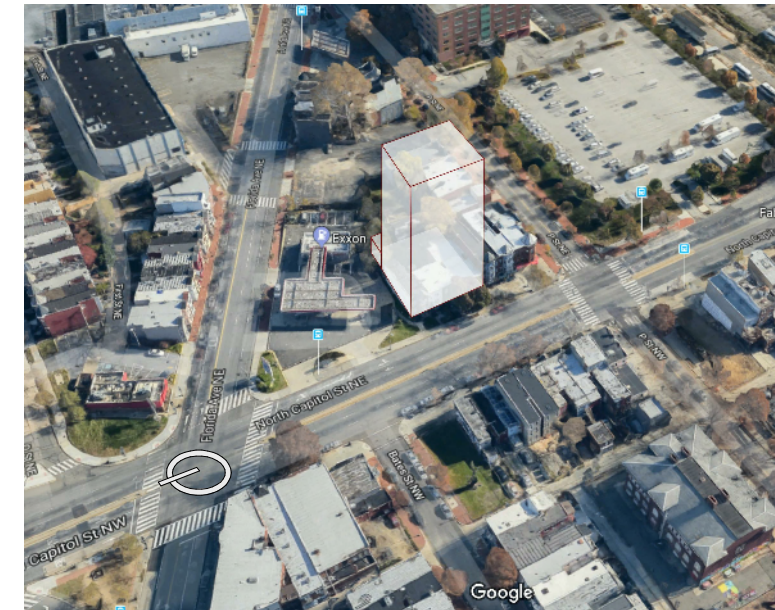




SCHEMATIC RENDERING



SCHEMATIC BUILDING MASS ADDED TO GOOGLE EARTH AERIAL

PROJECT AREAS BREAKDOWN

LEVEL	GFA / FAR (SF)	PROJECTIONS INTO PUBLIC SPACE (SF)	CONSTRUCTION (GSF)	MAIN PROGRAM ITEMS	COMMENTS
CELLAR	0	0	7722	CENTRAL UTILITY ROOMS; 48 BIKE PARKING SPACES; FITNESS RM; MOVIE THEATER, ETC	
1ST	7722	0	7722	LOBBY WITH WELCOME DESK; AMENITY AND SUPPORT SPACES; TRASH COMPACTOR RM.	ACCOMODATIONS FOR TRASH COLLECTION AND REMOVAL ARE SHOWN, BUT THERE IS NO LOADING BERTH, NOR SERVICE VEHICLE PARKING. THIS WILL REQUIRE RELIEF FROM A ZONING REQUIREMENT
2ND	5240	0	5240	7 APT UNITS (INCLUDING A RESIDENT MANAGER); MEZZANINE LOUNGE; COMMON REAR ROOF DECK	COMMON-USE LAUNDRY ROOM & TRASH CHUTE ROOM ON EACH RESIDENTIAL FLOOR.
3RD - 14TH (TYP)	5690	90	5780	11 APT UNITS PER FLOOR	
SUBTOTAL	81242	1080	90044		
PENTHOUSE	0	0	2650	LOUNGE; PRIVATE DINING WITH KITCHEN; COMMON ROOF DECK; MECHANICAL SPACES	IN PENTHOUSES, SF USED FOR COMMUNAL RECREATION SPACE AND MECHANICAL SPACE DO NOT COUNT AGAINST FAR, SO THE GFA/FAR AT THE PH LEVEL IS ZERO.
PH ROOF	0	0	0	MECHANICAL ENCLOSURE	
TOTAL	81242	1080	92694		

FAR: 10.52 (TOTAL GFA: 81242 SF / LOT AREA: 7722 SF)

*PLANS DEPICTED HEREIN ARE SUBJECT TO ALTERATION BASED ON FINAL BUILDING PLAN AND PROGRAMMING, PROVIDED, HOWEVER, THAT NO CHANGES SHALL IMPACT THE RELIEF REQUESTED FROM THE BOARD AND ALL CHANGES SHALL CONTINUE TO BE COMPLIANT WITH THE ZONING REGULATIONS.



COVER SHEET
00-A

09/25/2018
Board of Zoning Adjustment Set

1515 North Capitol St NE
Washington DC, 20002

OWNER:
SOME, INC.
71 O Street NW

ARCHITECT:
ERIC COLBERT & ASSOCIATES, P.C.
717 5TH STREET, NW WASHINGTON, DC 20001

Board of Zoning Adjustment
District of Columbia
CASE NO. 19843
EXHIBIT NO. 15

VIEW FROM NORTH CAPITOL ST



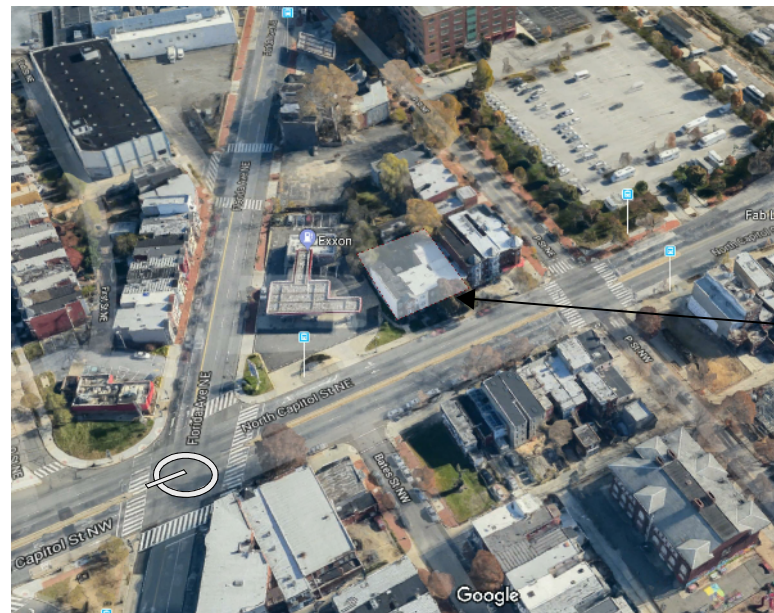
SITE:
EXISTING BUILDINGS TO BE DEMOLISHED

ADJACENT BUILDINGS: NOT PART OF PROJECT

FLORIDA AVENUE NE

P STREET NE

AERIAL VIEW



PROJECT SITE CONSISTS OF LOTS 41, 67, 809, & 810. SQUARE 668 HAS NO ALLEYS, AND THE SITE HAS FRONTAGE ONLY ON NORTH CAPITOL STREET.



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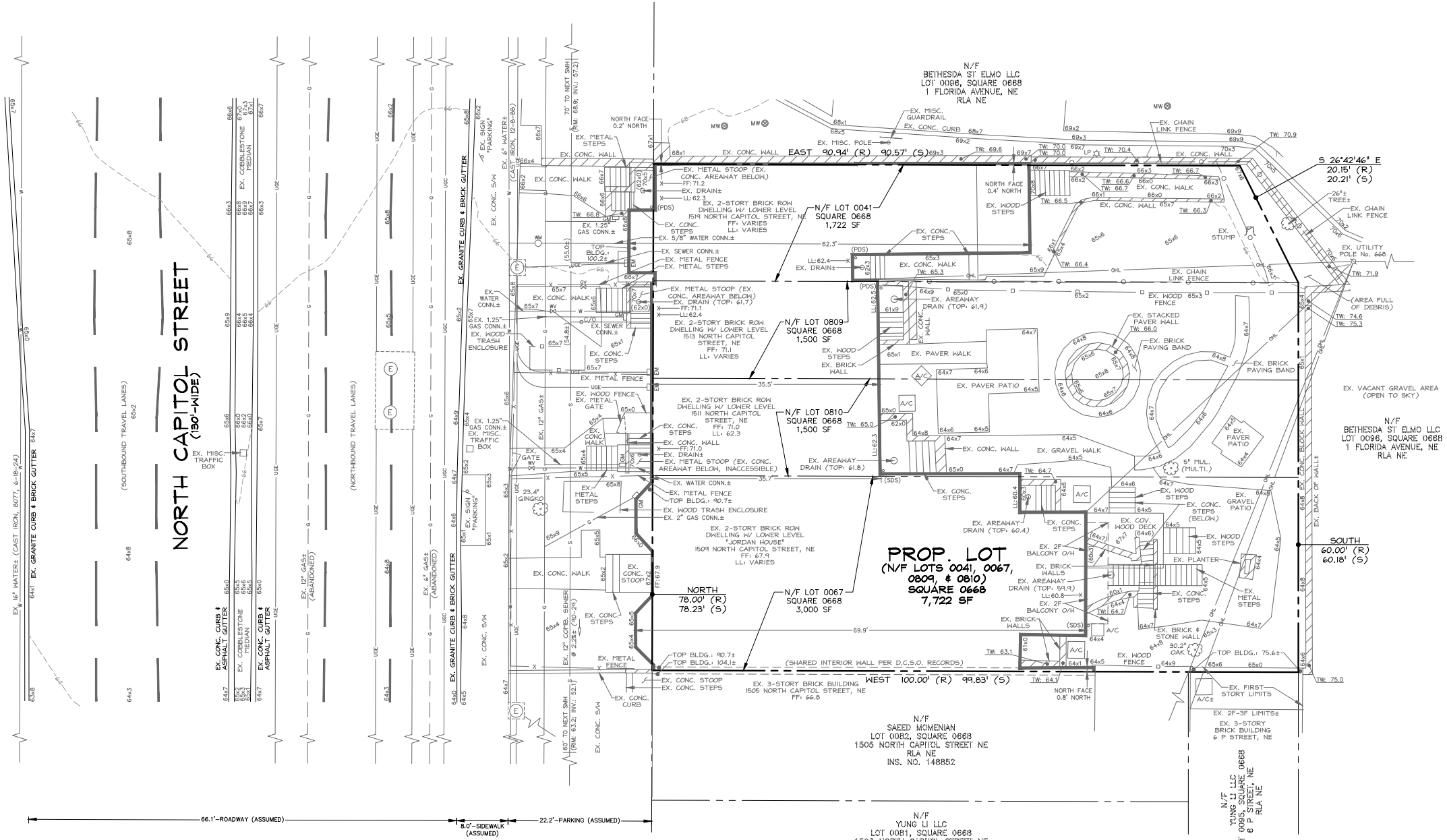
ARCHITECT:
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OWNER:
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71 O Street NW

09/25/2018

Board of
Zoning
Adjustment Set

THE SITE
00-B



1515 North Capitol St NE
Washington DC, 20002

09/25/2018

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71 O Street NW

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THE SITE
00-C

EXISTING CONDITIONS - DRAWING BY CIVIL ENGINEER

CURB AT NEXT INTERSECTION AT FLORIDA AVENUE, NE 2+47.4

PROPERTY LINE 0+78.0

EX. 1.25" GAS CONN. 0+69.3

EX. 5/8" WATER CONN. 0+66.0

EX. SEWER CONN. 0+62.9

EX. EMH 0+62.2

EX. WATER CONN. 0+55.5

EX. 1.25" GAS CONN. 0+54.6

EX. SEWER CONN. 0+53.8

EX. EMH 0+46.5

EX. EMH 0+39.8

EX. WATER CONN. 0+31.2

PROP. 8" COMB. SEWER CONN. 0+24.5

PROP. 4" DOM. WATER CONN. 0+19.5

PROP. 8" FIRE WATER CONN. 0+02.3

PROPERTY LINE 0+00.0

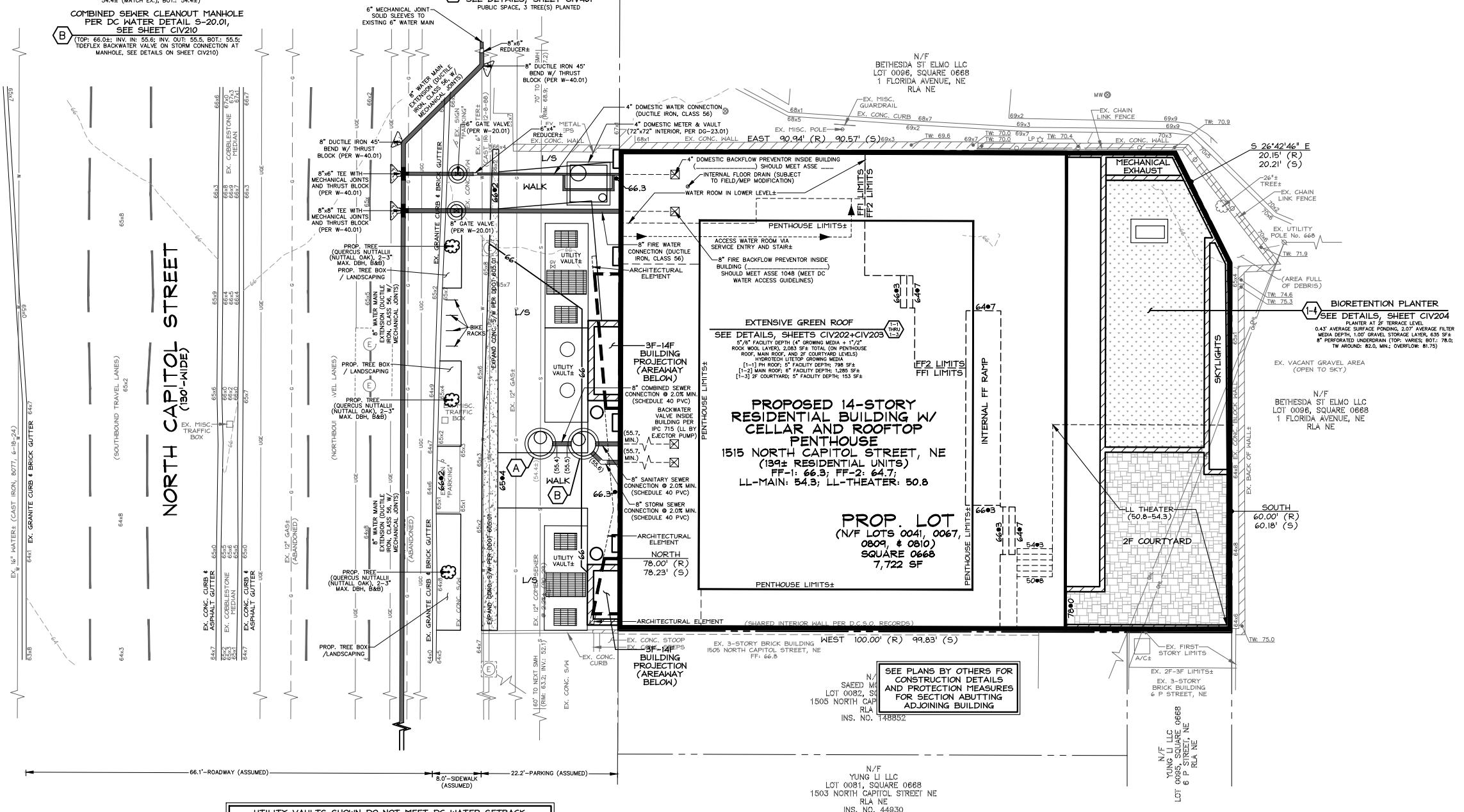
CURB AT NEXT INTERSECTION AT P STREET, NE 0-60.0

- C-196.3 EX. CURB & GUTTER
- C-196.3 EX. CURB & GUTTER
- D-61.1 EX. CURB & GUTTER
- D-58.2 EX. UNDERGROUND ELEC. 4
- D-51.2 EX. 12" GAS (ABAND.) 4
- D-42.2 EX. UNDERGROUND ELEC. 4
- D-37.1 EX. UNDERGROUND ELEC. 4
- D-35.11 PROP. 8" WATER MAIN
- D-34.3 EX. 6" GAS (REMAND.) 4
- D-32.2 EX. CURB & GUTTER
- D-27.2 PROP. GATE VALVES
- D-22.3 EX. 8" WATER
- D-21.0 EX. UNDERGROUND ELEC. 4
- D-16.7 EX. 12" GAS
- D-12.7 EX. 12" COMB. SEWER 4
- D-18.5 WATER METER VAULT
- D-16.7 PROP. CLEANOUT MANHOLE
- D-10.5 WATER METER VAULT
- D-10.0 PROPERTY LINE

A COMBINED SEWER CONNECTION MANHOLE PER DC WATER DETAIL 9-20.11, SEE SHEET CIV210
(TOP: 66.72; INV. IN: 55.4; INV. OUT: 54.42 (MATCH EX); BOT: 54.42)

B COMBINED SEWER CLEANOUT MANHOLE PER DC WATER DETAIL 5-20.01, SEE SHEET CIV210
(TOP: 66.01; INV. IN: 55.6; INV. OUT: 55.5; TIDEFLEX BACKWATER VALVE ON STORM CONNECTION AT MANHOLE, SEE DETAILS ON SHEET CIV210)

2-1 TREE PLANTING SEE DETAILS, SHEET CIV401
PUBLIC SPACE, 3 TREE(S) PLANTED



PROPOSED 14-STORY RESIDENTIAL BUILDING W/ CELLAR AND ROOFTOP PENTHOUSE
1515 NORTH CAPITOL STREET, NE
(139± RESIDENTIAL UNITS)
FF-1: 66.3; FF-2: 64.7;
LL-MAIN: 54.3; LL-THEATER: 50.8

PROP. LOT
(N/F LOTS 0041, 0067, 0809, & 0810)
SQUARE 0668
7,722 SF

EXTENSIVE GREEN ROOF
SEE DETAILS, SHEETS CIV202+CIV203
5' FACILITY DEPTH (4" GROWING MEDIA + 1"2" ROCK WOOL LAYER), 2,083 SFA TOTAL (ON PENTHOUSE ROOF, MAIN ROOF, AND 4 COURTYARD LEVELS)
[1-1] 1st FLOOR: 5' FACILITY DEPTH 788 SF
[1-2] MAIN ROOF: 5' FACILITY DEPTH: 1,285 SF
[1-3] 2nd COURTYARD: 5' FACILITY DEPTH: 153 SF

SEE PLANS BY OTHERS FOR CONSTRUCTION DETAILS AND PROTECTION MEASURES FOR SECTION ADJUTTING ADJOINING BUILDING

UTILITY VAULTS SHOWN DO NOT MEET DC WATER SETBACK REQUIREMENTS FROM THE EXISTING SEWER MAIN. FINAL VAULT LAYOUT AND CONFIGURATION PENDING COORDINATION AND FUTURE CHANGES TO AREAWAYS, BUILDING FACADE, PROJECTIONS, ETC.

PROPOSED DESIGN - DRAWING BY CIVIL ENGINEER

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Washington DC, 20002

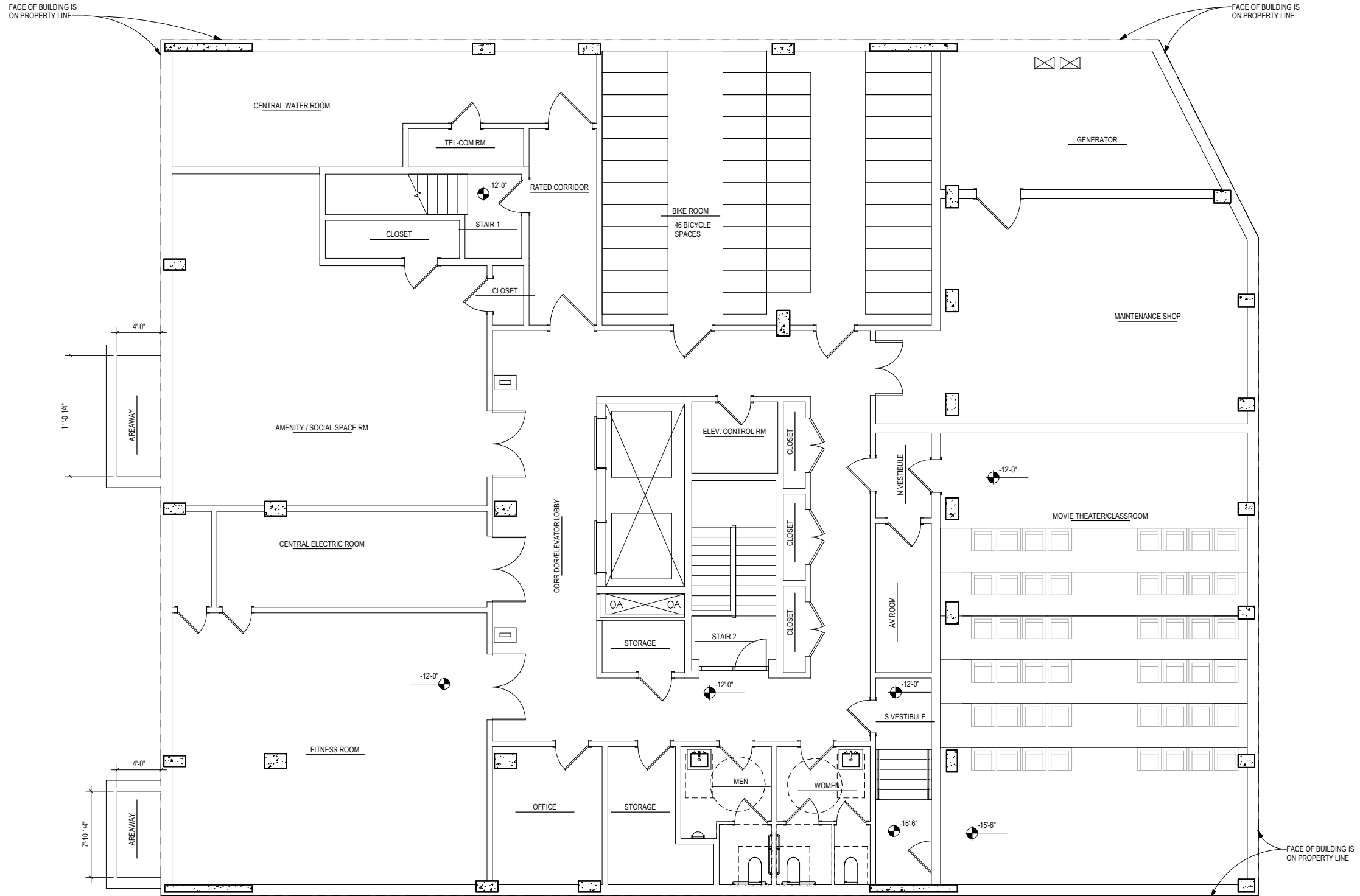
09/25/2018

Board of
Zoning
Adjustment Set

OWNER:
SOME, INC.
71 O Street NW

ARCHITECT:
ERIC COLBERT & ASSOCIATES, P.C.
717 5TH STREET, NW WASHINGTON, DC 20001

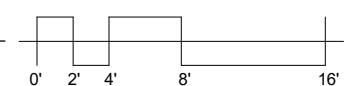
THE SITE
00-D



1
01-A

CELLAR

NOTE: Items shown in Public Space are subject to public space permitting process and therefore possible changes from the configurations shown on this set of plans.



1515 North Capitol St NE
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09/25/2018

Board of
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CELLAR
01-A

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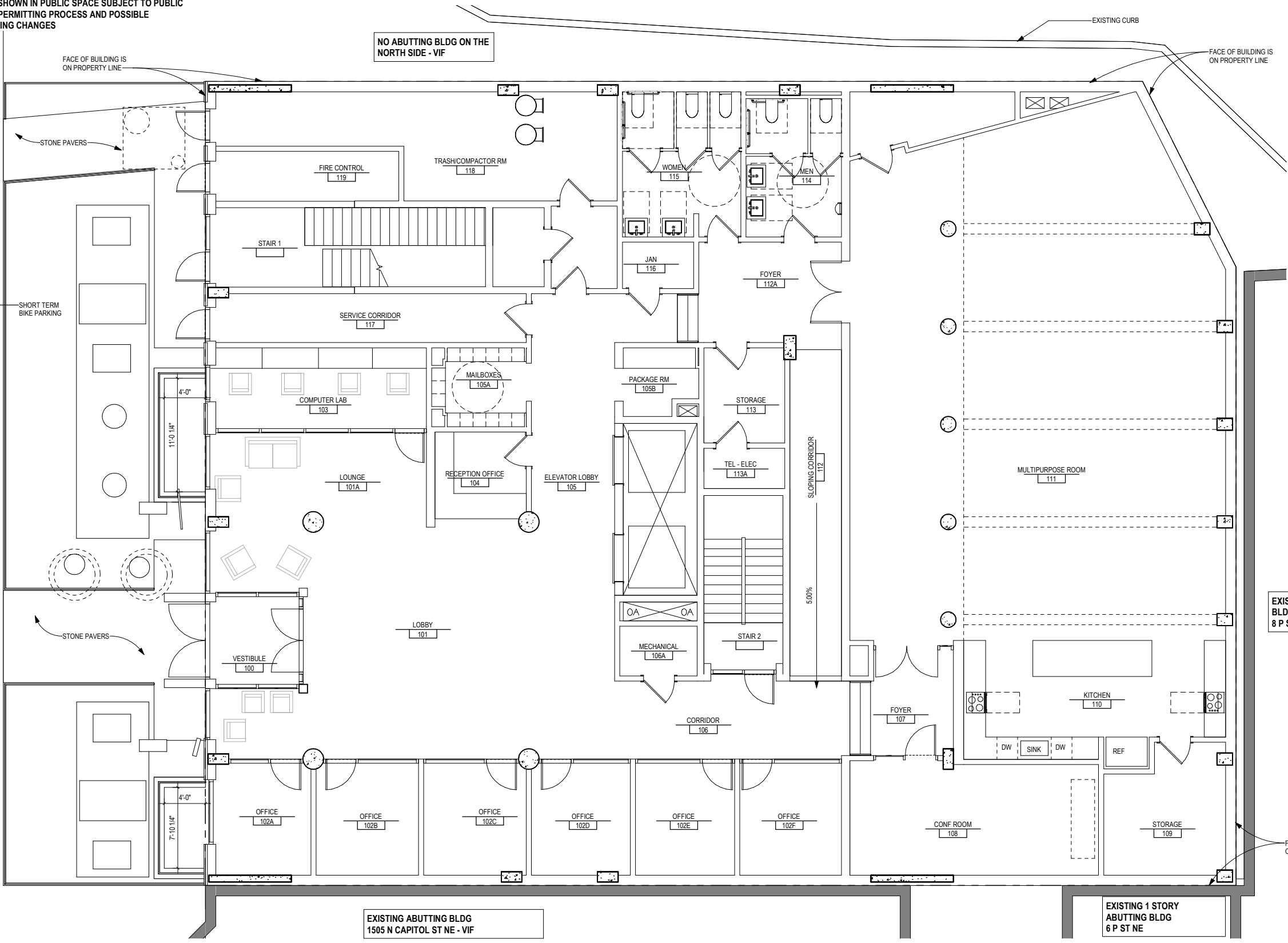
ARCHITECT:
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717 5TH STREET, NW WASHINGTON, DC 20001

*ITEMS SHOWN IN PUBLIC SPACE SUBJECT TO PUBLIC SPACE PERMITTING PROCESS AND POSSIBLE RESULTING CHANGES

NO ABUTTING BLDG ON THE NORTH SIDE - VIF

FACE OF BUILDING IS ON PROPERTY LINE

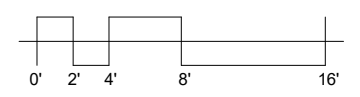
FACE OF BUILDING IS ON PROPERTY LINE



NORTH CAPITOL ST

1 01-B FIRST FLOOR / SITE PLAN - BZA

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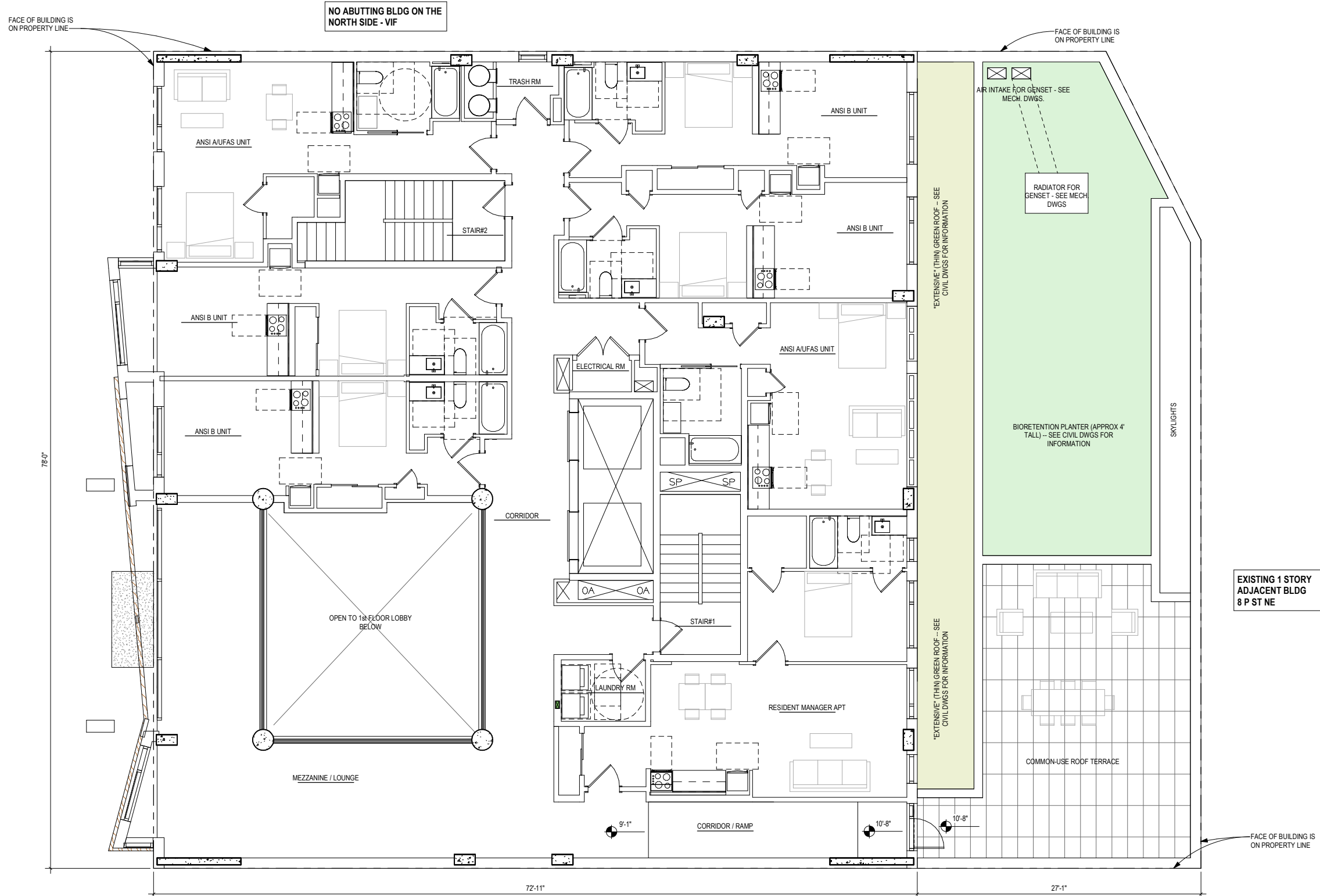
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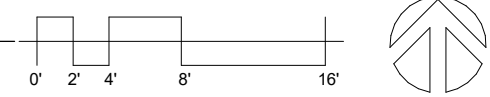
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Board of
Zoning
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FIRST FLOOR
/ SITE PLAN
01-B



1
01-C
2ND FLOOR

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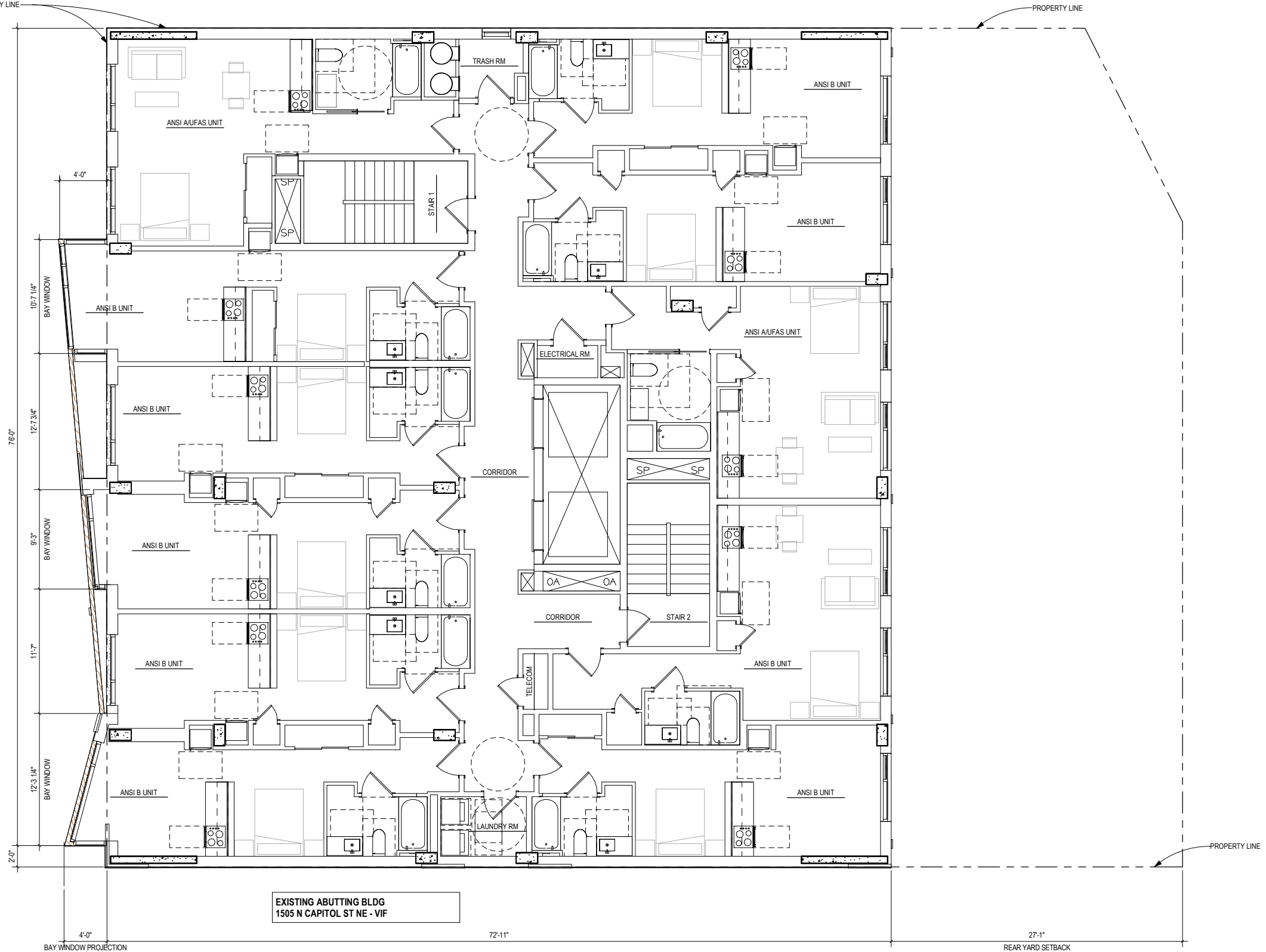
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Adjustment Set

2ND FLOOR
PLAN
01-C

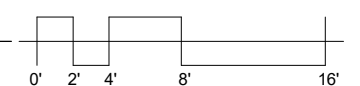
FACE OF BUILDING IS ON PROPERTY LINE



1
01-D

3RD-14TH TYP FLOOR

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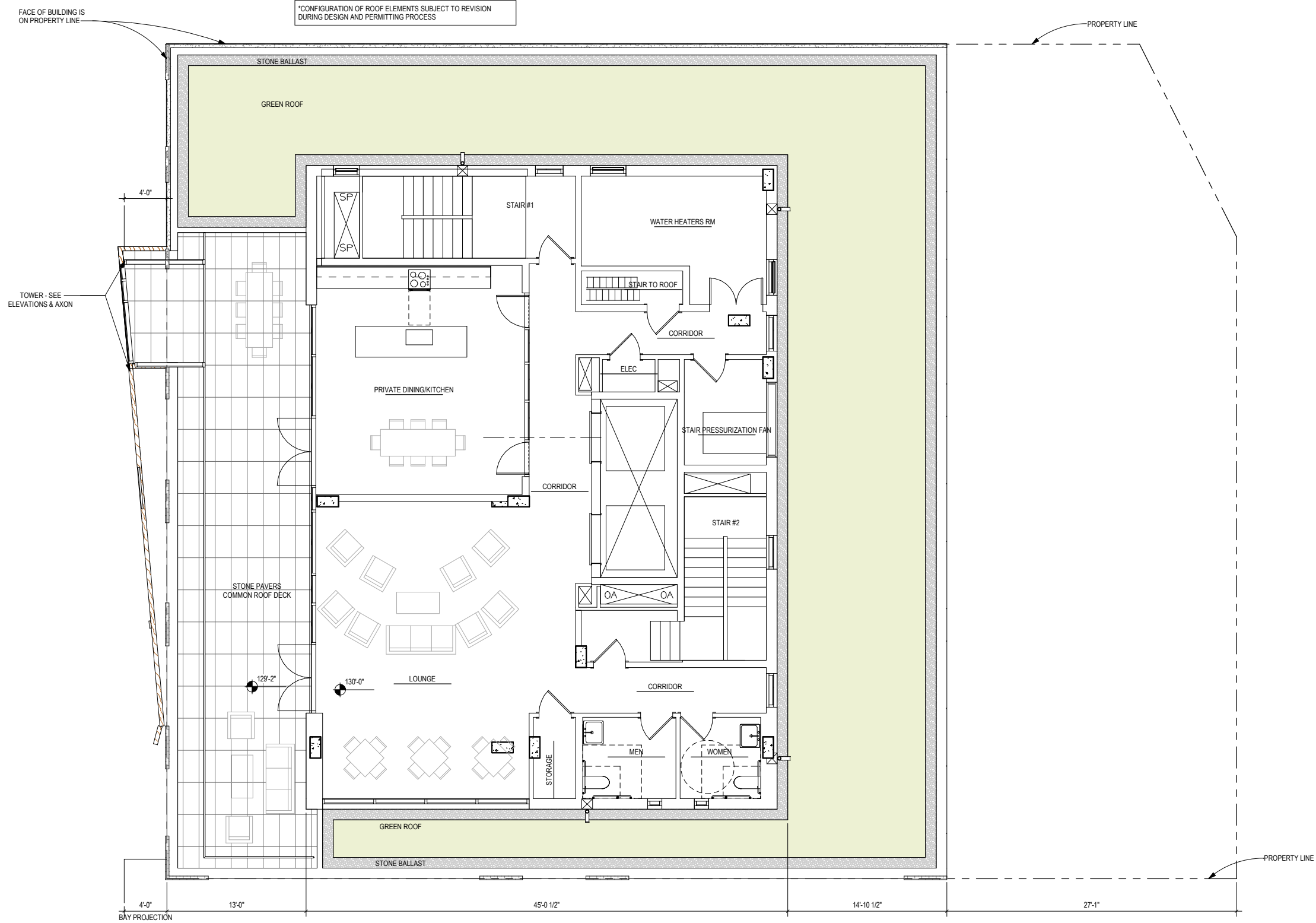
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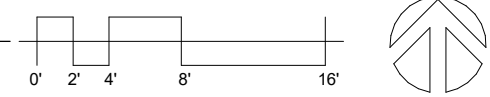
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Board of
Zoning
Adjustment Set

TYP 3RD-14TH
PLAN
01-D



1
01-E PH FLOOR

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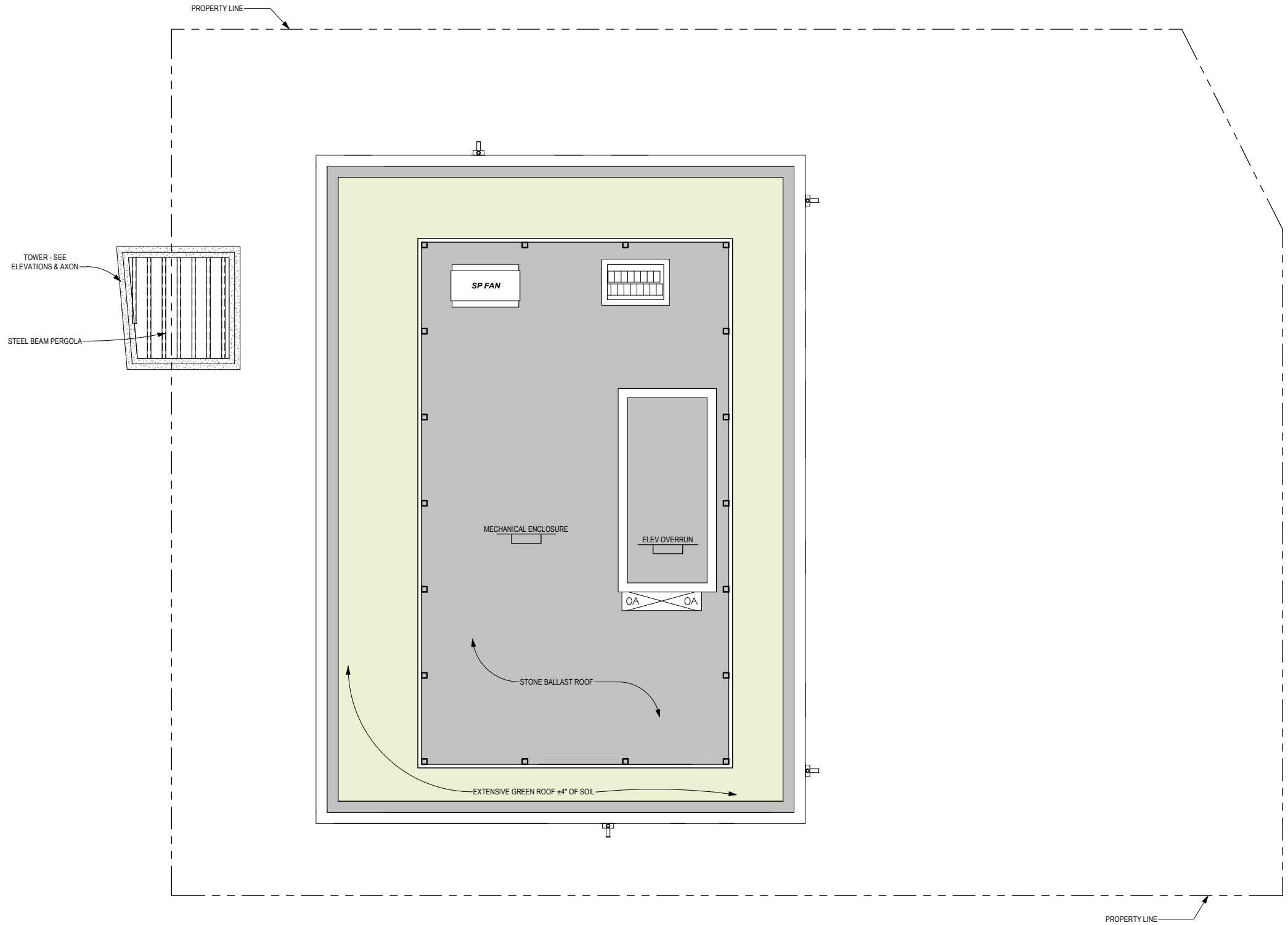
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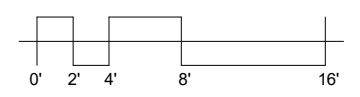
09/25/2018
Board of
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PH FLOOR
PLAN
01-E



1
01-F PH ROOF

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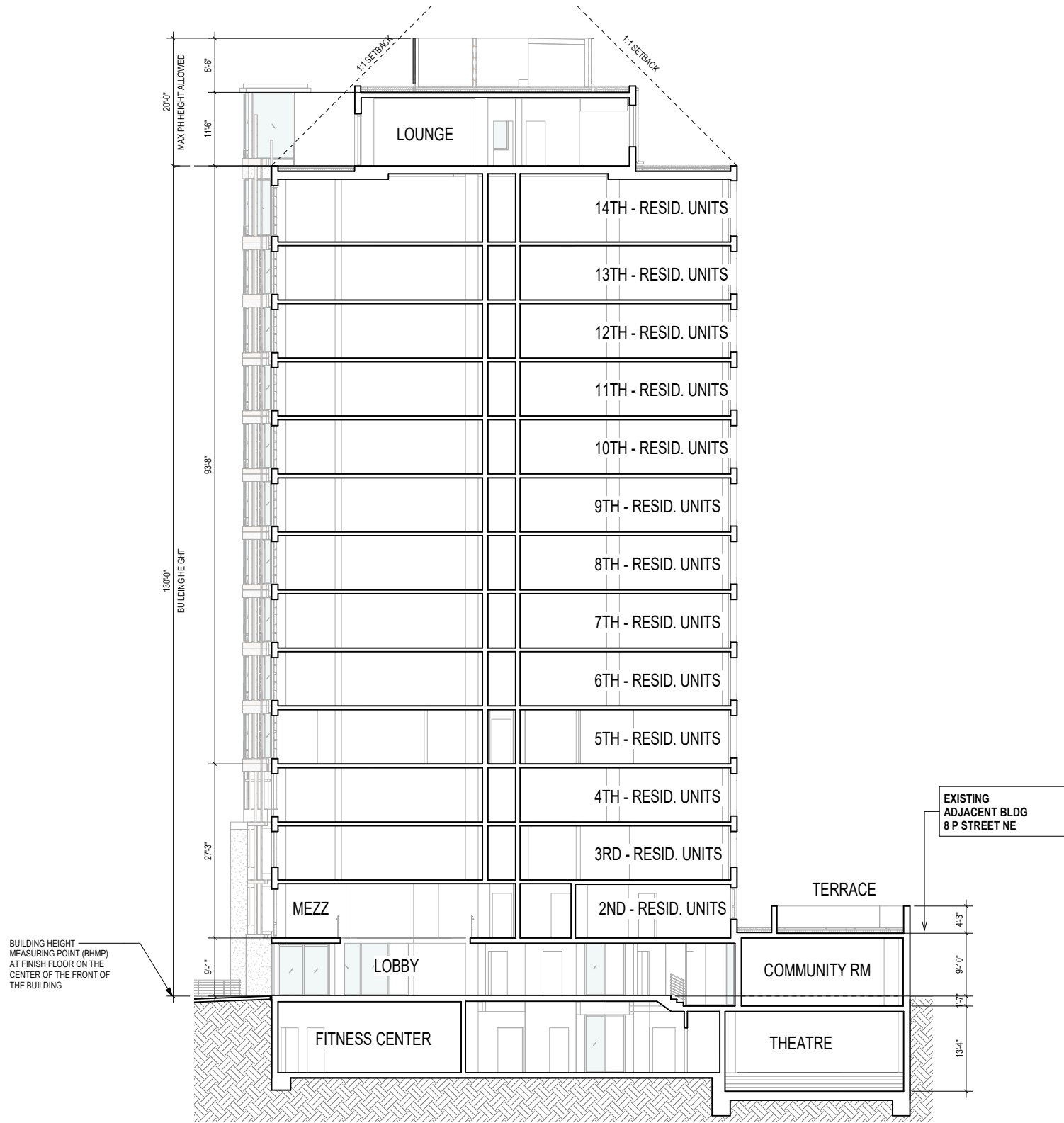
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09/25/2018
Board of
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OWNER:
SOME, INC.
71 O Street NW

ROOF PLAN
01-F



1
02-A E-W BUILDING SECTION

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Washington DC, 20002

ARCHITECT:
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71 O Street NW

09/25/2018
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Zoning
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EAST-WEST
SECTION
02-A

EAST AND WEST ELEVATIONS
02-B

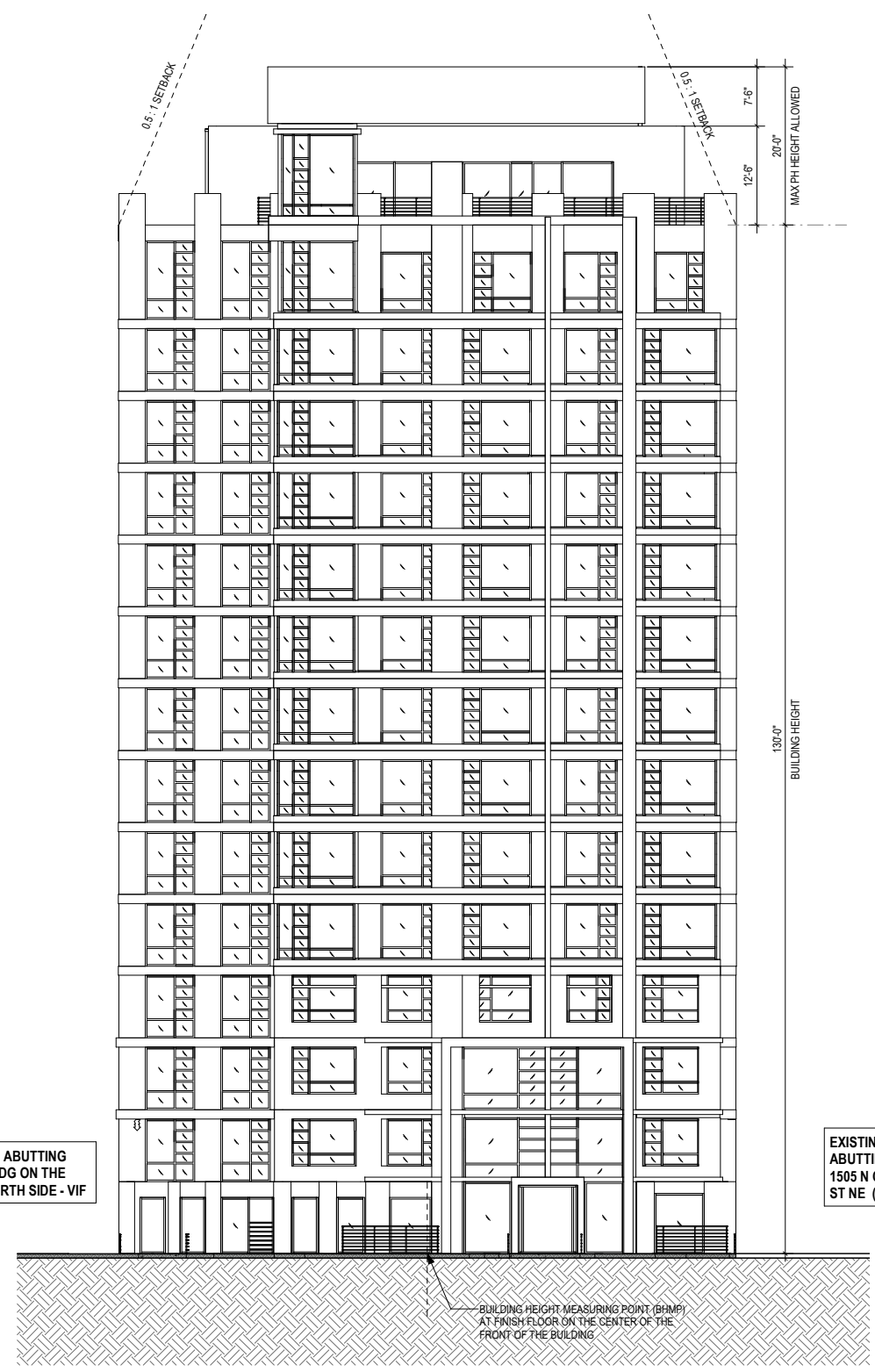
09/25/2018

Board of Zoning Adjustment Set

1515 North Capitol St NE
Washington DC, 20002

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71 O Street NW

ARCHITECT:
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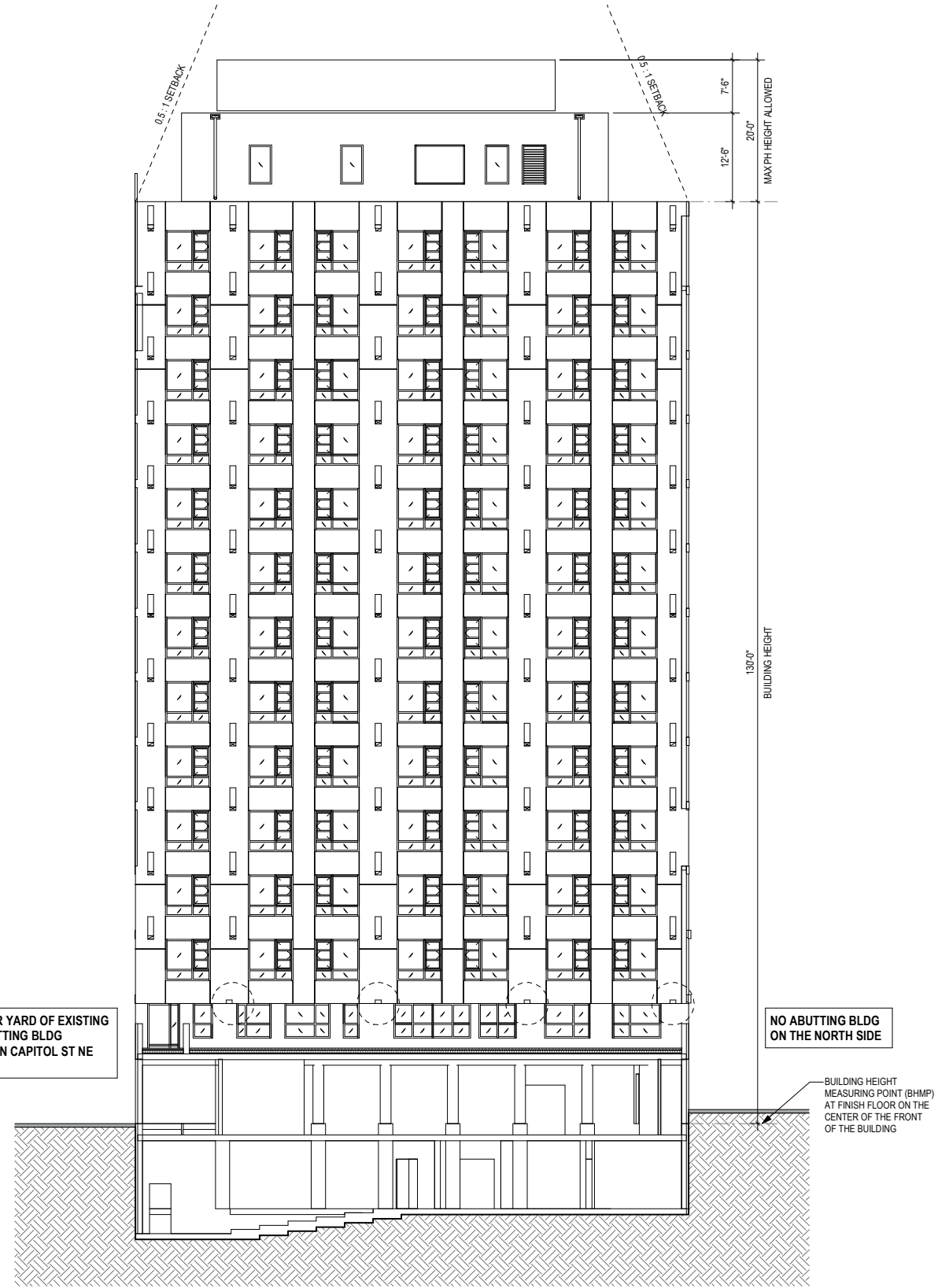
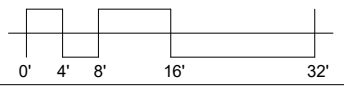


NO ABUTTING BLDG ON THE NORTH SIDE - VIF

EXISTING ABUTTING BLDG 1505 N CAPITOL ST NE (VIF)

BUILDING HEIGHT MEASURING POINT (BHMP) AT FINISH FLOOR ON THE CENTER OF THE FRONT OF THE BUILDING

1 WEST ELEVATION
3/32" = 1'-0"

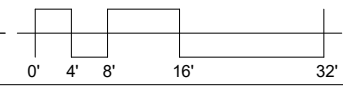


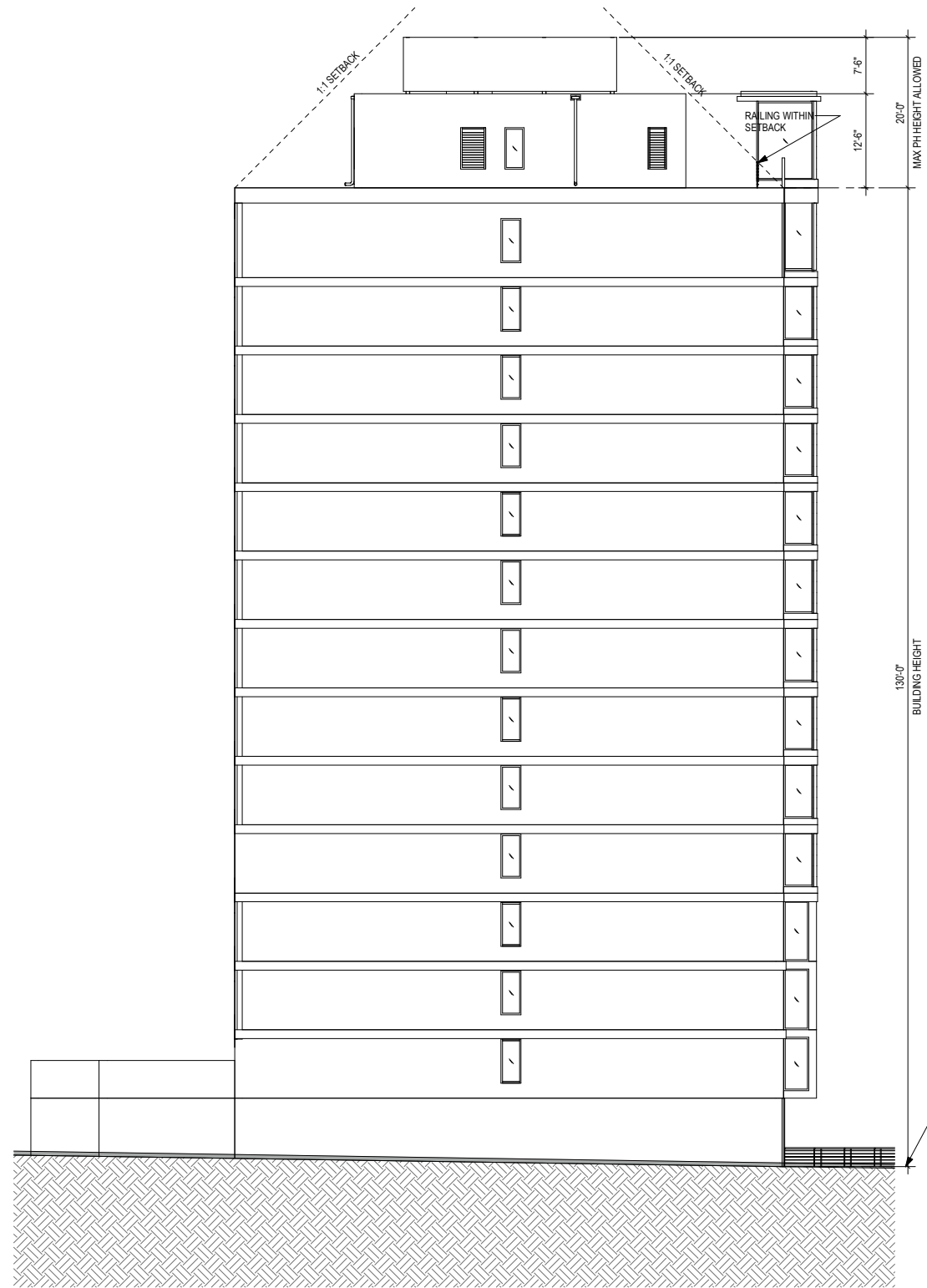
REAR YARD OF EXISTING ABUTTING BLDG 1505 N CAPITOL ST NE (VIF)

NO ABUTTING BLDG ON THE NORTH SIDE

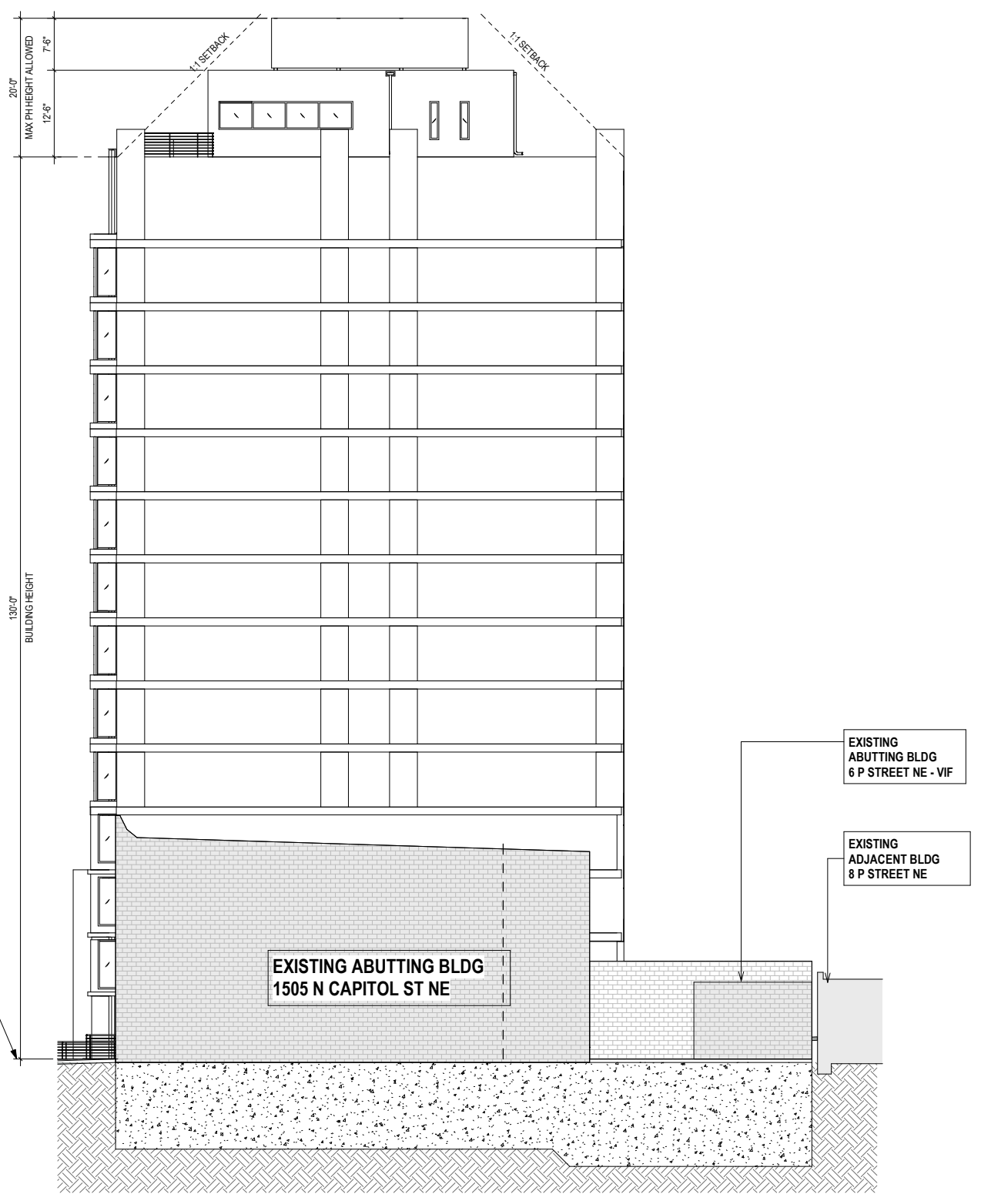
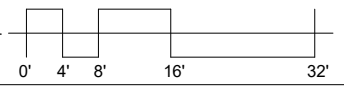
BUILDING HEIGHT MEASURING POINT (BHMP) AT FINISH FLOOR ON THE CENTER OF THE FRONT OF THE BUILDING

2 EAST ELEVATION
3/32" = 1'-0"

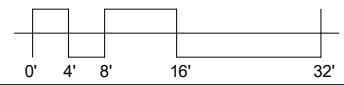




2 NORTH ELEVATION
02-C



1 SOUTH ELEVATION
02-C



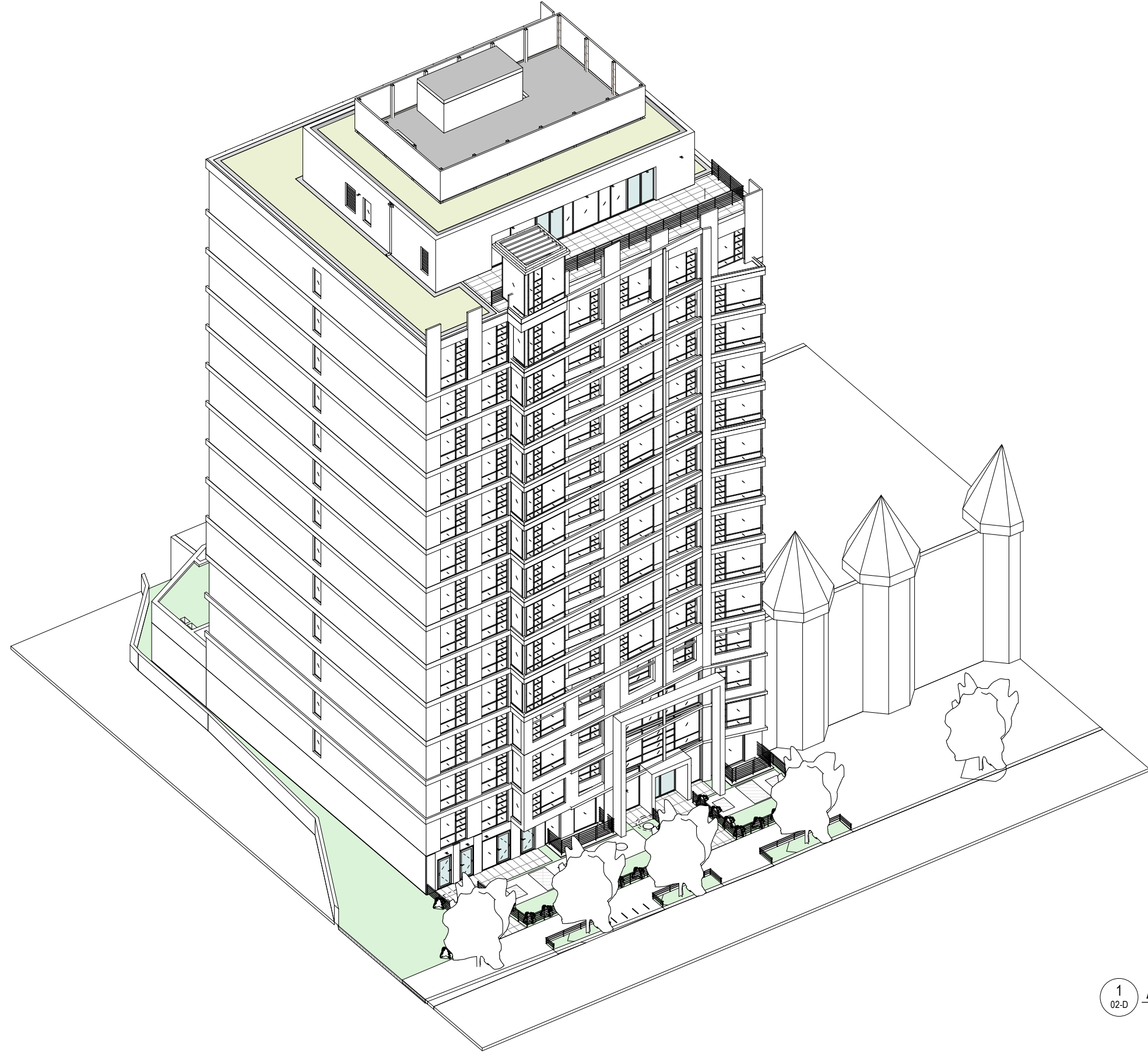
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SOME, INC.
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09/25/2018
Board of
Zoning
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NORTH AND
SOUTH
ELEVATIONS
02-C



1
02-D AXO - NW

1515 North Capitol St NE
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09/25/2018

Board of
Zoning
Adjustment Set

AXO -
NORTHWEST
02-D