

# TAB A-1

# JOHN EATON ELEMENTARY SCHOOL MODERNIZATION

3301 LOWELL STREET, NW, WASHINGTON DC 20008

DCAM-18-AE-0124

## ANC Planning & Zoning Review

BOARD OF ZONING APPEALS SUBMISSION  
SUMMARY

JUNE 03, 2019



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202.965.7070





# Areas of Relief Sought

## 2. FAR (Floor Area Ratio)

Floor area ratio limited to .9 = 59,535 sq.ft.

Causes of required relief:

- Existing area of 52,543 was close to the site limit.
- Proposed area of 77,365 exceeds the site limit.
- Additional new spaces are needed to meet the educational space standards.
- Area is required to provide separate gymnasium and cafeteria spaces.
- Increasing individual classroom areas is necessary to meet educational standards.
- Additional student services and administrative spaces are required.

## 2. Retaining Wall Height

Retaining walls in excess of 4 feet require relief.

Causes of required relief:

- Existing site walls exceed the limit, but any modification triggers new relief.
- Due to the site's grade, retaining walls are required to create accessible play areas.
- Shifting the east retaining wall out (within the property line) is required to maintain outdoor play space.

## 3. Recreational Rooftop Areas

Rooftop recreational area are required to have two 10 foot wide paths to the right of way

Causes of required relief:

- Roofs over the gymnasium and stage are integrated with the playground to maximize the play area.
- 10 foot wide paths on the east side would reduce the available field area.
- The 10 foot wide requirement exceeds the reasonable path required for egress from area the size of both the roof sections, so the current configuration does not limit access.



**APPLICABLE CODES:**

- Building:** 12 DCMR A, Building Code Supplement, International Building Code – 2012 Ed.(IBC)
- Electrical:** 12 DCMR C, Electrical Code Supplement, National Electrical Code, (NFPA 70) – 2011 Edition
- Mechanical:** 12 DCMR E, Mechanical Code Supplement, International Mechanical Code – 2012 Ed.
- Plumbing:** 12 DCMR F, Plumbing Code Supplement, International Building Code – 2012 Ed.
- Fire Prevention:** 12 DCMR H, Fire Code Supplement, International Fire Code – 2012 Ed. (IFC)
- Accessibility:** 2010 Americans with Disabilities Act, Standards for Accessible Design (ADA); ICC A117.1, Accessible and Usable Buildings and Facilities – 2009 Ed.
- Other:** National Fire Protection Association (NFPA) Standards, as referenced by the 2012 IBC, including NFPA 10, NFPA 13, NFPA 72, etc.  
  
12 DCMR D, Fuel Gas Code Supplement, International Fuel Gas Code – 2012 Ed.  
  
12 DCMR I, Energy Code Supplement, International Energy Conservation Code – 2012 Ed.  
  
12 DCMR K, Green Construction Code Supplement, International Green Construction Code – 2012 Ed.  
  
DC Law 8-36 District of Columbia Environmental Policy Act of 1989  
  
DCMR Title 11- Zoning Requirements

**ZONING NOTES:**

- Project Name:** John Eaton Elementary School Modernization
- Project Address:** 3301 Lowell Street, NW Washington, DC 20008
- Square:** 2088
- Lot:** 0800, 1
- Zoning Class:** R-1-B
- Lot Area:** 66,150 SF (1.5 Acres)
- Flood Zone:** FEMA Flood Map 1100010012C Zone X - Minimal Flood Hazard

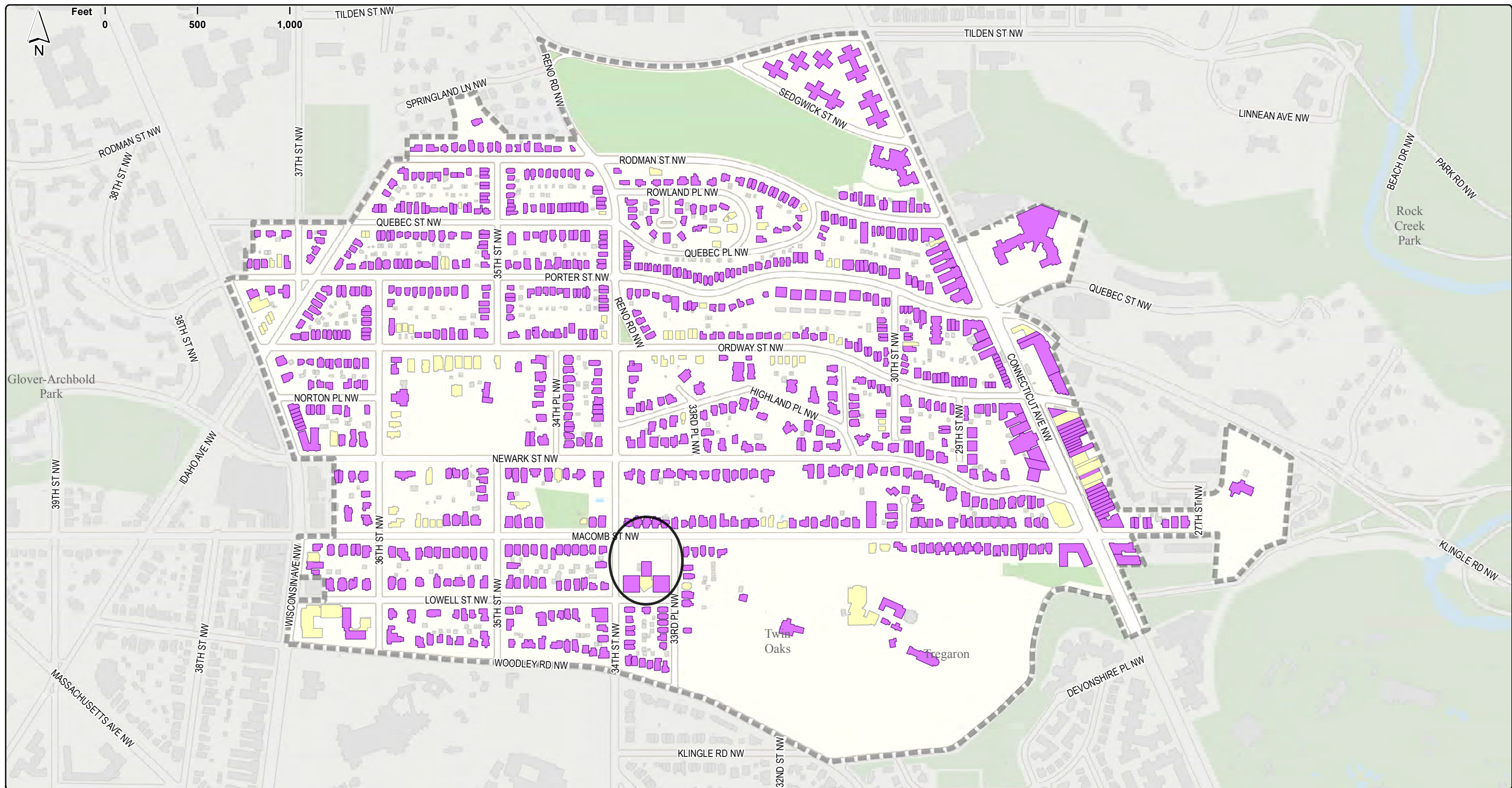
**ZONING NOTES (Continued):**

- Historic District:** Cleveland Park Historic District
- Use:** District of Columbia Public School, Primary education, Pre-K through grade 5 (no change of use).
- GAR:** Not required within R-1B
- Set Backs:** Front yard Section B-315.3, if a lot has more than one street lot line, the owner may choose the lot line that shall determine the application of any front setback requirement.  
  
The front yard is currently considered to be Lowell Street and no changes proposed.

ZONING DATA SUMMARY			
DATA	EXISTING	PROPOSED	ALLOWED / REQUIRED
<b>SETBACKS &amp; BUILDING HEIGHTS - Per C1606.1</b>			
Front Yard Setback (Lowell Street)	9.6' Linear Feet	9.6' Linear Feet	0' Linear Feet / Not Required
Side Yard Setback (Left when gacing the property)	0' Linear Feet	0' Linear Feet	0' Linear Feet / Not Required
Side Yard Setback (Right when gacing the property)	3' Linear Feet	3' Linear Feet	0' Linear Feet / Not Required
Rear Yard Setback (Macomb Street)	94.5' Linear Feet	48.5' Linear Feet	25' Linear Feet*
Building Height (Stories)	3 Stories	3* Stories	4 Stories
Building Height (Feet)	56'-9"	56'-9"	60'
* Additional Relief for corner lots available per C-1606.2, but not required for compliance			
<b>AREAS</b>			
Lot Area	66,150 Square feet	66,150 Square feet	-
Gross Floor Area** (GFA) of Entire Building (Sum of all floors)	52,543 Square feet	77,365 Square feet	59,535 Square feet
Floor Area Ratio ** (FAR = GFA / Lot Area)	0.79 FAR	1.17 FAR	0.9 FAR
Building Area	22,181 Square feet	30,147 Square feet	39,090 Square feet
Lot Occupancy (Building Area / Lot Area)	34%	46.30%	60.00%
**GFA Calculated per 304 using Building height measuring point calculated from the average of proposeed grade at the midpoint of the front and rear building facades (Proposed grade is lower that existing in both locations).			
<b>AREAS</b>			
Penhouses (Mechanical)	1 - to be demolished in full 11' high	1 (19' x 23' nom) 10' high	Not required***
Parking (Per C-702 within an R Zone)	0 - No on site parking	0 - No on site parking	Not required***
Bicycle Parking - Short Term (Education public Per C-802.1)	14	14	Not required***
Bicycle Parking - Long Term (Education public Per C-802.1)	0	0	Not required***
Showers (Per C-806.1)	1 Shower (not functioning)	1 Shower	Not required***
	0 Showers	1 Shower	Alternate compliance per zoning 2 minimum or as required for new construction
Loading Dock (Per C-901.1)	1	1	Not required***
Pervious Area (Per C-1609)	15,954 sf	20,779 sf	30% x 66,150 = 19,845 sf
	24.1%	31.4%	30%
***For historic resources, vehicle parking, bicycle parking, and loading requirements are triggered when the addition will result an increase of more than 50% of the existing GFA. Based on the calculations, the additional GFA will be 24,822 sq. ft., which is less than 50% of the GFA of the existing building (50% of 52,543 sq. ft. = 26,271.5 sq. ft.). Accordingly, additional vehicle parking, bicycle parking, and loading are not required.			



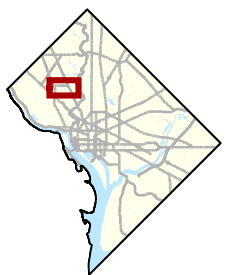




**April 05, 2016**  
 This map is as accurate as currently available data allows. It is a planning and informational document not intended for legal determinations.

**Cleveland Park  
 Historic District  
 Period of Significance  
 1880-1941**

This project has been funded in part by the U.S. Department of the Interior, National Park Service Historic Preservation Fund grant funds, administered by the District of Columbia's Historic Preservation Office.



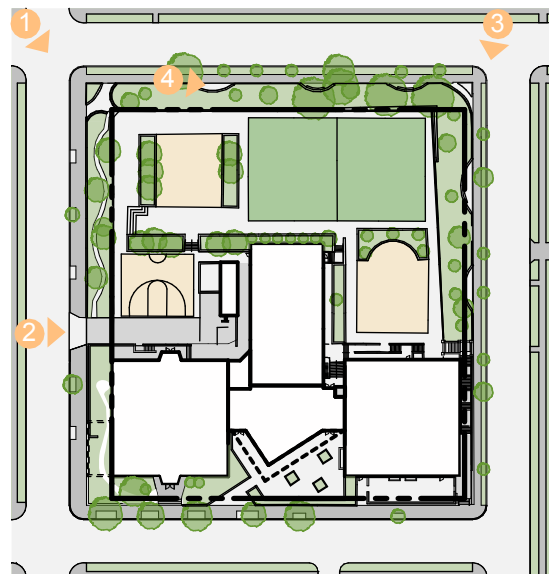




1. North-West Corner



2. Loading Dock

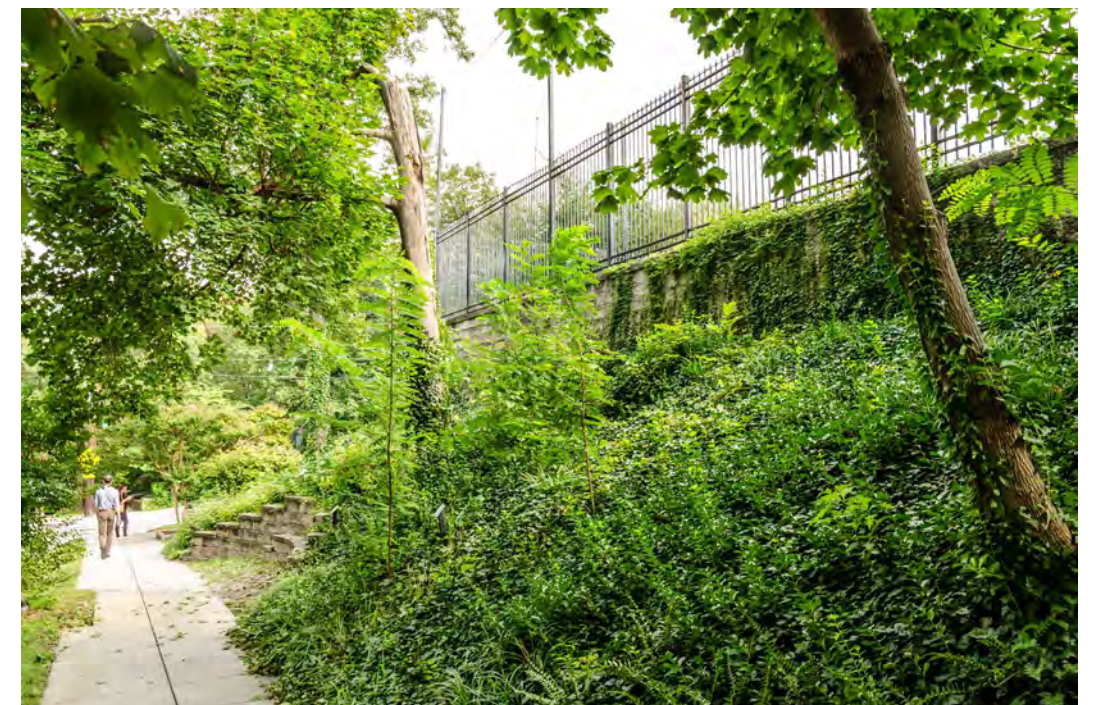


KeyPlan

NOT TO SCALE

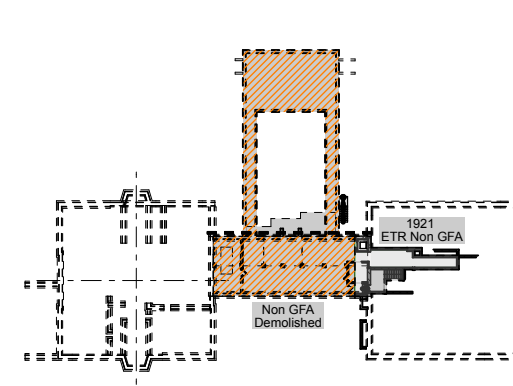


3. North-East Corner



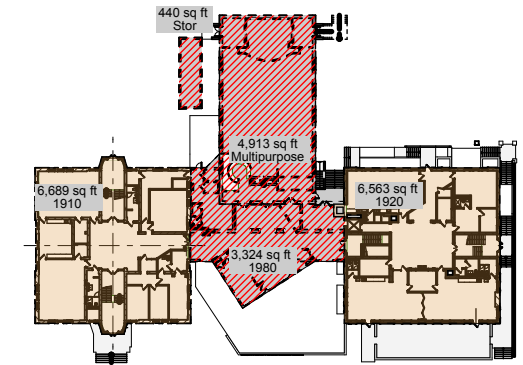
4. North Site Walls





## Lower Level Existing

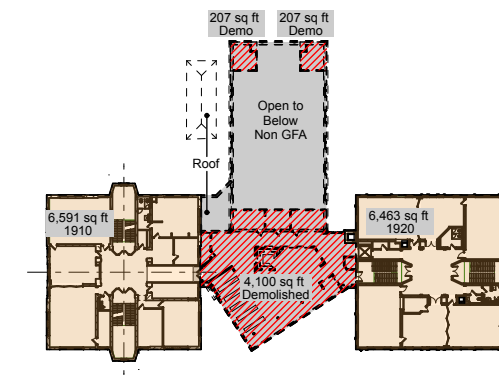
SCALE: 1" = 100'



## 1st FI Existing

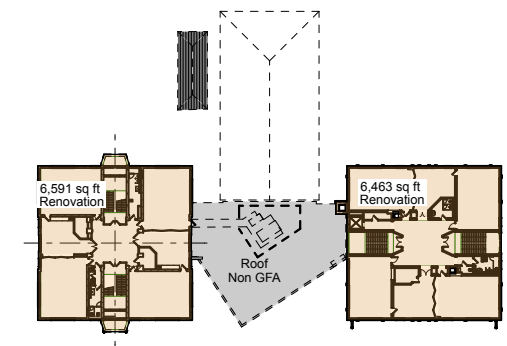
SCALE: 1" = 100'

Existing GFA By Floor Areas			
	Existing to Remain	Demolished	Combined
Level - Basement			
All below average grade - non GFA			
<b>TOTAL - Level 0</b>	-	-	
Level - 1			
1910 Pavilion	6,689 sf		
1920 Pavilion	6,563 sf		
1930 Multipurpose		4,913 sf	
1980 Connector		3,324 sf	
Storage Building		440 sf	
New Construction			
<b>TOTAL - Level 1</b>	<b>13,252 sf</b>	<b>8,677 sf</b>	<b>21,929 sf</b>
Level - 2			
1910 Pavilion	6,591 sf		
1920 Pavilion	6,463 sf		
1930 Multipurpose		414	
1980 Connector		4,100	
New Construction			
<b>TOTAL - Level 2</b>	<b>13,054</b>	<b>4,514</b>	<b>17,568 sf</b>
Level - 3			
1910 Pavilion	6,591 sf		
1920 Pavilion	6,455 sf		
1930 Multipurpose			
1980 Connector			
New Construction			
<b>TOTAL - Level 3</b>	<b>13,046</b>	-	<b>13,046 sf</b>
<b>TOTAL Existing GFA</b>	<b>39,352 sf</b>	<b>13,191</b>	<b>52,543 sf</b>



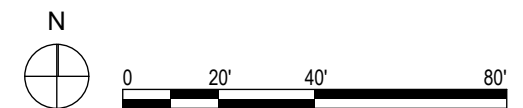
## 2nd FI Existing

SCALE: 1" = 100'

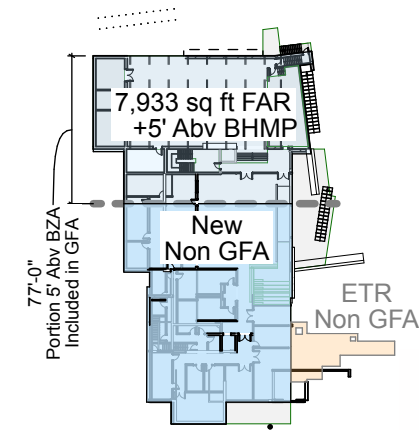


## 3rd FI Existing

SCALE: 1" = 100'

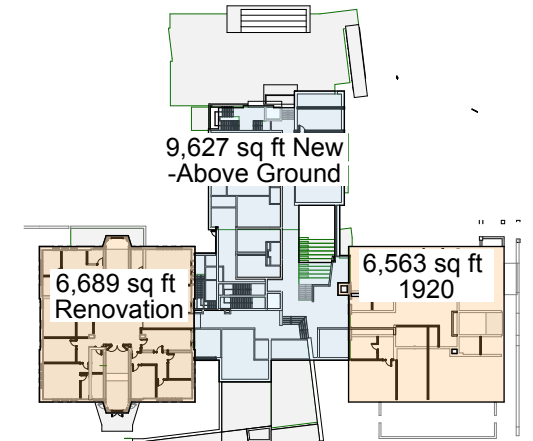


Proposed GFA By Floor Areas			
	Renovation	Proposed Construction	Combined
Level - Basement			
Remainder Below Grade - Non GFA			
		New w 5' Above BHMP - Contributing to GFA	7,933
<b>TOTAL - Level 0</b>	-	<b>7,933 sf</b>	
Level - 1			
	1910 Pavilion	6,689 sf	
	1920 Pavilion	6,563 sf	
	1930 Multipurpose		
	1980 Connector		
	Storage Building		
	New Construction	9,627 sf	
<b>TOTAL - Level 1</b>	<b>13,252 sf</b>	<b>9,627 sf</b>	<b>22,879 sf</b>
Level - 2			
	1910 Pavilion	6,591 sf	
	1920 Pavilion	6,463 sf	
	1930 Multipurpose		
	1980 Connector		
	New Construction	9,980 sf	
<b>TOTAL - Level 2</b>	<b>13,054</b>	<b>9,980 sf</b>	<b>23,034 sf</b>
Level - 3			
	1910 Pavilion	6,591 sf	
	1920 Pavilion	6,455 sf	
	1930 Multipurpose		
	1980 Connector		
	New Construction	10,473 sf	
<b>TOTAL - Level 3</b>	<b>13,046 sf</b>	<b>10,473 sf</b>	<b>23,519 sf</b>
<b>TOTAL Proposed GFA</b>	<b>39,352 sf</b>	<b>38,013 sf</b>	<b>77,365 sf</b>



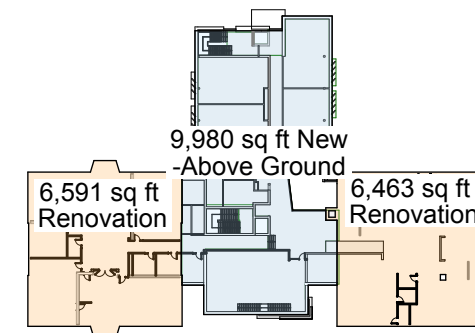
### Lower level

SCALE: 1" =100'



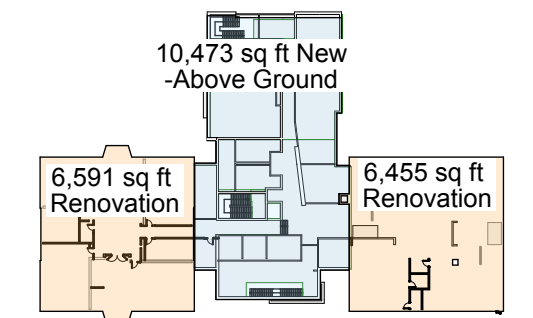
### 1st Floor Plan

SCALE: 1" =100'



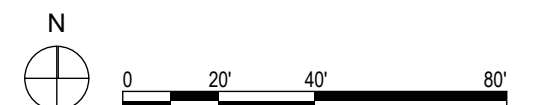
### 2nd Floor Plan

SCALE: 1" =100'



### 3rd Floor Plan

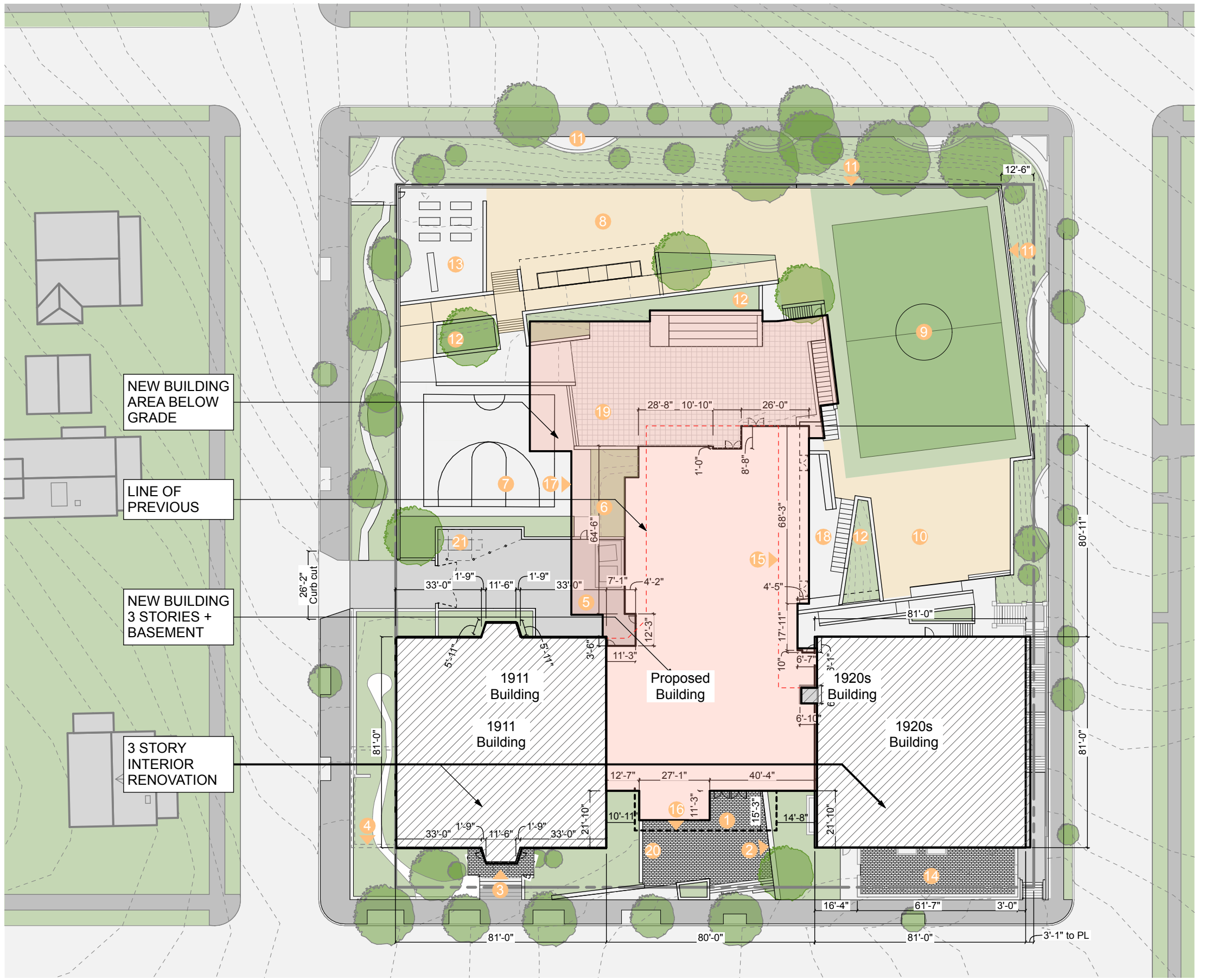
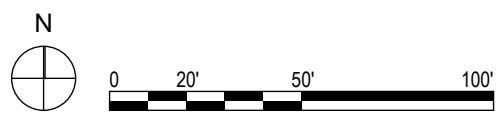
SCALE: 1" =100'





- Proposed Spaces**
- ① Entry Plaza
  - ② Sign Originally from 1920 Connector
  - ③ Original School Entry
  - ④ Partially Demolished Coal Vault
  - ⑤ Loading Area
  - ⑥ Light Well
  - ⑦ Play Court
  - ⑧ Playground
  - ⑨ Artificial Turf Field
  - ⑩ Early Education Playground
  - ⑪ Retaining Wall
  - ⑫ Retaining / Planters
  - ⑬ Teaching Garden
  - ⑭ Early Education Plaza
  - ⑮ Line of Previous Building
  - ⑯ Line of Building Above
  - ⑰ Line of Building Below Grade
  - ⑱ Lower Dining Terrace
  - ⑲ Inhabitable Gym Roof
  - ⑳ Short-Term Bicycle Racks
  - ㉑ Generator

- Area of New Addition at Ground Level
- Area of New Addition below grade
- Area of Renovation



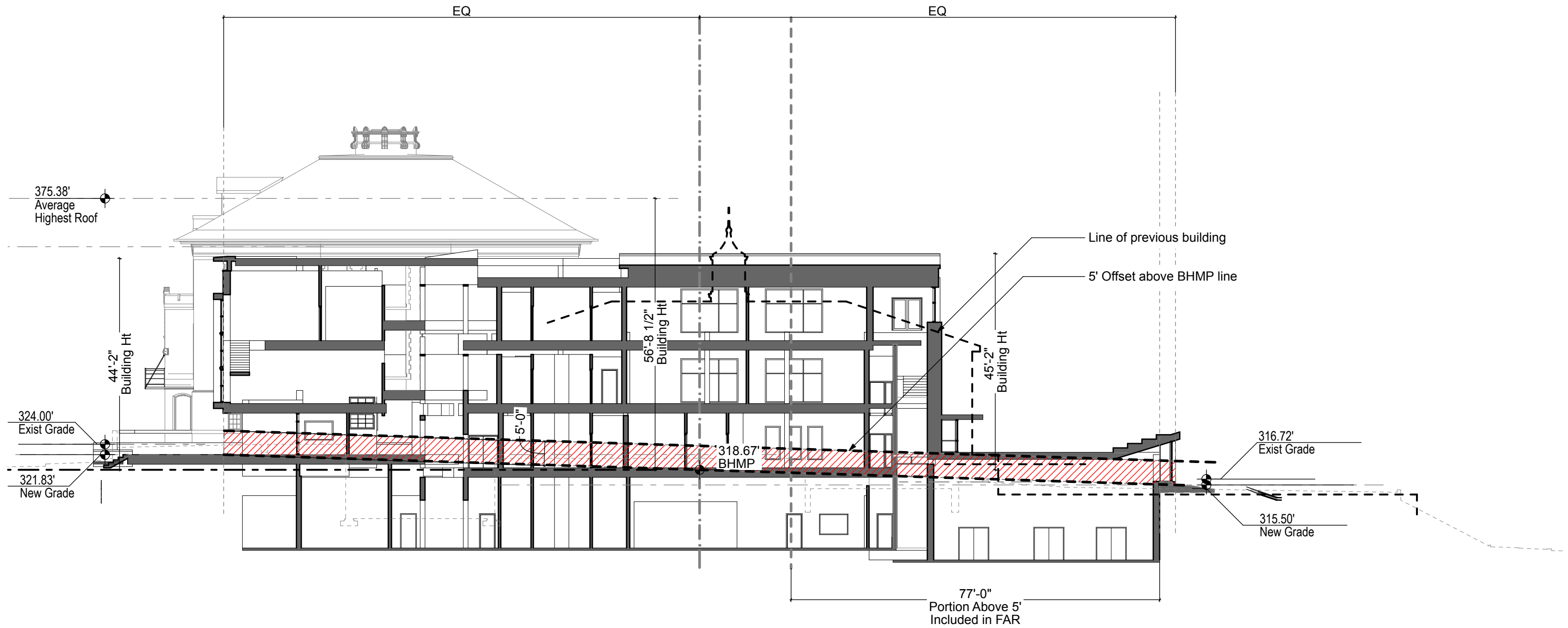
**ANC - BZA Review Proposed GFA Summary**

JOHN EATON ELEMENTARY SCHOOL MODERNIZATION

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ANC - BZA Review **Building Section / BHMP**

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BZA.8







**Existing** to be removed. 3'-6" average 12" block w ca, typical

**New** 4.5' height. 12" thick brick veneer

**New** 4.5' height. 12" thick brick veneer

**Existing** to be removed 4' height. 12" block, typical

**New** 6' height. 12" thick brick veneer

**Existing to remain** concrete curb. 4" high±. **New** No Change

**New** 1.5' height. 12" thick brick veneer

**Existing** height varies from 6" to 2'-6". Wall to be re-clad. **New** varies from 6" to 3'-6" (Similar to previous - Follows grade)

**New** 6' Loading area screen (Site wall - not retaining)

**Existing** to remain height varies 3'-6" Average ht. 12" block w cap, typical. Resurfacing pending budget.

**New** 5' height average brick veneer. (Similar to previously stair)

6' height, average (previously 8' at north)

Line of previous retaining wall

Existing Curved Retaining wall 3' high, typ to be refaced

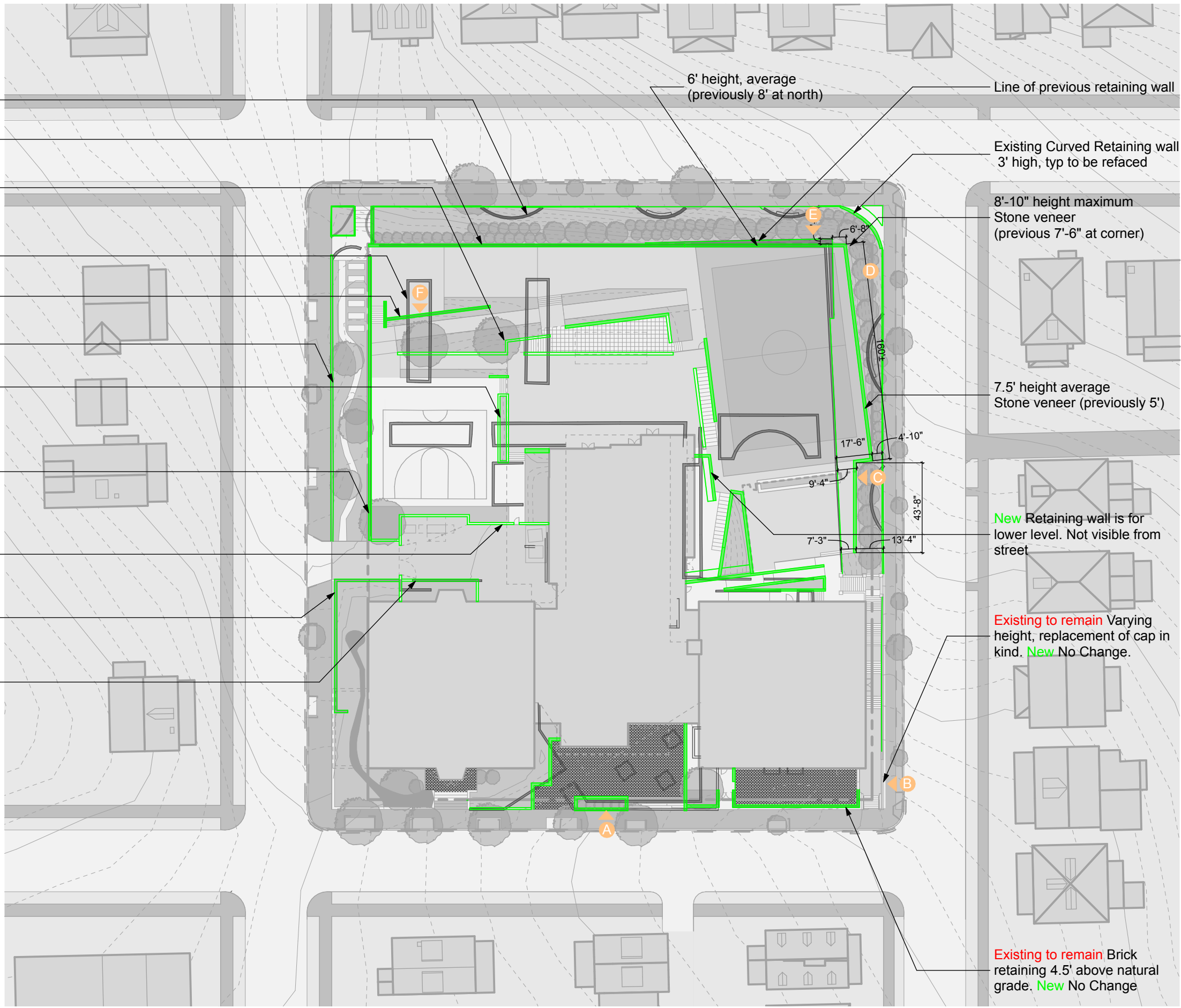
8'-10" height maximum Stone veneer (previous 7'-6" at corner)

7.5' height average Stone veneer (previously 5')

**New** Retaining wall is for lower level. Not visible from street

**Existing to remain** Varying height, replacement of cap in kind. **New** No Change.

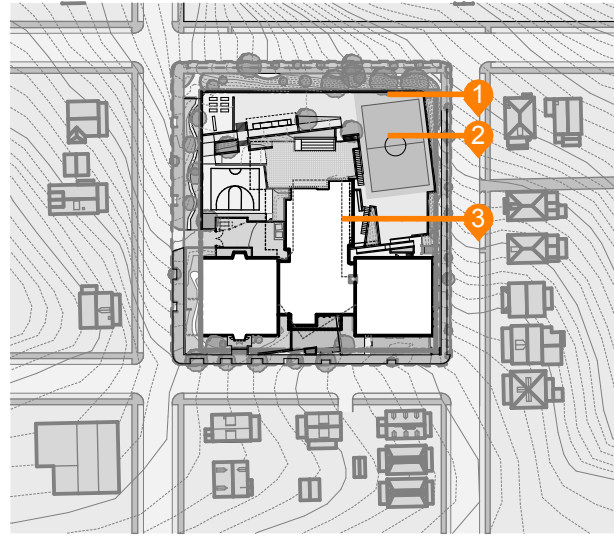
**Existing to remain** Brick retaining 4.5' above natural grade. **New** No Change



Wall ID, new wall over 4'  
 Existing retaining walls  
 New retaining walls

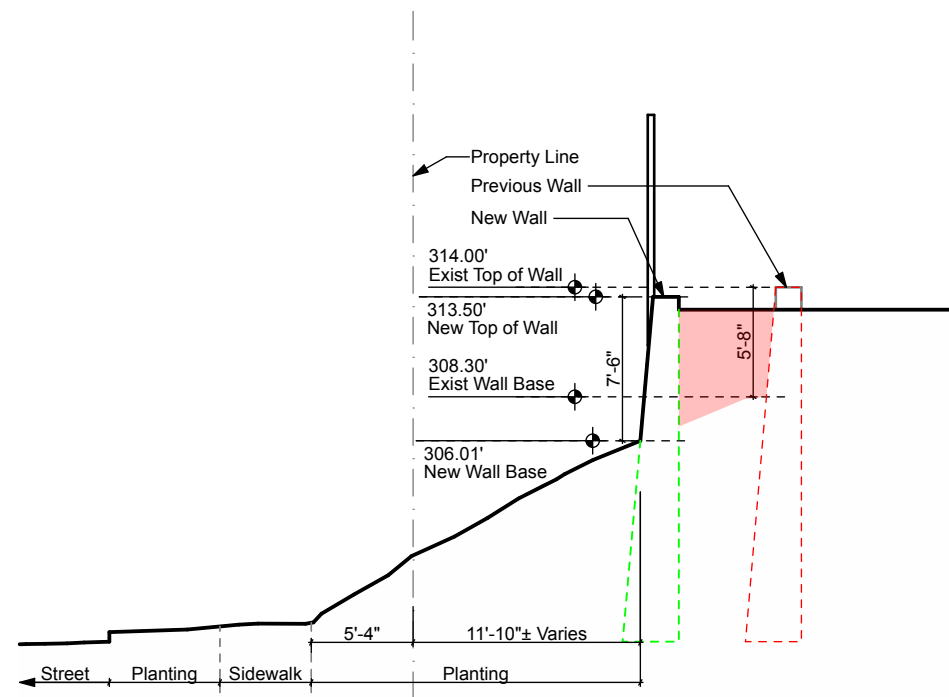
N  
  
 0 20' 50' 100'  
 SCALE: 1" = 50'





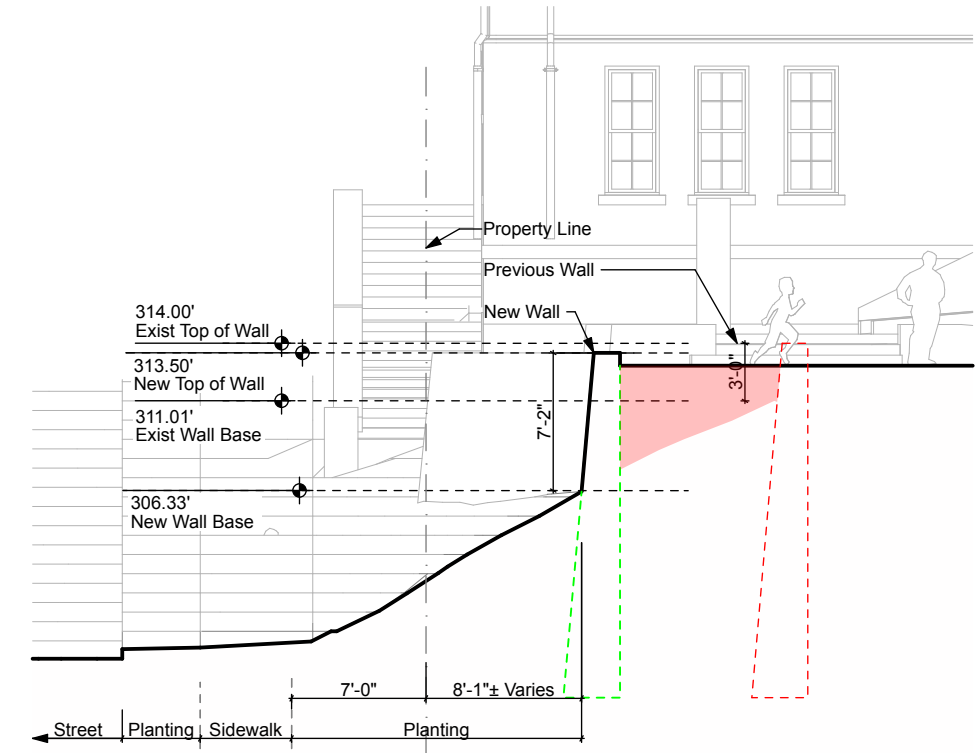
### Key Plan

SCALE: 1" = 200'



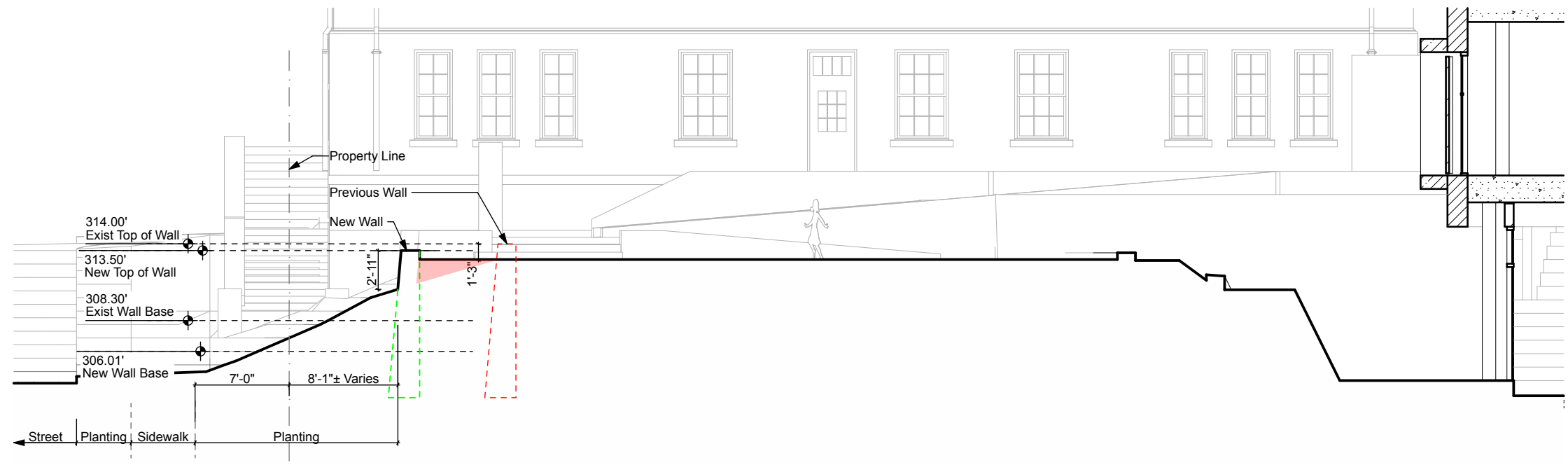
### Site Section 1

SCALE: 1" = 10'



### Site Section 2

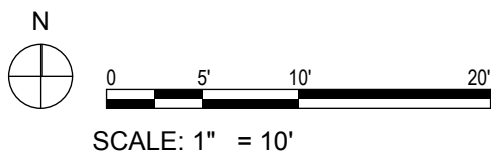
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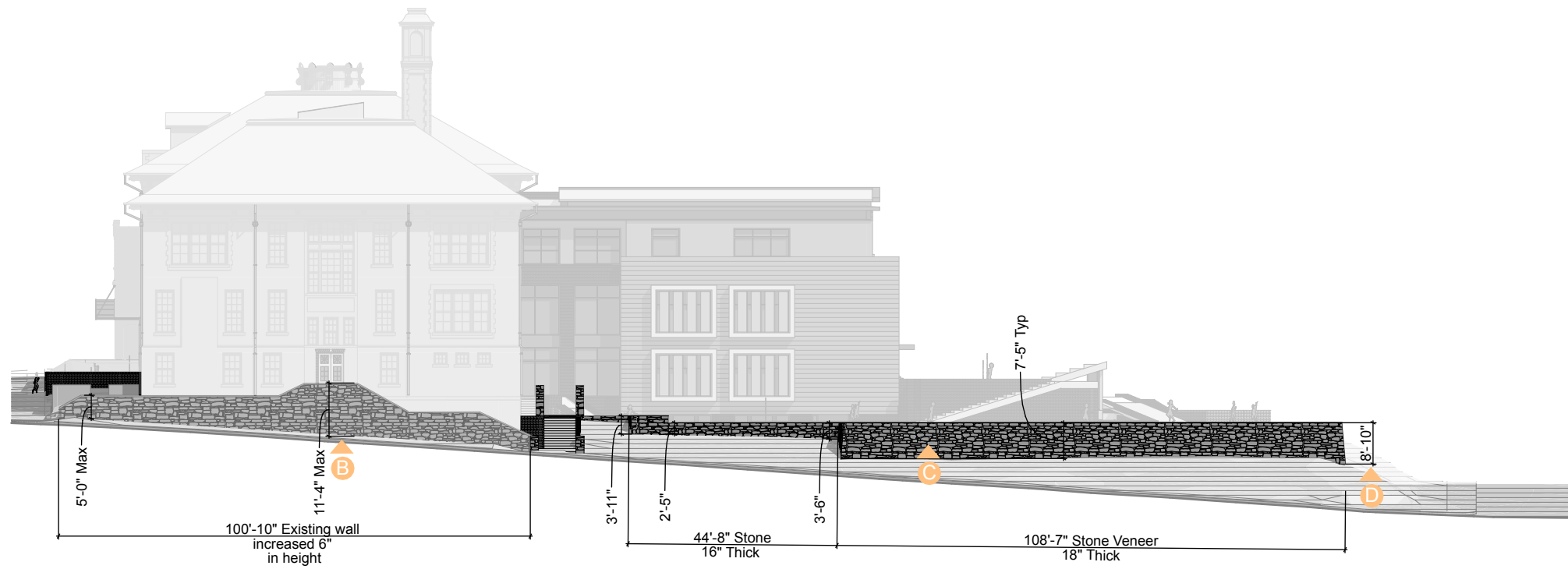


### Site Section 3

SCALE: 1" = 10'

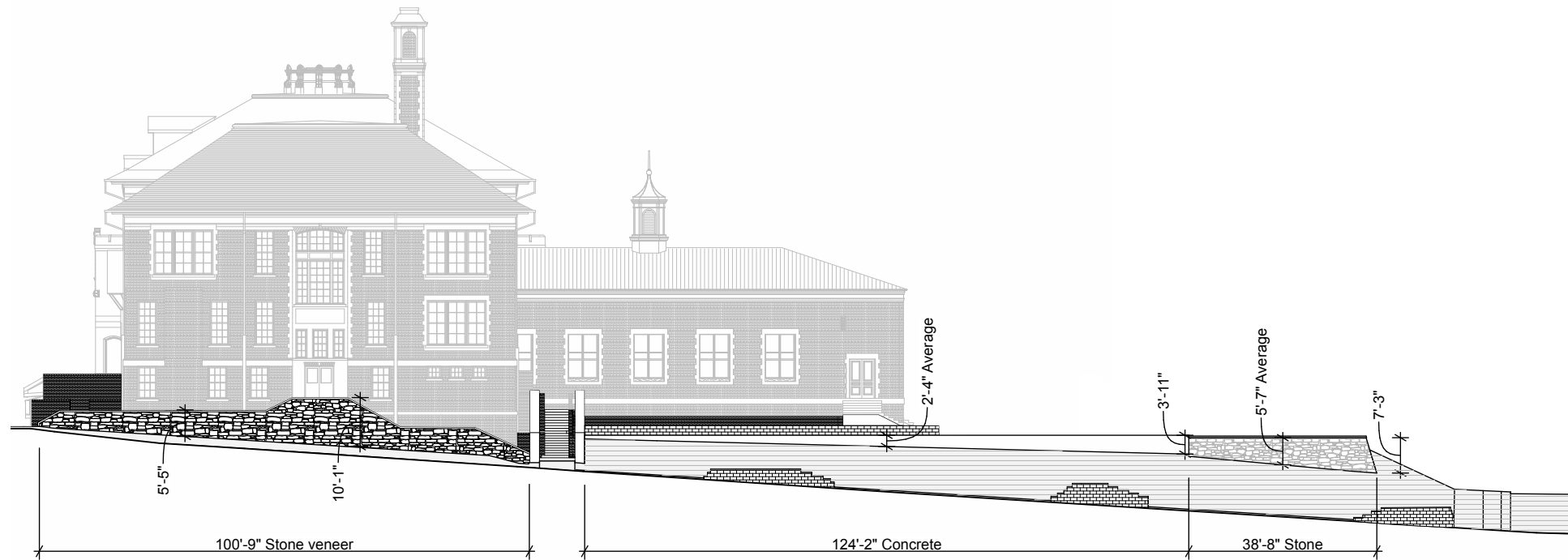
- Section
- Existing retaining walls
- New retaining walls





### Proposed East Retaining Walls

SCALE: 1/32" = 1'-0"



### Existing East Elevation at Sidewalk

SCALE: 1/32" = 1'-0"