



Board of Zoning Adjustment
District of Columbia
CASE NO. 19888
EXHIBIT NO. 39

1515 North Capitol St NE
Washington DC, 20002

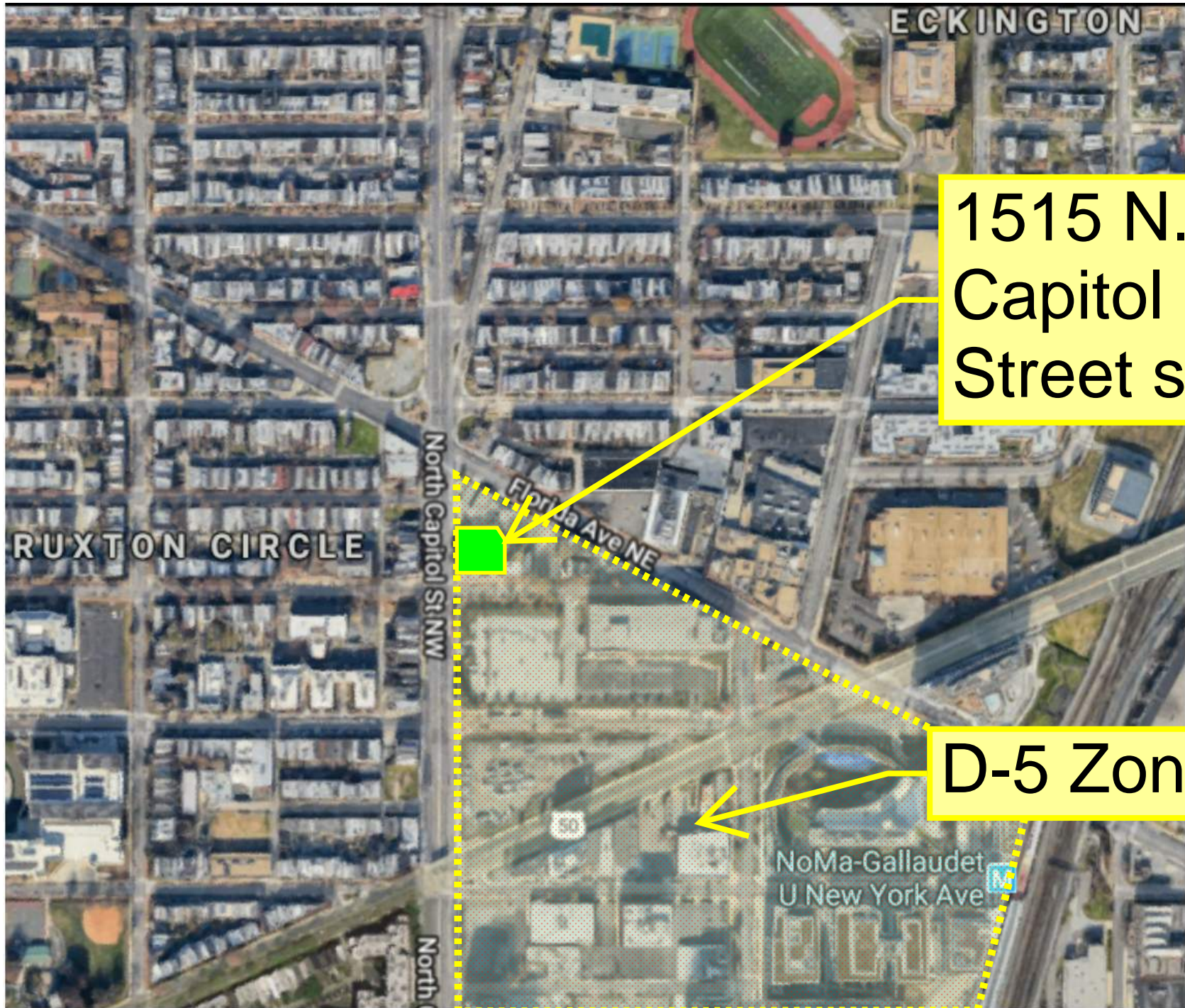
ARCHITECT:
ERIC COLBERT & ASSOCIATES, P.C.
717 5TH STREET, NW WASHINGTON, DC 20001

OWNER:
SOME, INC.
71 O Street NW

Rev. 11.19.2018
09/25/2018

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COVER
SHEET
00-A



1515 N.
Capitol
Street site

D-5 Zone

VIEW FROM NORTH CAPITOL ST



SITE:
EXISTING BUILDINGS TO BE DEMOLISHED

ADJACENT BUILDINGS: NOT PART OF PROJECT

FLORIDA AVENUE NE

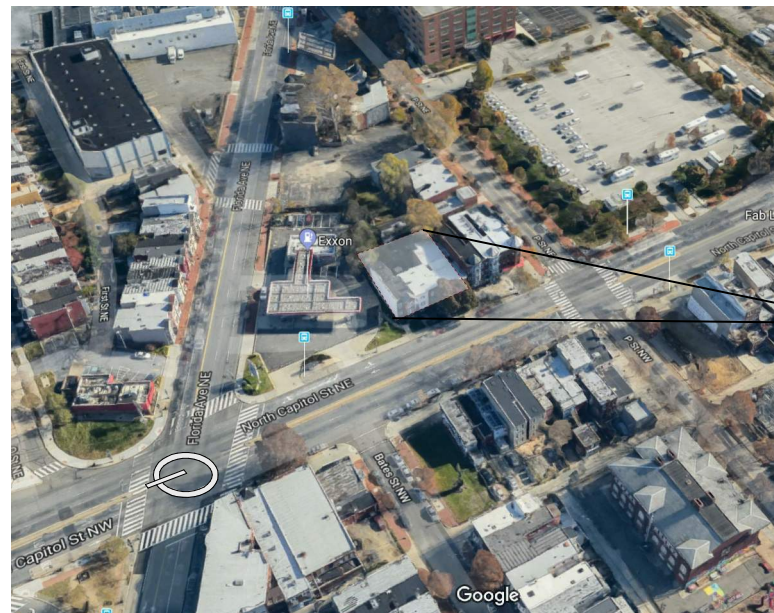
P STREET NE

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THE SITE
00-B

AERIAL VIEW



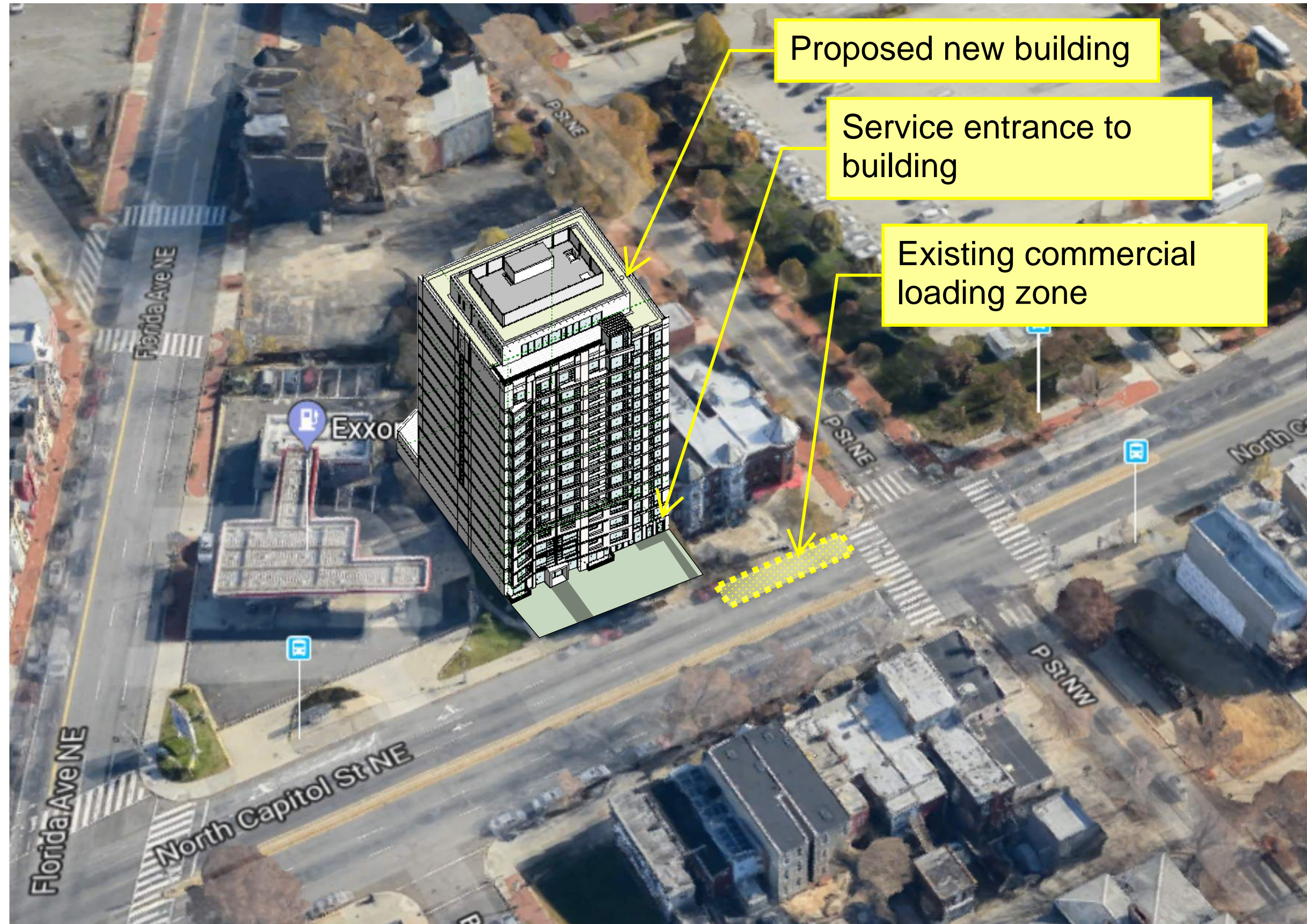
PROJECT SITE
CONSISTS OF
LOTS 41, 67, 809,
& 810. SQUARE
668 HAS NO
ALLEYS, AND THE
SITE HAS
FRONTAGE ONLY
ON NORTH
CAPITOL STREET.



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AERIAL VIEW FROM THE NORTHWEST WITH THE LOADING ZONE AND SERVICE ENTRANCE INDICATED

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THE SITE
00-E

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1515 North Capitol Street NE

Transportation Presentation



Grove/Slade Associates

November 6, 2018

Proposed Site Plan

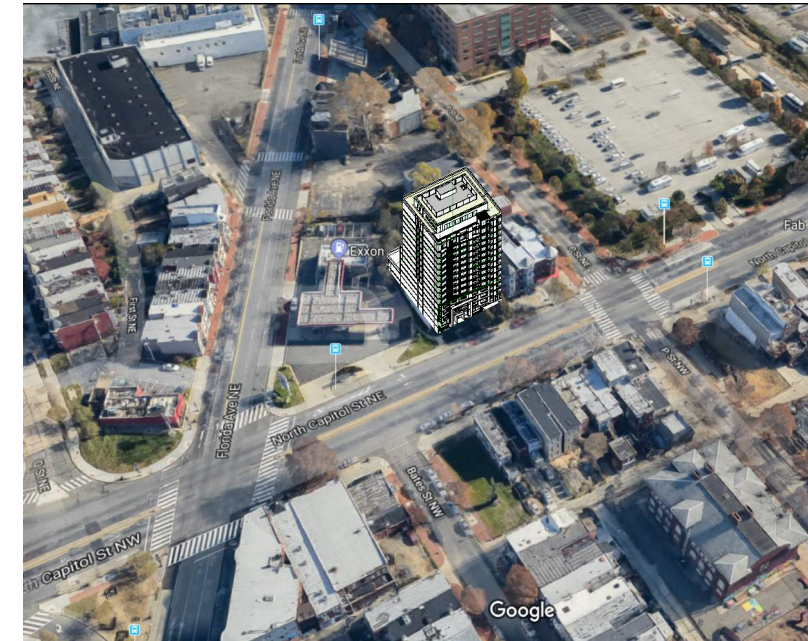


Loading Management Plan

- Designate loading manager
- Residential move-ins/move-outs scheduled with loading manager
- No move-ins or move-outs will occur during peak hour restrictions on N Capitol Street
- Loading manager will coordinate trash pick-up during off peak times
- Trash pick-up to occur curbside on N Capitol Street in the existing commercial loading zone adjacent to the trash room
- No truck idling and must follow all District guidelines for heavy vehicle operation
- Distribute and post DDOT's Freight Management and Commercial Vehicle Operations document to drivers as needed

3 loading trips anticipated per day





**COVER
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PROJECT AREAS BREAKDOWN

PROJECT AREAS BREAKDOWN

LEVEL	GFA / FAR (SF)	PROJECTIONS INTO PUBLIC SPACE (SF)	CONSTRUCTION (GSF)	MAIN PROGRAM ITEMS	COMMENTS
CELLAR	0	0	7722	CENTRAL UTILITY ROOMS; 48 BIKE PARKING SPACES; FITNESS RM; MOVIE THEATER, ETC	
1ST	7722	0	7722	LOBBY WITH WELCOME DESK; AMENITY AND SUPPORT SPACES; TRASH COMPACTOR RM.	ACCOMODATIONS FOR TRASH COLLECTION AND REMOVAL ARE SHOWN, BUT THERE IS NO LOADING BERTH, NOR SERVICE VEHICLE PARKING. THIS WILL REQUIRE RELIEF FROM A ZONING REQUIREMENT
2ND	5240	0	5240	7 APT UNITS (INCLUDING A RESIDENT MANAGER); MEZZANINE LOUNGE; COMMON REAR ROOF DECK	COMMON-USE LAUNDRY ROOM & TRASH CHUTE ROOM ON EACH RESIDENTIAL FLOOR.
3RD - 14TH (TYP)	5690	90	5780	11 APT UNITS PER FLOOR	
SUBTOTAL	81242	1080	90044		
PENTHOUSE	0	0	2650	AMENITY SPACES (FOR RESIDENTS' USE ONLY): LOUNGE, PRIVATE DINING WITH KITCHEN, COMMON ROOF DECK. ALSO MECHANICAL SPACES.	IN PENTHOUSES, SF USED FOR COMMUNAL RECREATION SPACE AND MECHANICAL SPACE DO NOT COUNT AGAINST FAR, SO THE GFA/FAR AT THE PH LEVEL IS ZERO.
PH ROOF	0	0	0	MECHANICAL ENCLOSURE	
TOTAL	81242	1080	92694		

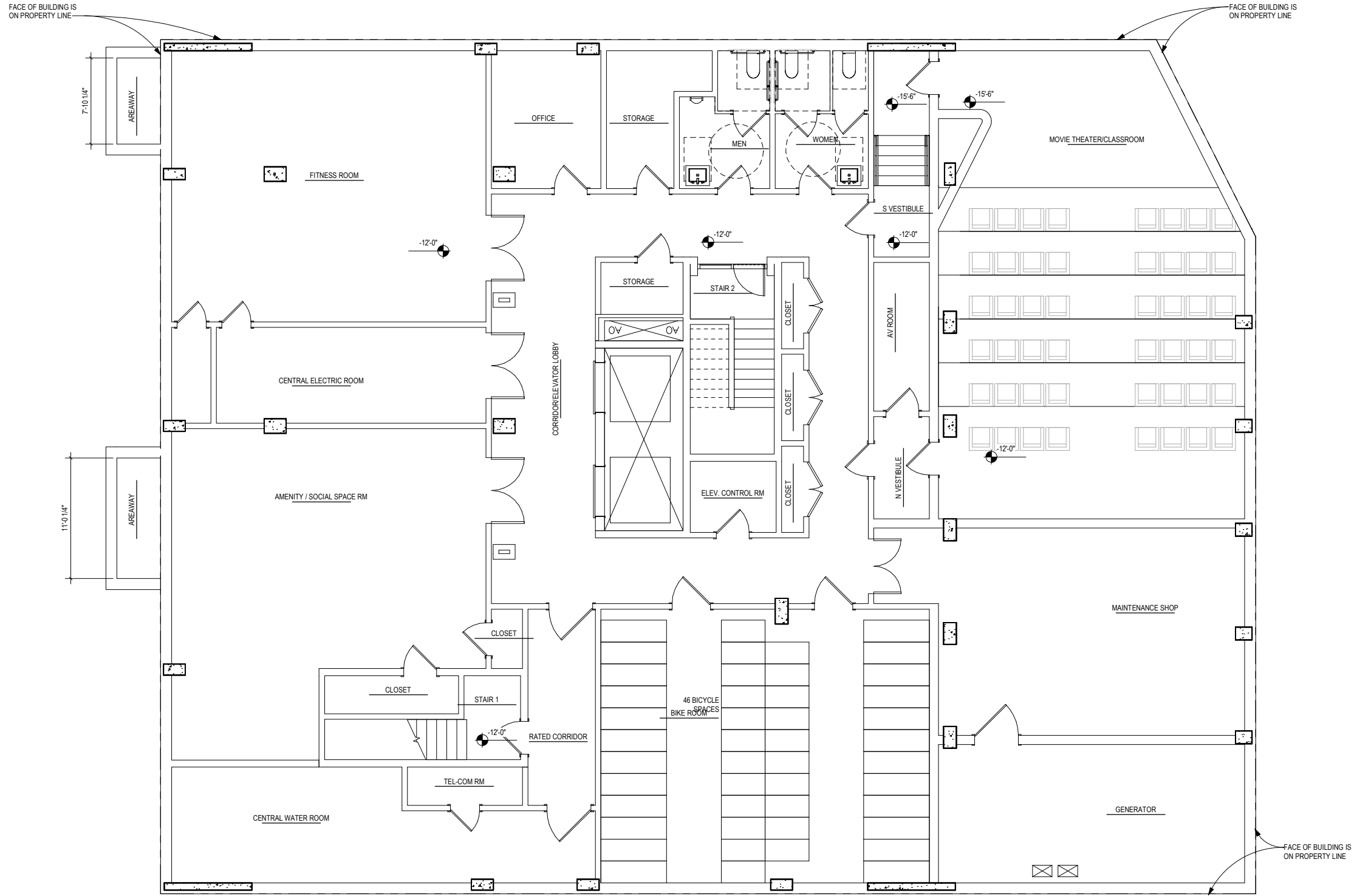
FAR: 10.52 (TOTAL GFA: 81242 SF / LOT AREA: 7722 SF)

*PLANS DEPICTED HEREIN ARE SUBJECT TO ALTERATION BASED ON FINAL BUILDING PLAN AND PROGRAMMING, PROVIDED, HOWEVER, THAT NO CHANGES SHALL IMPACT THE RELIEF REQUESTED FROM THE BOARD AND ALL CHANGES SHALL CONTINUE TO BE COMPLIANT WITH THE ZONING REGULATIONS.

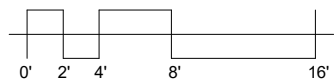


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1
01-A CELLAR



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CELLAR
01-A

*ITEMS SHOWN IN PUBLIC SPACE SUBJECT TO PUBLIC SPACE PERMITTING PROCESS AND POSSIBLE RESULTING CHANGES

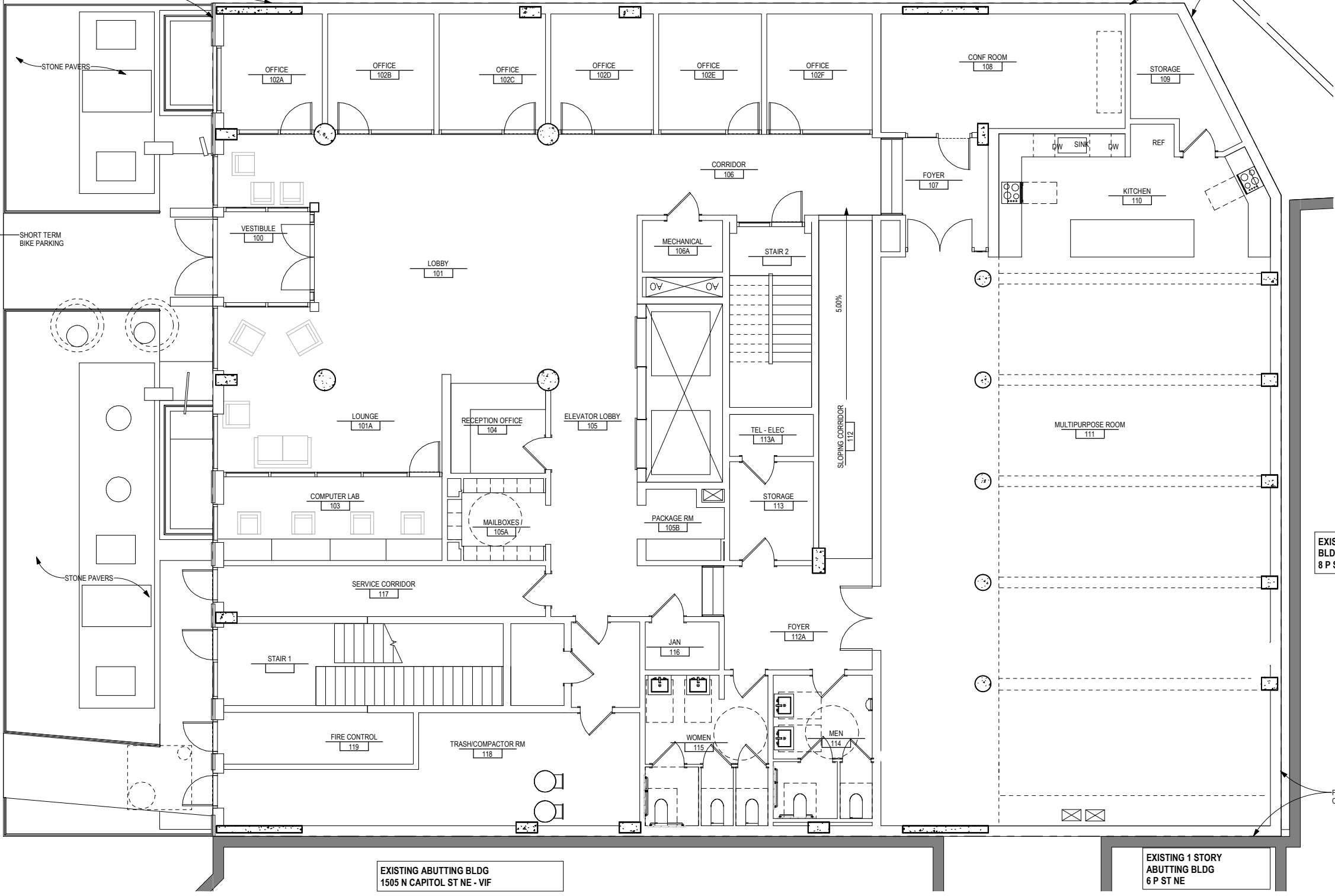
NO ABUTTING BLDG ON THE NORTH SIDE - VIF

FACE OF BUILDING IS ON PROPERTY LINE

FACE OF BUILDING IS ON PROPERTY LINE

STONE PAVERS

EXISTING CURB



NORTH CAPITOL ST

SHORT TERM BIKE PARKING

STONE PAVERS

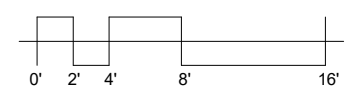
EXISTING ADJACENT BLDG 8 P ST NE

EXISTING ABUTTING BLDG 1505 N CAPITOL ST NE - VIF

EXISTING 1 STORY ABUTTING BLDG 6 P ST NE

1 01-B FIRST FLOOR / SITE PLAN - BZA

NOTE: The facade design and items shown in public space, including projections, are subject to modification during building permit review.



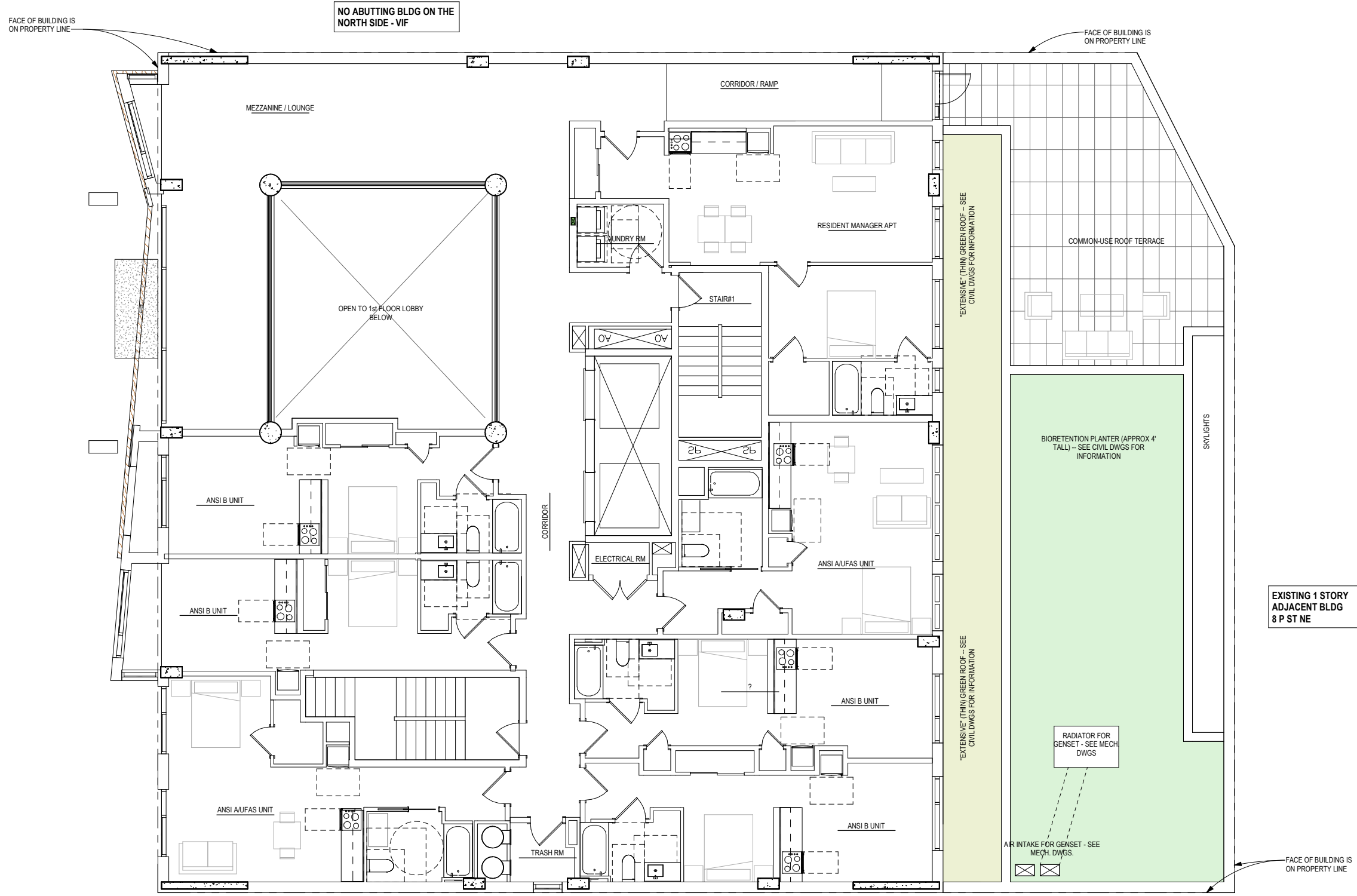
FIRST FLOOR / SITE PLAN 01-B

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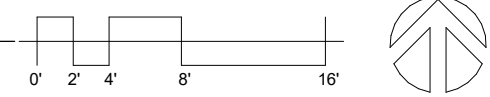
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1
01-C 2ND FLOOR

EXISTING ABUTTING BLDG
1505 N CAPITOL ST NE - VIF

EXISTING 1 STORY
ABUTTING BLDG
6 P ST NE



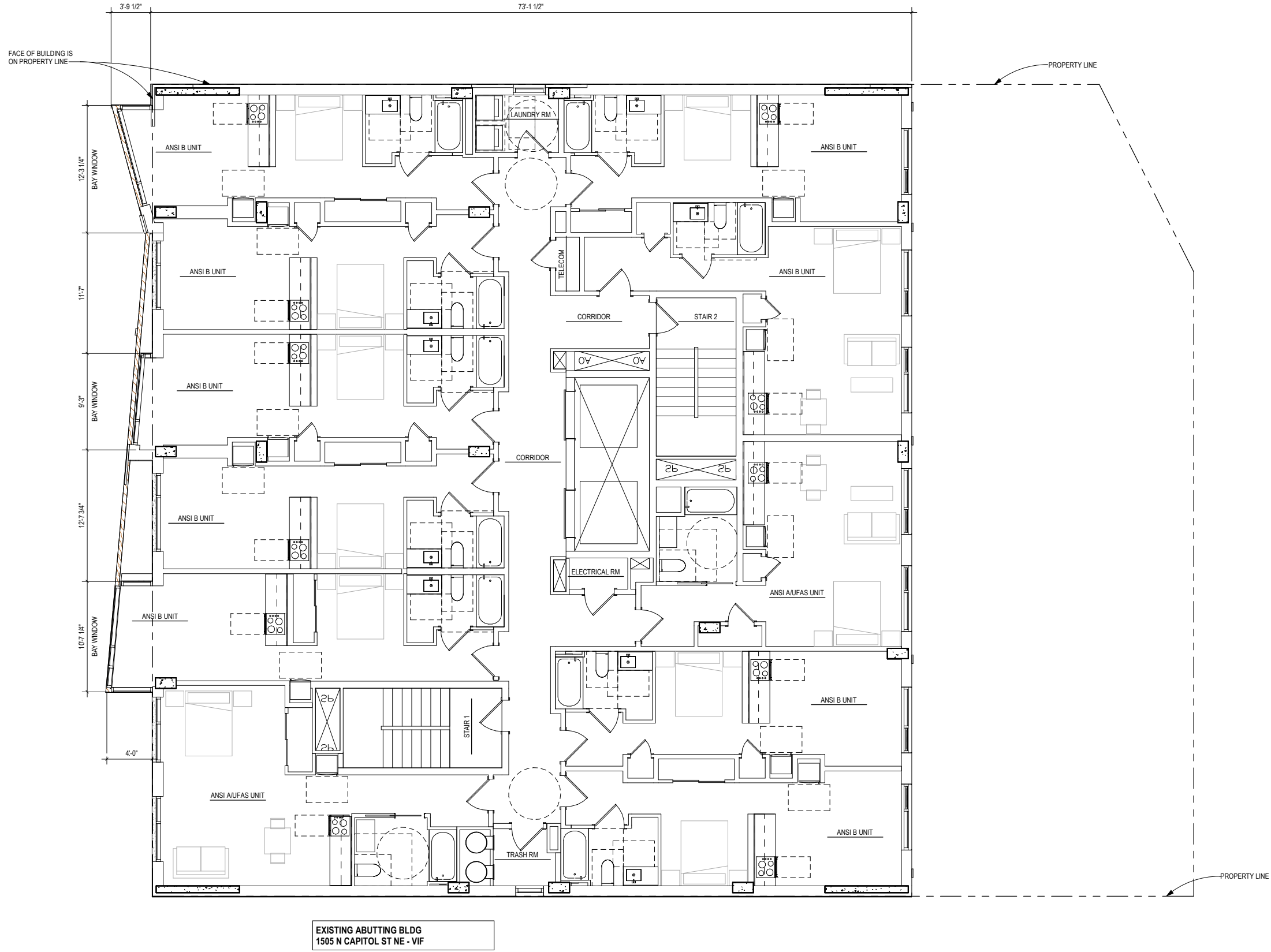
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2ND FLOOR
PLAN
01-C



1 01-D 3RD-14TH TYP FLOOR

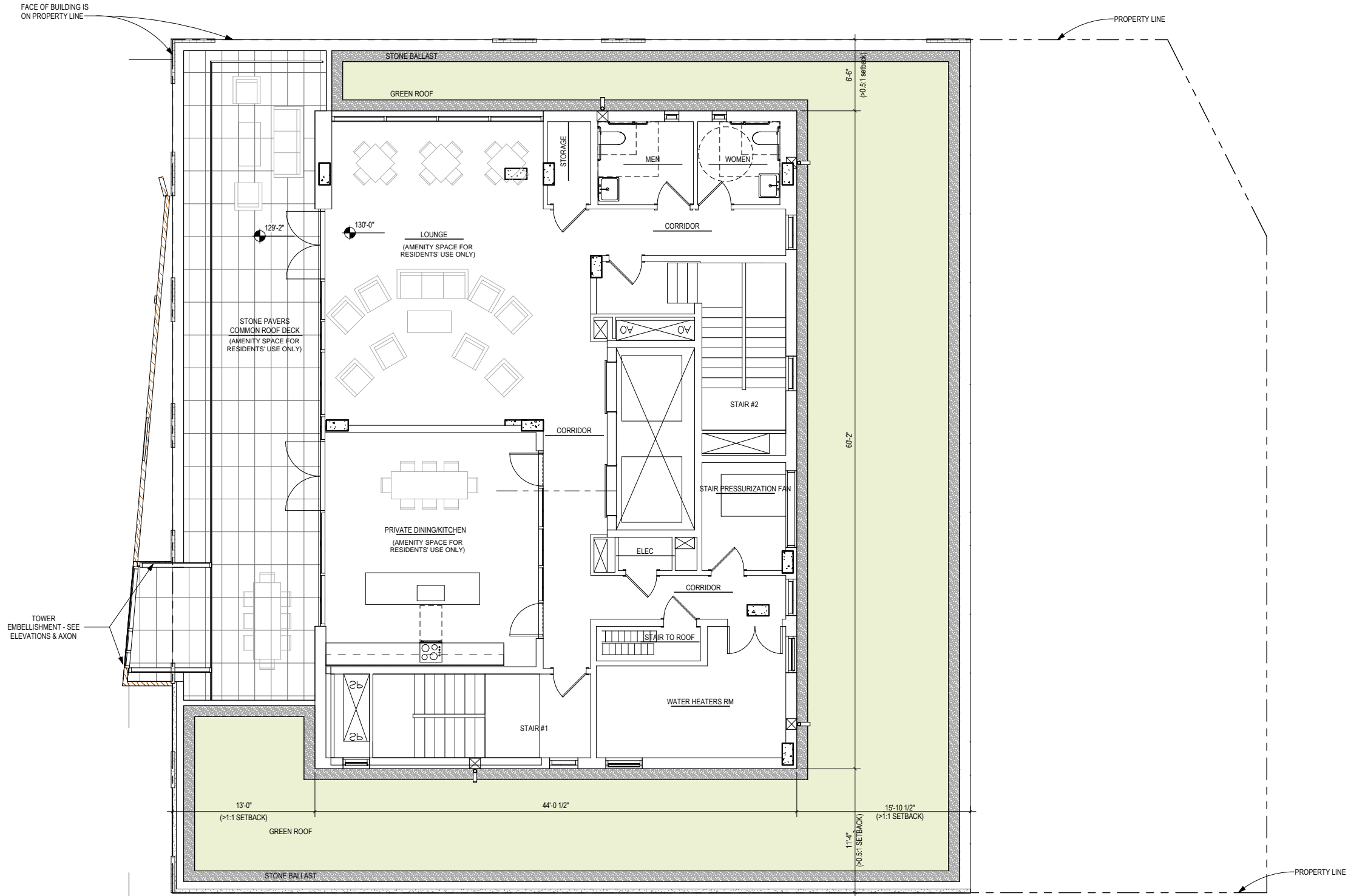
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TYP 3RD-14TH
PLAN
01-D



1 PH FLOOR
01-E

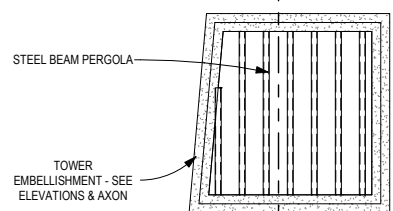
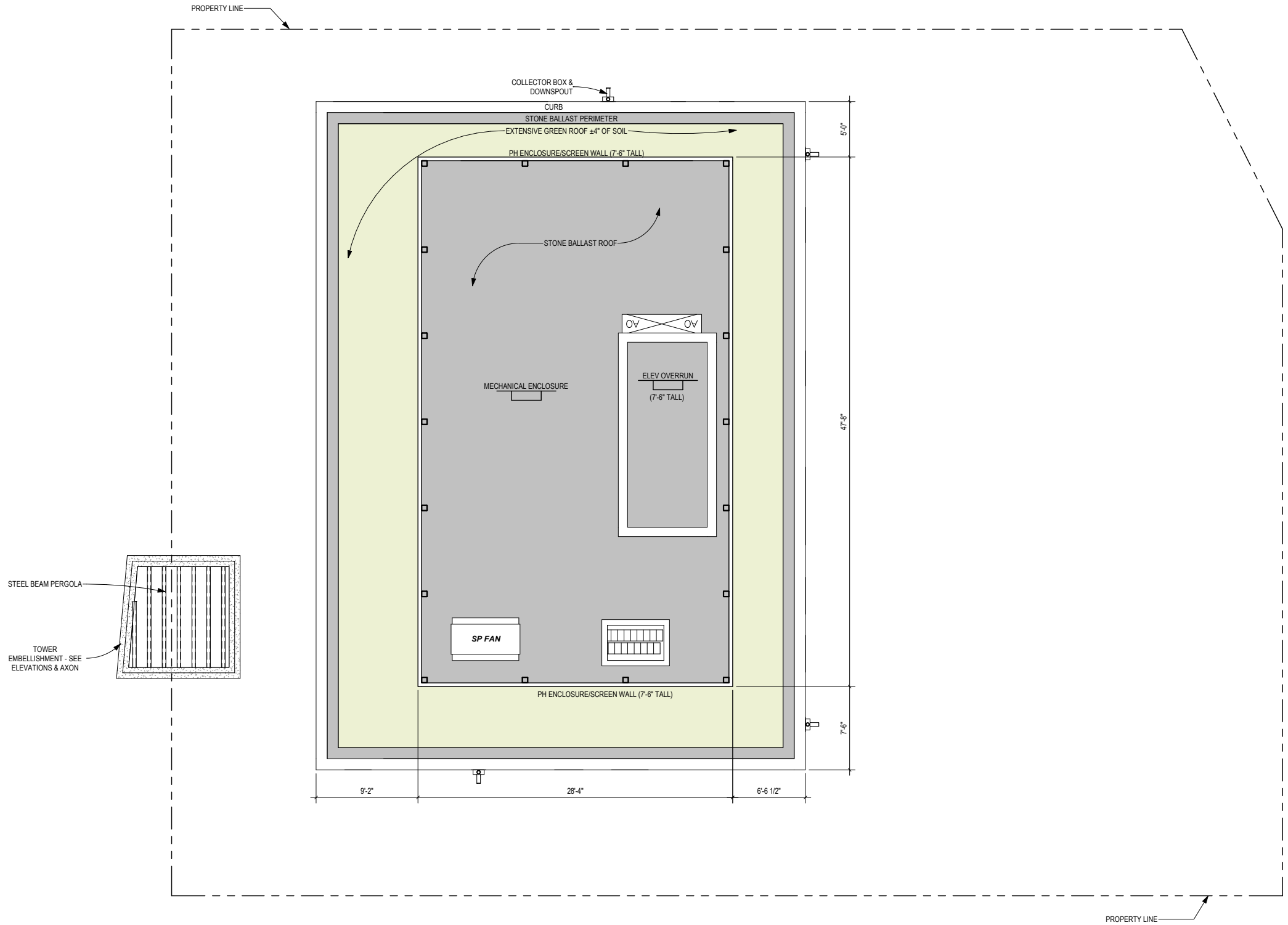
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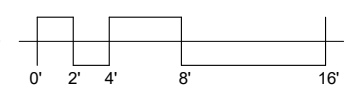
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PH FLOOR
PLAN
01-E



1 PH ROOF
01-F



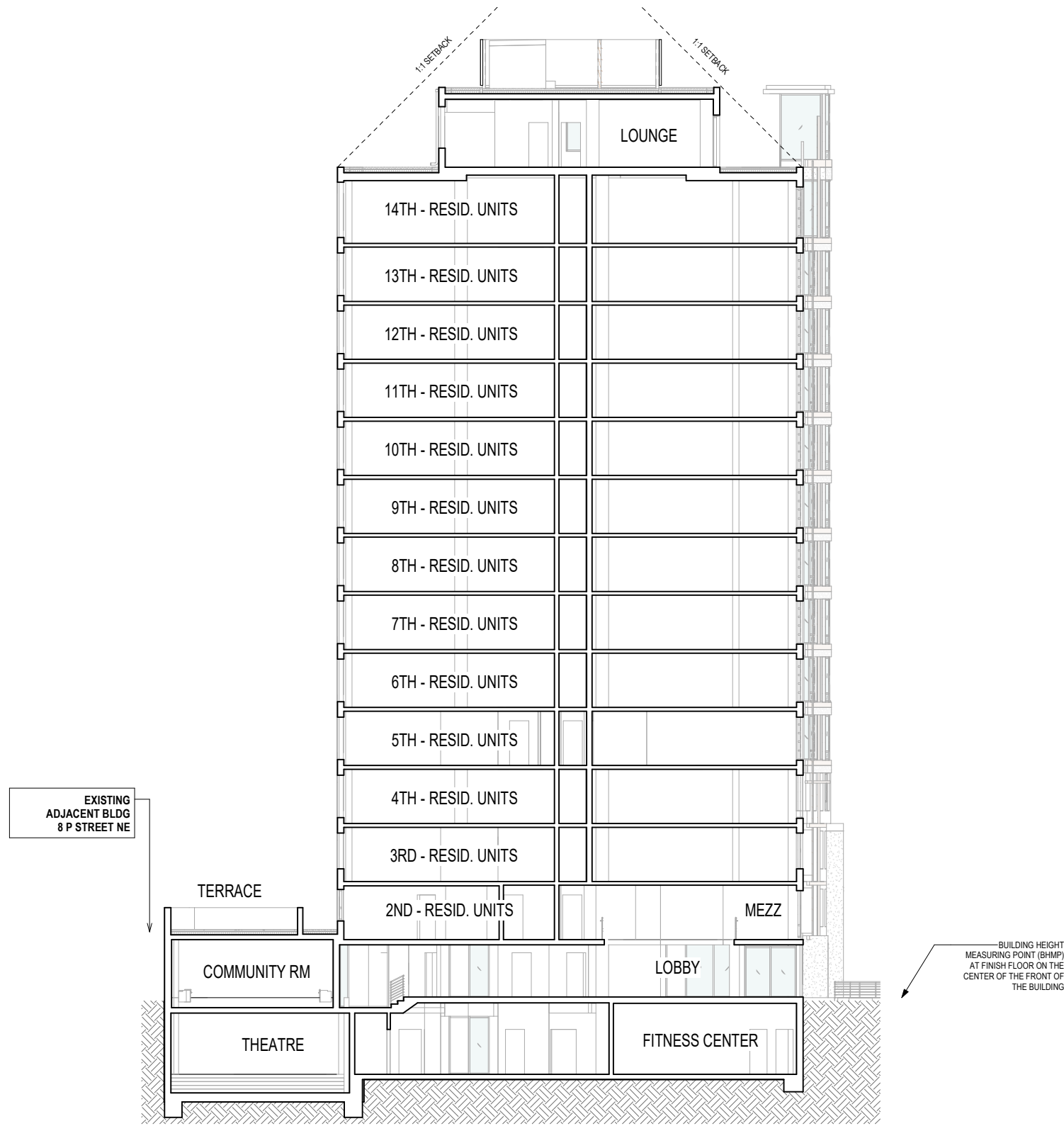
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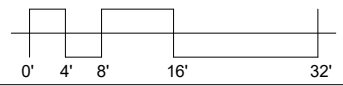
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ROOF PLAN
01-F



1
02-A E-W BUILDING SECTION



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EAST-WEST
SECTION
02-A

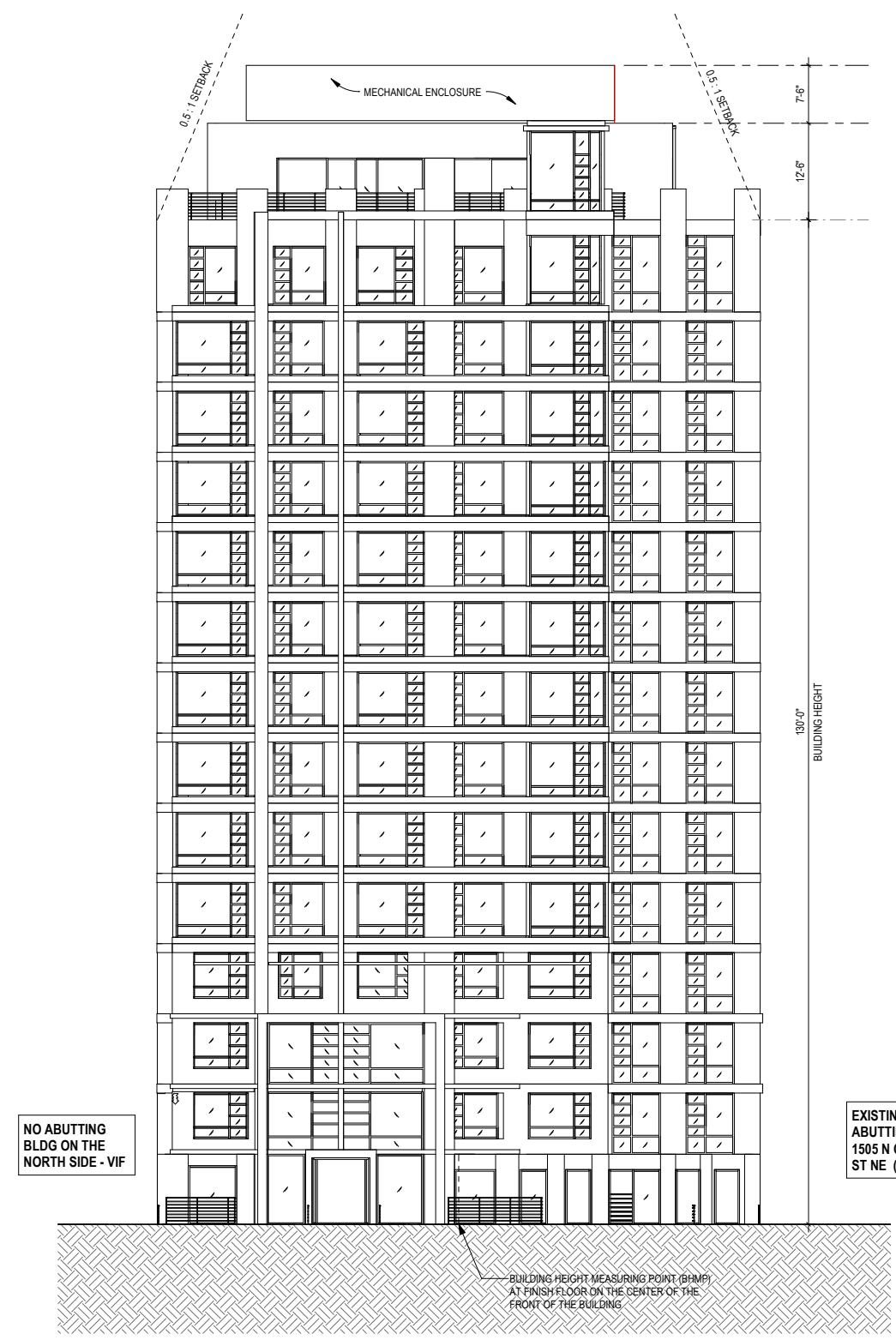
EAST AND WEST ELEVATIONS
02-B

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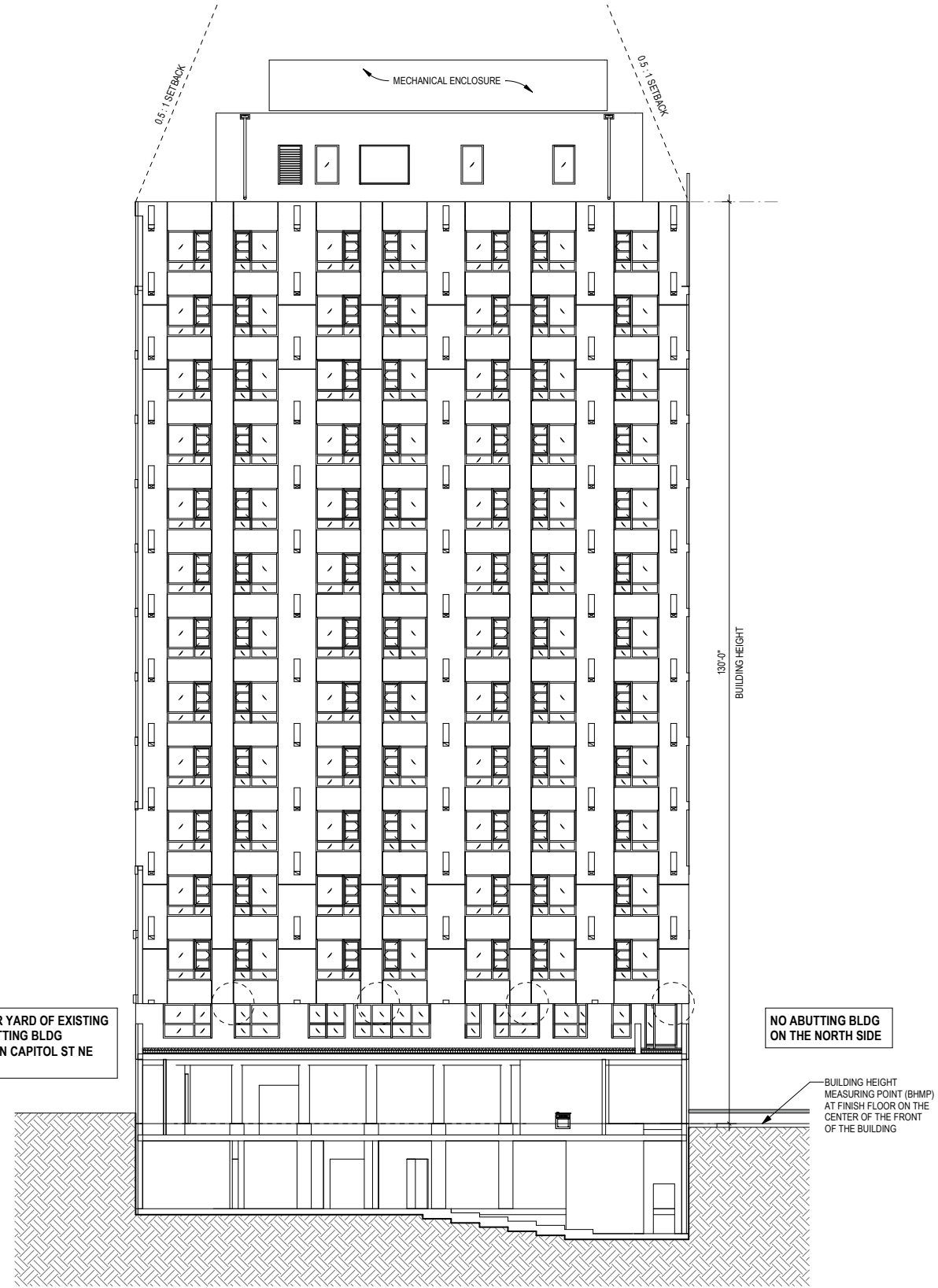
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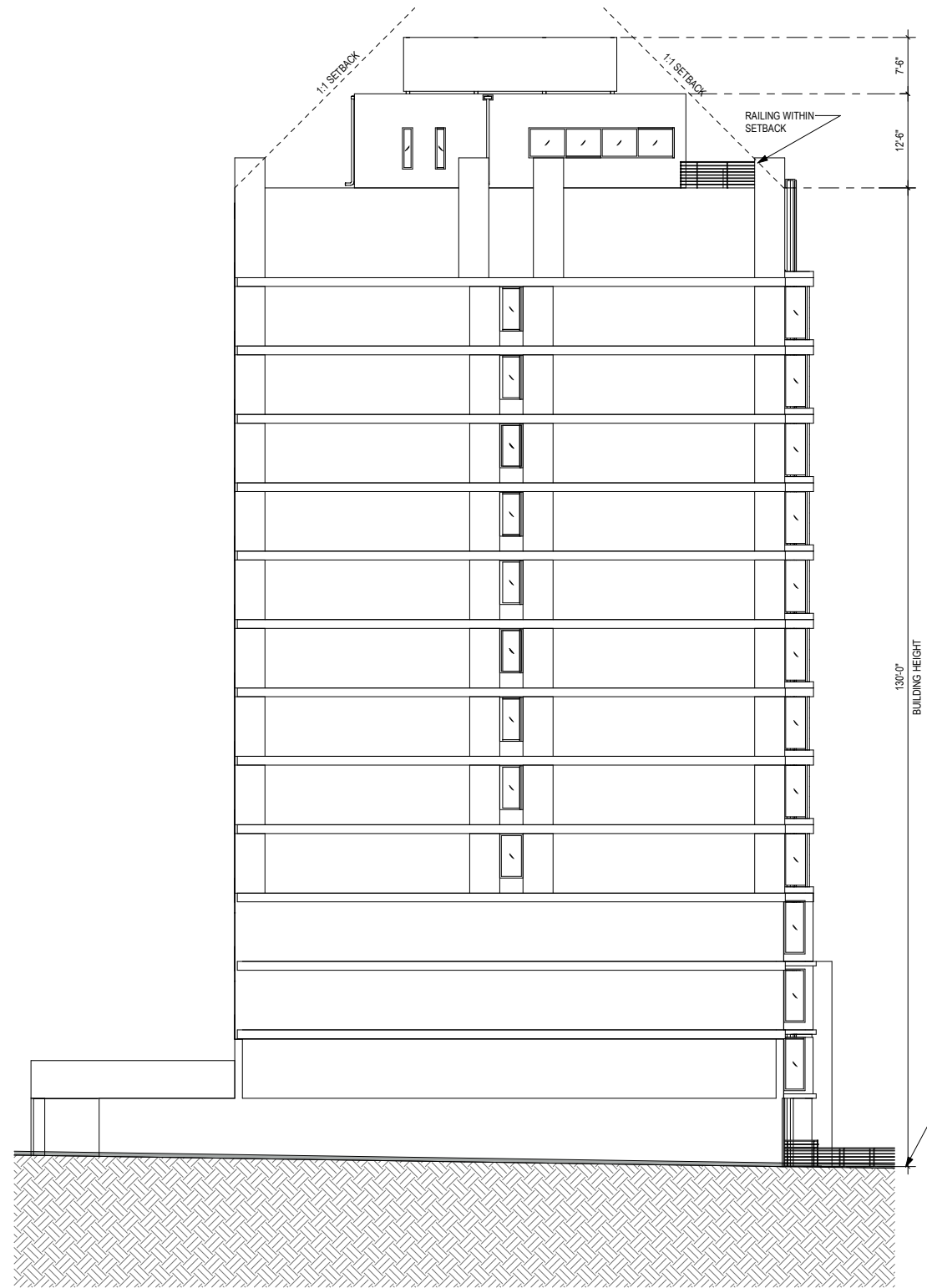
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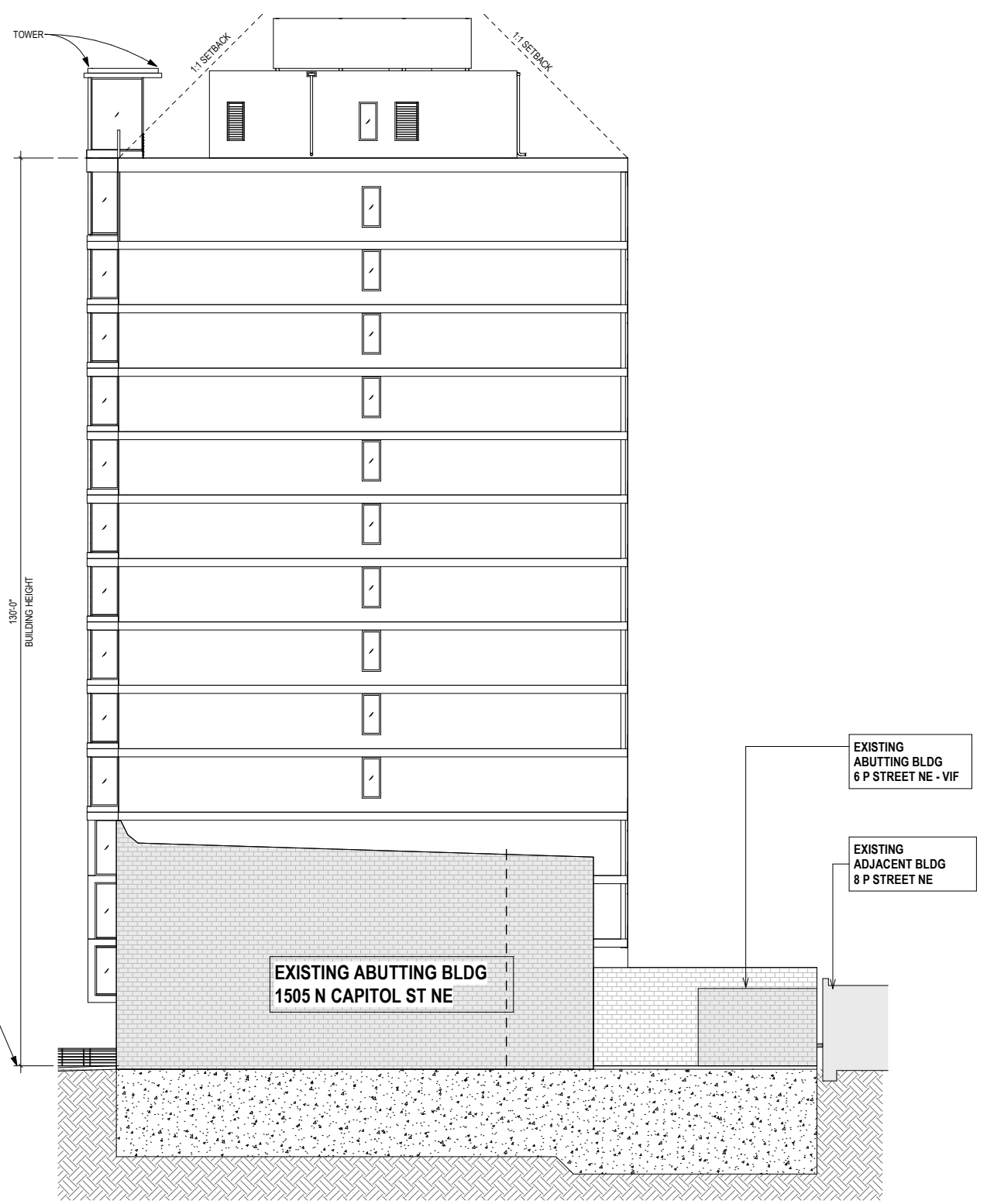
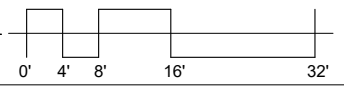
1 WEST ELEVATION
02-B
3/32" = 1'-0"



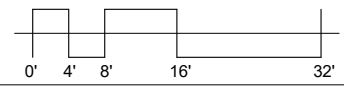
2 EAST ELEVATION
02-B
3/32" = 1'-0"



2 NORTH ELEVATION
02-C



1 SOUTH ELEVATION
02-C



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**NORTH AND
SOUTH
ELEVATIONS**
02-C