

ANTHONY & ANTOINETTE JACKSON RESIDENTIAL ADDITIONS & ALTERATIONS

5048 11TH STREET NE
WASHINGTON, DC 20017
05/11/2018

SYMBOLS

	EARTH		INSULATION (LOOSE OR BATT)
	POROUS FILL		RIGID INSULATION
	CONCRETE		FINISH WOOD
	PLASTER, GYPSUM OR MORTAR		ROUGH WOOD
	BRICK		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		METAL
	DETAIL PLAN OR SECTION		EXISTING ELEVATION / LEVEL
	INTERIOR ELEVATION		CONTROL ELEVATION / LEVEL
	BUILDING ELEVATION OR SECTION		DOOR TYPE SEE SHEET A-600
	COLUMN DESIGNATION		PARTITION TYPE SEE SHEET A-601
	ROOM NAME		WINDOW OR LOUVER TYPE
	ROOM TAG: ROOM NAME, NUMBER, AREA		DRAWING NOTE
	SHEET NUMBER		REVISION NUMBER

DELETE AND DO NOT USE DIGITS AFTER DECIMAL POINT IF NOT NEEDED FOR PROJECT

ZONING AND BUILDING DATA

ZONE	R2
LOT	0041
SQUARE	3898
LOT AREA	3,038.1
LOT OCCUPANCY @ 40%	18.2 % SQ.FT
REAR YARD SETBACK	20.0 FT
SIDE YARD SETBACK	8.0 FT
MAXIMUM BUILDING HEIGHT	40.0 FT (3 STR)
BUILDING FOOTPRINT	829.2 SQ.FT
PROPOSED BUILDING SQ. FT.	2,487.7 SQ.FT

ABBREVIATIONS

A	MEDICAL GAS - AIR	NO	NUMBER
AC	ACOUSTICAL	NOM	NOMINAL
ACP	ACOUSTICAL CEILING PANEL	NTS	NOT TO SCALE
ADJ	ADJUSTABLE		
AFF	ABOVE FINISH FLOOR	OC	ON CENTER
AHU	AIR-HANDLING UNIT	OD	OUTSIDE DIAMETER
AII	AIRBORNE INFECTION ISOLATION	OH	OVERHEAD
ALUM	ALUMINUM	OPG	OPENING
		OPP	OPPOSITE HAND
		OX	MEDICAL GAS - OXYGEN
BLDG	BUILDING		
BMS	BEAMS	PE	PROTECTIVE ENVIRONMENT
BO	BOTTOM OF	PL	PLATE
BOD	BOTTOM OF DECK	PLAM	PLASTIC LAMINATE
BUR	BUILT-UP ROOFING	PLYWD	PLYWOOD
		PNT	PAINT(ED)
C	CHANNEL	PR	PAIR
CB	CERAMIC BASE	PSF	POUNDS PER SQUARE FOOT
CG	CORNER GUARD	PT	PRESERVATIVE TREATED
CJ	CONTROL JOINT	PTD	PAPER TOWEL DISPENSER
CLG	CEILING		
CLR	CLEAR	R	RISER
CMU	CONCRETE MASONRY UNIT	RB	RUBBER BASE
COL	COLUMN	REINF	REINFORCED
CONC	CONCRETE	REQD	REQUIRED
CONST	CONSTRUCTION	RM	ROOM
CONT	CONTINUOUS	RO	ROUGH OPENING
COORD	COORDINATE		
CORR	CORRIDOR	S	SLIDE
CPT	CARPET	SECT	SECTION
CRS	COURSE	SF	SQUARE FEET
CT	CERAMIC TILE	SHT	SHEET
CTG	COATING	SIM	SIMILAR
		SPEC	SPECIFICATION(S)
D	DEEP	SQ IN	SQUARE INCH
DF	DRINKING FOUNTAIN	SS	STAINLESS STEEL
DIA	DIAMETER	SSM	SOLID SURFACE MATERIAL
DIAG	DIAGONAL	ST	STREET
DIM	DIMENSION	STD	STANDARD
DN	DOWN	STL	STEEL
DR	DOOR	STN	STAIN
DS	DOWNSPOUT	STR	STRUCTURAL
DTL	DETAIL	SUSP	SUSPENDED
DWG	DRAWING		
		T	TREAD
EJ	EXPANSION JOINT	TBD	TO BE DETERMINED
EL	ELEVATION	TC	TOP OF CURB
ELEC	ELECTRICAL	TEL	TELEPHONE
ELEV	ELEVATOR	THOLD	THRESHOLD
EP	ELECTRICAL PANELBOARD	TOS	TOP OF SLAB
EQ	EQUAL	TOS	TOP OF STEEL
EQUIP	EQUIPMENT	TOW	TOP OF WALL
EWC	ELECTRIC WATER COOLER	TTD	TOILET TISSUE DISPENSER
EXH	EXHAUST	TWC	TEXTILE WALL COVERING
EXIST	EXISTING	TYP	TYPICAL
EXP	EXPANSION		
EXT	EXTERIOR	UL	UNDERWRITERS LABORATORY
		UON	UNLESS OTHERWISE NOTED
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER WITH BRACKET	V	MEDICAL GAS - VACUUM
FEC	FE CABINET WITH FE	VB	VINYL BASE
FIN	FINISH	VCT	VINYL COMPOSITION TILE
FLR	FLOOR	VERT	VERTICAL
FNV	FEMININE NAPKIN/TAMPON VENDOR	VIF	VERIFY IN FIELD
FO	FACE OF	VWC	VINYL WALL COVERING
FRT	FIRE RETARDANT TREATED		
		W	WIDE
GA	GAUGE	w/	WITH
GALV	GALVANIZED	WB	WOOD BASE
GEN	GENERAL	WD	WOOD
GOVT	GOVERNMENT	WF	WIDE FLANGE
GP	GLAZED PARTITION	WR	WATER RESISTANT
GWB	GYPSUM WALLBOARD	WWF	WELDED WIRE FABRIC
H	HIGH		
HB	HOSE BIB		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT, HGT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JAN	JANITOR		
JST	JOIST		
JT	JOINT		
MACH	MACHINE		
MAS	MASONRY		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEZZ	MEZZANINE		
MFR	MANUFACTURER		
MH	MOUNTING HEIGHT		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MTL	METAL		
NCS	NURSE CALL STATION		
NIC	NOT IN CONTRACT		

DESIGN TEAM

DESIGNER/ ARCHITECT

Kevin Fisher & Associates
Design/Build Services

1503 Northcrest Drive
Silver Spring, MD 20904
Phone/Fax: (301)879-0886
Contact: Kevin Fisher, Principal

CONTRACTOR/ MANAGER

Consultant Type 1 Name
CONSULTANT TYPE 1

Consultant Type 1 Name
Consultant Type 1 Address 1
Consultant Type 1 Address 2
000.000.0000

CLIENT
ANTHONY & ANTOINETTE JACKSON

5048 11TH STREET NE
WASHINGTON, DC 20017

PHASE DD

REVISIONS

DATE:	ITEM:

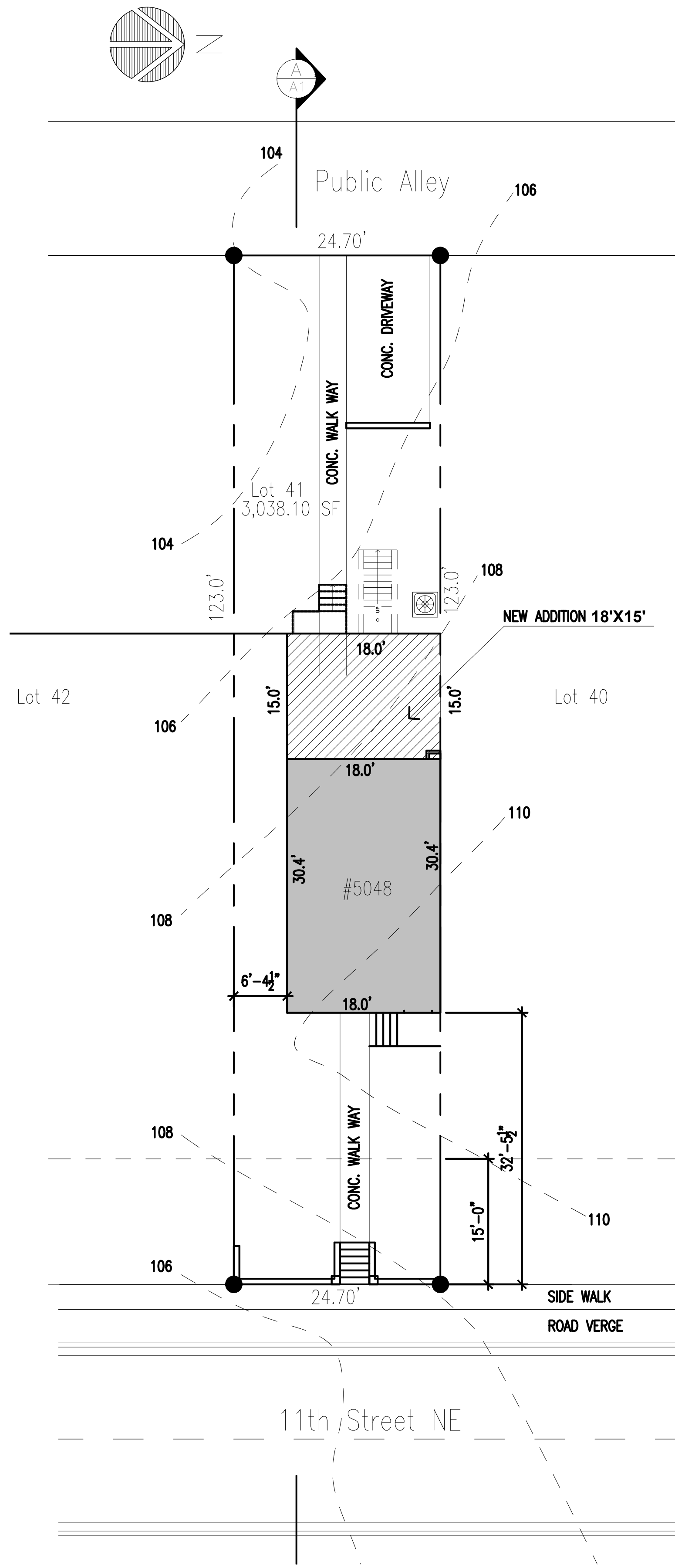
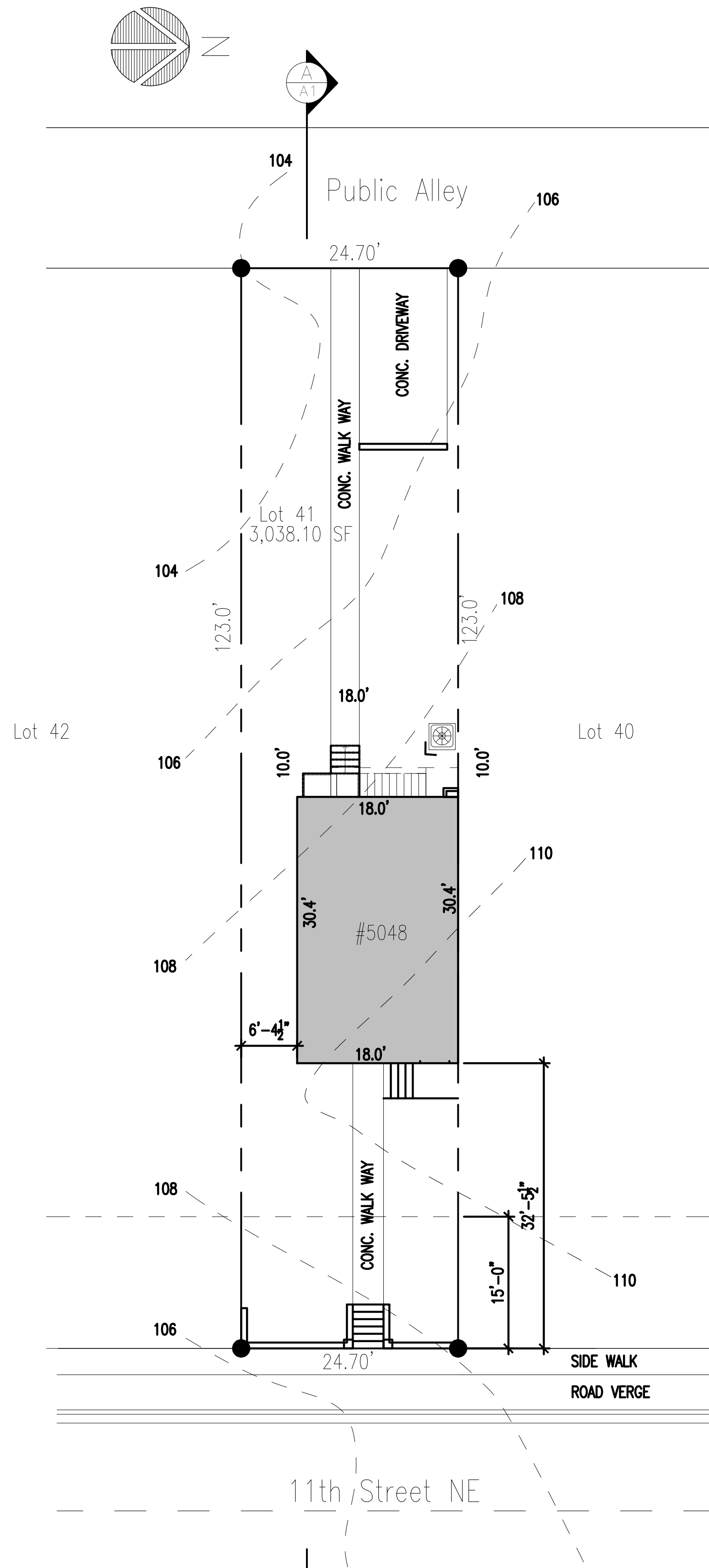
ISSUE DATE

05/11/2018

PROJECT NO.

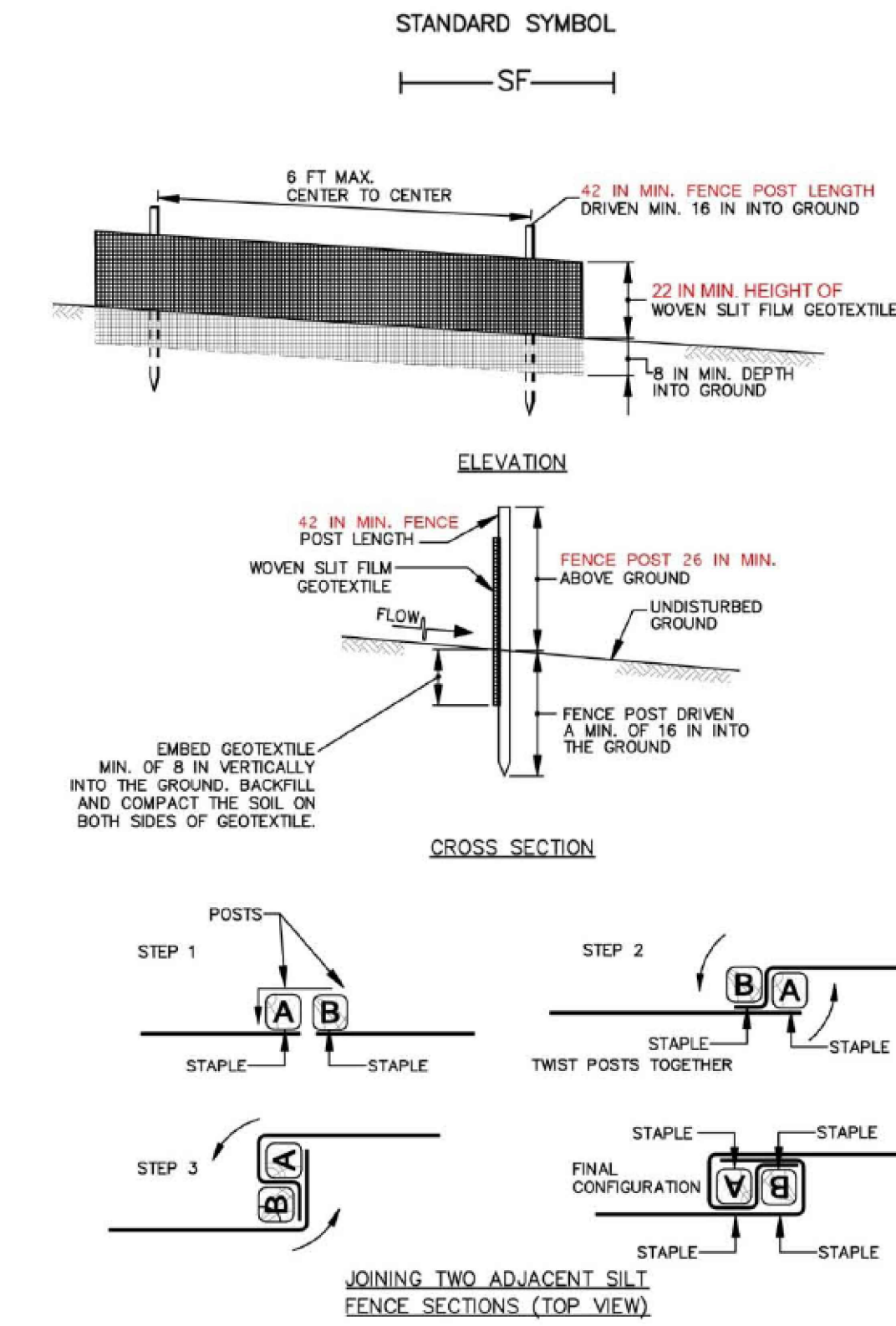
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CS



1 SITE PLAN EXISTING
A-1.0 SCALE: 1"=10'-0"

2 SITE PLAN PROPOSED
A-1.0 SCALE: 1"=10'-0"



CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS 1 1/4" x 1 1/4" ± 1/8" INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 42 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.

General Contractor:

Consultant Type 1 Name
CONSULTANT TYPE 1

Consultant Type 1 Address 1
Consultant Type 1 Address 2
000.000.0000

Architect/Designer:

Kevin Fisher & Associates
Design/Build Services

1503 Northcrest Drive
Silver Spring, MD 20904
Phone/Fax: (301)879-0886
Contact: Kevin Fisher, Principal

Revisions:

DATE	COMMENTS
02/24/2018	Owners Review 1
03/21/2018	Owners Review 2

Seal:

NOT FOR CONSTRUCTION

Client:
ANTHONY & ANTOINETTE JACKSON

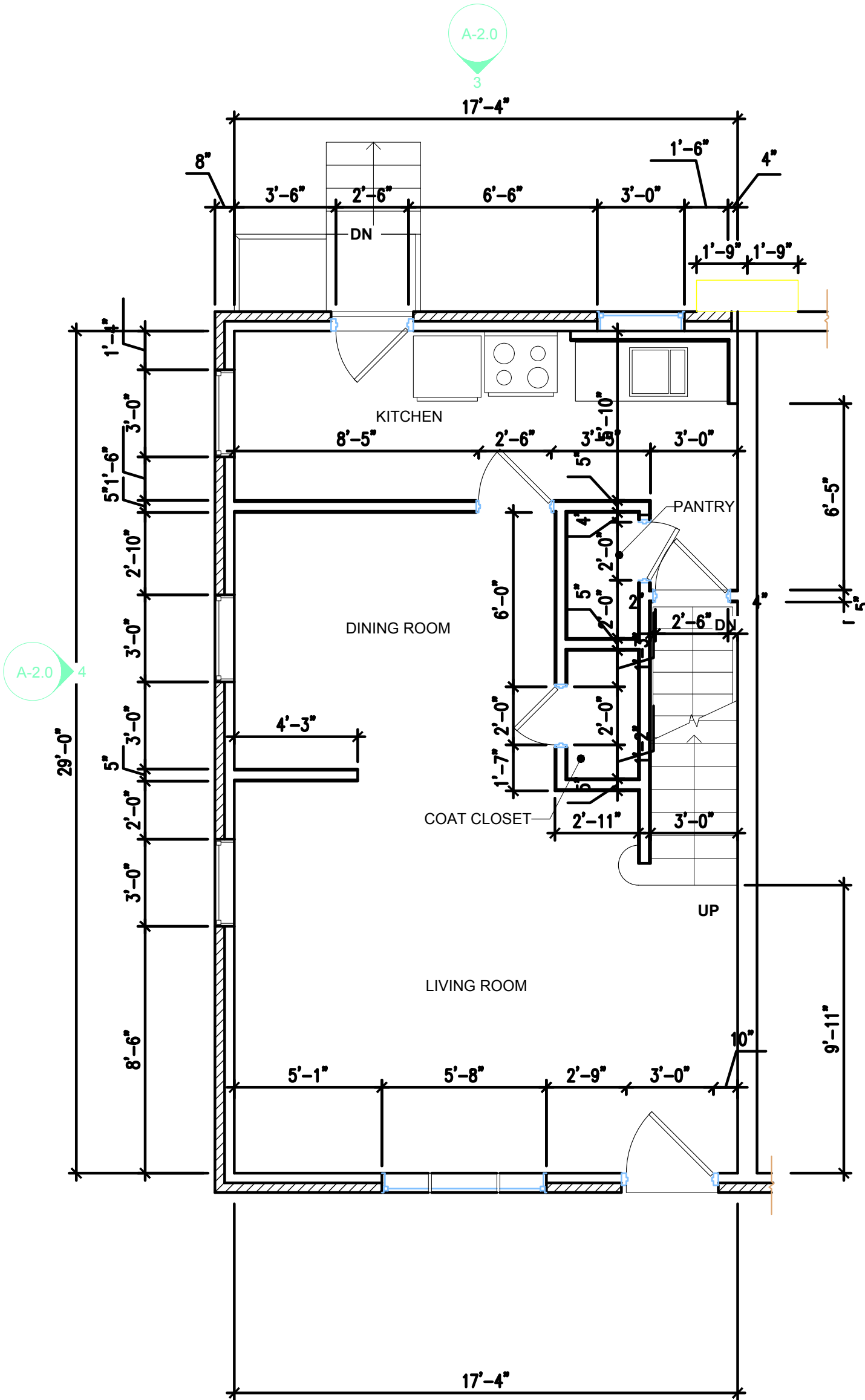
Location:
**5048 11TH STREET NE
WASHINGTON, DC 20017**

Project Name:
**RESIDENTIAL ADDITIONS &
ALTERATIONS**

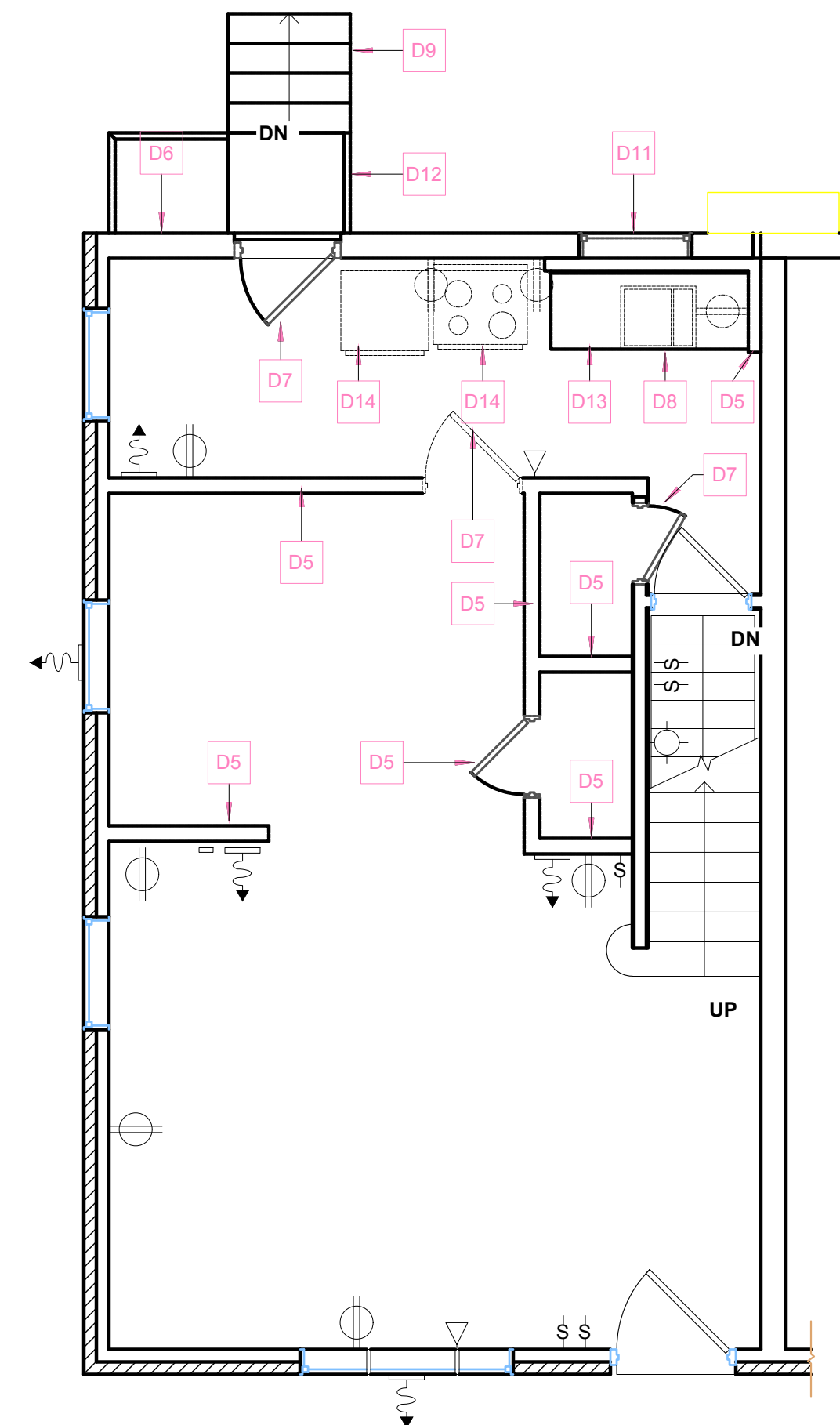
SITE PLAN

Drawn By: RNL DD
Project No: 00000 Date: 05/11/2018

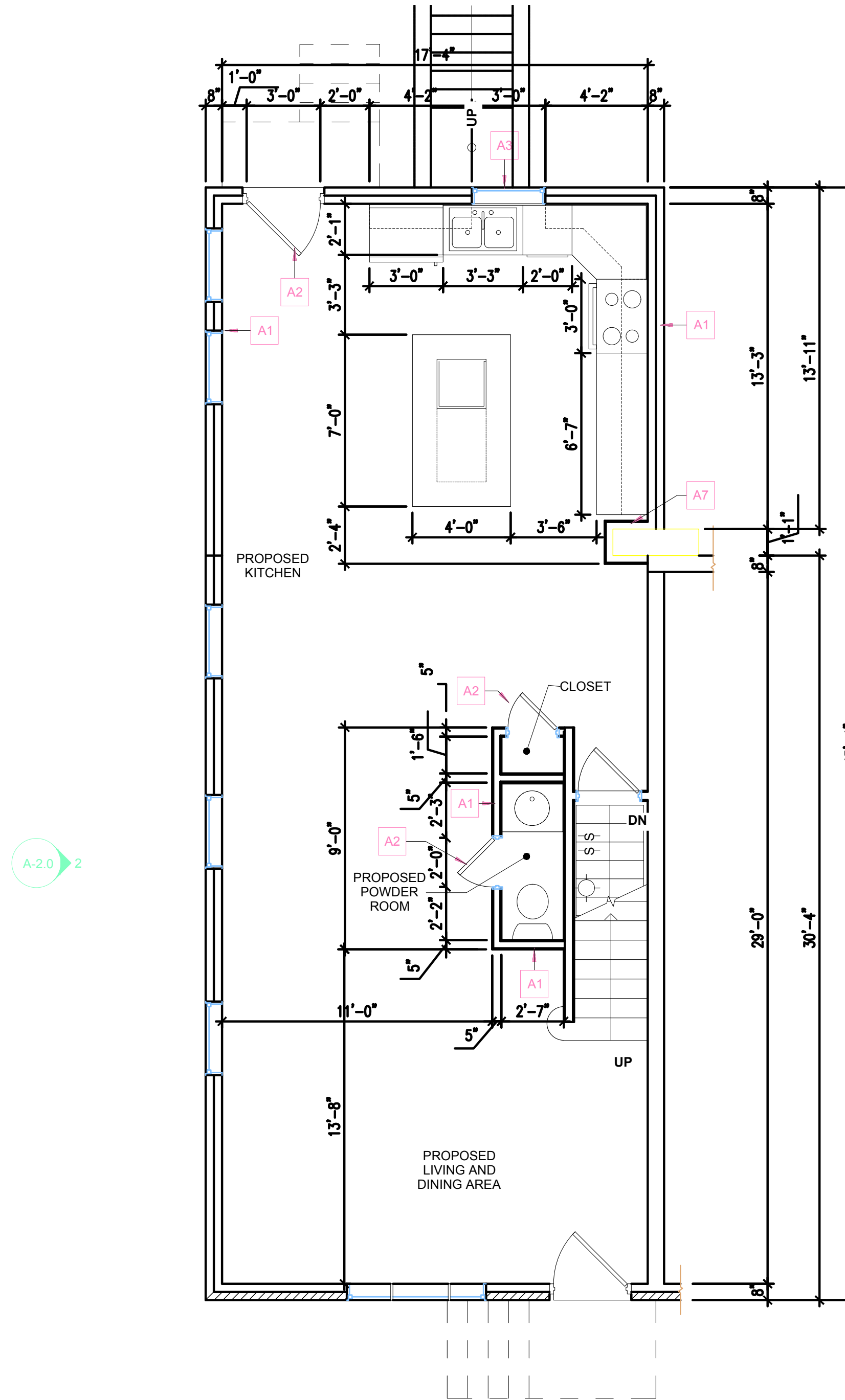
SP-1.0



1 FIRST FLOOR EXISTING PLAN
A-1.1 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
A-1.1 SCALE: 1/4" = 1'-0"



3 FIRST FLOOR PROPOSED PLUMBING PLAN
A-1.1 SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- 1 ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
- 2 ALL DIMENSIONS FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 3 WINDOW SIZES INDICATED ON PLANS ARE NOTES BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- 4 COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- 5 CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
- 6 CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- 7 BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET FLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
- 8 ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- 9 ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- 10 PROVIDE COMBUSTION AIR VENTS, WITH SCREEN, AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCE WITH AN OPEN FLAME.
- 11 BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
- 12 ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND, (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER, USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- 13 ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

DRAWING NOTES - DEMOLITION

- D#** (APPLY TO THIS SHEET ONLY)
- D5 EXISTING WALL TO BE DEMOLISHED.
 - D6 PORTION OF EXISTING WALL TO BE DEMOLISHED. COORDINATE EXTENTS WITH PROPOSED PLAN.
 - D7 EXISTING DOOR TO BE REMOVED.
 - D8 EXISTING PLUMBING FIXTURES TO BE REMOVED AND REPLACED.
 - D9 EXISTING STAIR TO BE DEMOLISHED.
 - D11 EXISTING WINDOW TO BE REMOVED.
 - D12 EXISTING PORCH TO BE DEMOLISHED.
 - D13 EXISTING COUNTERS, BASE AND WALL CABINETS TO BE REMOVED.
 - D14 EXISTING APPLIANCE TO BE RELOCATED.

DRAWING NOTES - CONSTRUCTION

- A#** (APPLY TO THIS SHEET ONLY)
- A1 PROPOSED NEW WALL.
 - A2 PROPOSED NEW DOOR.
 - A3 PROPOSED NEW WINDOW TO MATCH EXISTING.
 - A7 NEW FURRING TO WRAP CHIMNEY.

General Contractor:
Consultant Type 1 Name
CONSULTANT TYPE 1
Consultant Type 1 Name
Consultant Type 1 Address 1
Consultant Type 1 Address 2
000.000.0000

Architect/Designer:
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Revisions:

#	DATE:	COMMENTS:
2	05/11/2018	Owners Review 2

Seal:

NOT FOR CONSTRUCTION

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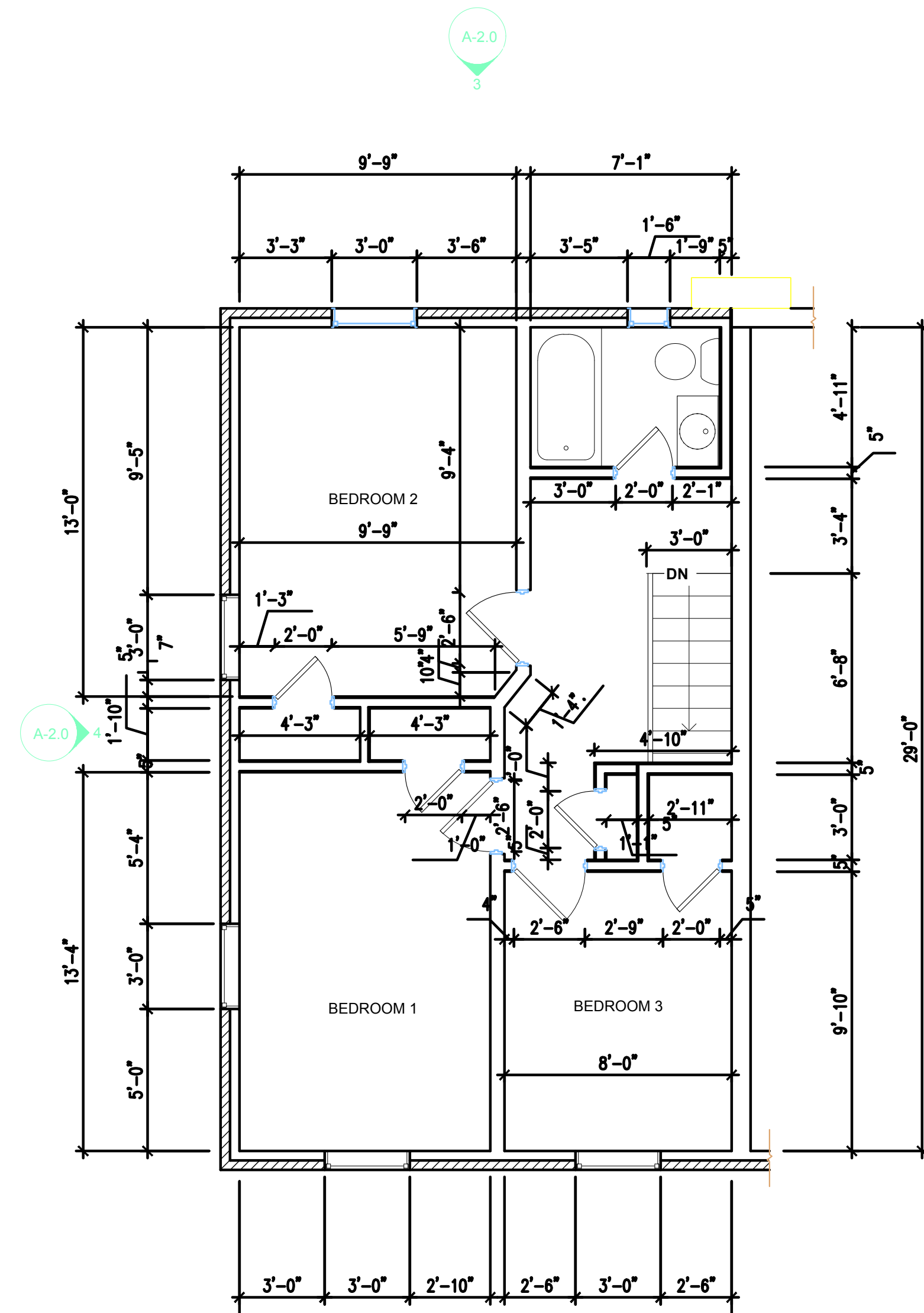
Project Name:
**RESIDENTIAL ADDITIONS &
ALTERATIONS**

**EXISTING
CONDITIONS,
DEMOLITION AND
PROPOSED PLANS
AT FIRST FLOOR**

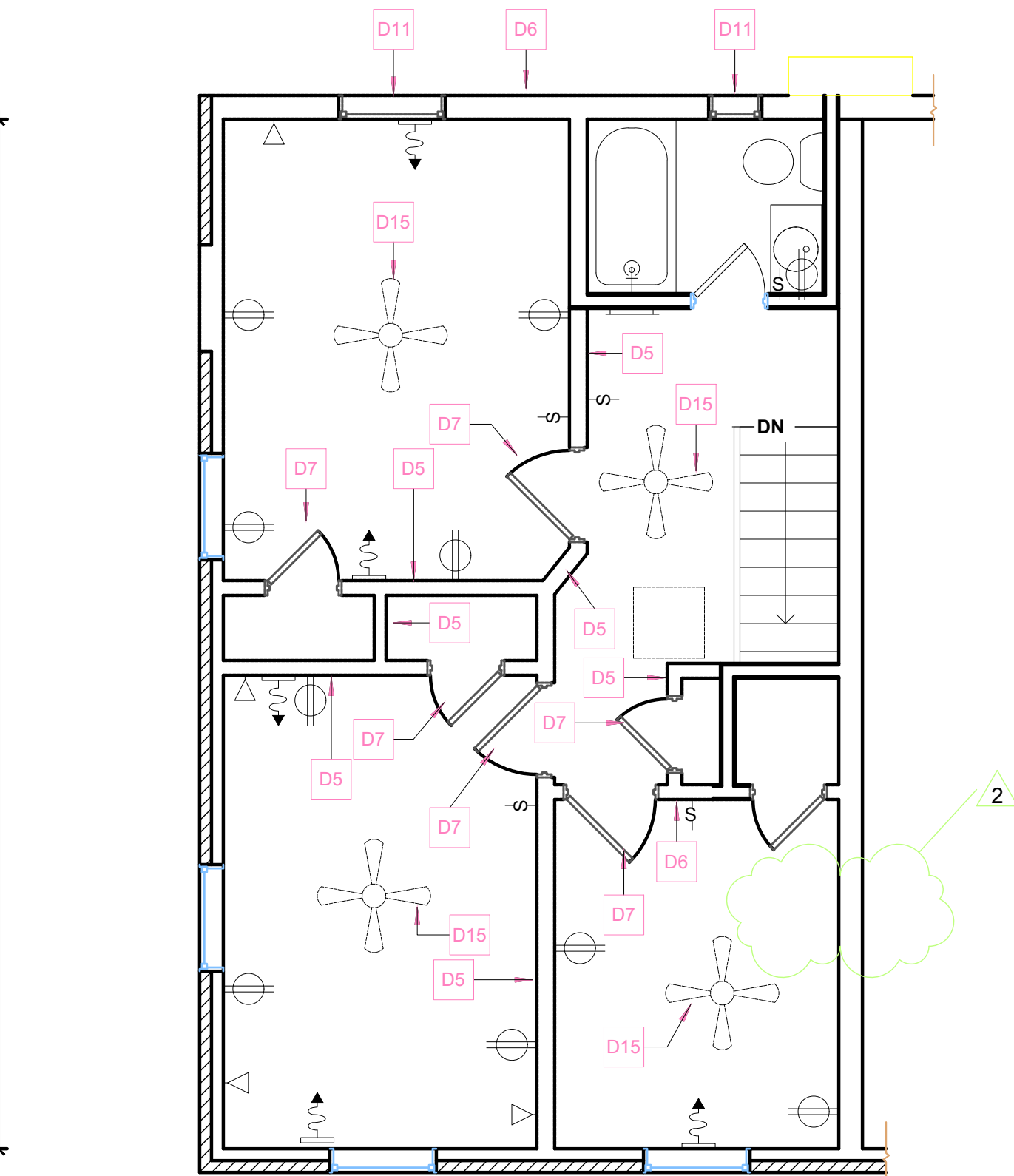
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Author DD

Project No. Date:
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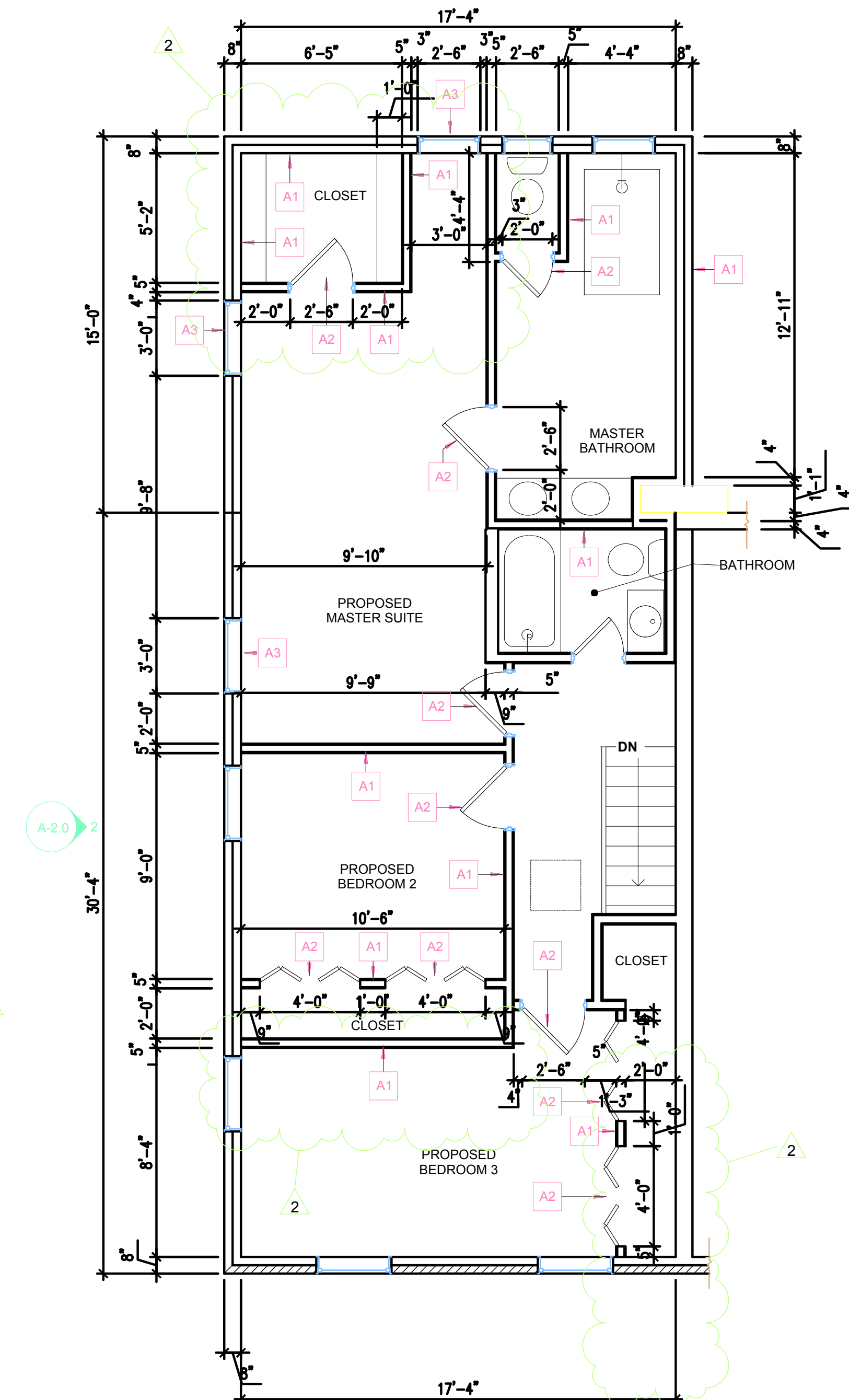
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1 SECOND FLOOR EXISTING PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

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- D6 PORTION OF EXISTING WALL TO BE DEMOLISHED. COORDINATE EXTENTS WITH PROPOSED PLAN.
- D7 EXISTING DOOR TO BE REMOVED.
- D11 EXISTING WINDOW TO BE REMOVED.
- D15 EXISTING CEILING FAN TO BE REMOVED.

DRAWING NOTES - CONSTRUCTION

- A# (APPLY TO THIS SHEET ONLY)
- A1 PROPOSED NEW WALL.
- A2 PROPOSED NEW DOOR.
- A3 PROPOSED NEW WINDOW TO MATCH EXISTING.

General Contractor:
Consultant Type 1 Name
CONSULTANT TYPE 1
Consultant Type 1 Name
Consultant Type 1 Address 1
Consultant Type 1 Address 2
000.000.0000

Architect/Designer:
Kevin Fisher & Associates
Design/Build Services
1503 Northcrest Drive
Silver Spring, MD 20904
Phone/Fax: (301)879-0886
Contact: Kevin Fisher, Principal

Revisions:

#	DATE:	COMMENTS:
2	05/11/2018	Owners Review 2

Seal:

NOT FOR CONSTRUCTION

Client:
ANTHONY & ANTOINETTE JACKSON

Location:
**5048 11TH STREET NE
WASHINGTON, DC 20017**

Project Name:
**RESIDENTIAL ADDITIONS &
ALTERATIONS**

**EXISTING
CONDITIONS,
DEMOLITION, AND
PROPOSED PLANS
AT SECOND FLOOR**

Drawn By: Author DD

Project No. 00000 Date: 05/11/2018

A-1.2

General Contractor:
Consultant Type 1 Name
CONSULTANT TYPE 1
Consultant Type 1 Name
Consultant Type 1 Address 1
Consultant Type 1 Address 2
000.000.0000

Architect/Designer:
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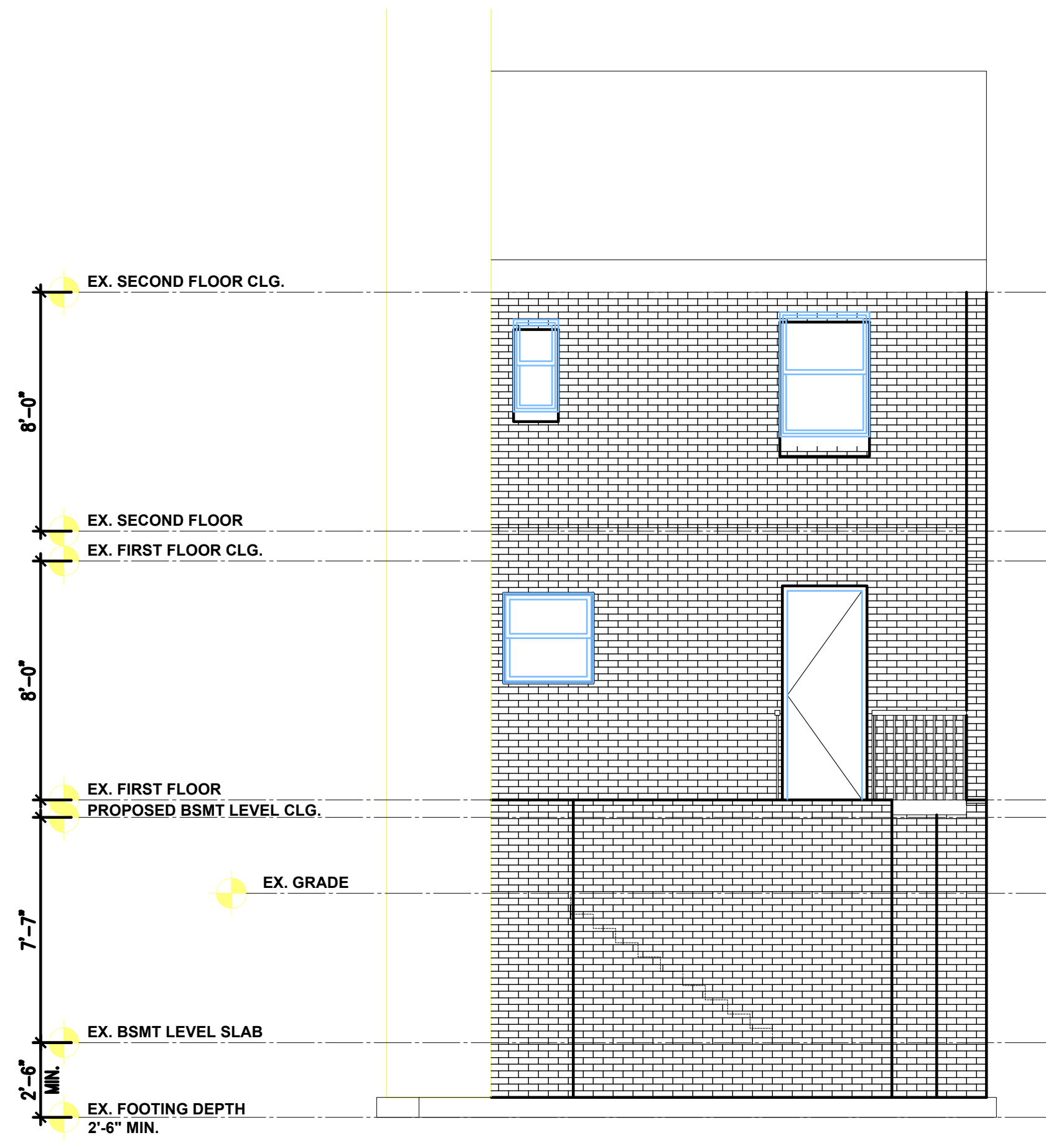
Project Name:
**RESIDENTIAL ADDITIONS &
ALTERATIONS**

EXISTING AND PROPOSED ELEVATIONS

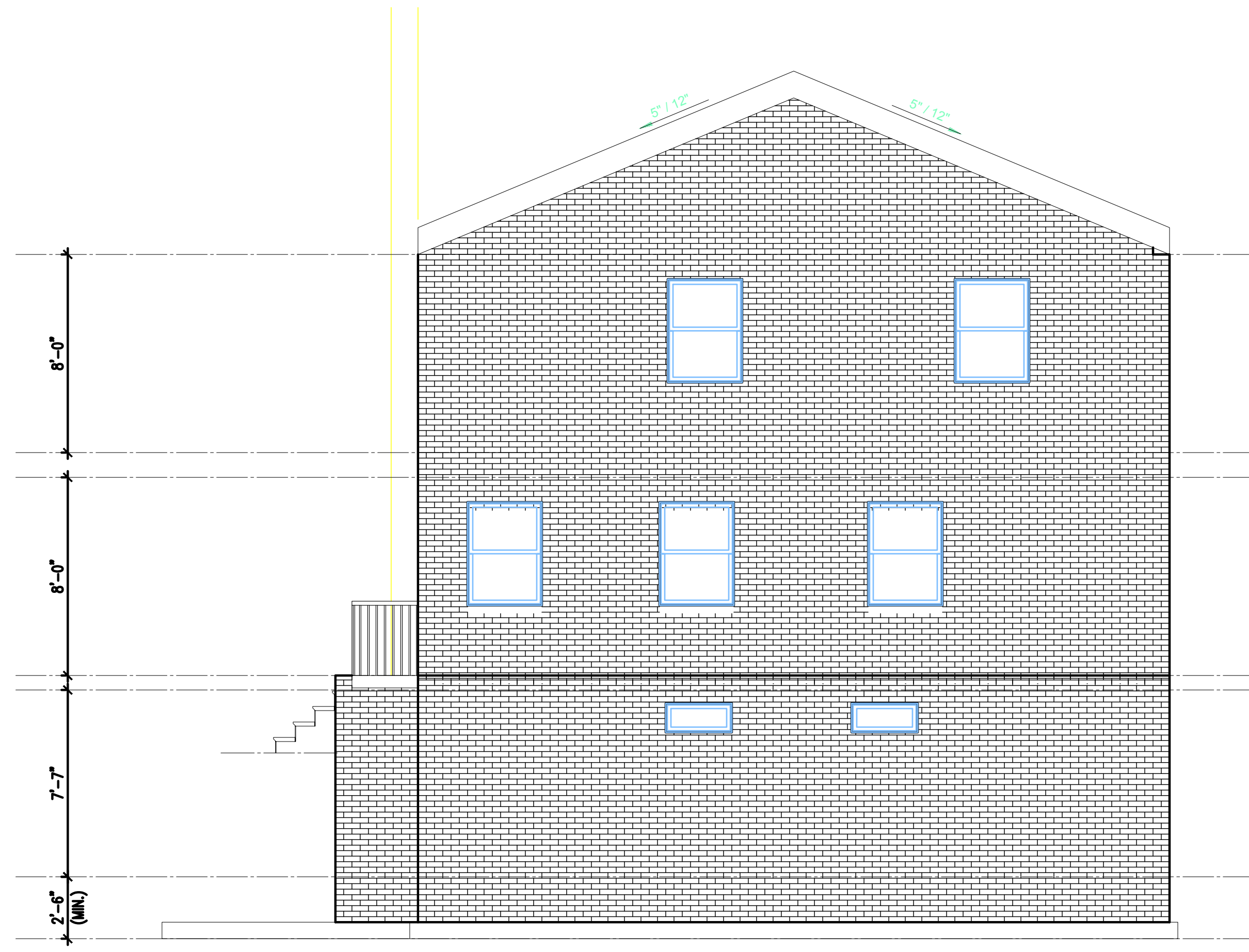
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Project No. 00000 Date: 03/16/2018

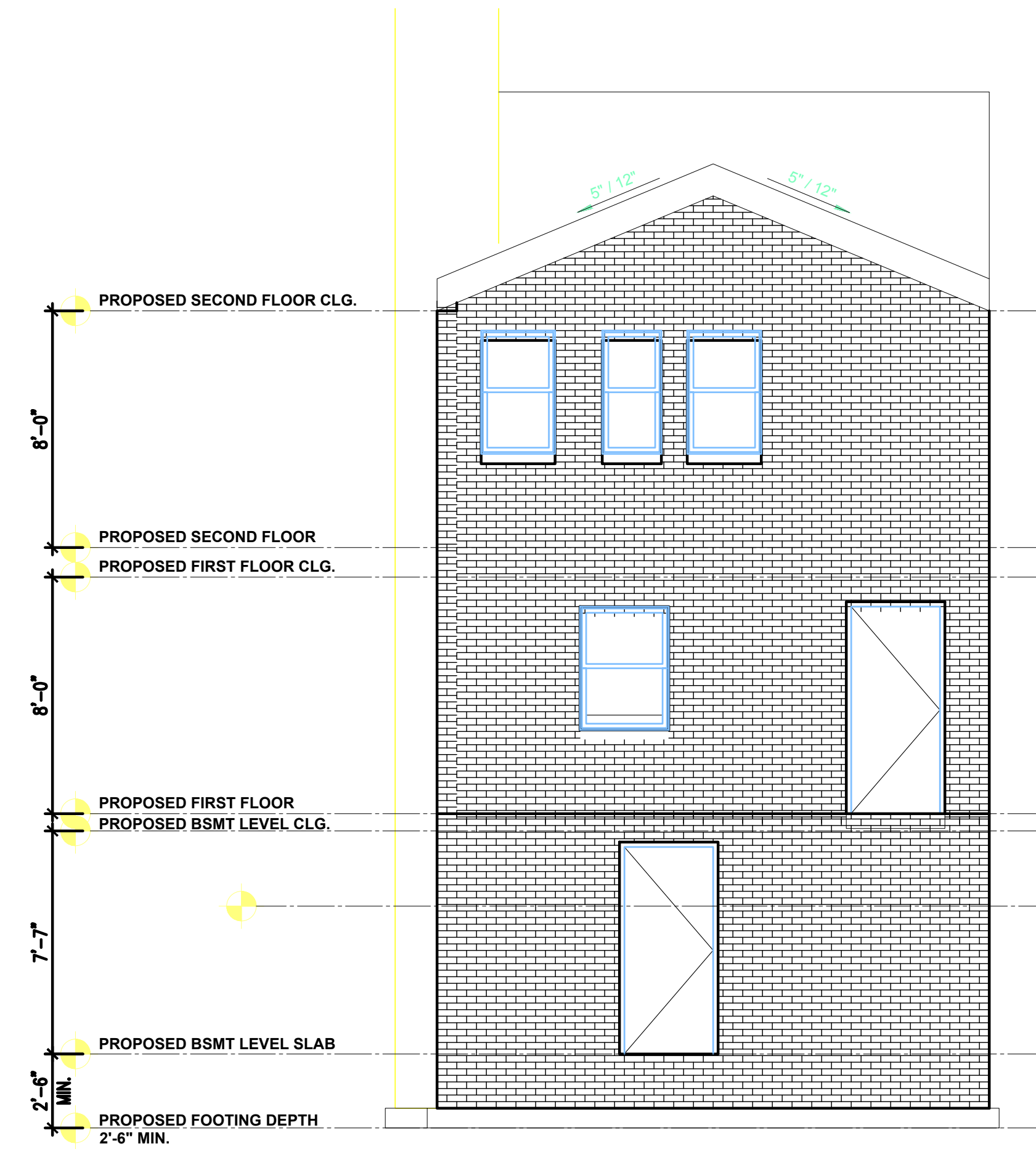
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3 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"