

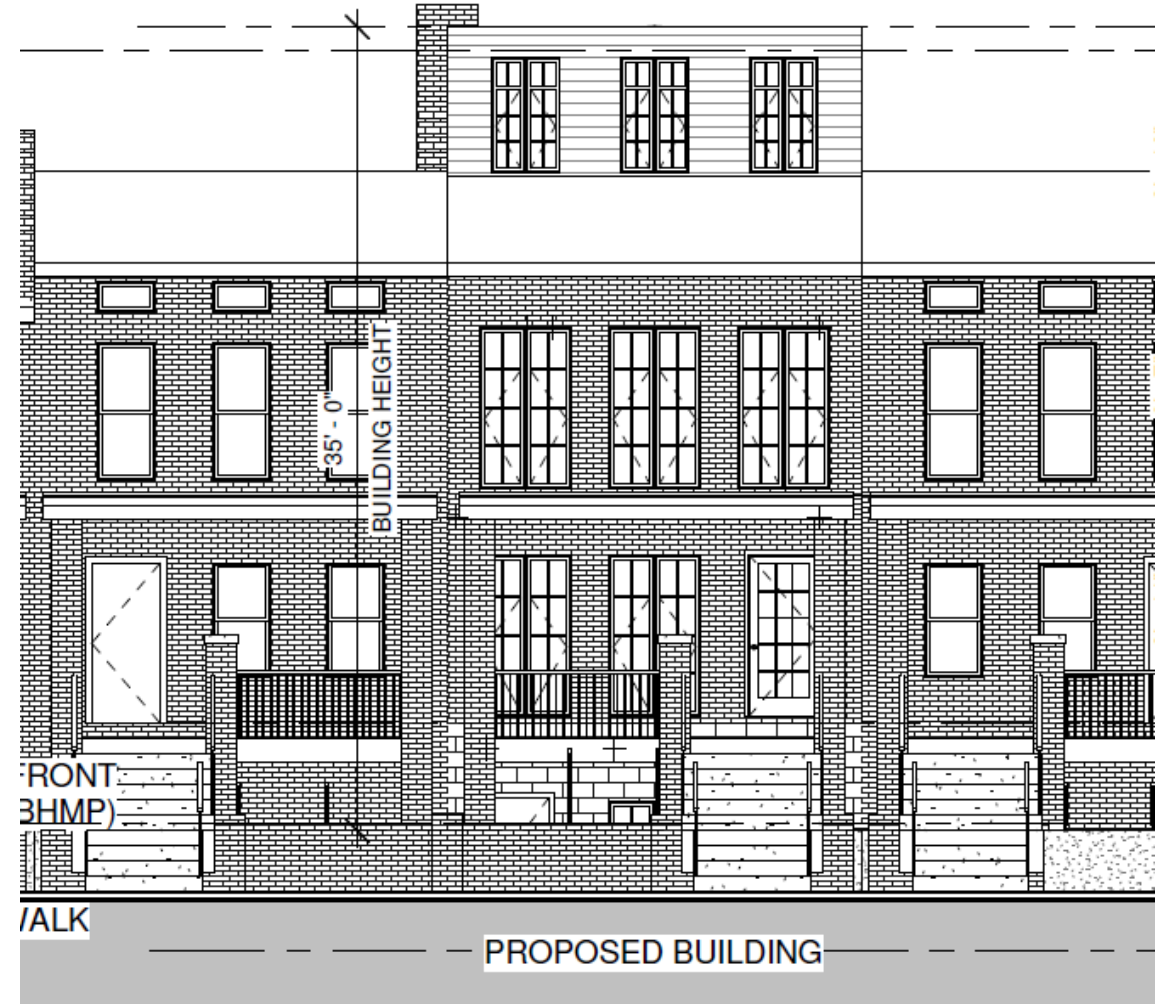
1322 Randolph Street, NW

BZA APPLICATION NO. 19821
OCTOBER 24, 2018

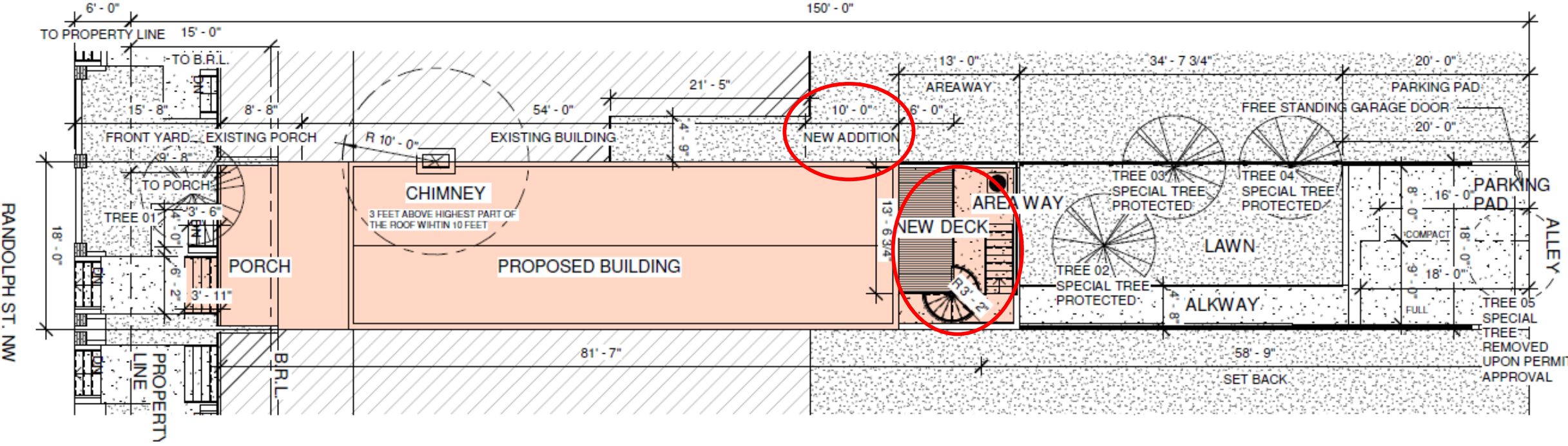
Overview

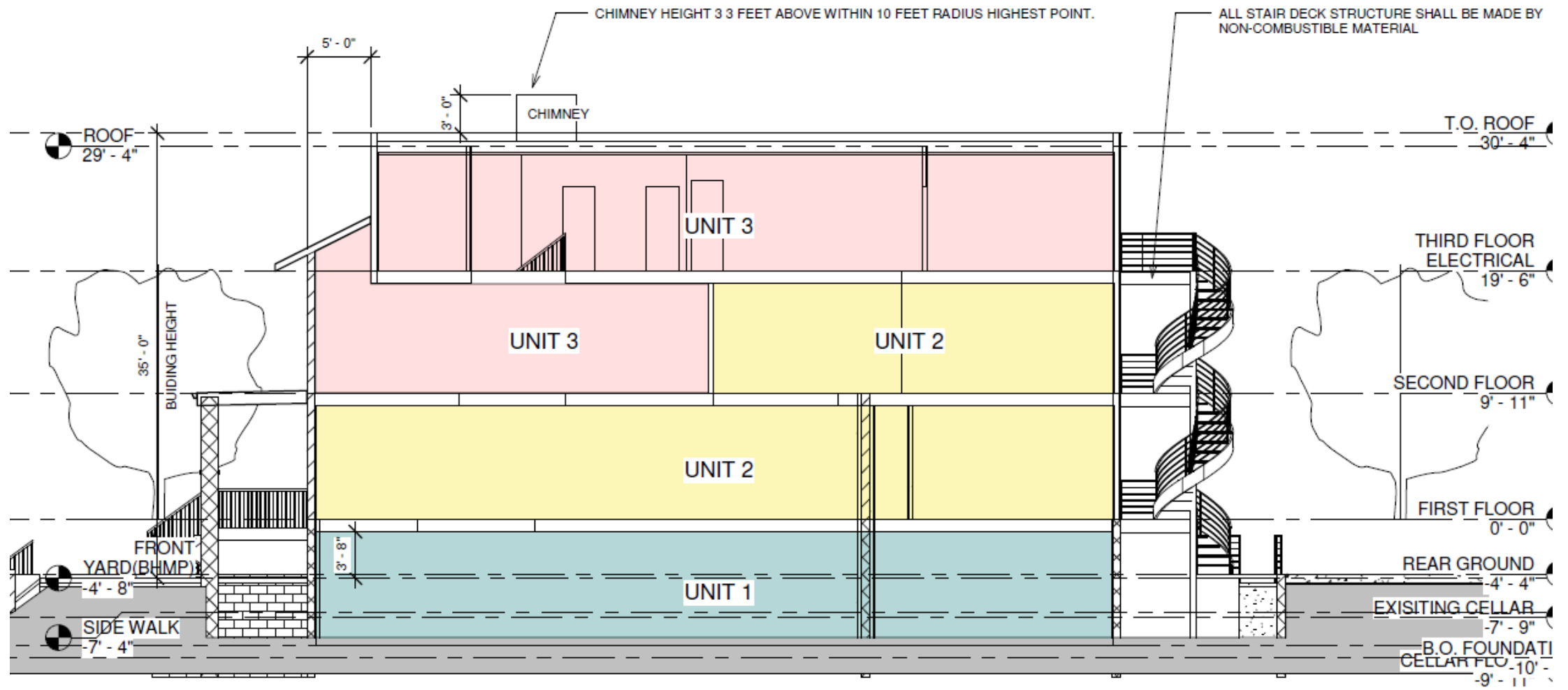
- Special Exception Relief pursuant to U § 320.2 in order to convert the property to three units
- The applicant is not requesting any waivers
 - Third story addition is set back 5 feet from the front of the building
 - Rear addition does not extend more than 10 ft. past adjacent rear walls
 - Not altering architectural elements original to the structure
- Office of Planning is recommending approval
- ANC is in support
- The adjacent neighbor to the east has written a letter in support

Existing vs. Proposed

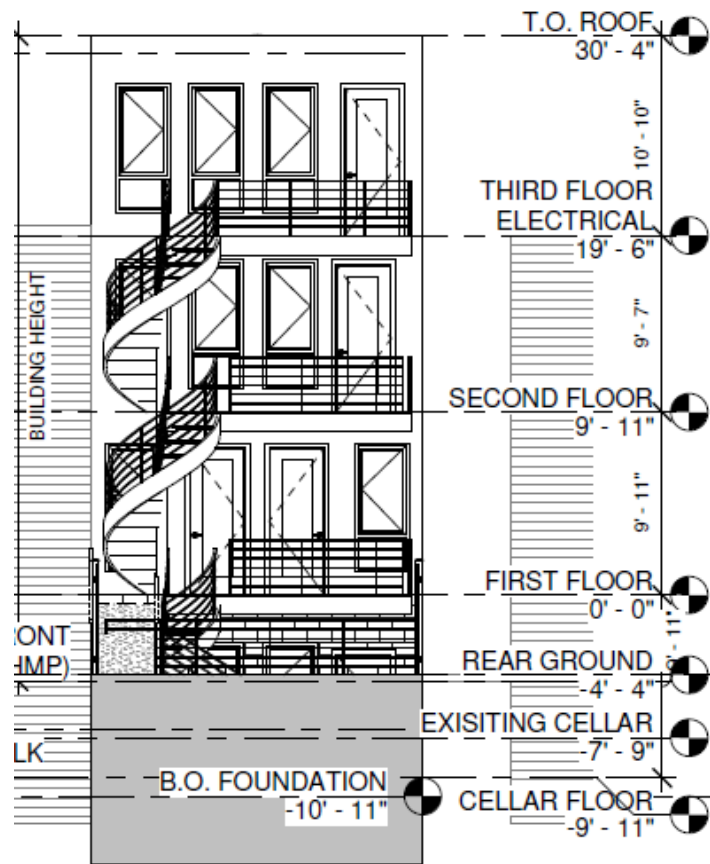


Site Plan





Longitudinal Section



2 BZA SOUTH ELEVATION



1 BZA NORTH ELEVATION

Requirements of U-320.2

- (a) Limited to 35 feet in height; the addition is limited to 35 ft.
- (b) 4th dwelling dedicated to IZ; only proposing 3 units, IZ does not apply
- (c) Existing residential building at the filing; existing residential building on Property
- (d) Minimum of 900 square feet of land area per unit; Property has 2,700 sq. ft.
- (e) Addition must not extend more than 10 ft. past rear wall of neighboring properties;
Addition extends only 10 ft. past rear wall of the neighboring properties
- (f) Addition shall not block chimney or vent; addition will not block chimney or vent
- (g) Addition shall not interfere with solar panels; addition will not interfere with solar panels,
Applicant has signed a solar panel agreement with the adjacent neighbor to the east
- (h) Original roof top architectural elements are not to be altered; no roof top architectural elements are being altered

Light, Air & Privacy Test: 320.2(i)

(1) The light and air available to neighboring properties shall not be unduly affected;

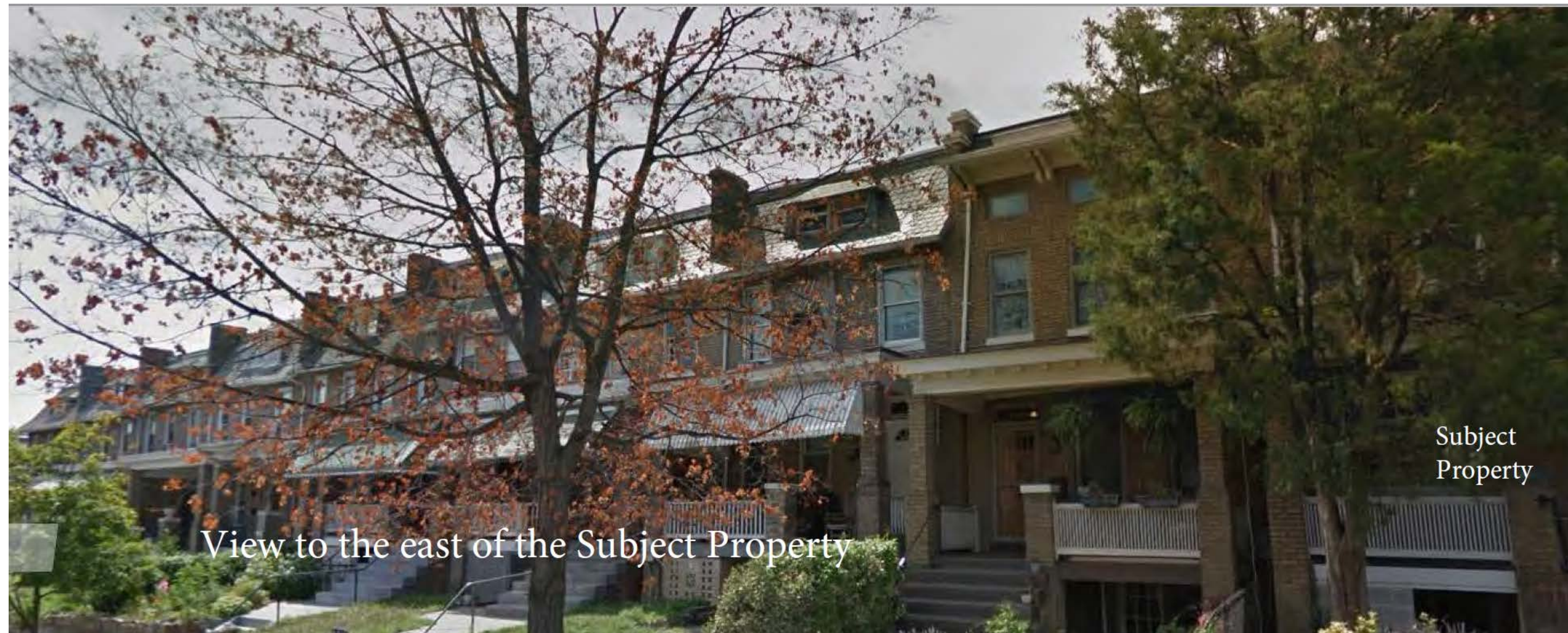
(2) The privacy of use and enjoyment of neighboring properties shall not be unduly compromised; and

- Addition will extend only ten feet (10 ft.) past rear wall of adjoining properties
- Addition will not have any east-facing or west-facing windows

(3) The conversion and any associated additions, as viewed from the street, alley, and other public way, shall not substantially visually intrude upon the character, scale, and pattern of houses along the subject street or alley;

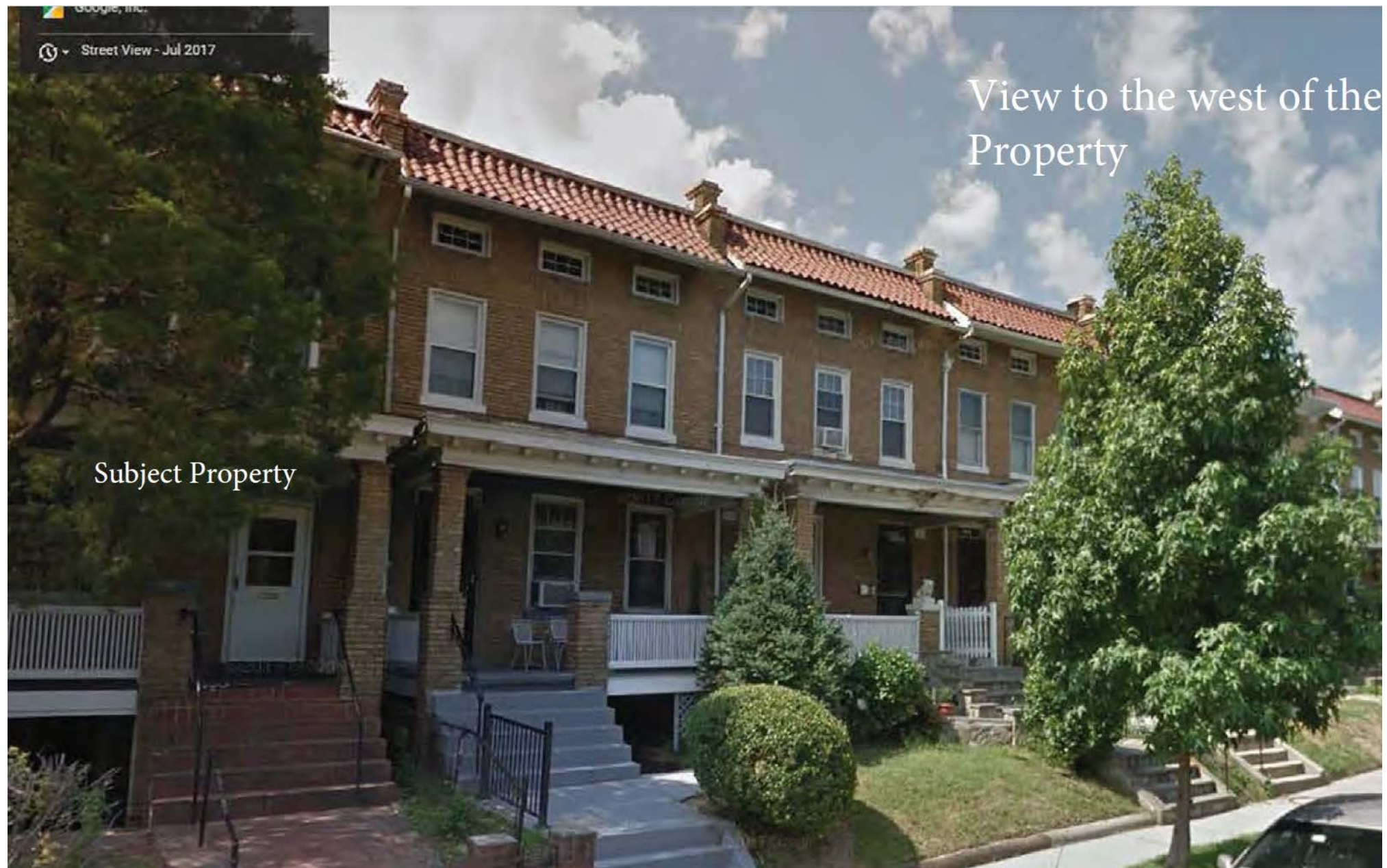
- Addition does not substantially visually intrude upon the character, scale and pattern of houses along Randolph Street or the alley
- Addition is set back five feet (5 ft.) from the front façade and the Applicant is maintaining the existing mansard roof
- Applicant is not proposing to alter the existing front façade
- Proposed rear addition is limited to ten feet (10 ft.) beyond the existing building and adjacent buildings
- Building footprint is limited to 45%
- ~59 ft. rear yard provides a significant setback from the alley
- Large tree directly in front of the subject property which will be maintained and help limit visibility of the addition from the street





View to the east of the Subject Property

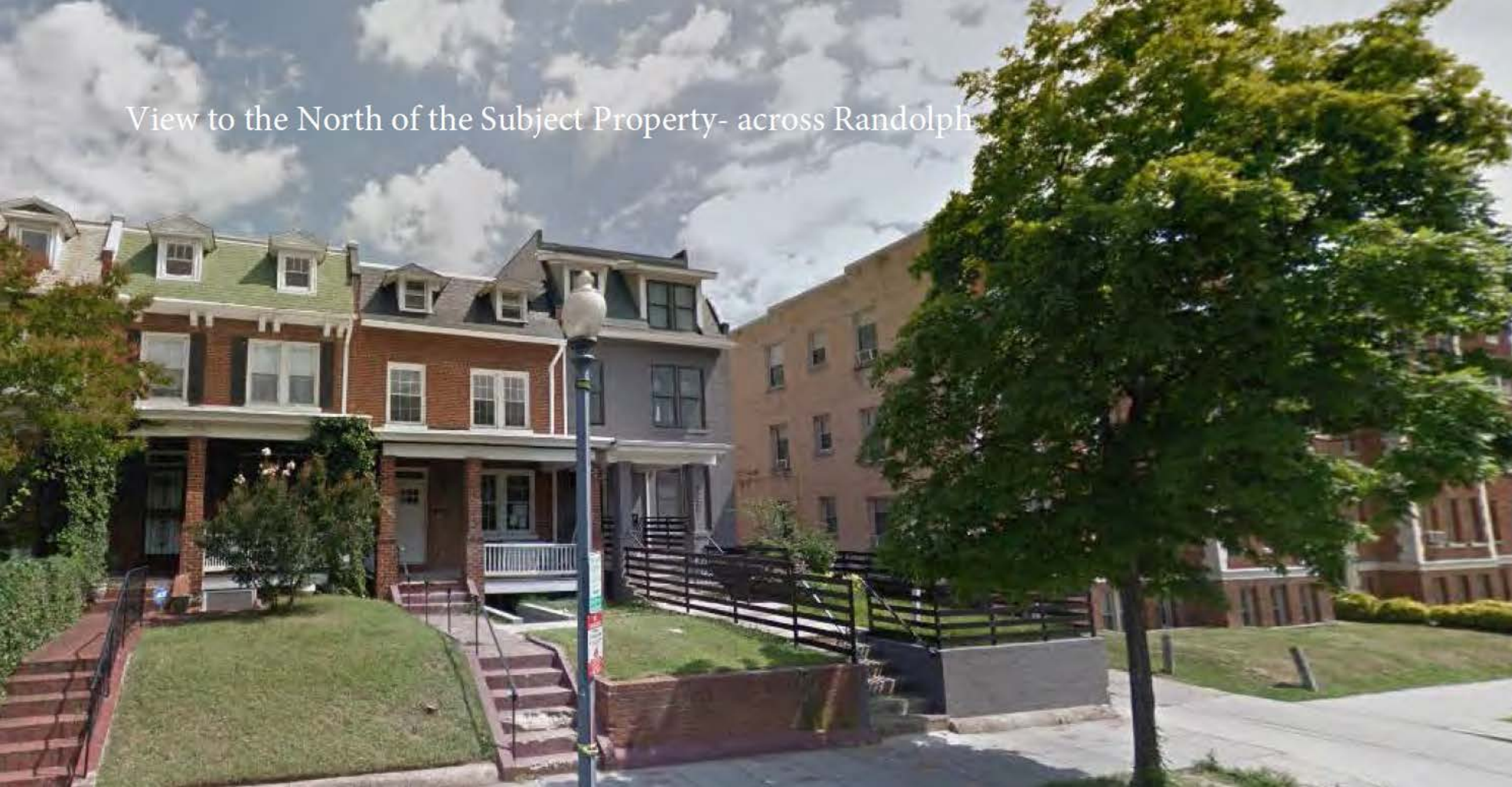
Subject
Property



Subject Property

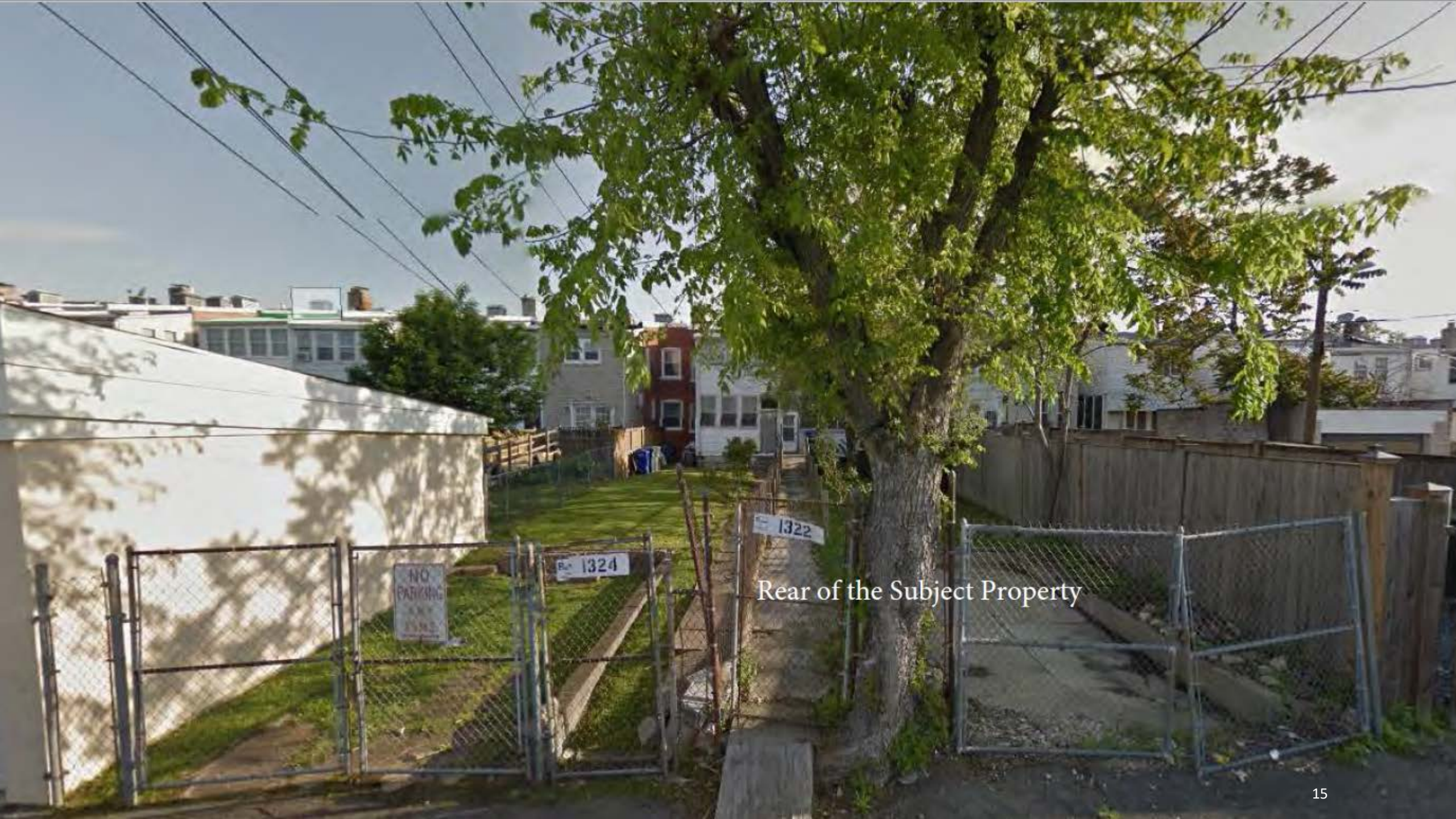
View to the west of the
Property

View to the North of the Subject Property- across Randolph





Alley to the south of the Subject Property

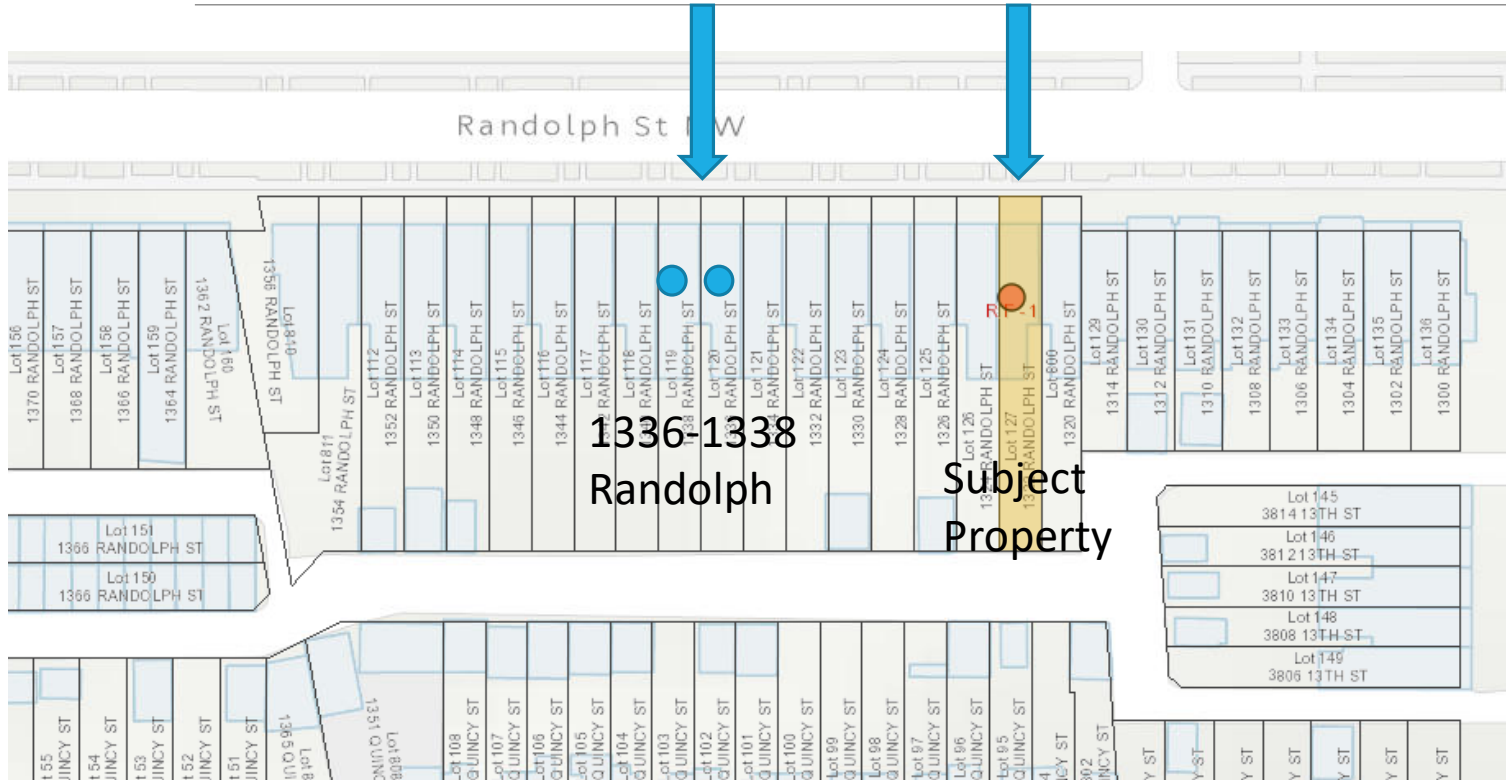


Rear of the Subject Property

Conclusion

- Applicant was very involved in outreach to the neighbors and the adjacent neighbor to the east has written a letter in support
- Presented to the ANC twice and the ANC supports the Application
- OP is recommending approval
- The building footprint itself is permitted as a MOR
- The request for the 3rd unit safely meets the special exception requirements

Response to Letters in Opposition



- 2 Letters in Opposition from 1336-38 Randolph
- Comments are focused on the size of the building footprint, which is permitted as a matter-of-right
- 7-8 houses to the west of the subject property
- Issue with the visibility of the third story which is permitted as a matter-of-right and will be setback 5 ft.
- Building is limited to only 45% lot occupancy
- Only a ten ft. extension to the existing building
- Providing a 58 ft. 9 in. rear yard
- Presented multiple times at the ANC and heard no comments in opposition at the ANC meetings