

# EXHIBIT B



# 11TH & PARK RD. NW



Sheet No.	Sheet Name
A-00	COVER SHEET
A-01	VICINITY PLAN
A-02	COMPREHENSIVE PLAN
A-03	ZONING BOUNDARY MAP
A-04	VEHICULAR CIRCULATION
A-05	AERIAL VIEW
A-06	PERSPECTIVE AERIAL VIEWS
A-07	PERSPECTIVE AERIAL VIEWS
A-08	CELLAR FLOOR PLAN
A-09	FIRST FLOOR PLAN
A-10	SECOND - THIRD FLOOR PLAN
A-11	FOURTH FLOOR PLAN
A-12	PENTHOUSE FLOOR PLAN
A-13	PERSPECTIVE - AERIAL VIEW
A-14	NORTH ELEVATION
A-15	WEST ELEVATION
A-16	SOUTH ELEVATION
A-17	EAST ELEVATION
A-18	NORTH RENDERED ELEVATION
A-19	WEST RENDERED ELEVATION
A-20	BUILDING SECTION
A-21	STREETSCAPE EXPERIENCE
A-22	ZONING SPECIFICATIONS

## 11th STREET & PARK RD.

11th and Park Road NW  
 Washington DC 20010  
 Square: 2841 Lot No: 95,96,98 & 99 Zone: MU-4

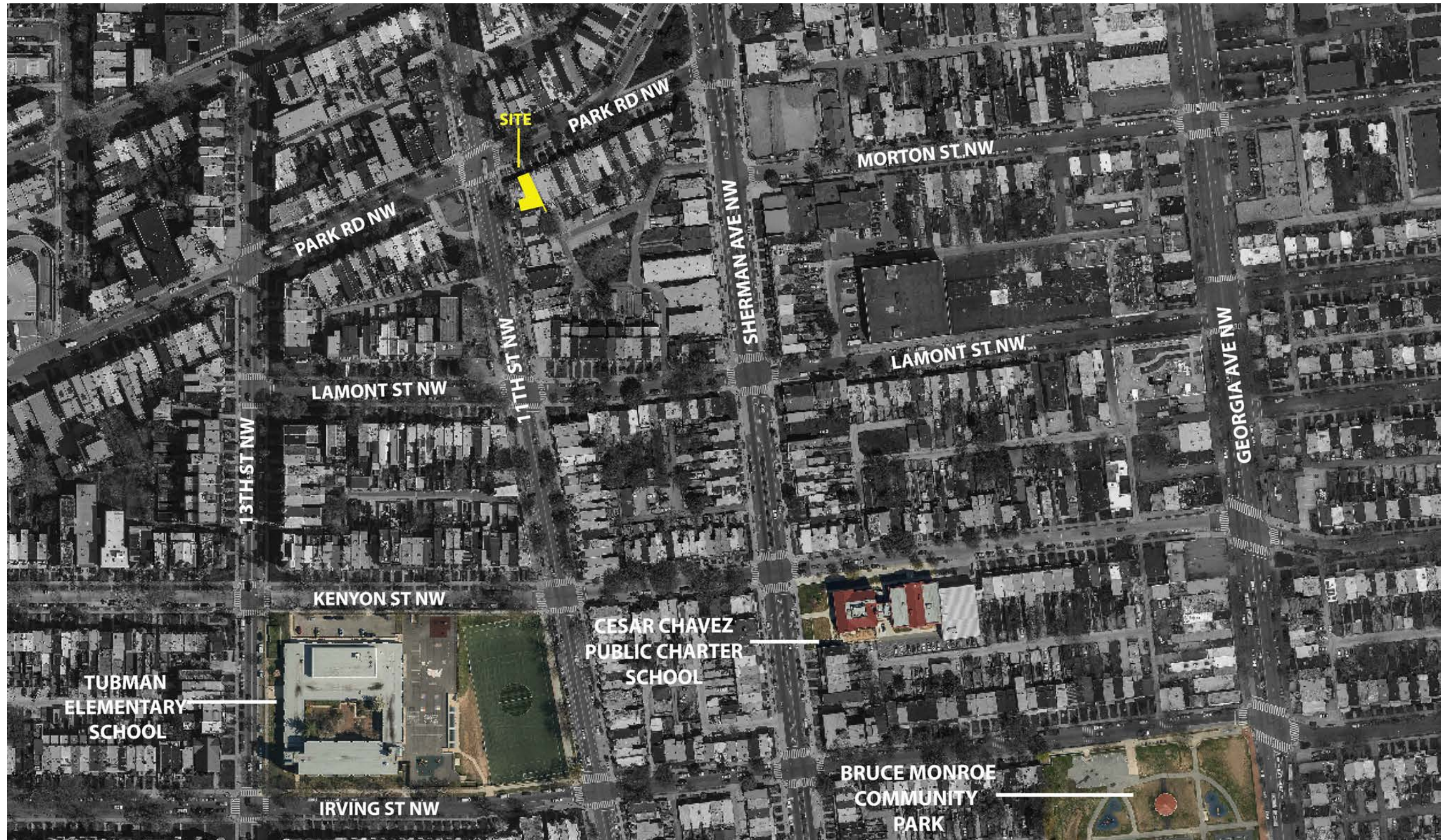


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## COVER SHEET | A-00

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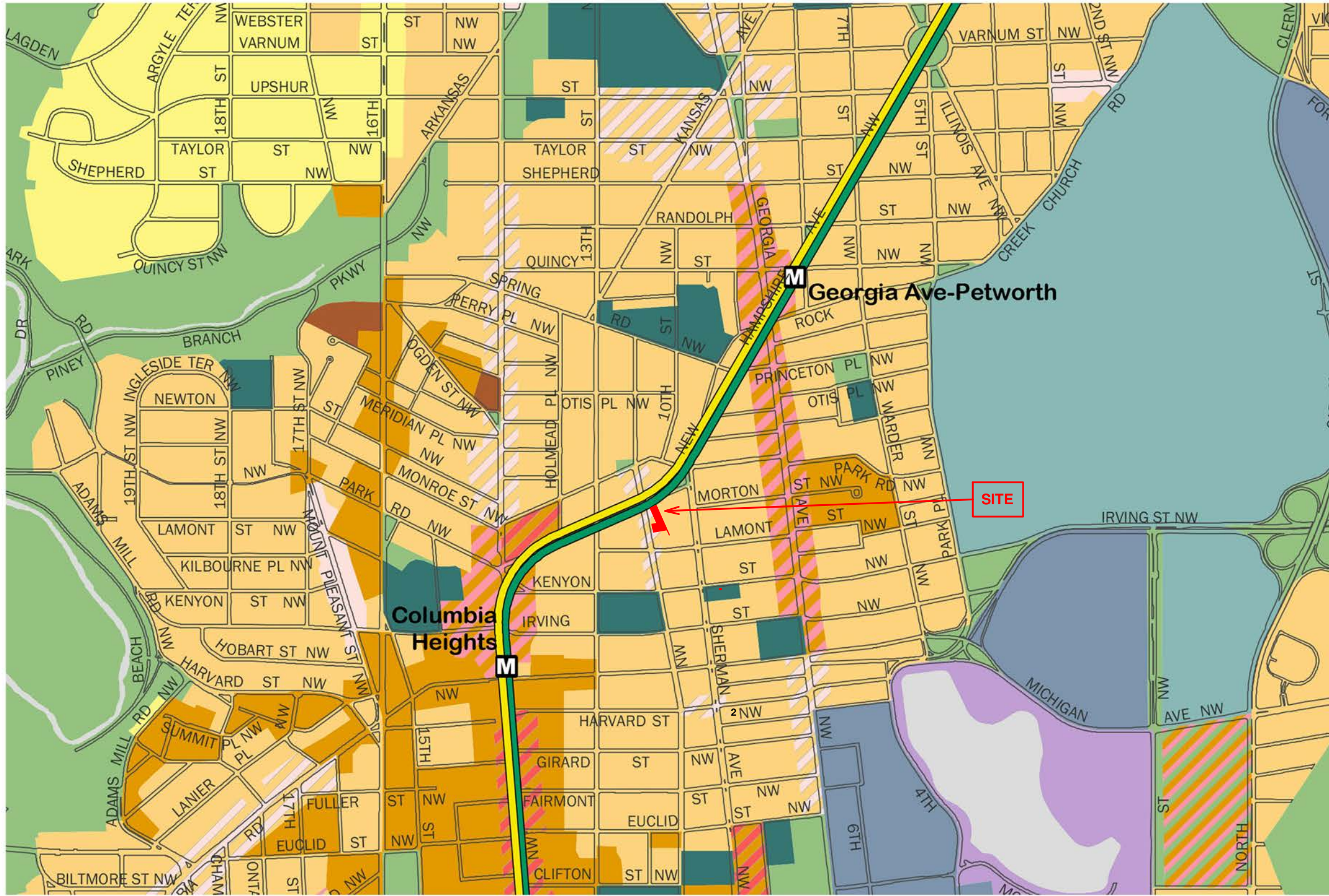
11th STREET & PARK RD.

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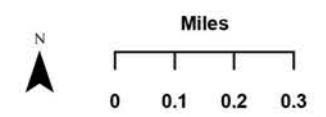
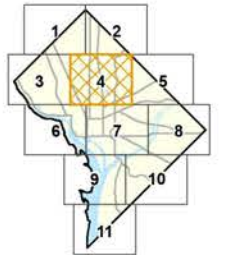
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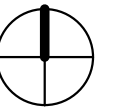
**Comprehensive Plan  
Future Land Use  
Map 4**

- Low Density Residential
- Moderate Density Residential
- Medium Density Residential
- High Density Residential
- Low Density Commercial
- Moderate Density Commercial
- Medium Density Commercial
- High Density Commercial
- Production, Distribution, and Repair
- Federal
- Local Public Facilities
- Institutional
- Parks, Recreation, and Open Space
- Mixed Land Use
- WATER



Government of the District of Columbia  
Office of Planning ~ January 2013

This map was created for planning purposes from a variety of sources. It is neither a survey nor a legal document. Information provided by other agencies should be verified with them where appropriate.



**11th STREET & PARK RD.**

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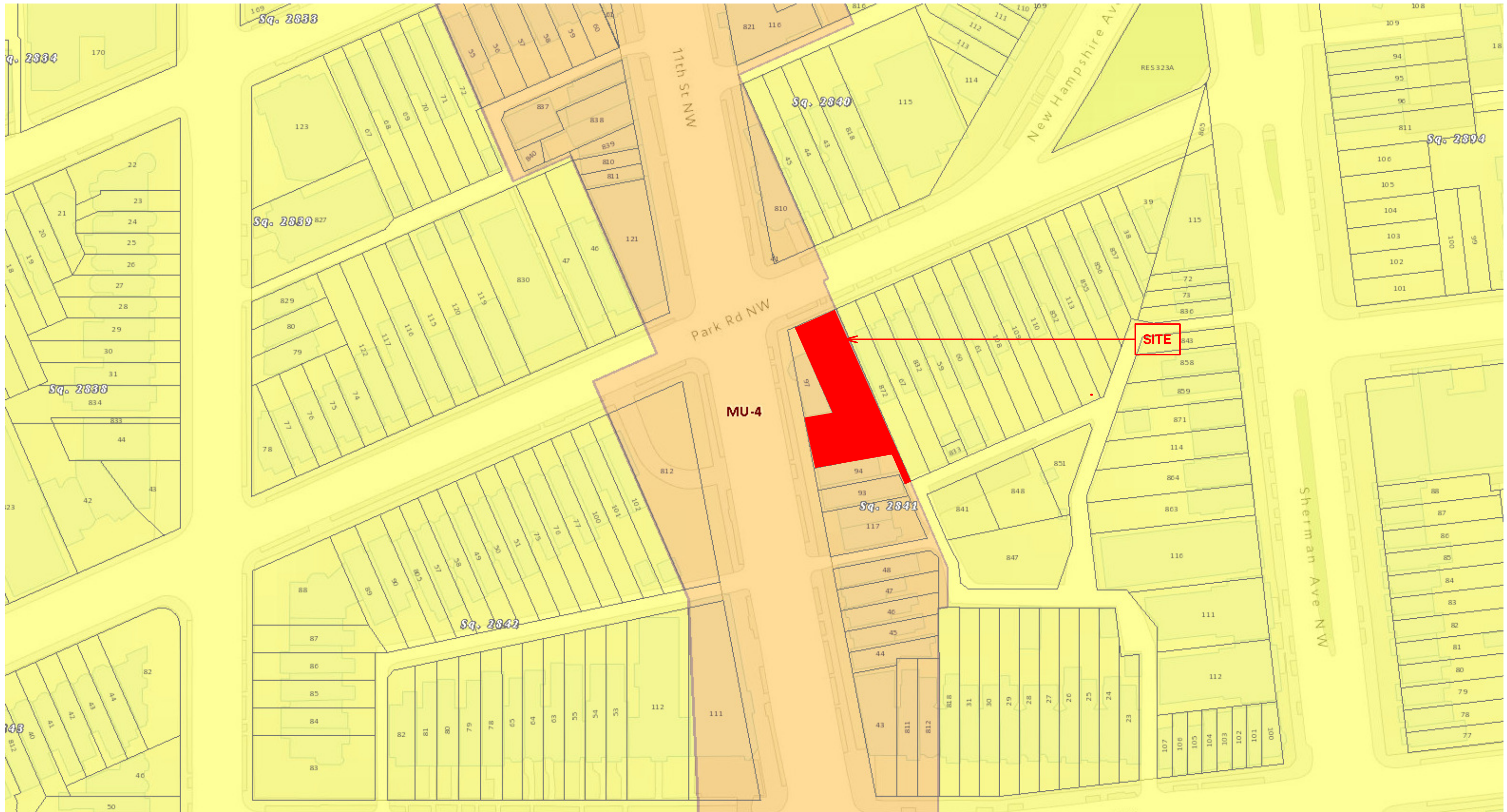


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**COMPREHENSIVE PLAN | A-02**

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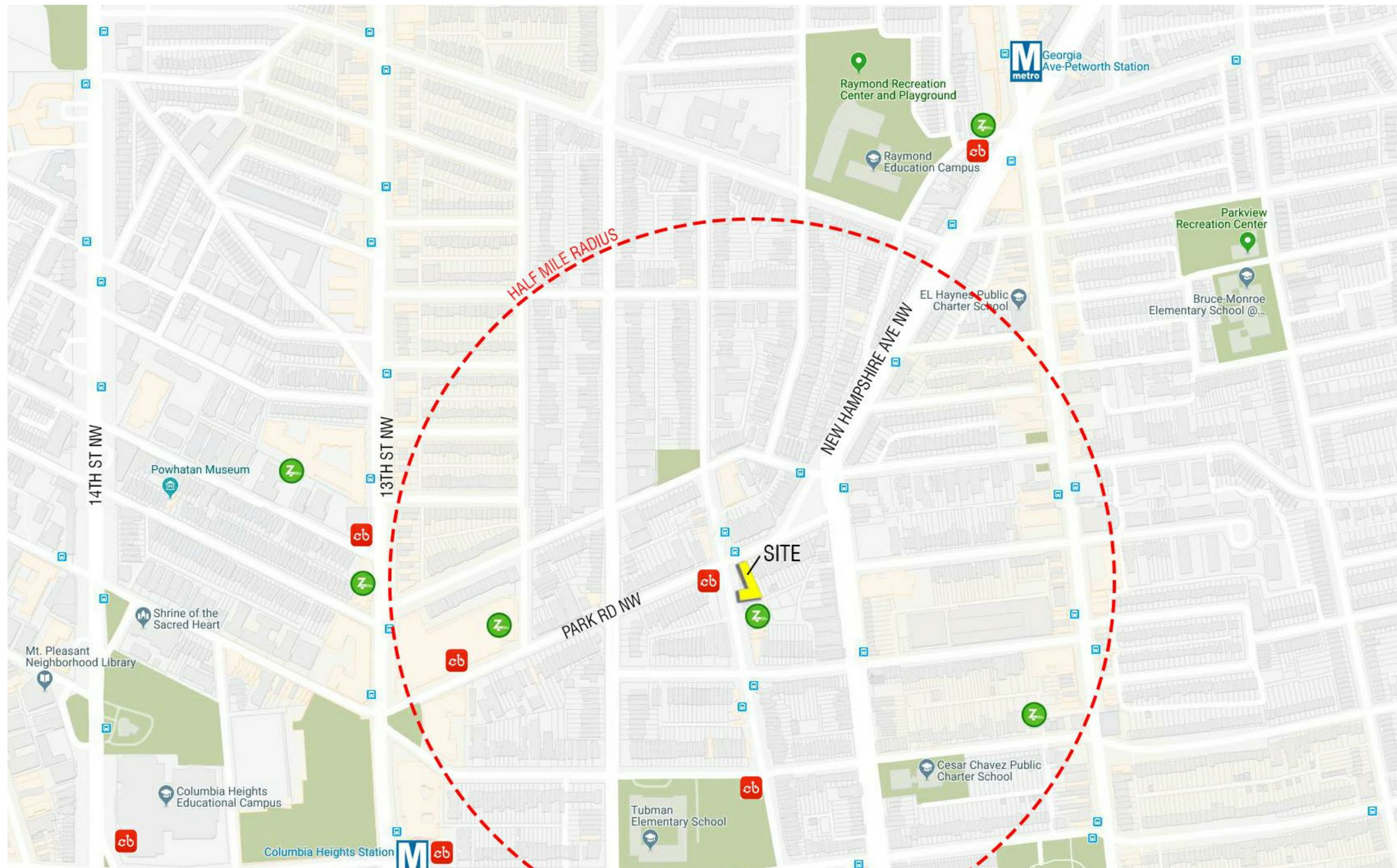
ZONING BOUNDARY MAP | A-03

11th and Park Road NW  
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BUS STOP 
 ZIPCAR 
 CAPITAL BIKESHARE 
 METRO STATION 

## 11th STREET & PARK RD.

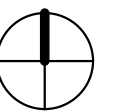
## VEHICULAR CIRCULATION | A-04

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## AERIAL VIEW | A-05

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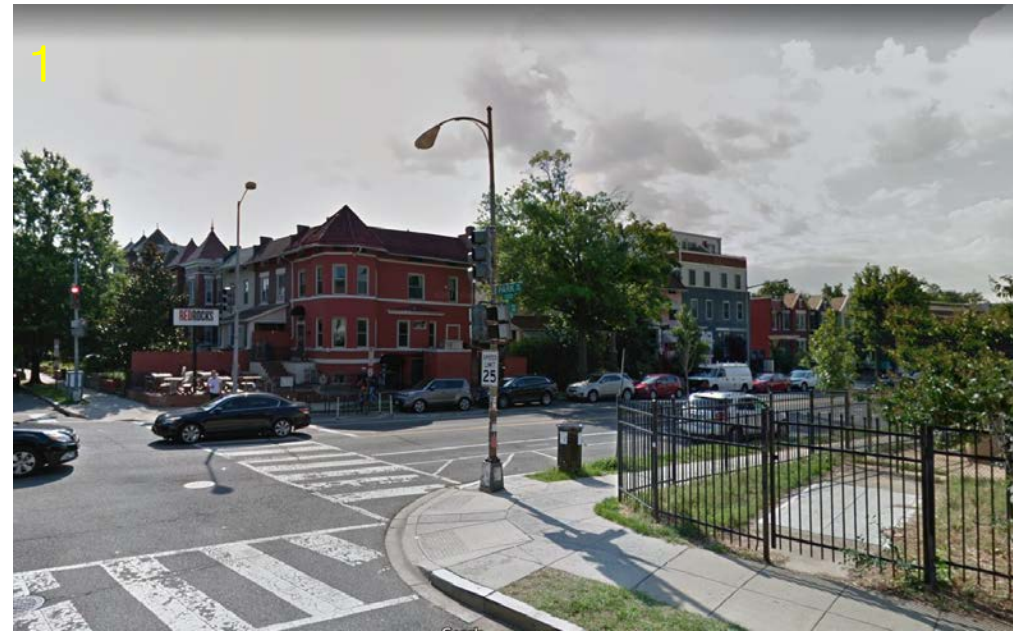
PERSPECTIVE AERIAL VIEWS | A-06

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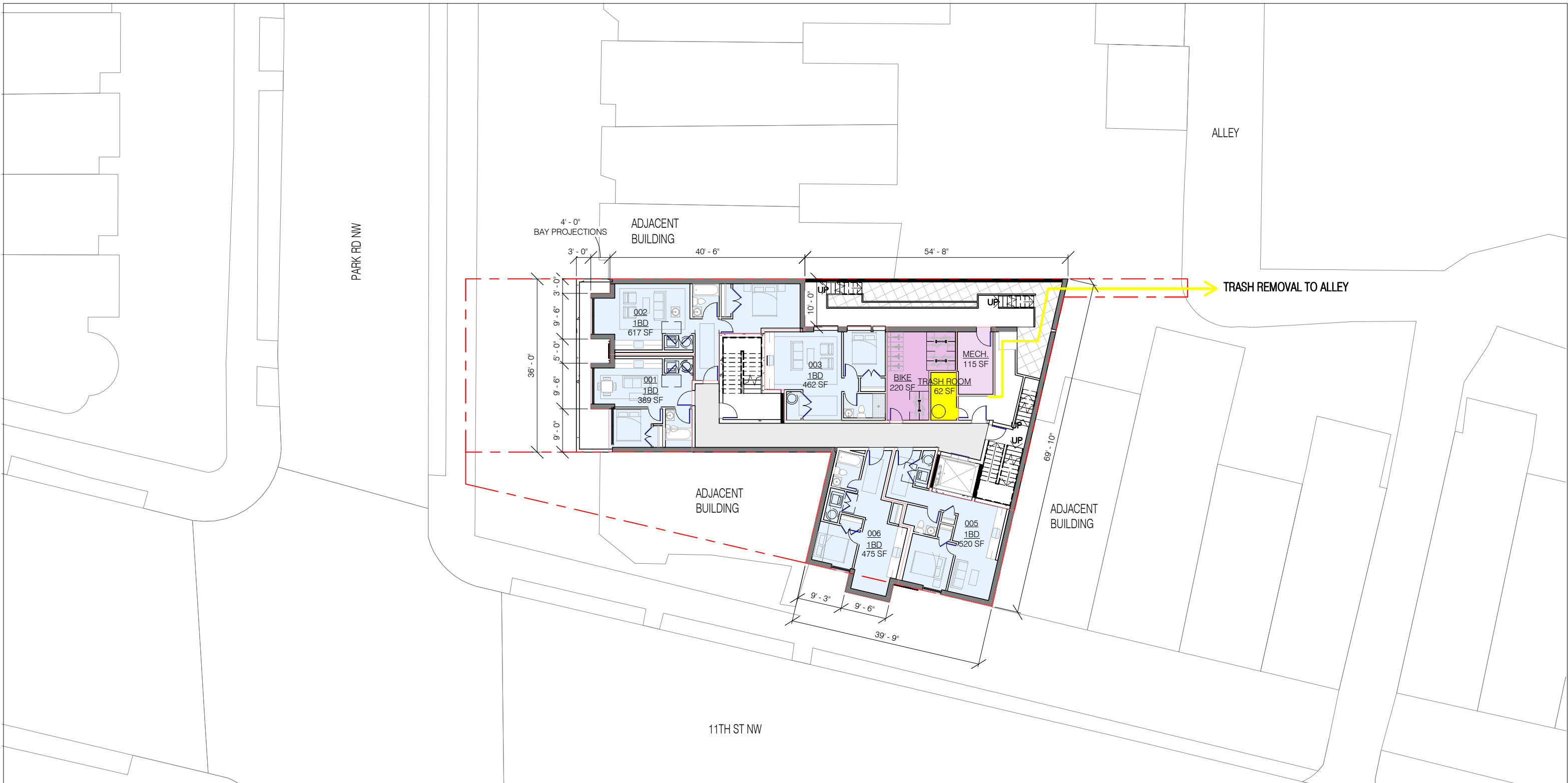


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PERSPECTIVE AERIAL VIEWS | A-07

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**KEYPLAN**

 1BD	 MECH.	 Calculating...
 BIKE	 TRASH ROOM	

0 20' 40' 80'


SCALE 1"=20'-0"



# 11th STREET & PARK RD.

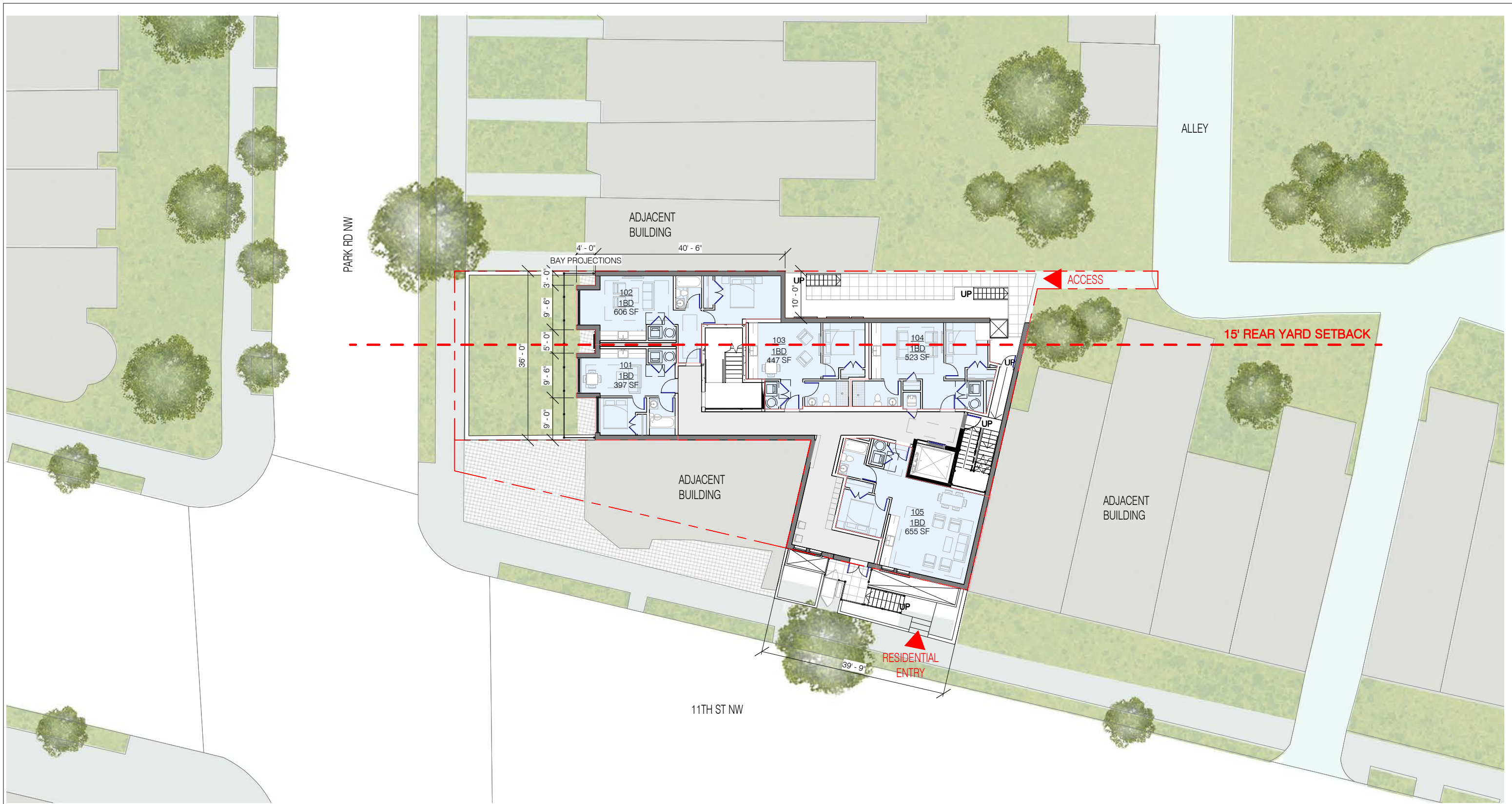
# CELLAR FLOOR PLAN | A-08

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KEYPLAN

1BD

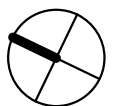
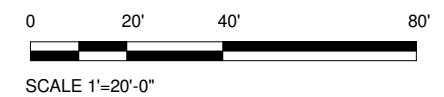
Calculating...

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FIRST FLOOR PLAN | A-09

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PARK RD NW

ALLEY

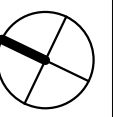
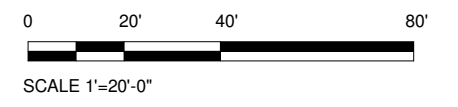
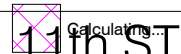
ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

11TH ST NW

KEYPLAN



11th STREET & PARK RD.

SECOND - THIRD FLOOR PLAN | A-10

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**KEYPLAN**

- 1BD
- 2BD
- Calculating...

0 20' 40' 80'

SCALE 1"=20'-0"

**11th STREET & PARK RD.**

**FOURTH FLOOR PLAN | A-11**

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KEYPLAN

- 1BD
- 2BD
- Calculating...



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PENTHOUSE FLOOR PLAN | A-12

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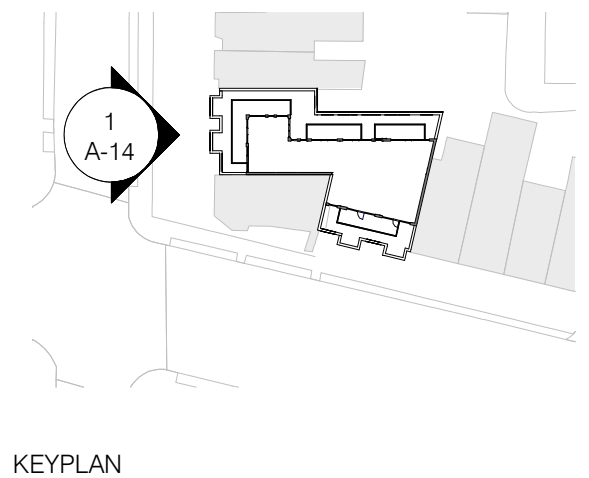
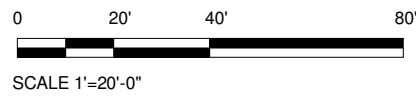
PERSPECTIVE - AERIAL VIEW | A-13

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NORTH ELEVATION | A-14

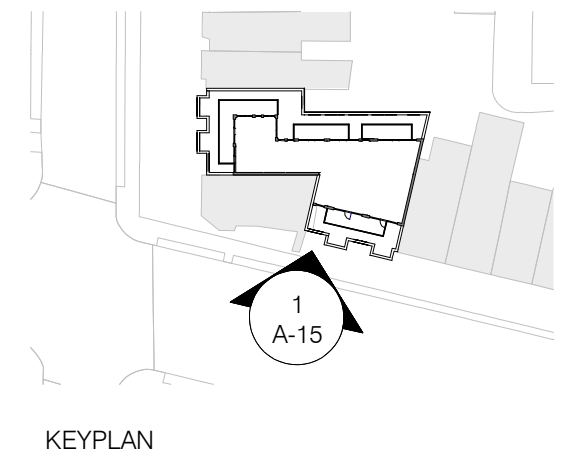
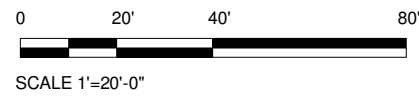
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11th STREET & PARK RD.

WEST ELEVATION | A-15

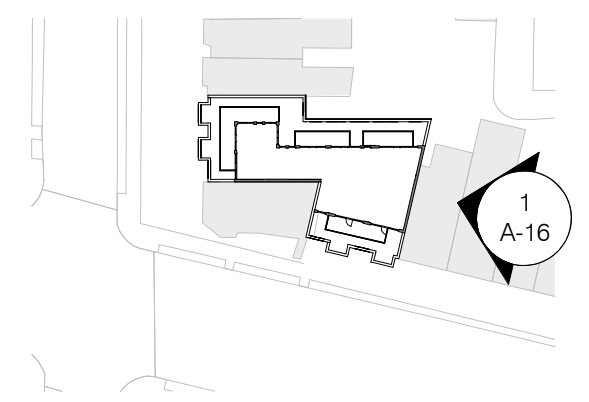
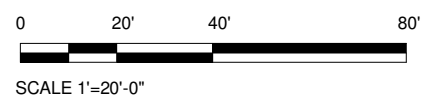
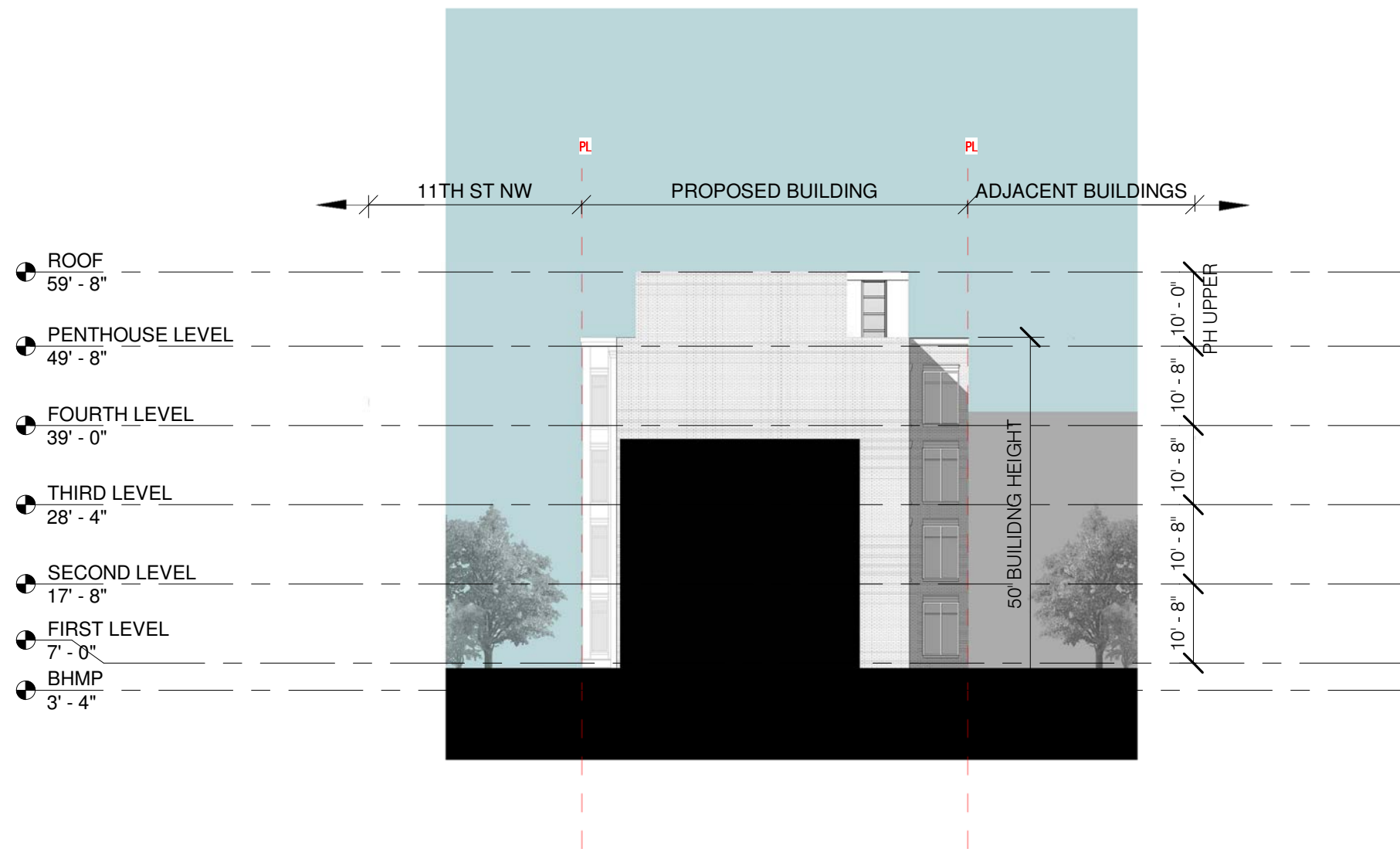
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KEYPLAN

# 11th STREET & PARK RD.

# SOUTH ELEVATION | A-16

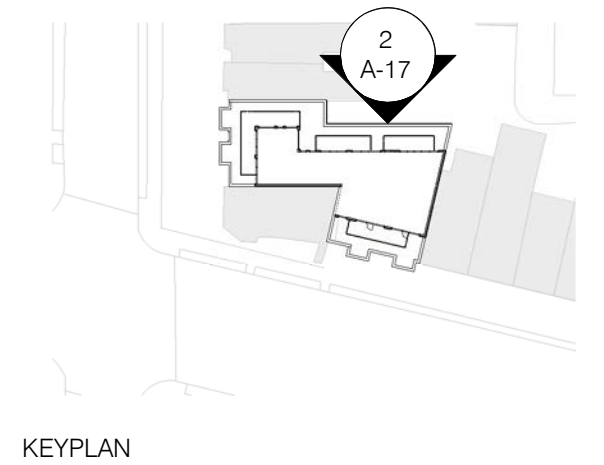
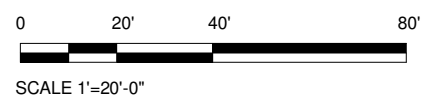
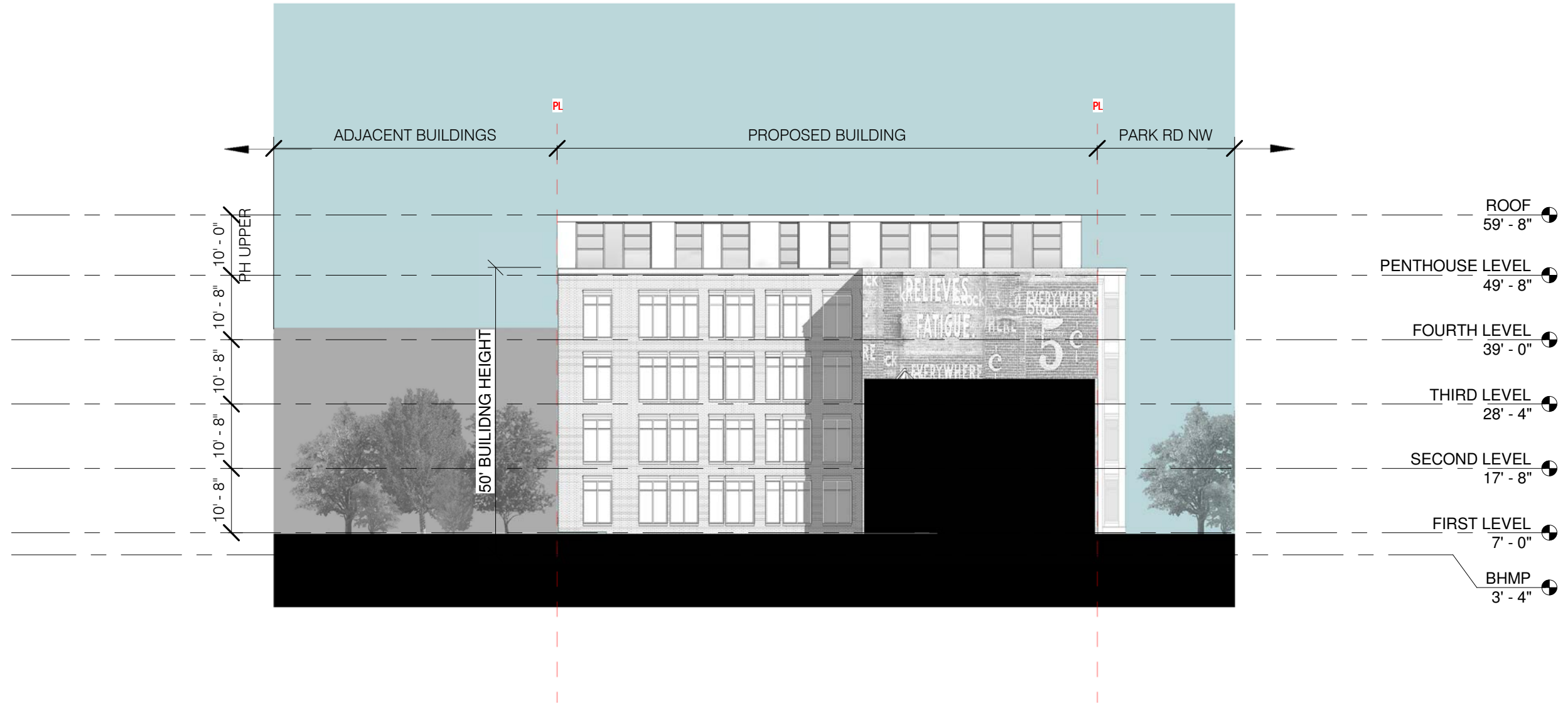
11th and Park Road NW  
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11th STREET & PARK RD.

EAST ELEVATION | A-17

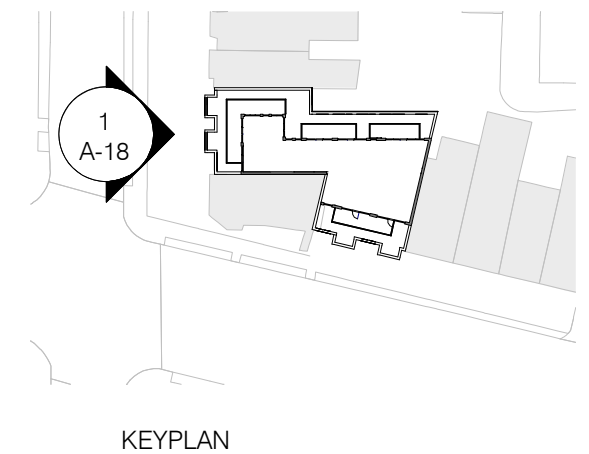
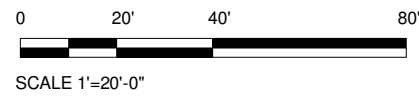
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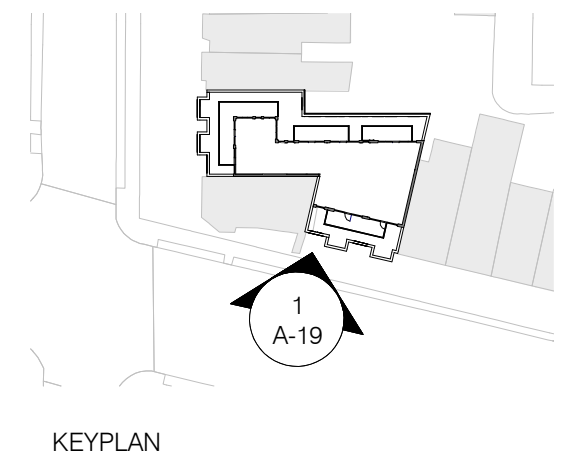
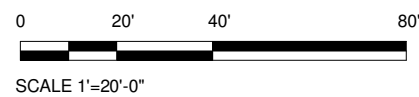
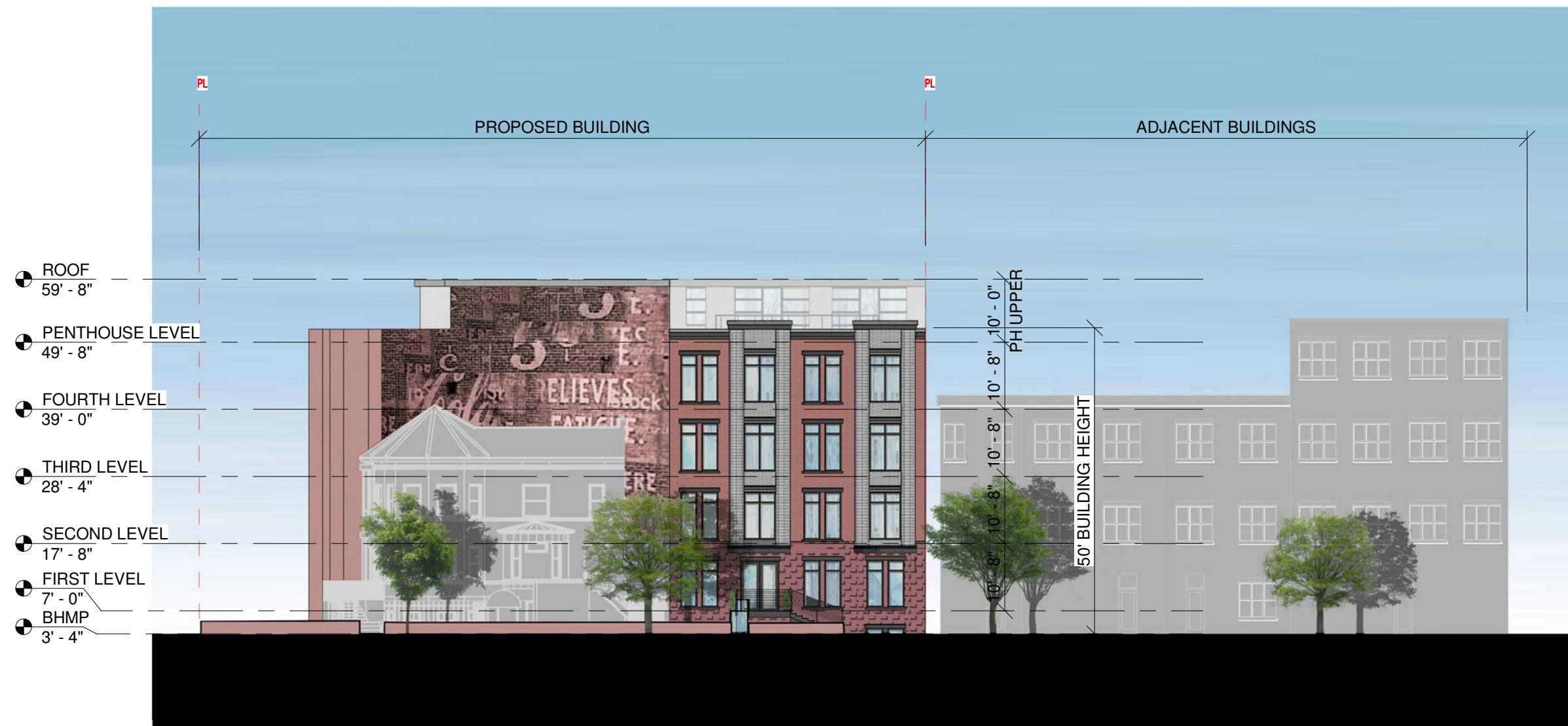


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NORTH RENDERED ELEVATION | A-18

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11th STREET & PARK RD.

WEST RENDERED ELEVATION | A-19

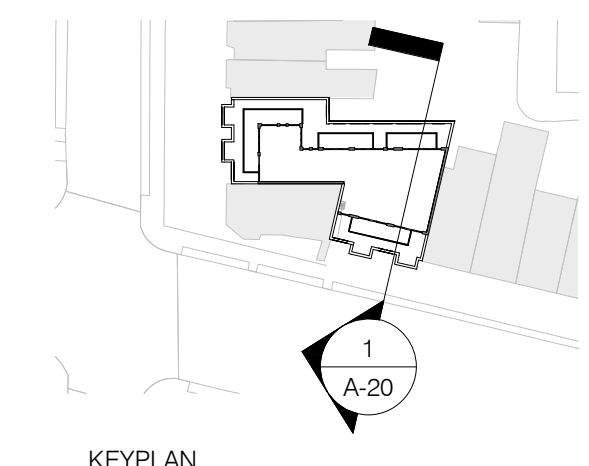
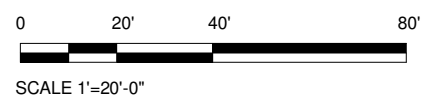
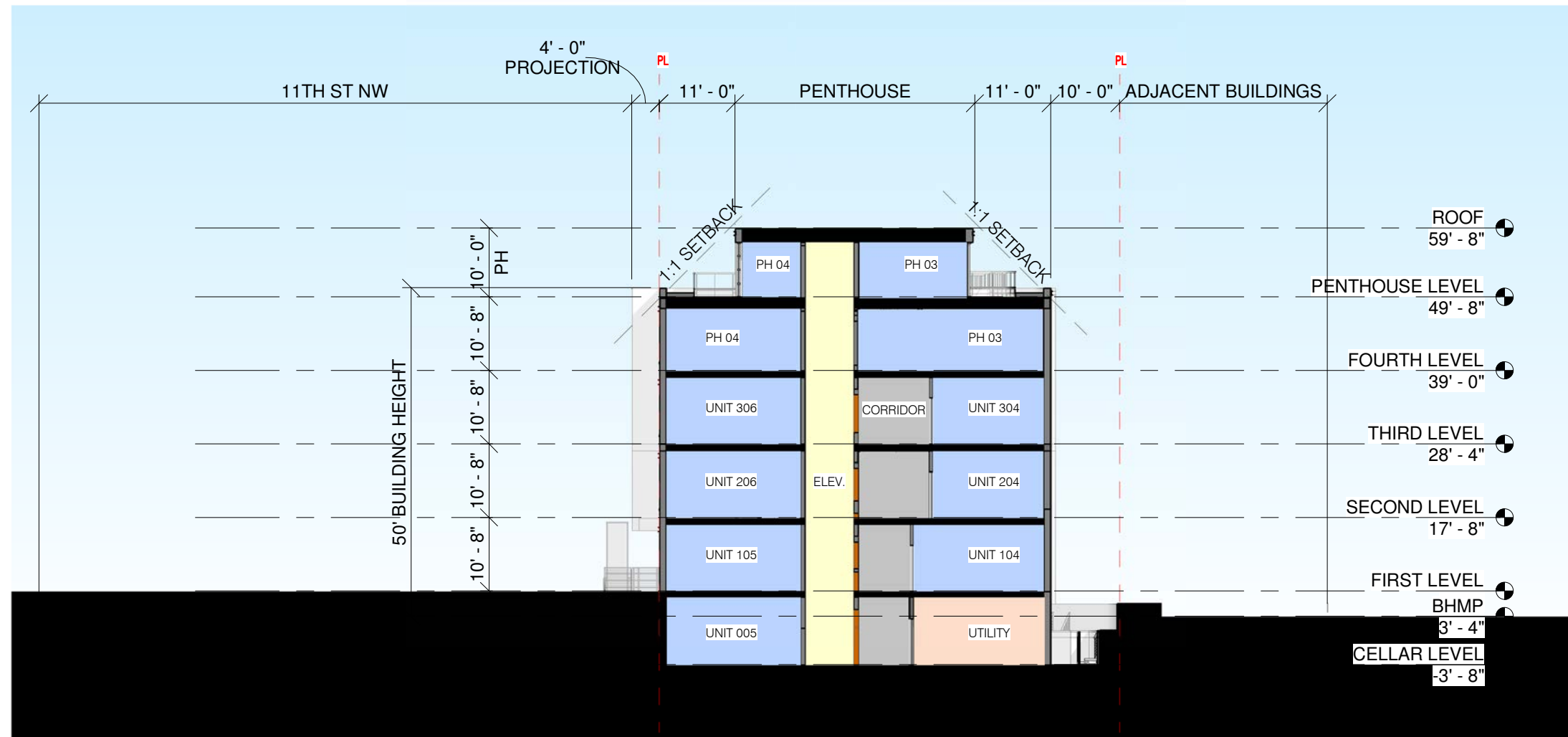
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11th STREET & PARK RD.

BUILDING SECTION | A-20

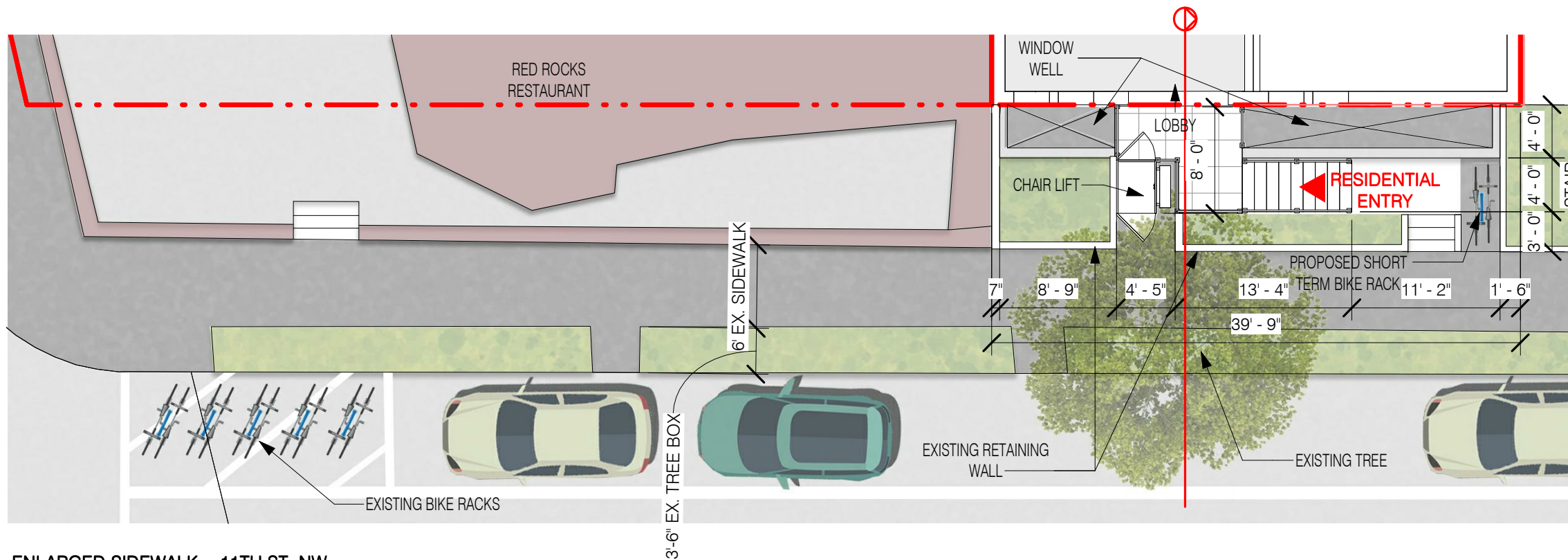
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**ENLARGED SIDEWALK - 11TH ST. NW**  
1" = 10'-0"



**ENLARGED WEST ELEVATION - 11TH ST. NW**  
1" = 10'-0"

**11th STREET & PARK RD.**

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**STREETSCAPE EXPERIENCE | A-21**

11/21/18



PARCEL	2841			
LOTS	95, 96, 98, 99			
TOTAL LOT AREA:	5,574			
		REQUIRED	PROVIDED	RELIEF
ZONING DISTRICT		MU-4	MU-4	
LOT OCCUPANCY		75% W / IZ	<b>Existing</b>	
	FIRST		3,942	71%
	SECOND		3,944	71%
	THIRD		3,944	71%
	FOURTH		3,944	71%
BUILDING HEIGHT		50'	50'	
STORIES		NO LIMIT	4	
DWELLING UNITS		NO LIMIT	26	
FAR	FIRST	3.00 max W / IZ	3,942	0.71
	SECOND		3,944	0.71
	THIRD		3,944	0.71
	FOURTH		3,944	0.71
	TOTAL FAR		15,774	2.83
REAR YARD		15'-0"	Not provided	<b>REQUIRED</b>
SIDE YARD		Not required, if provided, minimum width = 2" per foot of height of building, 6 ft min.	Not provided	
PENTHOUSE	HEIGHT	12'-0" penthouse 15'-0" mechanical	10'-0"	
	FLOORS	1, second story permitted for penthouse mech. space	1	
	SETBACK	1:1 from front and rear building walls and from open court	Penthouse setback at least 1:1 from front and rear walls as well as open court.	
	AREA/FAR	Max 0.4 FAR habitable space, no area limit based on roof area	2,037	0.37
RESIDENTIAL PARKING		1 for each 3 dwelling units in excess of 4 units 26-4 = 22 22/3 = 7.33 7 spaces * 50% with 50% reduction for proximity to Metro station = 3.5; 4 required	0 provided	<b>REQUIRED</b>
RESIDENTIAL LOADING	BERTH	Not required - less than 50 units	Not provided	
	PLATFORM	Not required - less than 50 units	Not provided	
	DELIVERY SPACE	Not required - less than 50 units	Not provided	
CLOSED COURT		4" per 1'-0" of ht of court, min 15'-0"	Not provided	
OPEN COURT		10' radius	Not provided	
RESIDENTIAL BICYCLE PARKING	LONG TERM	1 space for each 3 units = 9	10 Provided	
	SHORT TERM	1 space for each 20 units = 2	2 Provided	
GAR		0.3	0.3	