

# RESIDENCE 1347

1347 G STREET SOUTHEAST  
WASHINGTON, DC 20003

ISSUED FOR: PERMIT

ISSUED DATE: 07 FEBRUARY 2018

## ARCHITECT:



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## CLIENT:

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WASHINGTON, DC 20005  
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## STRUCTURAL ENGINEER:

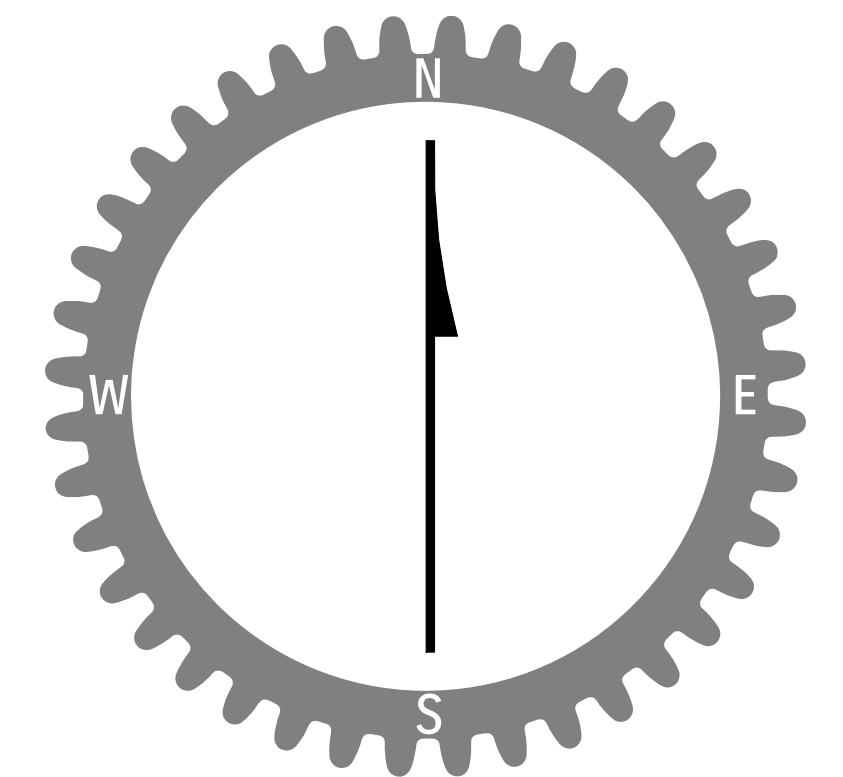
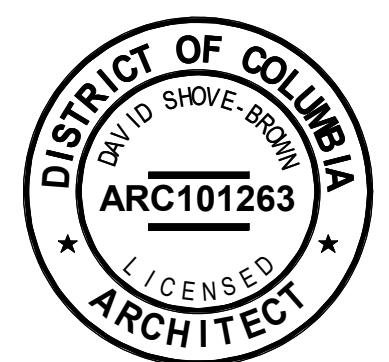
### CRC Design Associates, LLC

Charles R. Chalfant, PE  
4733 South 6th Street  
Arlington, VA 22204  
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## MECHANICAL ENGINEER:

### KK Engineering, LLC

Khalid Khalifa  
5840 Banneker Rd, Suite 220  
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ABBREVIATIONS

A.D.	AREA DRAIN	INT.	INTERIOR
AB.	ANCHOR BOLT	JAN.	JANITOR
ABV.	ABOVE	JB.	JUNCTION BOX
ACC.	ACCESS	JST.	JOIST
ACOUS.	ACOUSTICAL	JT.	JOINT
ACT.	ACOUSTICAL CEILING TILE	KD.	KNOCK DOWN
ADJ.	ADJUSTABLE	KIT.	KITCHEN
AF.F.	ABOVE FINISH FLOOR	KOL.	KNOCK OUT
AHU.	AIR HANDLING UNIT	LAM.	LAMINATE (ED)
ALT.	ALTERNATE	LAV.	LAVATORY
ALUM.	ALUMINUM	LIN.	LINEAR (LINEAL)
ANC.	ANCHORS	LP.	LOW POINT
APPROX.	APPROXIMATELY	LT.	LIGHT
ARCH.	ARCHITECT	LW.	LIGHTWEIGHT
AUTO.	AUTOMATIC	MACH.	MACHINE
AVG.	AVERAGE	MAINT.	MAINTENANCE
B.	BATHROOM	MATL.	MATERIAL
B.O.	BY OWNER	MAX.	MAXIMUM
BD.	BEAD	MDF.	MEDIUM DENSITY FIBERBOARD
BIT.	BITUMINOUS	MECH.	MECHANICAL
BLDG.	BUILDING	MEMB.	MEMBRANE
BLK.	BLOCK	MET., MTL.	METALLIC OR METAL
BLKG.	BLOCKING	MEZZ.	MEZZANINE
BLM.	BEAM	MFR.	MANUFACTURER
BOT.	BOTTOM	MIN.	MINIMUM
BRD.	BOARD	MISC.	MISCELLANEOUS
BRKT.	BRACKET	MLDG.	MOULDING
BSL.	BUILDING SETBACK LINE	MO.	MASONRY OPENING
BSSMT.	BASSMENT	MOD.	MODIFIED
BULT.	BUILT UP	MOUNT.	MOUNTED (MOUNTING)
CAB., CABT.	CABINET	N.	NORTH
CEM.	CEMENT (THOUS)	NIC.	NOT IN CONTRACT
CF.	CUBIC FEET (FOOT)	NO.	NUMBER
CI.	CAST IRON	NRC.	NOISE REDUCTION COEFFICIENT
CJ.	CONTROL JOINT	NTS.	NOT TO SCALE
CL.	CLOSET	OA.	OVERALL
CLG.	CEILING	O.C.	ON CENTER
CLL.	CONTRACT LIMIT LINE	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR	OF.CI.	OWNER FURNISHED CONTRACTOR INSTALLED
CMU.	CONCRETE MASONRY UNIT	OFF.	OFFICE
CNR.	CORNER	OH.	OVERHEAD
CO.	CLEAN OUT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PAR.	PARTIAL
CONST.	CONSTRUCTION	PE.	PEDESTAL
CONT.	CONTINUOUS	PLAS. LAM./ P.LAM.	PLASTIC LAMINATE
CPT.	CARPET	PLYWD.	PLYWOOD
CS.	COURSES	PNL.	PANEL
CT.	CERAMIC TILE	POL.	POLISH (POLISHED)
CTR.	CENTER	PR.	PAIR
CTSK.	COUNTERSUNK	PREFAB.	PREFABRICATED
DBL.	DOUBLE	PKTN.	PARTITION
DEPT.	DEPARTMENT	PSF.	POUNDS PER SQUARE FOOT
DET.	DETAIL	PSI.	POUNDS PER SQUARE INCH
DF.	DRINKING FOUNTAIN	PT.	POINT
DIA.	DIAMETER	PTD.	PAINTED
DIFF.	DIFFUSER	QT.	QUARRY TILE
DIM.	DIMENSION	QTY.	QUANTITY
DISP.	DISPENSER	R.	RISER
DIV.	DIVISION (DIVIDED)	RAD.	RADIUS
DN.	DOWN	RD.	ROOF DRAIN
DR.	DOOR	REF.	REFRIGERATOR
DS.	DIVIDER STRIP	REIN.	REINFORCED (ING)
DW.	DISHWASHER	REQ.	REQUIRED
DWG.	DRAWING	RES.	RESILIENT
DWR.	DRAWER	REV.	REVISE (REVISION)
E.	EAST	RM.	ROOM
EA.	EACH	RO.	ROUGH OPENING
EJ.	EXPANSION JOINT	RTU.	ROOF TOP UNIT
EL.	ELEVATION	S.	SOUTH
ELEC.	ELECTRICAL	S.S.TL. OR S.S.	STAINLESS STEEL
ELEV.	ELEVATOR	SC. WD.	SOLID CORE WOOD
ENCL.	ENCLOSURE	SCHED.	SCHEDULED
ENT.	ENTRANCE	SECT.	SECTION
EO.	EQUAL	SF.	SQUARE FEET (FOOT)
EQUIP.	EQUIPMENT	SHR.	SHOWER
EWC.	ELECTRIC WATER COOLER	SHT.	SHEET
EX.	EXISTING	SIM.	SIMILAR
EXP.	EXPANSION	SL.	SLIDING
EXT.	EXTERIOR	SO.	SQUARE
FD.	FLOOR DRAIN	SSK.	SERVICE SINK
FE(C).	FIRE EXTINGUISHER (CABINET)	STA.	STATION
FF.	FINISHED FLOOR	STC.	SOUND TRANSMISSION CLASS
FIN.	FINISH	STD.	STANDARD
FL.	FLOOR	STL.	STEEL
FLEX.	FLEXIBLE	STOR.	STORAGE
FLSG.	FLASHING	STRUCT.	STRUCTURAL
FLUOR.	FLUORESCENT	SUSP.	SUSPENDED
FR.	FRAME	SW.	SWITCH
FRFP.	FIRE PROOFING	SVS.	SYSTEM
FRT.	FIRE RETARDANT TREATED	T&G.	TONGUE AND GROOVE
FT.	FOOT (FEET)	TEL.	TELEPHONE
FTG.	FOOTING	TEMP.	TEMPERED
FVC.	FIRE VALVE CABINET	THK.	THICK
G.C.	GENERAL CONTRACTOR	THR.	THRESHOLD
GA.	GAUGE	TLT.	TOILET
GALV.	GALVANIZED	TR.	TREAD
GB.	GYPSPUM BOARD	TV.	TELEVISION
GL.	GLASS	TYP.	TYPICAL
GR.	GRADE	U.N.O.	UNLESS NOTED OTHERWISE
GYP. BRD.	GYPSPUM BOARD	UL.	UNDERWRITER'S LABORATORIES INC.
HB.	HOSE BIB	UNF.	UNFINISHED
HC.WD.	HOLLOW CORE WOOD	UR.	URINAL
HD.	HEAVY DUTY	UTL.	UTILITY
HDWD.	HARDWOOD	V.I.F.	VERIFY IN FIELD
HDWR.	HARDWARE	VCT.	VINYL COMPOSITION TILE
HGT.	HEIGHT	VERT.	VERTICAL
HM.	HOLLOW METAL	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	W.	WEST
HP.	HIGH POINT	W.	WITH
HR.	HOUR	W/O	WITHOUT
HWAC.	HEAT VENTILATING AIR COND.	WD.	WOOD
ID.	INSIDE DIAMETER	WH.	WATER HEATER
INCL.	INCLUDE (ING)	WP.	WATERPROOFING
INST.	INSTALLATION	WR.	WATER RESISTANT
INSUL.	INSULATION	WT.	WEIGHT

MATERIAL DESIGNATIONS

CONCRETE		CONCRETE
METAL		IRON / STEEL
		ALUMINUM
		BRASS / BRONZE
WOOD		FINISHED
		ROUGH
		PLYWOOD LARGE SCALE
		PLYWOOD SMALL SCALE
		DISCONTINUOUS BLOCKING
STONE		MARBLE
		TRAVERTINE
		LIMESTONE
		SLATE
INSULATION		LOOSE FILL OR BATT
		RIGID
FINISHES		ACOUSTIC TILE
		PLASTER, GYP. BD

ANNOTATION SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	DISCIPLINE DESIGNATOR
	FACE DIMENSION
	W.I. CABINET NUMBER
	GRID LINE
	REVISION CLOUD AND DELTA
	TEMPERED GLAZING
	ACCESSIBILITY SYMBOL
	ROOM TAG 1
	ROOM NAME
	ROOM NUMBER
	DRAWING IDENTIFICATION #
	SHEET NUMBER
	NEW CONSTRUCTION
	DEMOLITION
	WALL TYPE
	DOOR NUMBER
	WINDOW TAG
	LOUVER TAG
	EQUIPMENT TAG
	ELECTRICAL FIXTURE
	PLUMBING FIXTURE
	FURNITURE TAG

KEYNOTES

	NEW CONSTRUCTION
	DEMOLITION
	WALL TYPE
	DOOR NUMBER
	WINDOW TAG
	LOUVER TAG
	EQUIPMENT TAG
	ELECTRICAL FIXTURE
	PLUMBING FIXTURE
	FURNITURE TAG

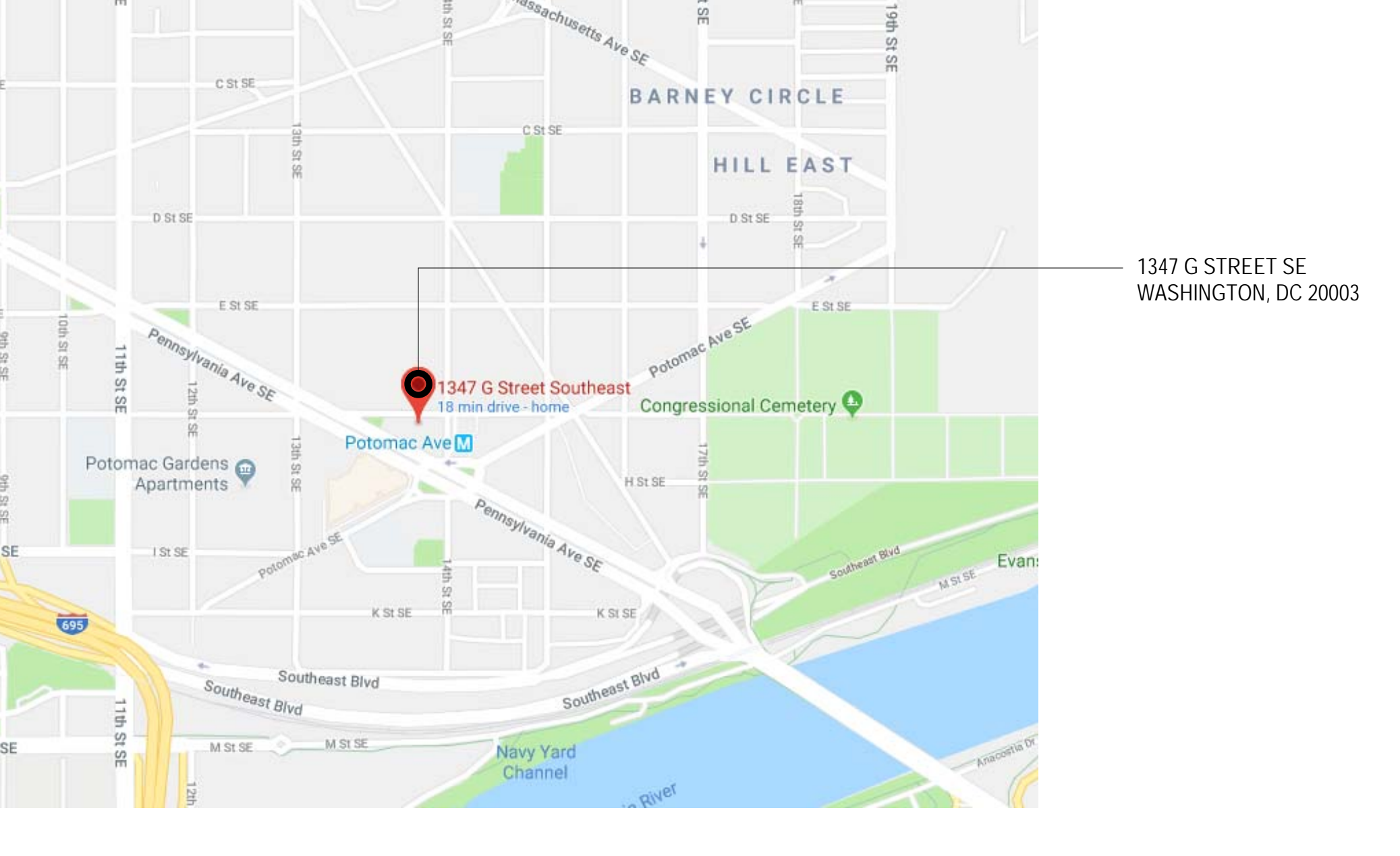
PROJECT DIRECTORY

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ARCHITECT:	//3877 DAVID SHOVE-BROWN, AIA, NCARB RYAN PETYAK, AIA, NCARB 3299 K ST NW, SUITE 110 WASHINGTON, DC 20007 (T) 202.350.4244 (F) 202.350.4245
STRUCTURAL ENGINEER:	CRC DESIGN ASSOCIATES, LLC CHARLES R. CHALFANT, PE 4733 SOUTH 6TH STREET ARLINGTON, VA 22204 (T) 703.822.1961
MECHANICAL ENGINEER:	KK ENGINEERING, LLC 5840 BANNEKER ROAD, SUITE 220 COLUMBIA, MD 21044 (T) 443.393.1070

DRAWING SYMBOLS

	SWING DOOR - DOOR SCHEDULE
	FRAMED OPENING
	24" x 24" ACOUSTIC CEILING TILE IN NEW GRID
	24" x 24" ACOUSTIC CEILING TILE IN EXISTING GRID
	GYPSPUM WALL BOARD CEILING ON METAL FRAMING
	EXISTING CEILING - WOOD PLANK ON WOOD JOISTS
	DUPLEX OUTLET
	WEATHERPROOF DUPLEX OUTLET
	GFCI OUTLET
	TELEPHONE OUTLET
	TELEVISION OUTLET
	Cat6 RJ45 INTERNET OUTLET
	HIGH SPEED INTERNET ACCESS SWITCH (4'-0" MAX TO TOP OF OPERABLE SWITCH)
	3 WAY SWITCH (4'-0" MAX TO TOP OF OPERABLE SWITCH)
	DIMMER SWITCH (4'-0" MAX TO TOP OF OPERABLE SWITCH)

PROJECT LOCATION (NTS)



CODE INFORMATION

ADDRESS:	1347 G STREET SOUTHEAST WASHINGTON, DC 20003
SQUARE:	1044
LOT:	0019
ZONE:	RF-1
EXISTING USE:	SINLGE FAMILY RESIDENTIAL
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	VA
YEAR BUILT:	1918
MAX HEIGHT:	35' - 0"
EXISTING HEIGHT:	24' - 4"
PROPOSED HEIGHT:	34' - 7 1/2"
MAX % LOT OCCUPANCY:	60%
EXISTING LOT SIZE:	1013
EXIST LOT COVERAGE:	77% SF
EXIST % LOT OCC:	77%
PROP. LOT COVERAGE:	NO CHANGE
PROPOSED LOT OCC:	77%
MN REAR YARD:	20' - 0"
EXISTING REAR YARD:	6' - 8 1/2" SW CORNER; 17' - 1" NW CORNER
PROPOSED REAR YARD:	NO CHANGE
MN SIDE YARDS:	5' - 0" ON FREE STANDING SIDES
EXISTING SIDE YARDS:	0' - 0"
EXISTING CELLAR:	778 SF
PROPOSED CELLAR:	778 SF
EXISTING FIRST FLOOR:	778 SF
PROPOSED FIRST FLOOR:	778 SF
EXISTING SECOND FLOOR:	778 SF
PROPOSED SECOND FLOOR:	778 SF
EXISTING THIRD FLOOR:	0 SF
PROPOSED THIRD FLOOR:	778 SF
AUTOMATIC SPRINKLER:	
DC CONSTRUCTION CODES:	TITLE 12 DCMR, DC CONSTRUCTION CODE SUPPLEMENT (2013)
BUILDING CODE:	2012 INTERNATIONAL RESIDENTIAL CODE (IRC)
ELECTRICAL CODE:	2011 NATIONAL ELECTRICAL CODE (NFPA)
MECHANICAL CODE:	2012 INTERNATIONAL MECHANICAL CODE (IMC)
PLUMBING:	2012 INTERNATIONAL PLUMBING CODE (IPC)
PROPERTY MAINTENANCE:	2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
FIRE CODE:	2012 INTERNATIONAL FIRE CODE (IFC)
ENERGY CONSERVATION:	2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
GREEN CONSTRUCTION:	2012 ICC GREEN CONSTRUCTION CODE

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES TO CONVERSION OF A SINGLE FAMILY HOME INTO A TWO UNIT DWELLING.

THIS WORK INCLUDES, BUT IS NOT LIMITED TO:

- REMOVAL OF FIXTURES AND FINISHES THROUGHOUT
- DEMOLITION OF SELECT BEARING AND NON-BEARING MEMBERS
- ADDITION OF THIRD STORY OVER THE EXISTING TWO-STORY HOME.
- NEW ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS THROUGHOUT.
- PERVIOUS PARKING PAD ON GRADE

DRAWING LIST

SHEET NUMBER	SHEET NAME
0004	WINDOW SCHEDULE
0001	COVER
0002	PROJECT INFORMATION
0003	DOORS, PARTITIONS, AND SCHEDULES
S0011	STRUCTURAL FRAMING PLANS
AD0011	ARCHITECTURAL DEMOLITION FLOOR PLANS
C0001	SEDIMENT & EROSION DETAILS
C0002	SOIL TEST MAP/LEGEND
C0003	EROSION & SEDIMENT CONTROL PLAN
A0011	ARCHITECTURAL FLOOR PLANS
A0012	ARCHITECTURAL FLOOR PLANS
A0021	EXTERIOR ELEVATIONS
A0031	BUILDING AND WALL SECTIONS
A0041	REFLECTED CEILING PLANS
A0042	REFLECTED CEILING PLANS
A0051	ENLARGED DETAILS
M0001	MECHANICAL GENERAL NOTES
M0011	MECHANICAL PLANS
E0011	ELECTRICAL LIGHTING PLANS
E0012	ELECTRICAL POWER PLANS
P0001	GENERAL PLUMBING NOTES
P0002	PLUMBING DIAGRAMS
S0001	GENERAL STRUCTURAL NOTES
SD0011	STRUCTURAL FRAMING DEMOLITION PLAN
S0051	STRUCTURAL DETAILS
S0052	STRUCTURAL DETAILS
S0053	STRUCTURAL DETAILS



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CONSULTANTS

DRAWING DATA

PROJECT: RESIDENCE1347  
ADDRESS: 1347 G ST SE  
WASHINGTON, DC 20003

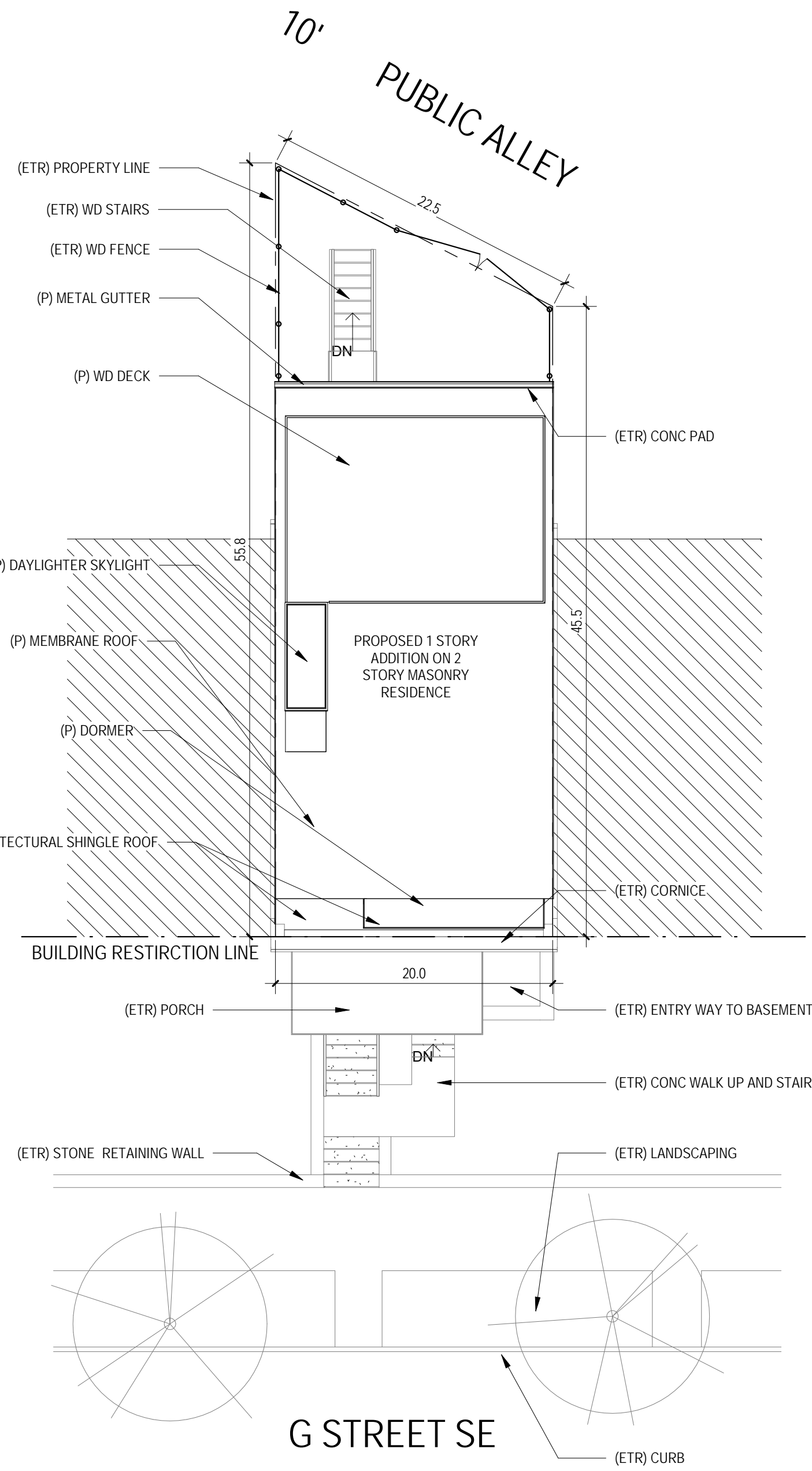
NO.	ISSUE	DATE
0	FOR PERMIT	12/17/2015

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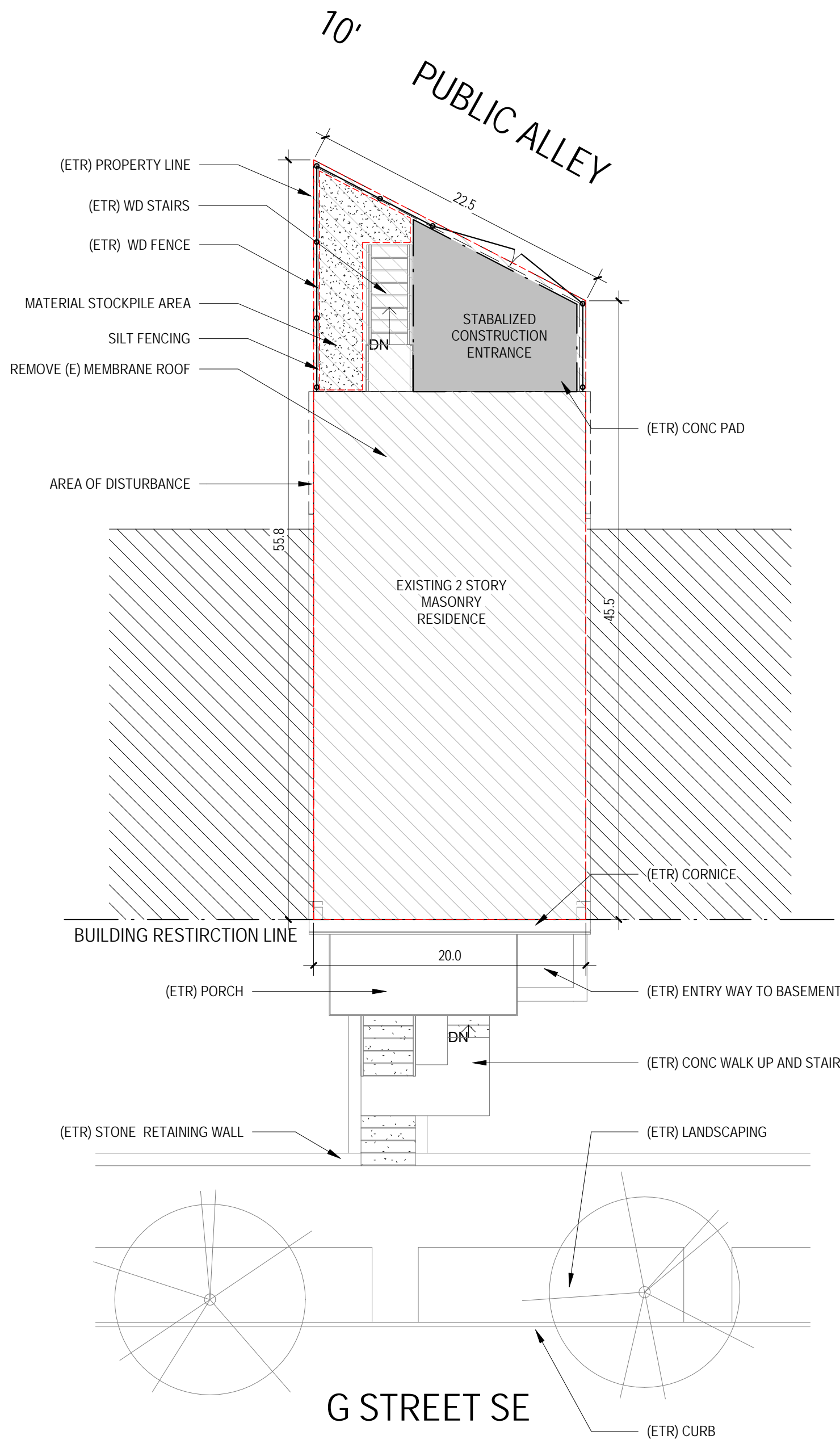
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PROJECT NO: 2017.157  
DATE: 04/08/16  
SCALE: As indicated

0002

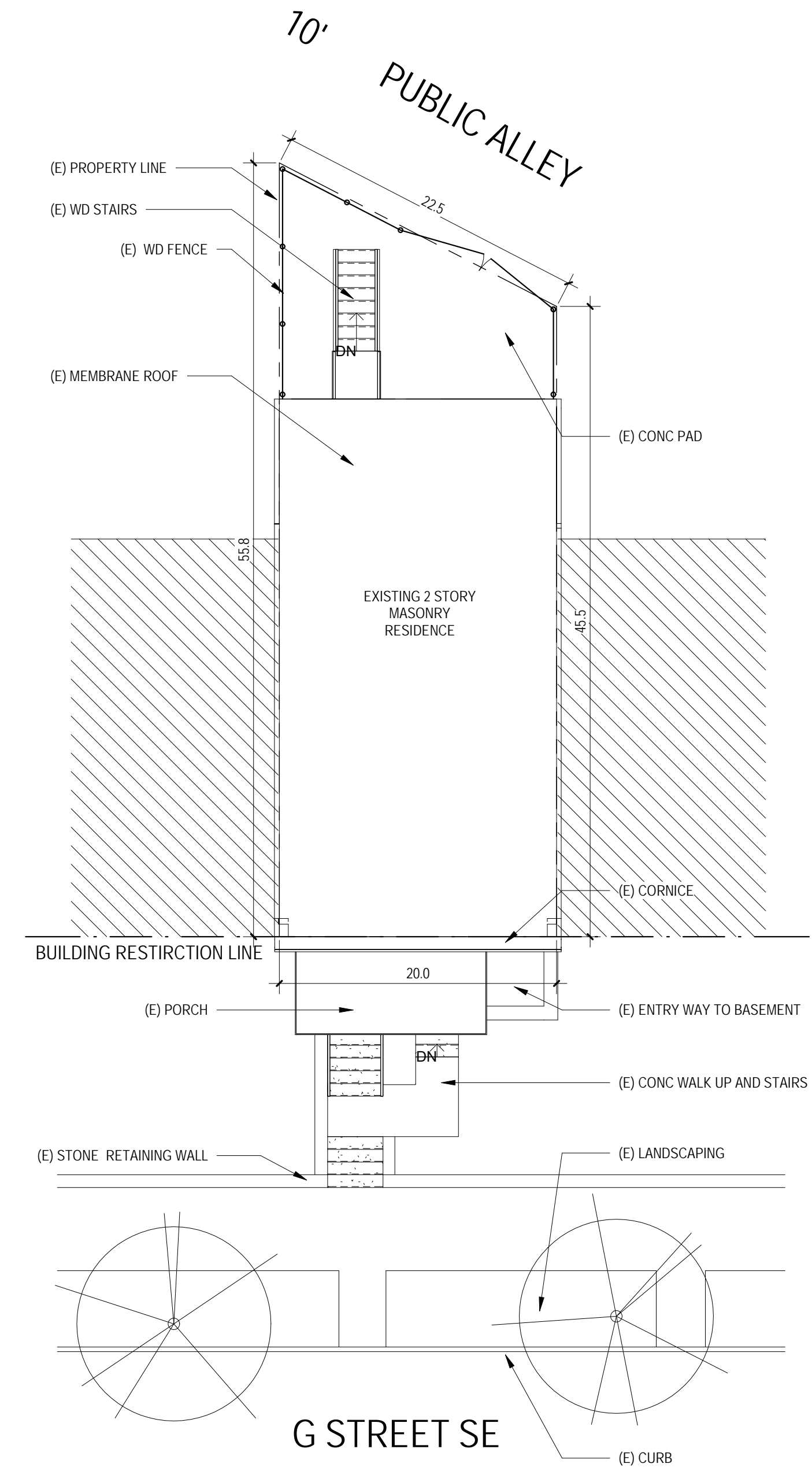




1 PROPOSED - SITE  
1/8" = 1'-0"



2 EROSION & SEDIMENT CONTROL PLAN  
1/8" = 1'-0"

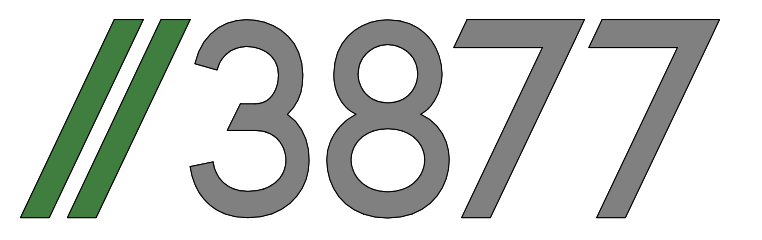


3 EXISTING - SITE  
1/8" = 1'-0"

**EROSION & SEDIMENT CONTROL GENERAL NOTES**

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (D)]
- ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DDOE INSPECTOR (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7A(1)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DDOE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7]
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (A)]
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16(B)]
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- REQUEST A DDOE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- REQUEST A DDOE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1, B.2)]
- FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DDOE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DDOE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18X24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DDOE'S TELEPHONE NUMBER (202-535-2977), DDOE'S E-MAIL ADDRESS (E.B.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTIONEROSIONRUNOFF") [21 DCMR § 543.22]

CIVIL PLAN LEGEND	CIVIL CALCULATION TABLE:		CIVIL NARRATIVE:
	EXISTING	PROPOSED	
 - GRASS AND OTHER PERVIOUS VEGETATIVE SURFACE	DISTURBED AREA: INCLUDES TOT. S.F. OF HOME AND 5' MIN BUFFER AROUND DISTURB.	1013 SQ. FT.	THE SCOPE OF WORK INCLUDES THE RENOVATION AND ADDITION TO AN EXISTING MASONRY AND WOOD FRAMED SINGLE FAMILY HOME WITH CONVERSION TO TWO UNITS. NO INCREASE TO OVERALL FOOTPRINT. HOME WILL GET NEW HVAC, ELECTRICAL AND PLUMBING THROUGHOUT.  EXISTING REAR YARD HAS CONCRETE PAD WITH SIDE WOOD FENCE ALONG PROPERTY LINES.
	EXCAVATION VOLUME:	0 CU. FT.	
	TOTAL LOT AREA:	1013 SQ. FT.	
	TOTAL PERVIOUS SURFACE:	0 SQ FT	
	TOTAL BUILDING FOOTPRINT:	775 SQ FT	
TOTAL PAVED FOOTPRINT:	238 SQ FT	238 SQ FT	



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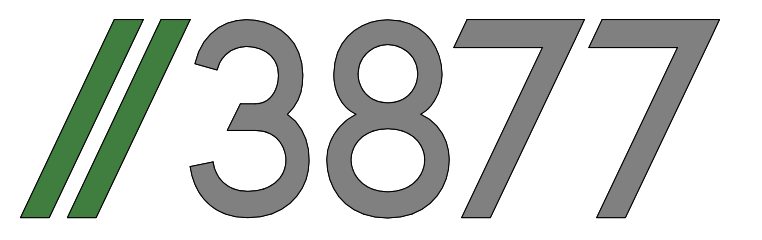
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ADDRESS: **1347 G ST SE**  
**WASHINGTON, DC 20003**

NO.	ISSUE	DATE
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SEAL & SIGNATURE:

SHEET TITLE: EROSION & SEDIMENT CONTROL PLAN  
PROJECT NO: 2017.157  
DATE: 04/08/16  
SCALE: 1/8" = 1'-0"

**C0003**



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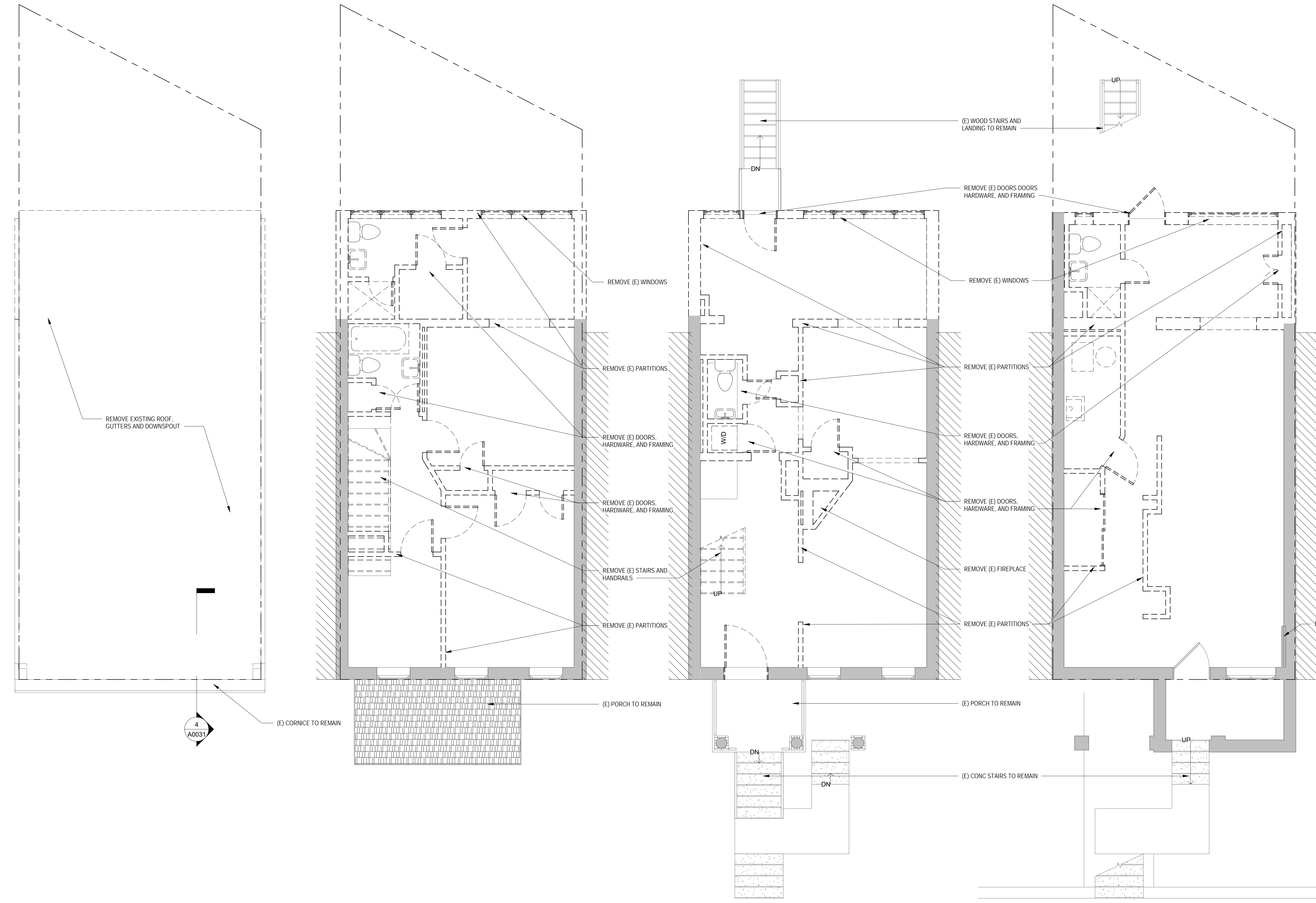
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 ADDRESS: **1347 G ST SE  
 WASHINGTON, DC 20003**

NO.	ISSUE	DATE
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SEAL & SIGNATURE:

SHEET TITLE: ARCHITECTURAL DEMOLITION FLOOR  
 PLANS  
 PROJECT NO: 2017.157  
 DATE: 04/14/16  
 SCALE: 1/4" = 1'-0"

**AD0011**

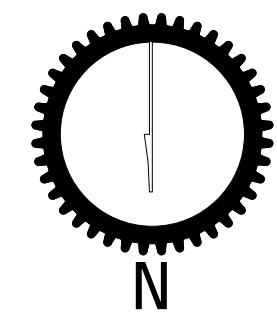


④ DEMOLITION PLAN - LEVEL 3  
 1/4" = 1'-0"

③ DEMOLITION PLAN - LEVEL 2  
 1/4" = 1'-0"

② DEMOLITION PLAN - LEVEL 1  
 1/4" = 1'-0"

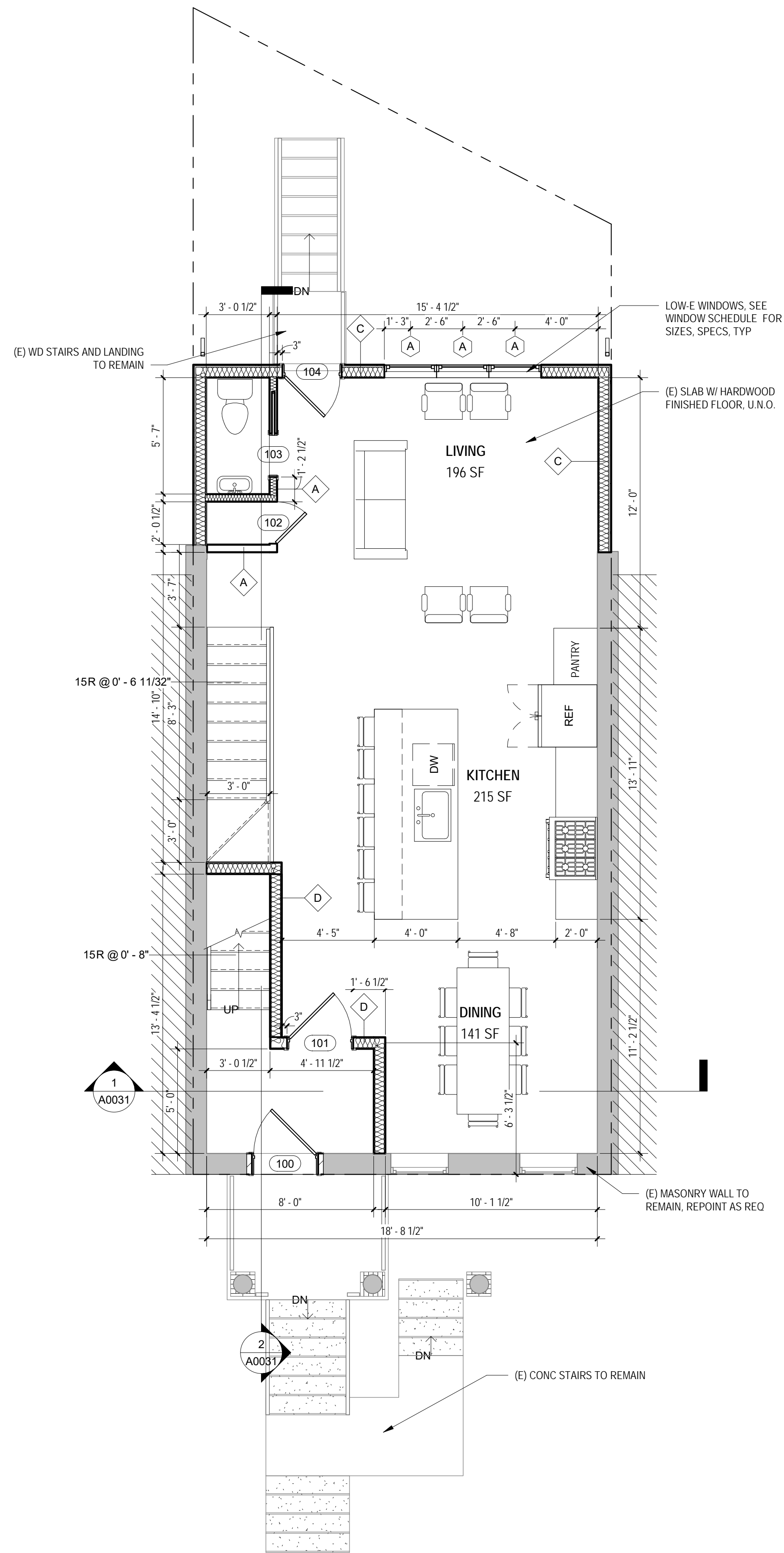
① DEMOLITION PLAN - CELLAR  
 1/4" = 1'-0"



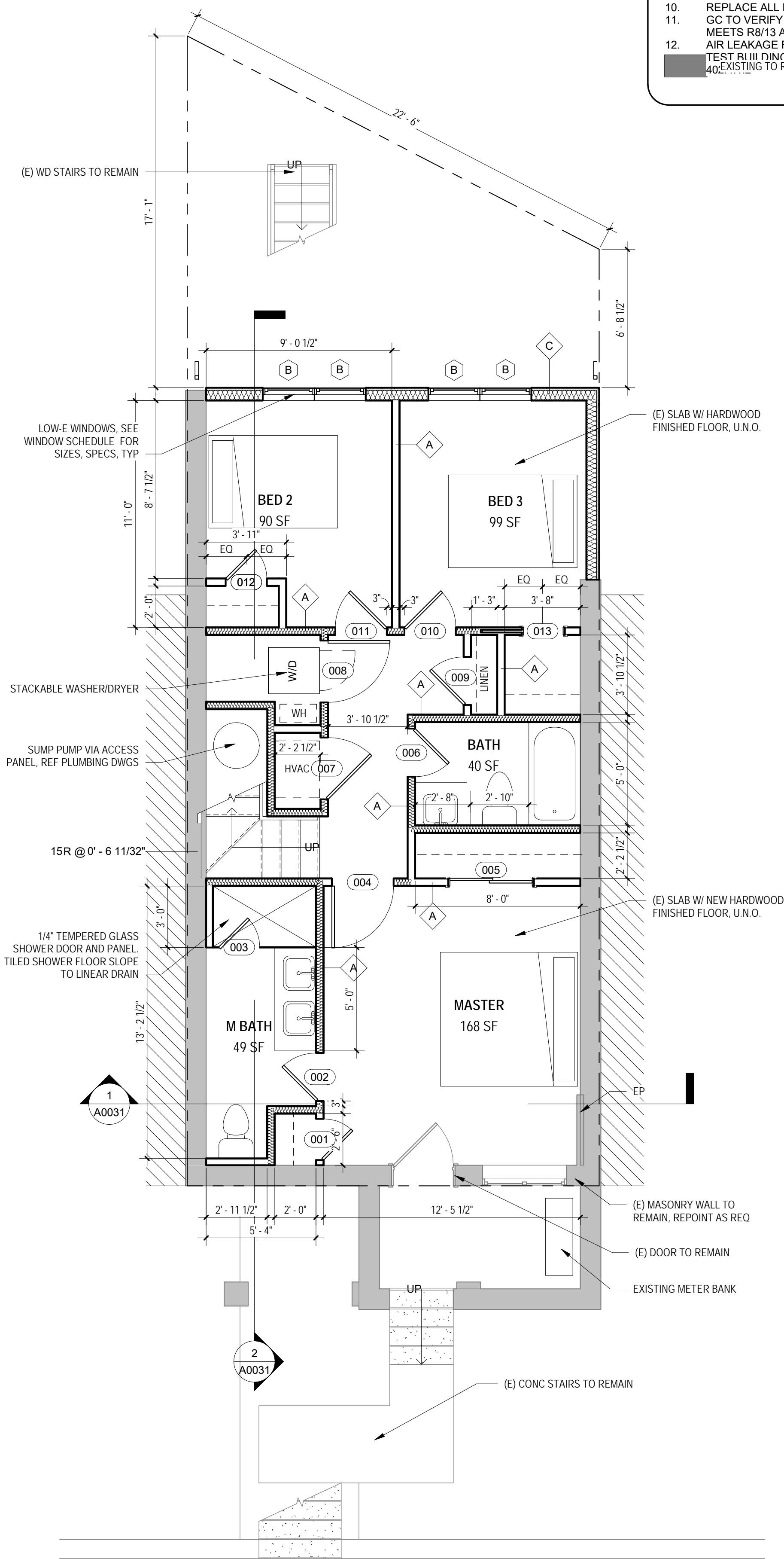


**CONSTRUCTION GENERAL NOTES**

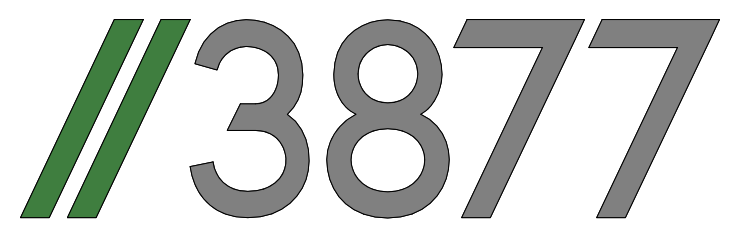
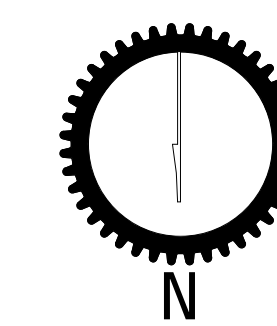
1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE G1.01 FOR PARTITION SCHEDULE
3. ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
4. ALL CEILINGS TO BE 1/2" GWS - PAINTED - FLAT FINISH
5. ALL WALLS TO BE PAINTED - EGGSHELL FINISH
6. REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
7. SEE ELEVATIONS FOR WINDOW TAGS
8. PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY W/ IRC E3802 OR NEC210.12
9. ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
10. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
11. GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2012 IECC 402.1.1
12. AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST R/II DINGS THERMAL ENVELOP IN ACCORDANCE WITH 2012 IECC 402.1.1



2 PROPOSED - LEVEL 1  
1/4" = 1'-0"



1 PROPOSED - BASEMENT  
1/4" = 1'-0"



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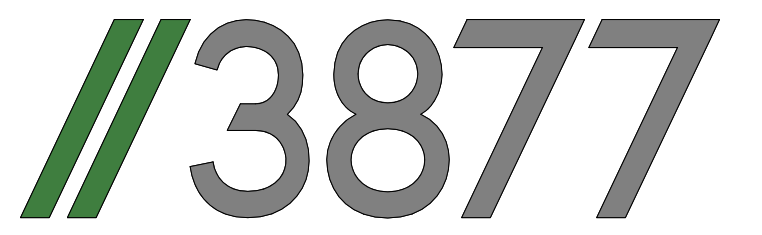
SHEET TITLE: ARCHITECTURAL FLOOR PLANS

PROJECT NO: 2017.157

DATE: 04/14/16

SCALE: As indicated

**A0011**



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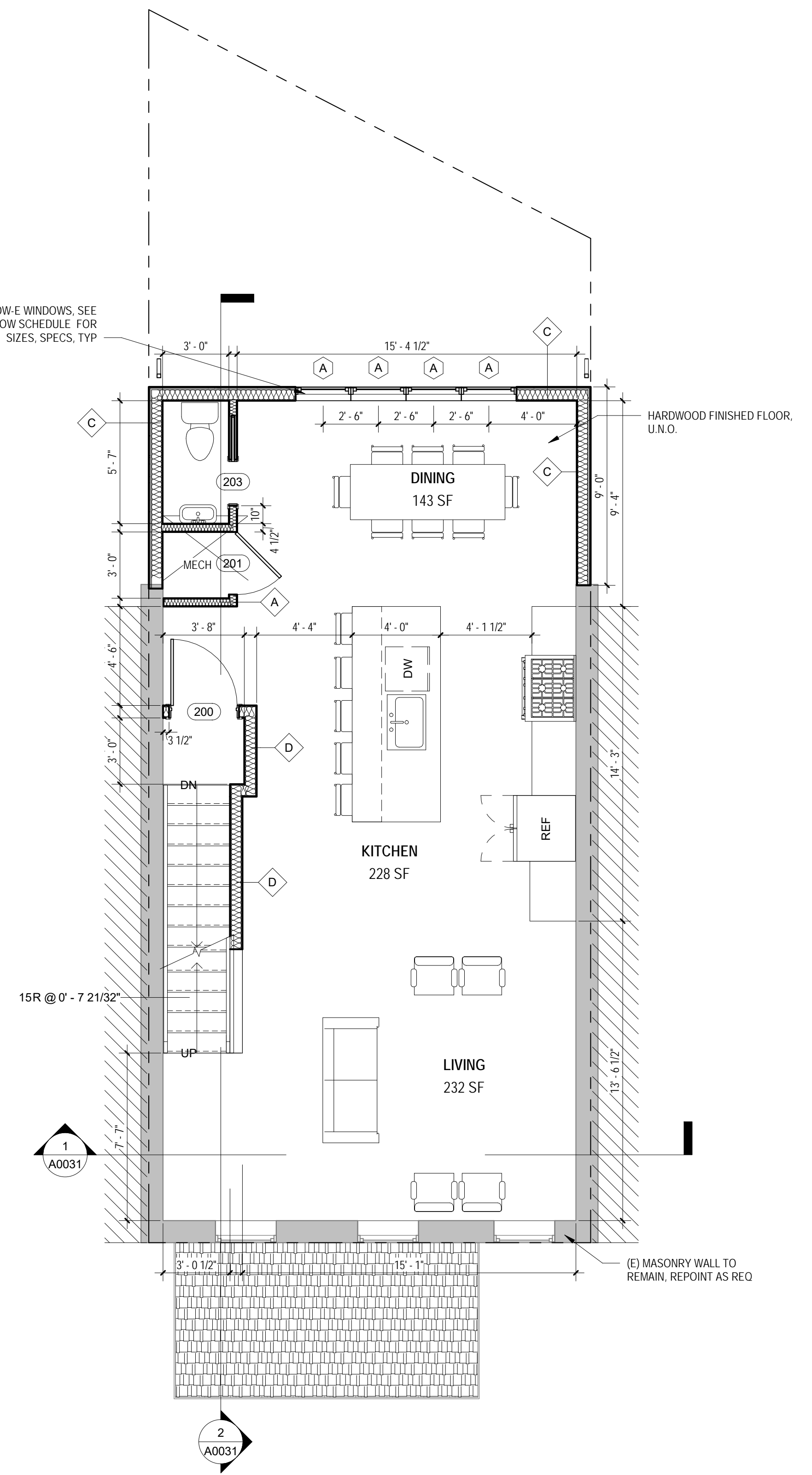
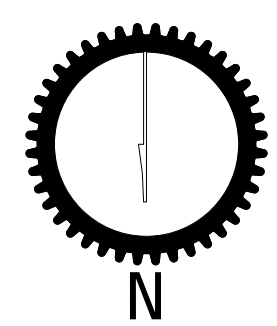
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NO.	ISSUE	DATE
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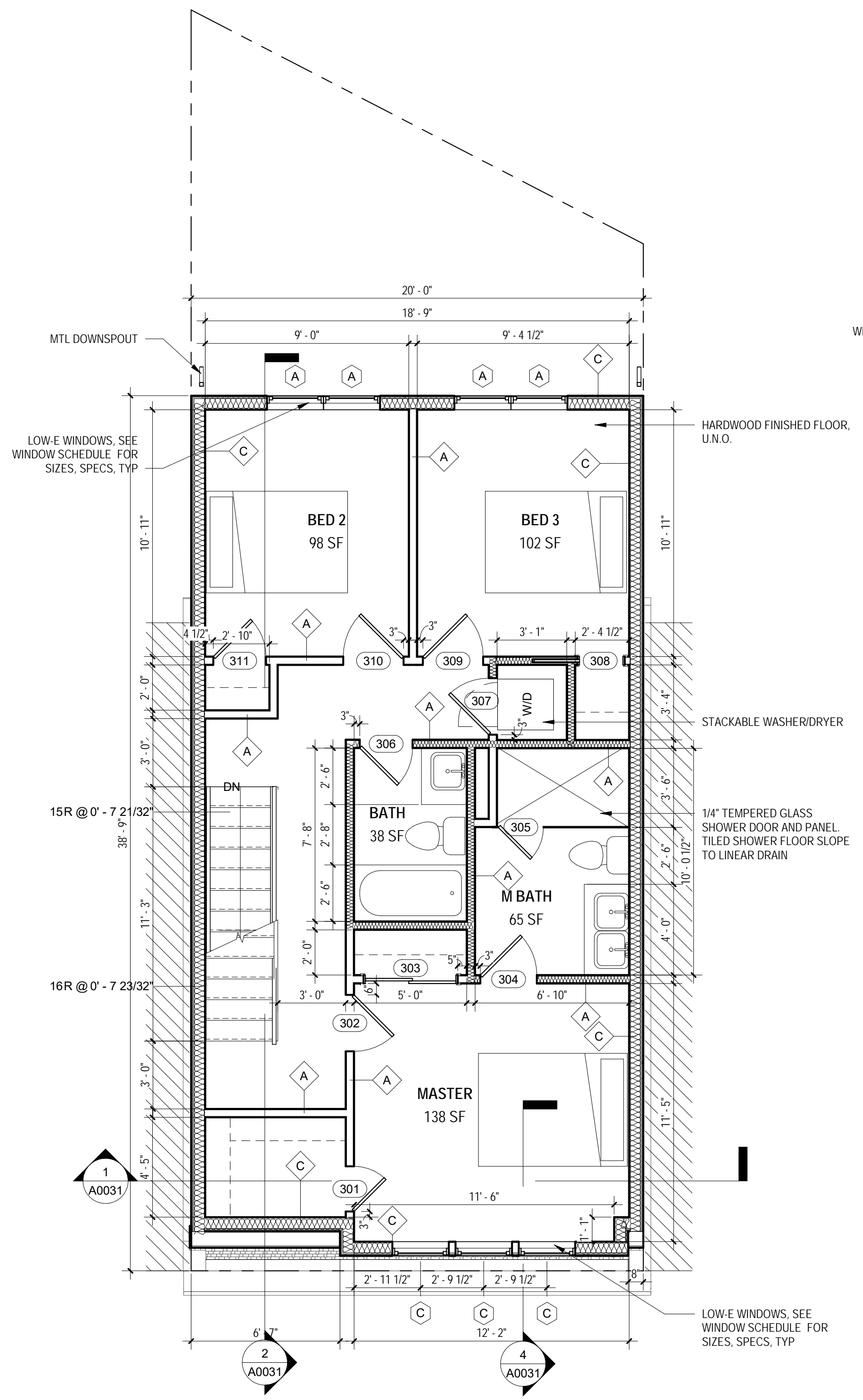
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PROJECT NO: 2017.157  
DATE 12/27/17  
SCALE: 1/4" = 1'-0"

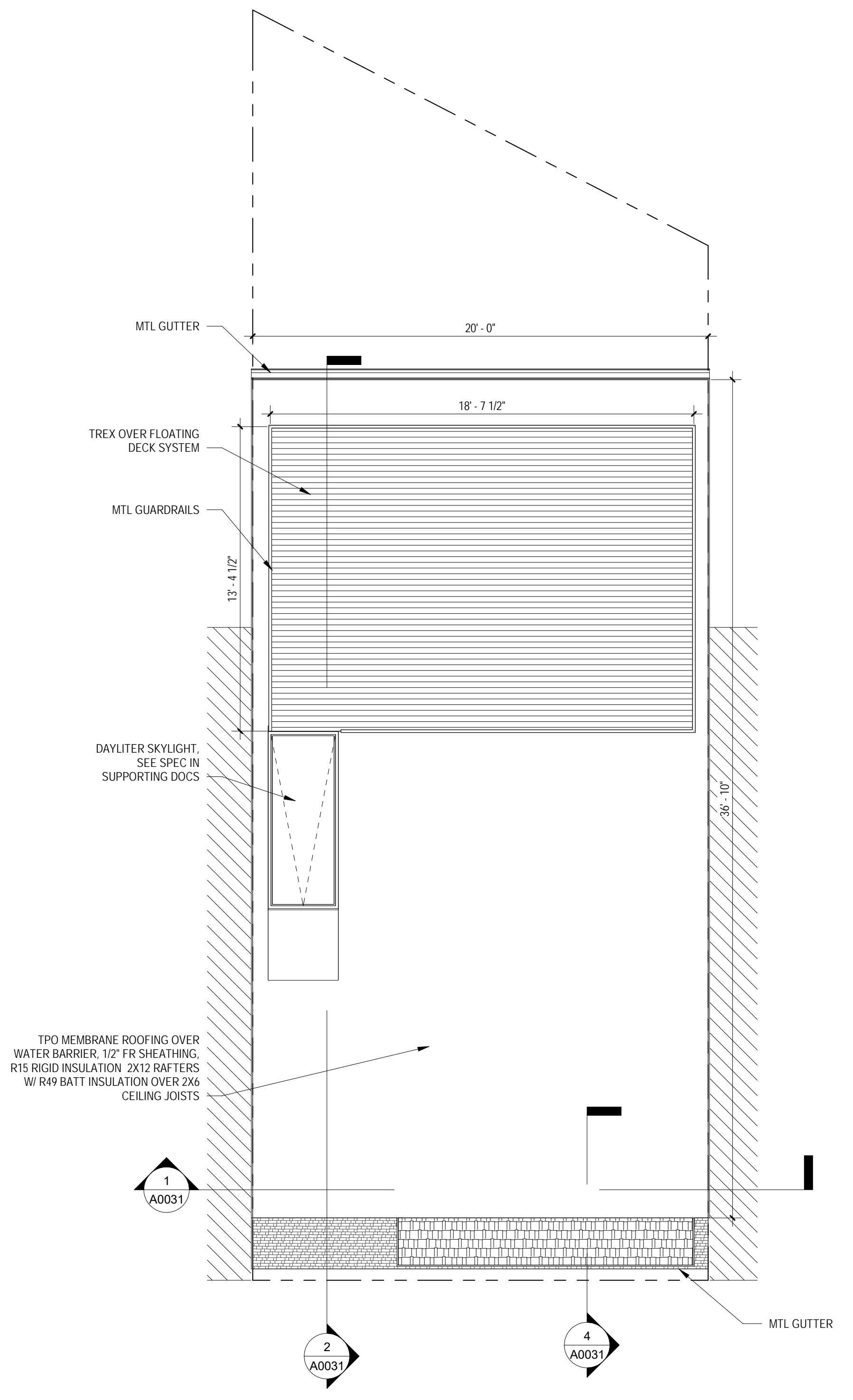
**A0012**



1 PROPOSED - LEVEL 2  
 1/4" = 1'-0"



2 PROPOSED - LEVEL 3  
 1/4" = 1'-0"



3 PROPOSED - ROOF  
 1/4" = 1'-0"



MTL GUARDRAILS  
TREX OVER FLOATING DECK SYSTEM  
DAYLITER SKYLIGHT, SEE SPEC IN SUPPORTING DOCS  
MTL GUTTER

1  
A0031

TPO MEMBRANE ROOFING OVER WATER BARRIER, 1/2" FR SHEATHING, R15 RIGID INSULATION 2X12 RAFTERS W/ R49 BATT INSULATION OVER 2X6 CEILING JOISTS

ROOF 28'-7"

LEVEL 3 19'-7"

LEVEL 2 10'-0"

LEVEL 1 0'-0"

(E) BASEMENT -7'-11"

MTL GUARDRAILS

4  
A0031

2  
A0031

TREX OVER FLOATING DECK SYSTEM  
DAYLITER SKYLIGHT, SEE SPEC IN SUPPORTING DOCS  
MTL GUTTER AND DOWNSPOUT

ROOF 28'-7"

LEVEL 3 19'-7"

LEVEL 2 10'-0"

LEVEL 1 0'-0"

(E) BASEMENT -7'-11"

TPO MEMBRANE ROOFING OVER WATER BARRIER, 1/2" FR SHEATHING, R15 RIGID INSULATION 2X12 RAFTERS W/ R49 BATT INSULATION OVER 2X6 CEILING JOISTS  
MTL GUTTER AND DOWNSPOUT

(E) CORNICE TO REMAIN

LOW-E WINDOWS, SEE WINDOW SCHEDULE FOR SIZES, SPECS, TYP

(E) WD STAIRS AND LANDING TO REMAIN

(E) WD STAIRS AND LANDING TO REMAIN

ADJACENT PROPERTY NOT IN SCOPE

(E) PORCH AND ROOF TO REMAIN, REPAIR AS REQ

(E) CONC STAIRS TO REMAIN

4 WEST 1/4" = 1'-0"

TPO MEMBRANE ROOFING OVER WATER BARRIER, 1/2" FR SHEATHING, R15 RIGID INSULATION 2X12 RAFTERS W/ R49 BATT INSULATION OVER 2X6 CEILING JOISTS

1  
A0031

MTL GUARDRAILS  
TREX OVER FLOATING DECK SYSTEM  
MTL GUTTER

ROOF 28'-7"

LEVEL 3 19'-7"

LEVEL 2 10'-0"

LEVEL 1 0'-0"

(E) BASEMENT -7'-11"

(E) CORNICE TO REMAIN

(E) PORCH AND ROOF TO REMAIN, REPAIR AS REQ

ADJACENT PROPERTY NOT IN SCOPE

34'-9 1/2"  
BUILDING MEASUREMENT POINT

3 EAST 1/4" = 1'-0"

2 SOUTH 1/4" = 1'-0"

4  
A0031

TPO MEMBRANE ROOFING OVER WATER BARRIER, 1/2" FR SHEATHING, R15 RIGID INSULATION 2X12 RAFTERS W/ R49 BATT INSULATION OVER 2X6 CEILING JOISTS

(E) CORNICE TO REMAIN

LOW-E WINDOWS, SEE WINDOW SCHEDULE FOR SIZES, SPECS, TYP

(E) MASONRY WALL TO REMAIN, REPOINT AS REQ

(E) PORCH AND ROOF TO REMAIN, REPAIR AS REQ

ROOF 28'-7"

LEVEL 3 19'-7"

LEVEL 2 10'-0"

LEVEL 1 0'-0"

(E) BASEMENT -7'-11"

(E) MASONRY WALL TO REMAIN, REPOINT AS REQ

LOW-E WINDOWS, SEE WINDOW SCHEDULE FOR SIZES, SPECS, TYP

(E) MASONRY WALL TO REMAIN, REPOINT AS REQ

(E) PORCH AND ROOF TO REMAIN, REPAIR AS REQ

(E) MASONRY WALL TO REMAIN, REPOINT AS REQ

LOW-E WINDOWS, SEE WINDOW SCHEDULE FOR SIZES, SPECS, TYP

(E) MASONRY WALL TO REMAIN, REPOINT AS REQ

LOW-E WINDOWS, SEE WINDOW SCHEDULE FOR SIZES, SPECS, TYP

1 NORTH 1/4" = 1'-0"

2  
A0031



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SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2017.157

DATE: 04/14/16

SCALE: 1/4" = 1'-0"

A0021



