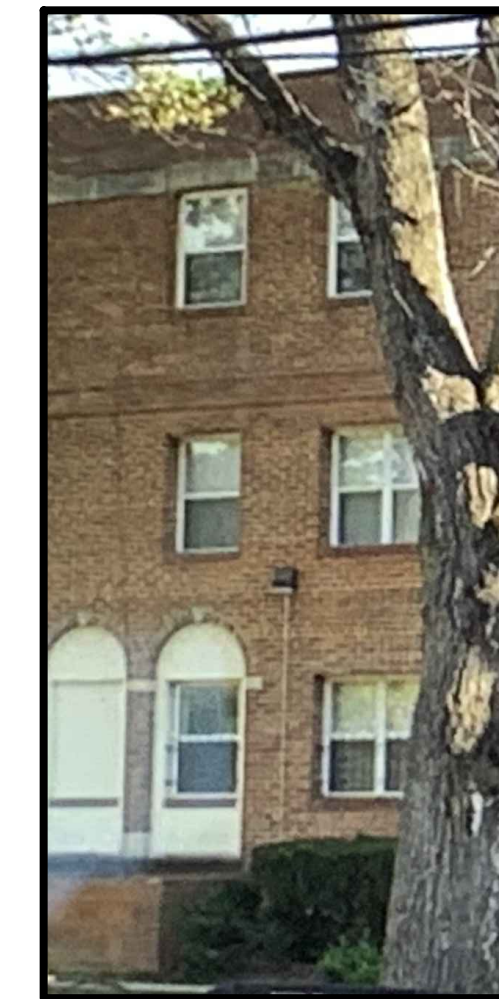
1 EXISTING LEFT SIDE BUILDING
SCALE: N.T.S.



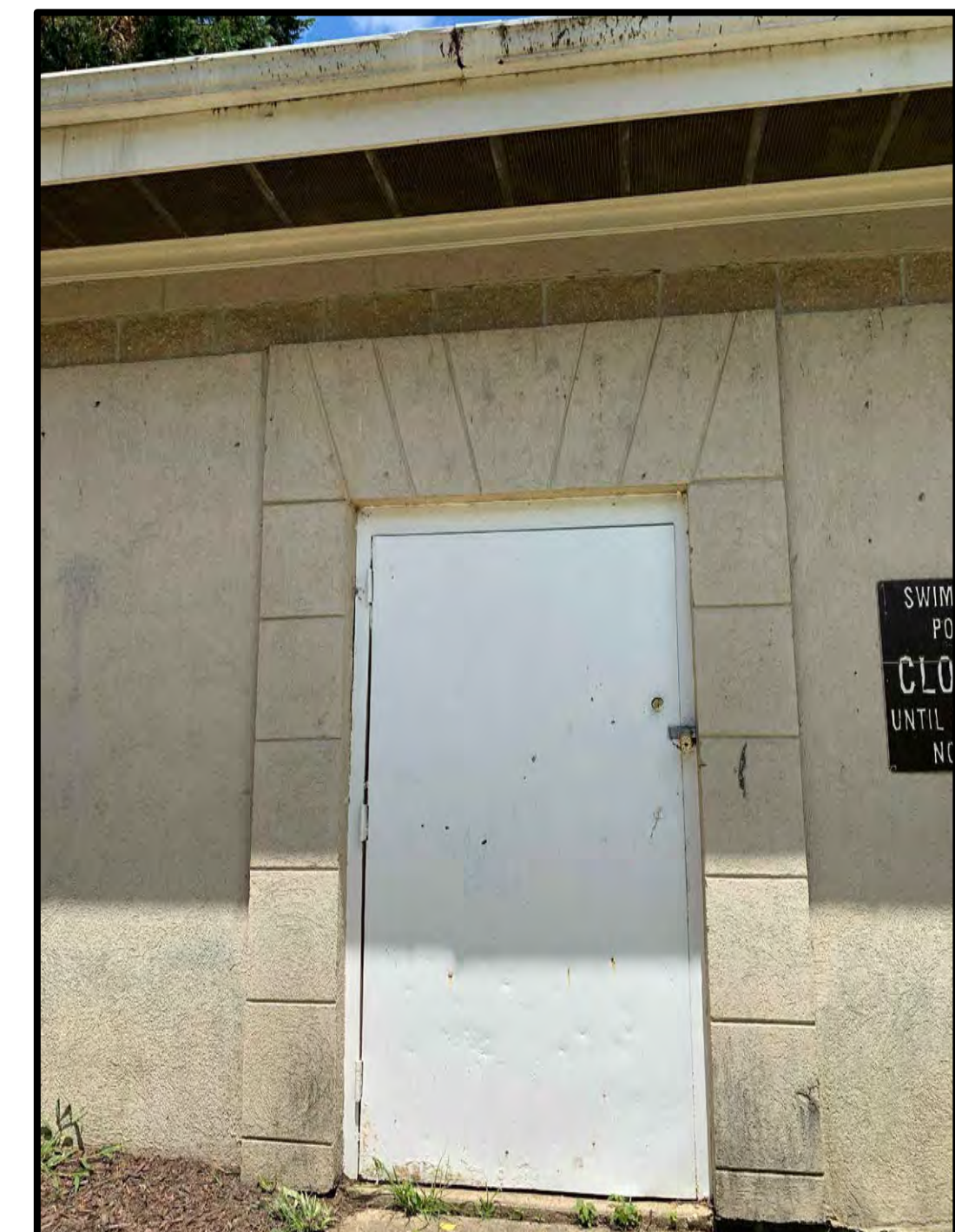
4 EXISTING SITE BUILDINGS
SCALE: N.T.S.



4.1 EXISTING RAILING DESIGN
SCALE: N.T.S.



4.2 PAIRED WINDOWS
SCALE: N.T.S.



6 EXISTING BUILDING'S ENTRANCE
SCALE: N.T.S.

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APARTMENTS: 130-134 IVANHOE STREET, SW

WASHINGTON DC
EXISTING ADJACENT BUILDING'S PICTURES

REVISIONS

NO.	DATE	DESCRIPTION

DATE: JULY 07, 2019

DRAWN	CHECKED
JOB NO. A.xxxxxxx	SCALE N.T.S.



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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APARTMENTS: 130 - 134 IVANHOE STREET, SW
WASHINGTON DC
FRONT ELEVATION

REVISIONS	
DATE	JULY 09, 2019
DRAWN	CHECKED
JOB NO. A.xxxxxxx	SCALE 1/4" = 1'-0"
DRAWING	

A3.01

SHEET OF



1 SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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APARTMENTS: 130 - 134 IVANHOE STREET, SW
 WASHINGTON DC
 SIDE ELEVATION

REVISIONS	
DATE	JULY 09, 2019
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE 1/4" = 1'-0"
DRAWING	
A3.02	
SHEET	OF



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

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APARTMENTS: 130 - 134 IVANHOE STREET, SW

WASHINGTON DC
REAR ELEVATION

REVISIONS	
DATE	JULY 09, 2019
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE 1/4" = 1'-0"
DRAWING	

A3.03

SHEET OF