

EMBASSY OF HUNGARY CHANCERY RENOVATION

1500 RHODE ISLAND AVENUE NW, WASHINGTON, DC

DRAWING LIST

PRESENTATION

P0000	COVER SHEET
P0011	EXISTING SITE AND BUILDING PHOTOS
P0101	VICINITY PLAN
PD0102	EXISTING SITE PLAN
P0102	PROPOSED SITE PLAN
PD0201	EXISTING NORTH ELEVATION
P0201	PROPOSED NORTH ELEVATION
PD0202	EXISTING SOUTH ELEVATION
P0202	PROPOSED SOUTH ELEVATION
PD0203	EXISTING EAST ELEVATION
P0203	PROPOSED EAST ELEVATION
PD0204	EXISTING WEST ELEVATION
P0204	PROPOSED WEST ELEVATION
P0205	ENLARGED ROOF ELEVATIONS
P0301	PROPOSED ELEVATOR OVER-RIDE
P0302	PROPOSED SECURITY FENCE
P0303	PROPOSED DECORATIVE SCREEN WALL



Image: Joanne S. Lawton

Board of Zoning Adjustment
District of Columbia
CASE NO.19798
EXHIBIT NO.13





WIDOW'S WALK SPACE: LEVEL 4



FROM CORNER OF RHODE ISLAND AVE AND 15TH ST



FROM RHODE ISLAND AVE



FROM N ST

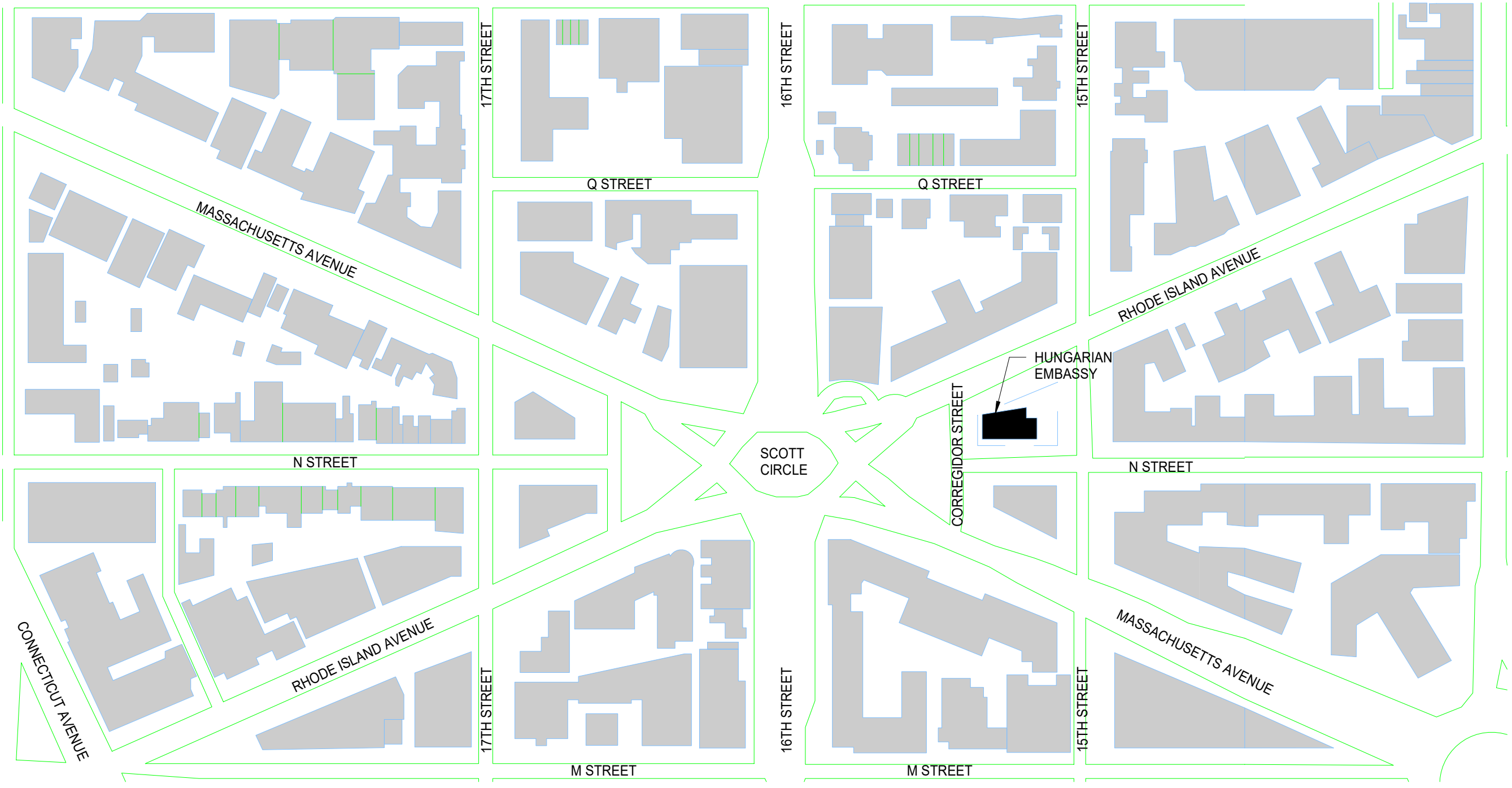


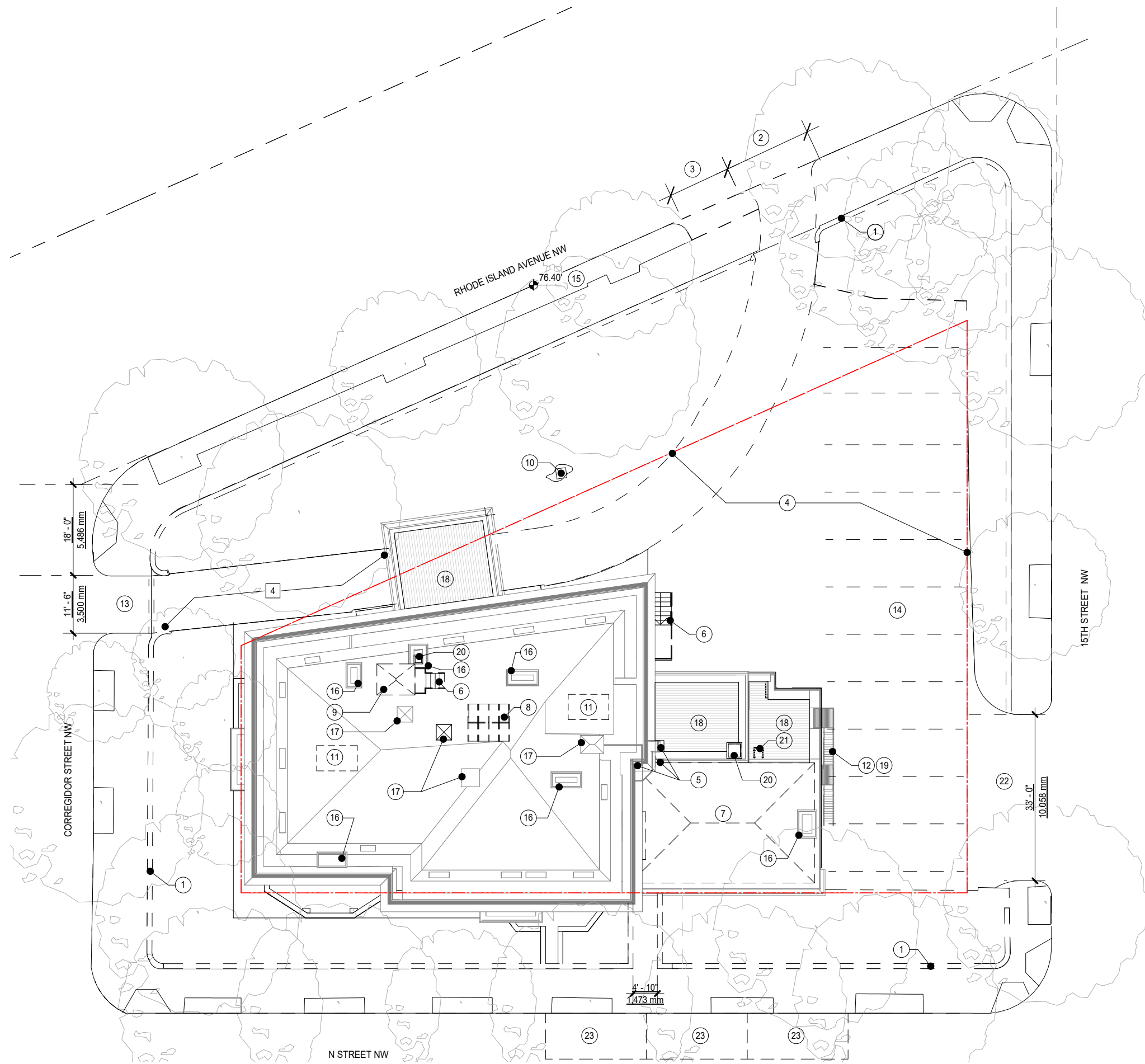
FROM CORNER OF N ST AND CORREGIDOR ST



FROM CORREGIDOR ST





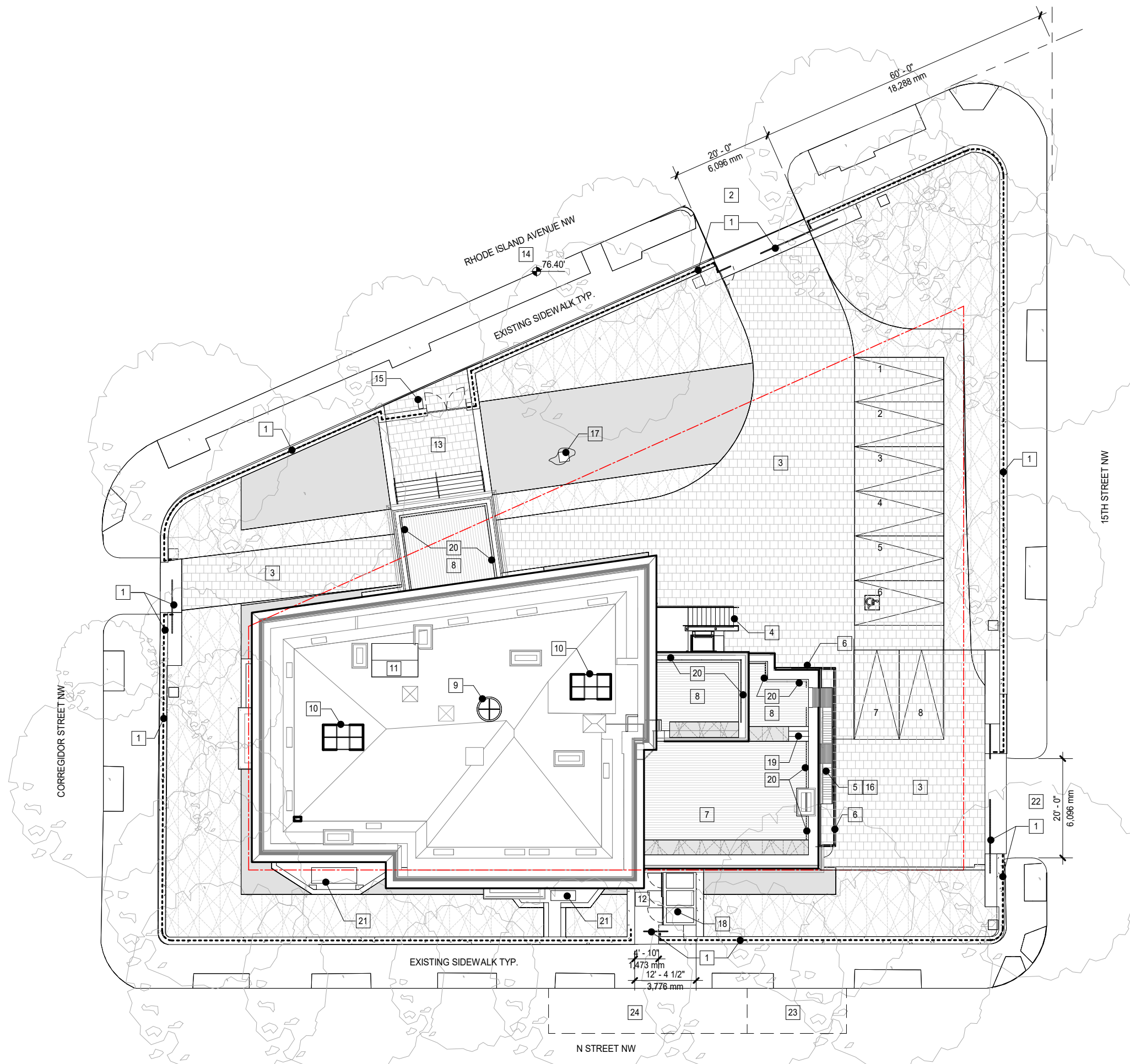


EXISTING SITE PLAN KEYNOTES

- ① EXISTING YARD PERIMETER CURB IN PUBLIC SPACE TO BE REMOVED
- ② EXISTING CURB CUT TO BE REMOVED
- ③ EXISTING CURB & SIDEWALK TO BE REMOVED FOR NEW CURB CUT
- ④ EXISTING PAVING TO BE REMOVED
- ⑤ EXISTING FIRE ESCAPE TO REMAIN
- ⑥ EXISTING STEPS AND LANDING TO BE REMOVED
- ⑦ EXISTING ROOF AND STRUCTURAL FRAMING TO BE REMOVED
- ⑧ EXISTING SKYLIGHT TO BE MODIFIED
- ⑨ EXISTING ELEVATOR PENTHOUSE TO BE REMOVED
- ⑩ EXISTING STATUE TO BE REMOVED FROM SITE
- ⑪ EXISTING ROOF TO BE MODIFIED FOR NEW SKYLIGHTS
- ⑫ RETAIN / REPAIR EXISTING FIRE ESCAPE
- ⑬ EXISTING CURB CUT TO BE RENEWED
- ⑭ EXISTING SURFACE PARKING SPACES (TOTAL 29, SINGLE AND TANDEM PARKING)
- ⑮ MEASURING POINT
- ⑯ EXISTING CHIMNEY TO REMAIN
- ⑰ EXISTING ROOF VENT TO REMAIN
- ⑱ EXISTING ROOF TERRACE TO REMAIN
- ⑲ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
- ⑳ EXISTING CHIMNEY TO BE REMOVED
- ㉑ EXISTING FIRE ESCAPE TO BE REMOVED
- ㉒ EXISTING CURB CUT TO BE REDUCED
- ㉓ EXISTING STREET PARKING SPACES DESIGNATED TO EMBASSY OF HUNGARY DIPLOMATIC VEHICLES

--- PROPERTY LINE











PERMEABLE PAVING UNIT

PROPOSED SITE PLAN KEYNOTES

- 1 PERIMETER DECORATIVE AND SECURITY FENCE ON CURBS WITH MAN AND VEHICLE GATES IN PUBLIC SPACE
- 2 RELOCATE CURB CUT ON RHODE ISLAND AVENUE
- 3 PERMEABLE PAVEMENT DRIVEWAY, FORECOURT, AND VEHICLE PARKING (8 SPACES) ON PRIVATE PROPERTY AND IN PUBLIC SPACE
- 4 STAIR, LANDING, AND ACCESSIBILITY LIFT ON PRIVATE PROPERTY
- 5 RETAIN / REPAIR EXISTING FIRE ESCAPE
- 6 DECORATIVE SCREEN WALL, ON PRIVATE PROPERTY
- 7 ROOF TERRACE WITH VEGETATION AND PERIMETER GUARDS. REMOVE EXISTING PITCHED ROOF AND RESTRUCTURE.
- 8 ROOF TERRACE WITH VEGETATION AND PERIMETER GUARDS
- 9 MODIFIED SKYLIGHT
- 10 NEW SKYLIGHTS (2)
- 11 MODIFIED ELEVATOR OVER-RIDE ENCLOSURE
- 12 WIDEN WALK-OUT AREAWAY FROM BASEMENT
- 13 NEW PEDESTRIAN ENTRANCE GATES AND STEPS
- 14 MEASURING POINT
- 15 NEW MAILBOX
- 16 FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
- 17 NEW STATUE
- 18 (3) 2 YARD TRASH AND RECYCLE BINS WITH GATES
- 19 NEW STAIR
- 20 NEW GUARDRAIL
- 21 NEW MECHANICAL EQUIPMENT IN AREAWAY
- 22 EXISTING CURB CUT TO BE REDUCED
- 23 EXISTING STREET PARKING SPACES DESIGNATED TO EMBASSY OF HUNGARY DIPLOMATIC VEHICLES
- 24 PROPOSED ON-STREET LOADING ZONE

-  OPEN-JOINT PERMEABLE BRICK PAVING UNITS
-  PROPOSED GROUND COVER (ALLEGHENY SPURGE AND CRESTED IRIS)
-  CONTAINERIZED VEGETATION
-  PROPOSED GRASS (BLUEGRASS, RYEGRASS AND CREEPING FESCUE GRASS)
-  CONCRETE PAVING
-  PROPERTY LINE

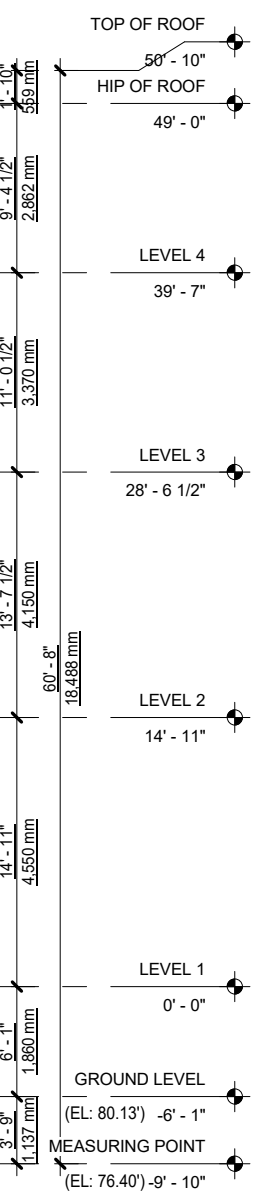




EXISTING ELEVATION KEYNOTES

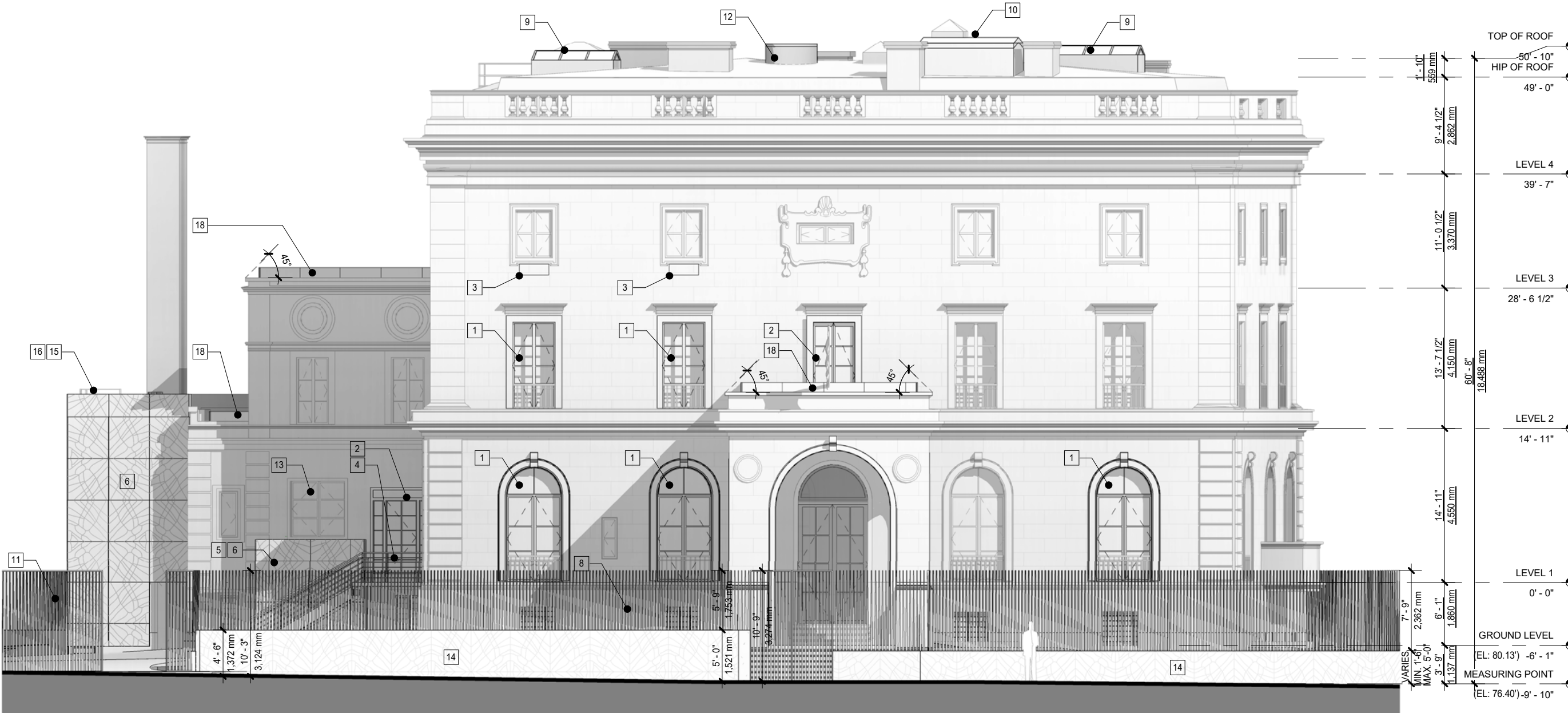
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- ⑬ EXISTING CHIMNEY TO BE REMOVED
- ⑭ EXISTING DOOR TO BE REMOVED, WIDEN MASONRY OPENING TO 46 INCHES FOR NEW DOOR
- ⑮ EXISTING FIRE ESCAPE TO BE REMOVED

REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
 NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.

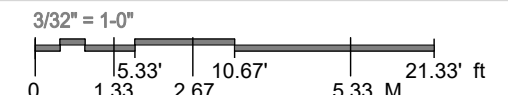


DETAIL B EXISTING DETAIL A EXISTING

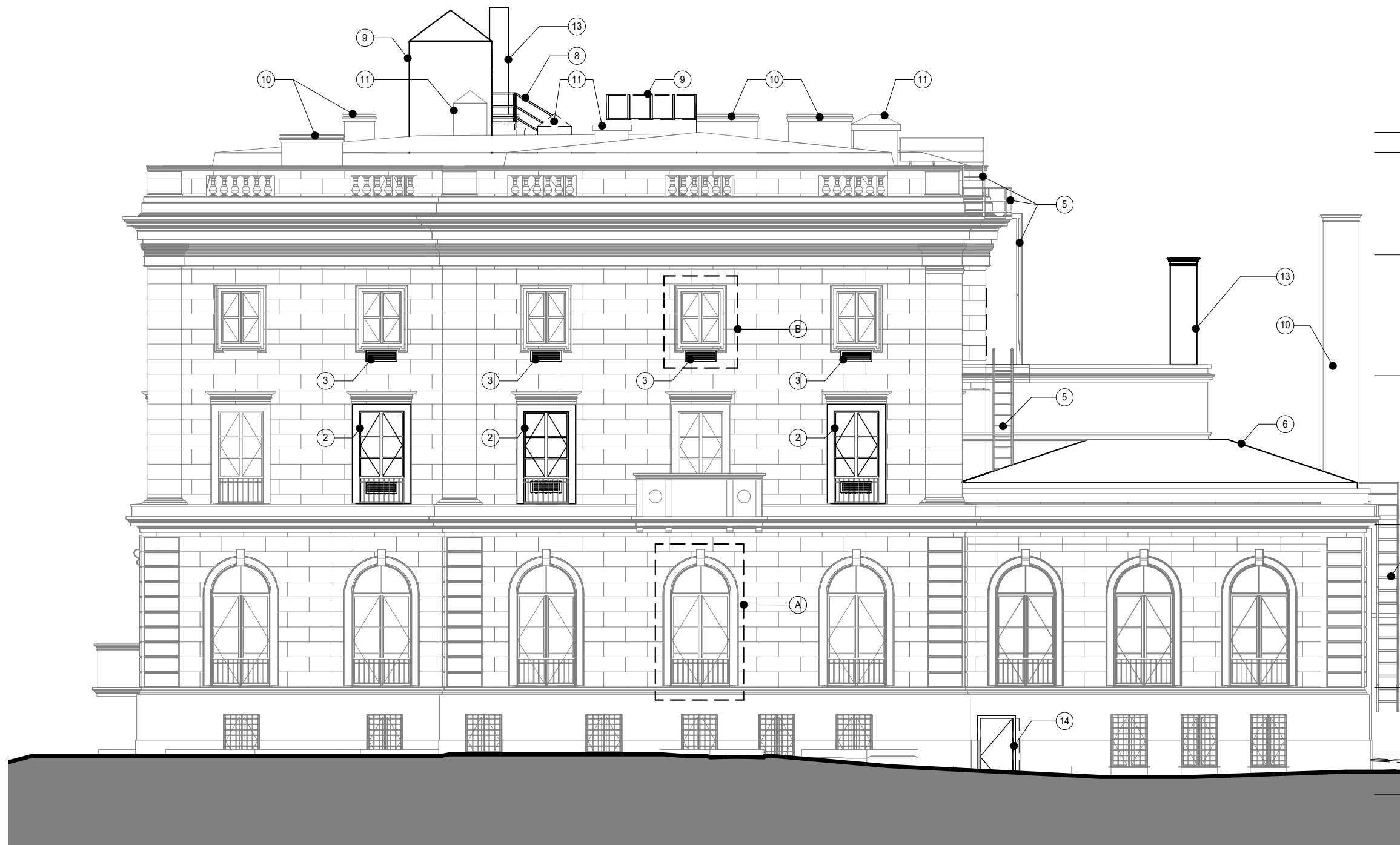




- PROPOSED ELEVATION KEYNOTES**
- 1 REPLACEMENT WINDOWS WITH LOWER SILL, CLEAR SECURITY FILM ON GLASS FROM INSIDE
 - 2 MODIFY FACADE, REPLACE WINDOW WITH DOOR
 - 3 REPAIR FACADE AT REMOVED AIR CONDITION UNIT
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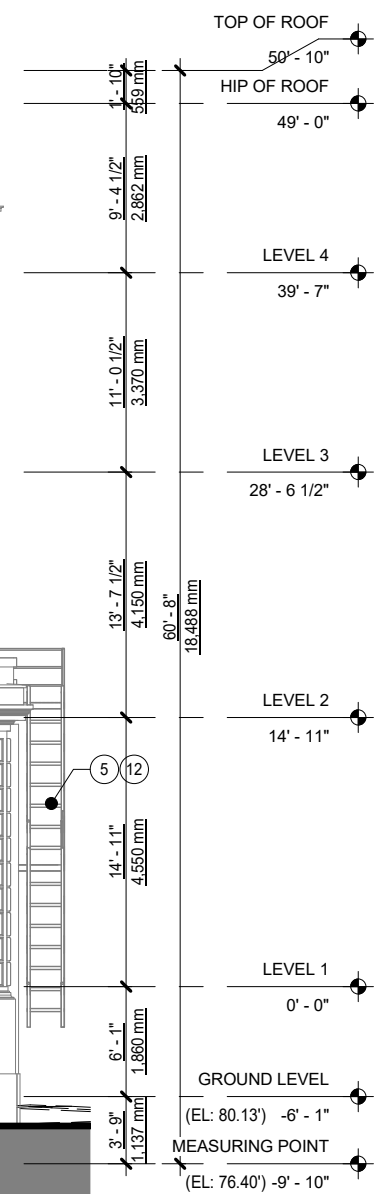
PROPOSED NORTH ELEVATION



EXISTING ELEVATION KEYNOTES

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- ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
- ③ REMOVE EXISTING AIR CONDITIONING UNIT
- ④ REMOVE EXISTING METAL STAIR
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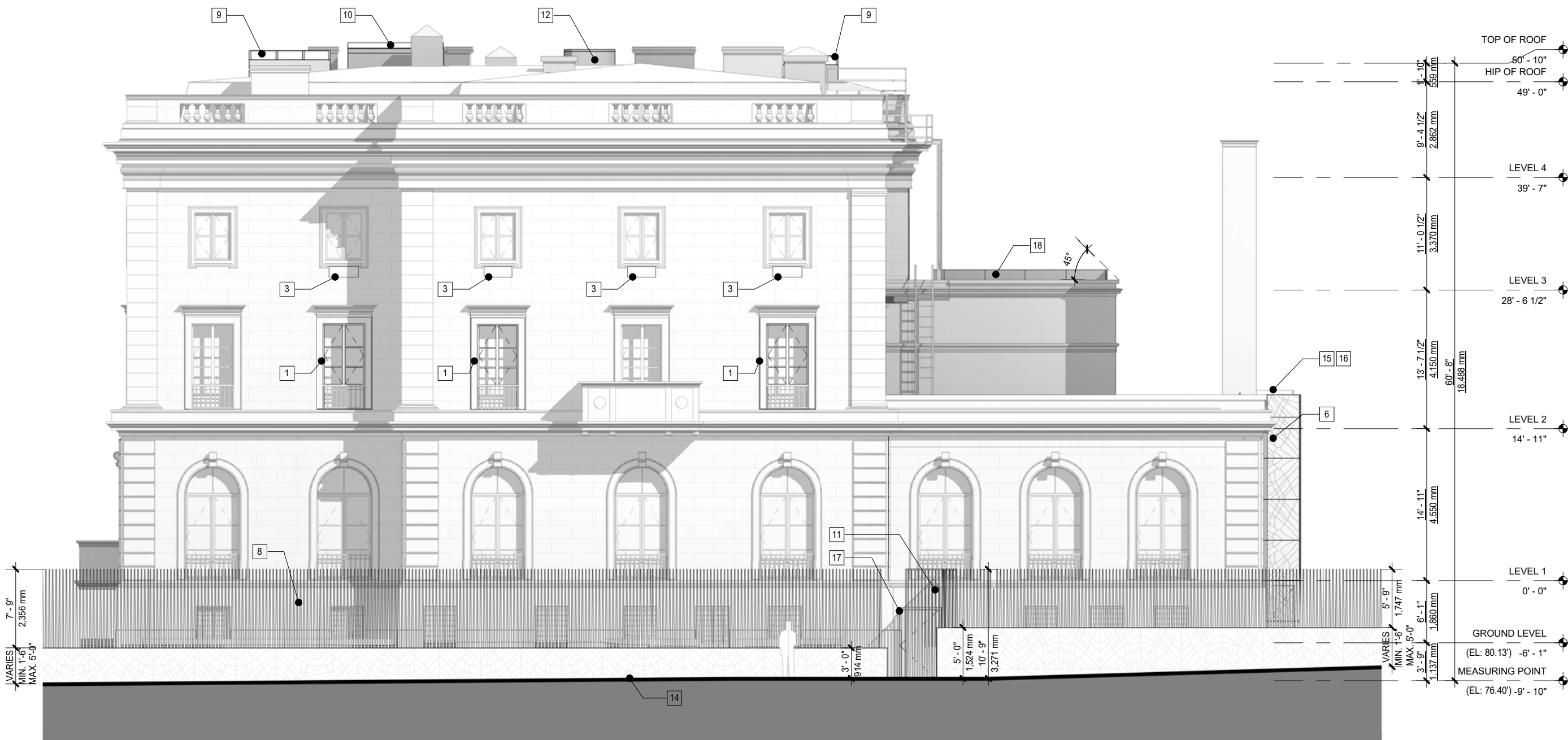
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DETAIL B EXISTING

DETAIL A EXISTING

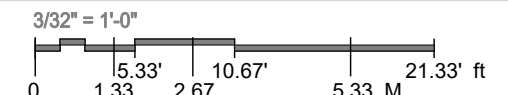




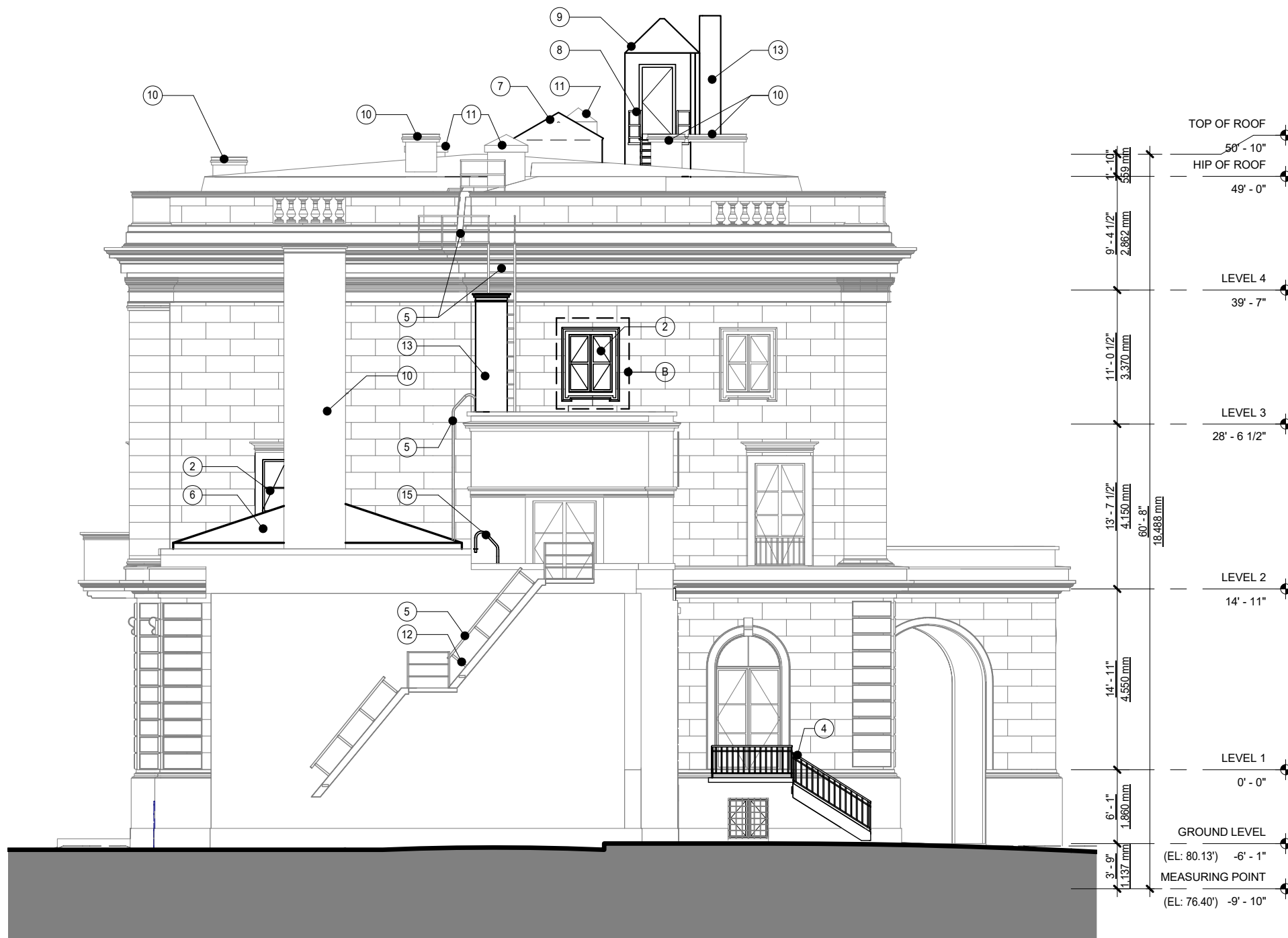
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PROPOSED SOUTH ELEVATION



EXISTING ELEVATION KEYNOTES

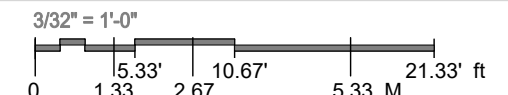
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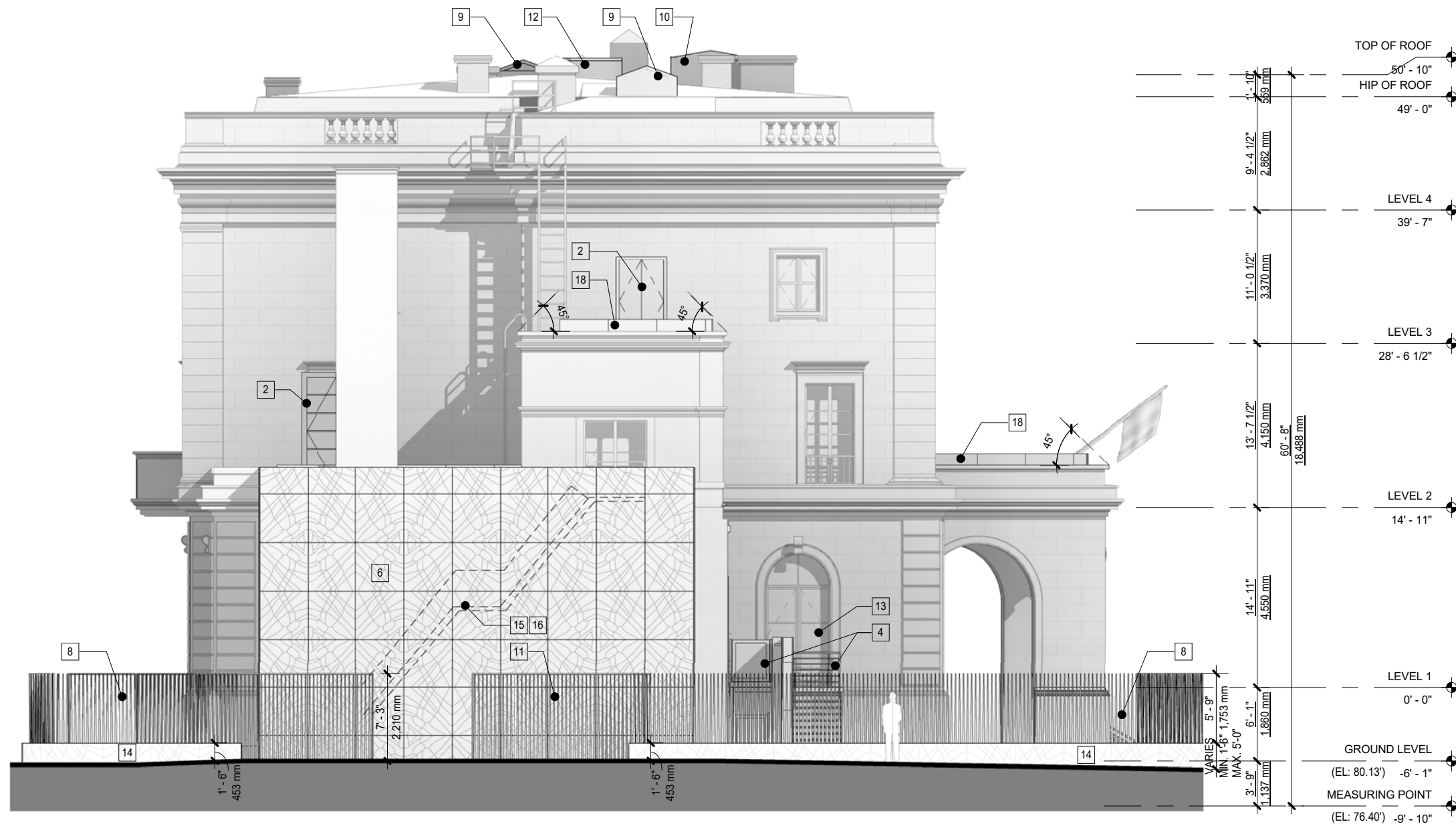
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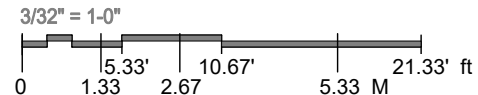




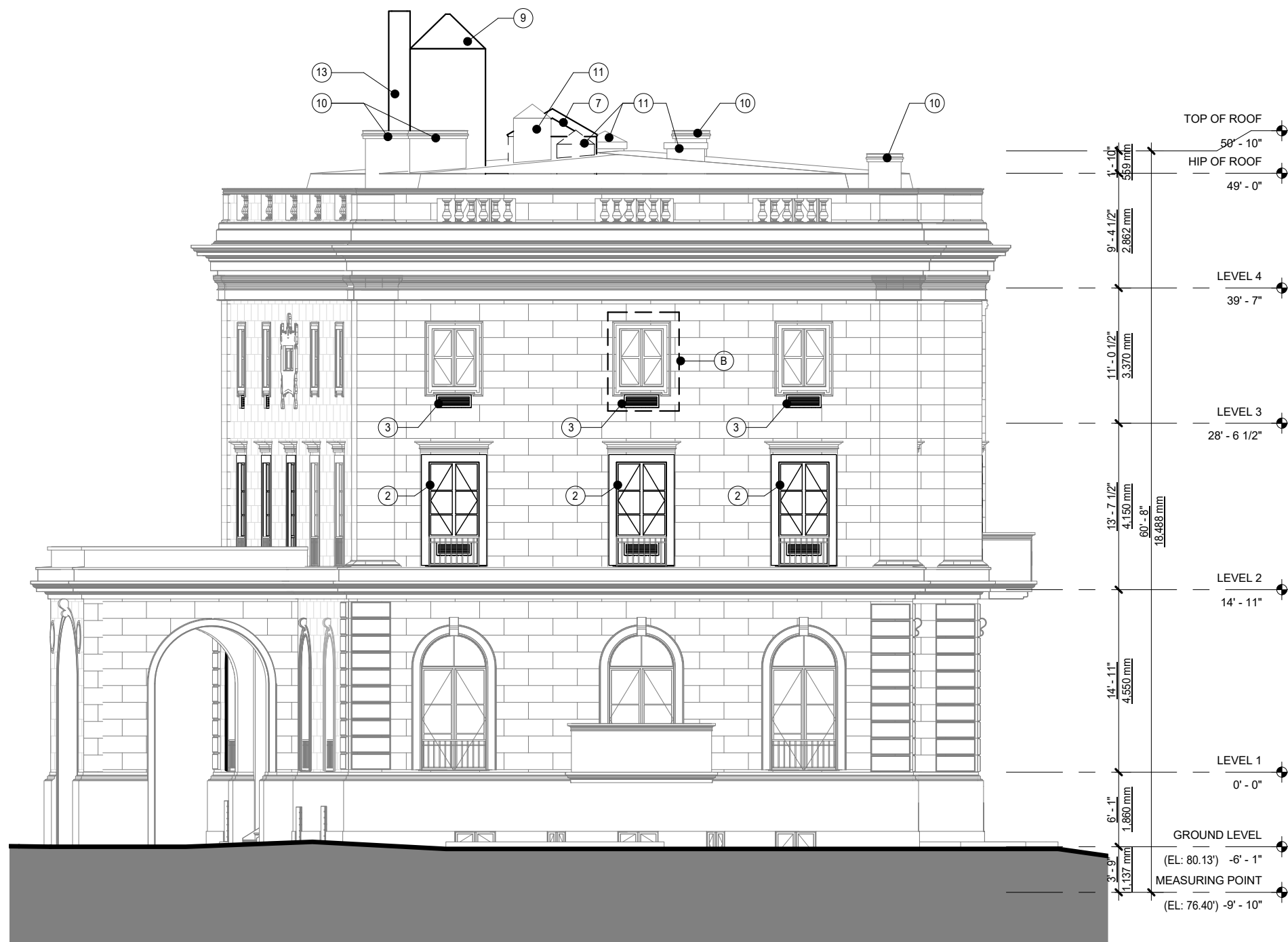
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PROPOSED EAST ELEVATION



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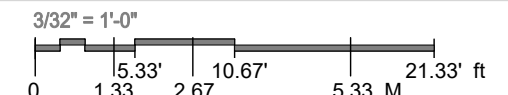
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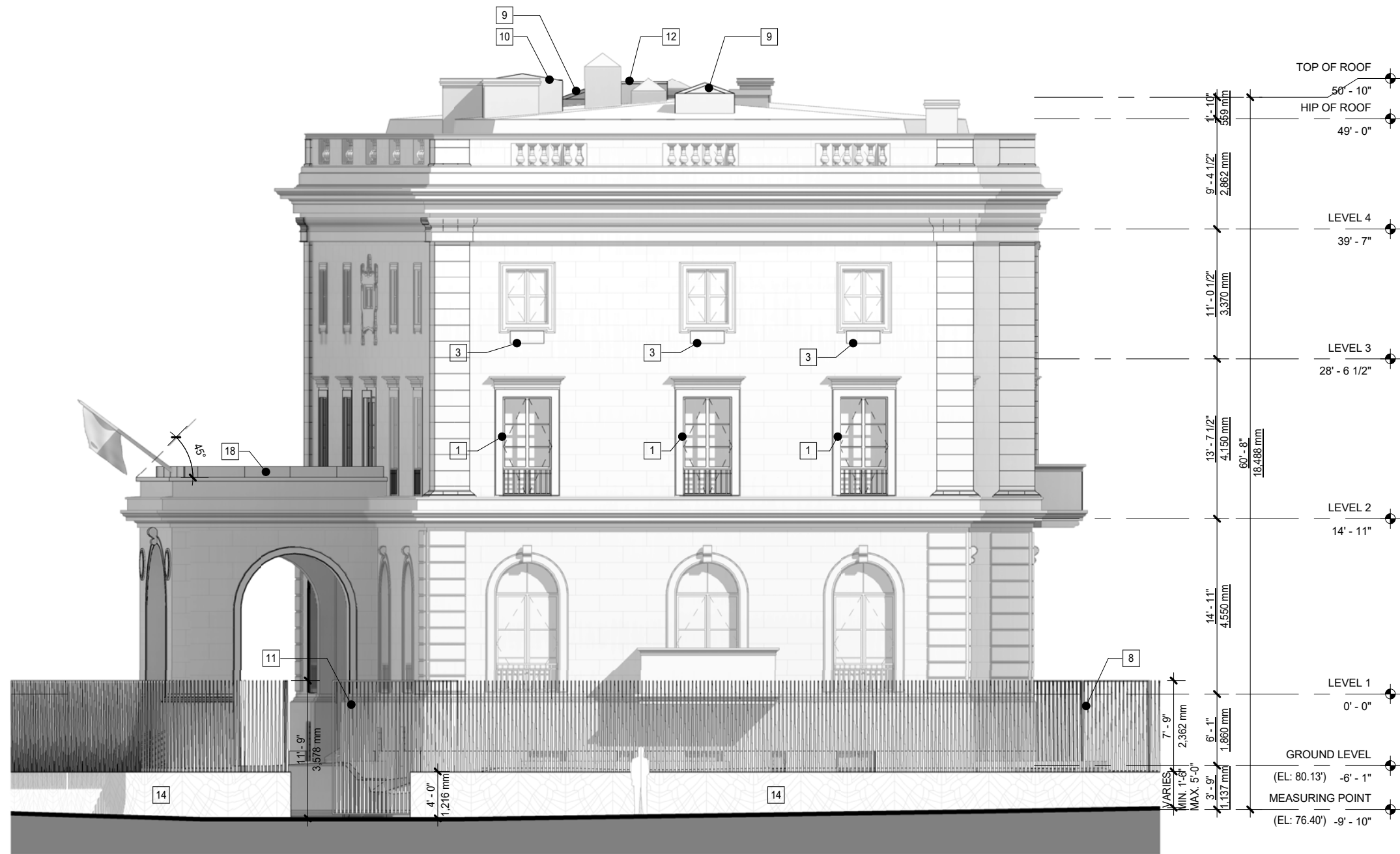
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DETAIL B EXISTING

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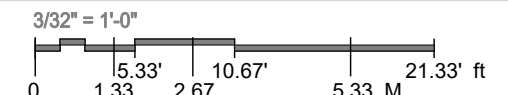




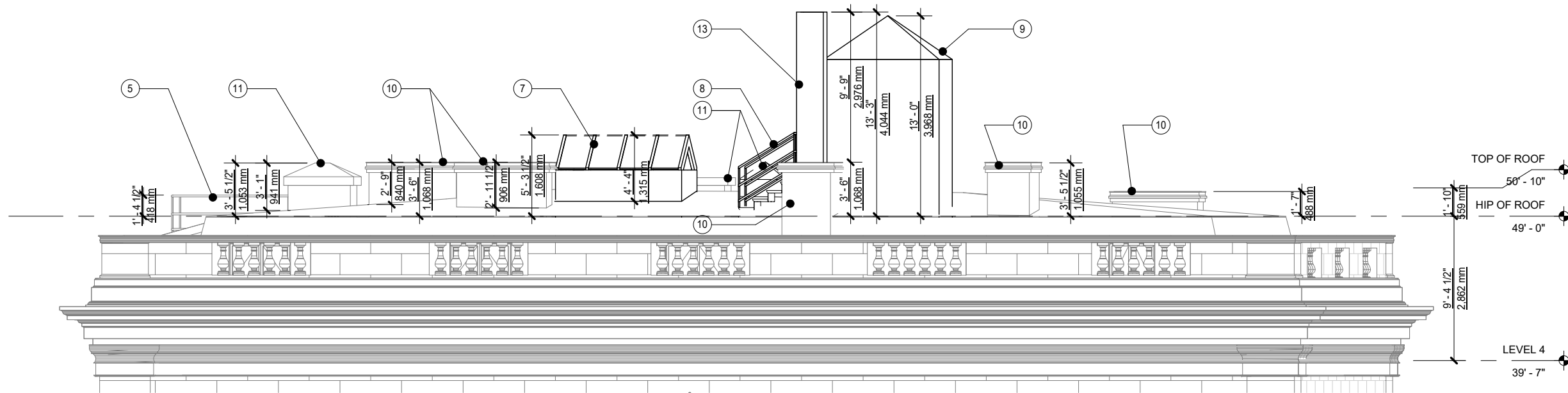
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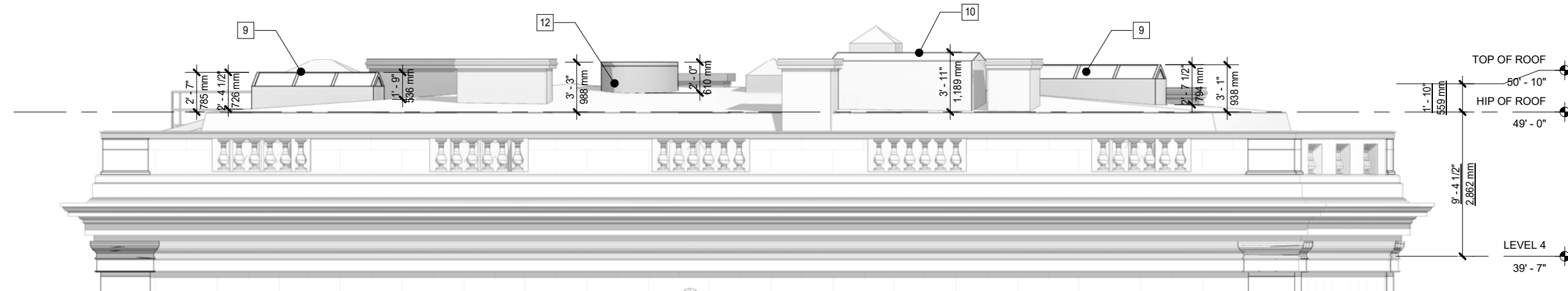
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PROPOSED WEST ELEVATION



ENLARGED ROOF ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



ENLARGED ROOF ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

EXISTING ELEVATION KEYNOTES

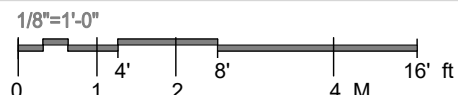
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PROPOSED ELEVATION KEYNOTES

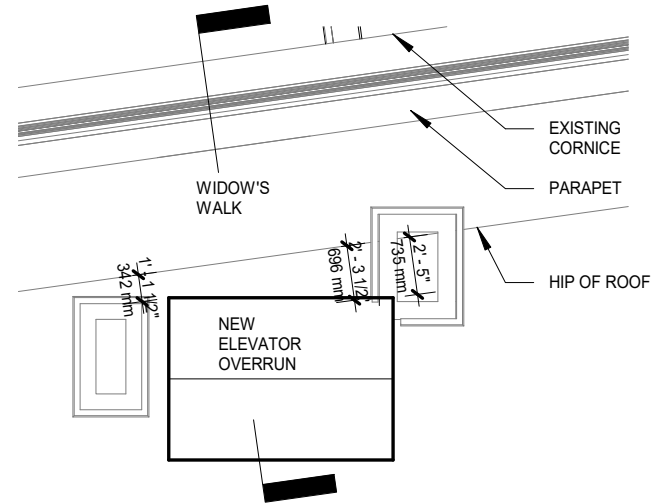
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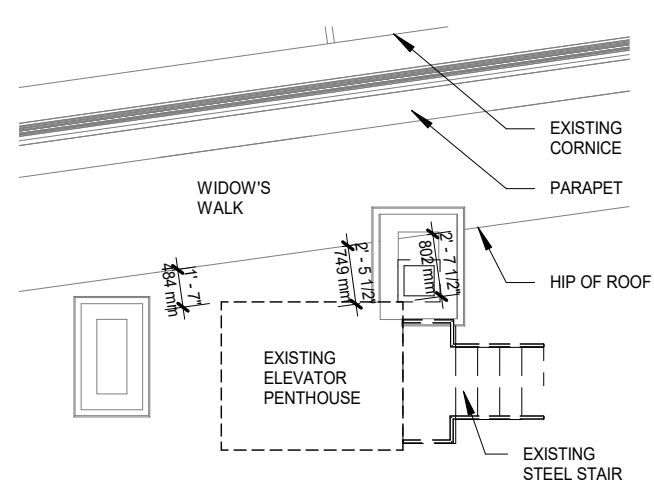


ENLARGED ROOF ELEVATIONS

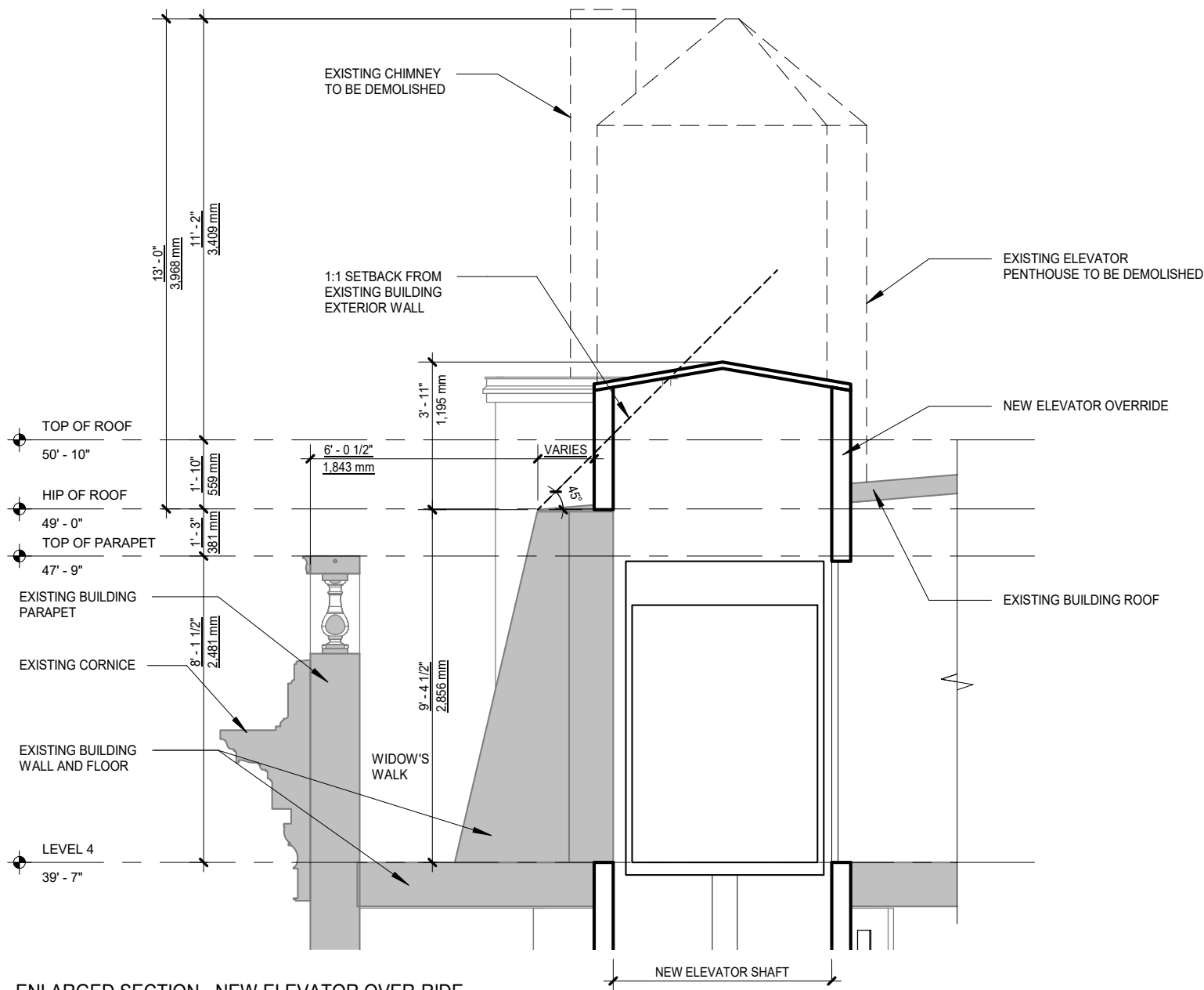




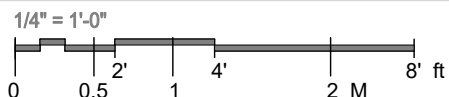
ENLARGED PLAN - NEW ELEVATOR OVERRUN
SCALE: 1/8" = 1'-0"



ENLARGED PLAN - EXISTING ELEVATOR PENTHOUSE
SCALE: 1/8" = 1'-0"

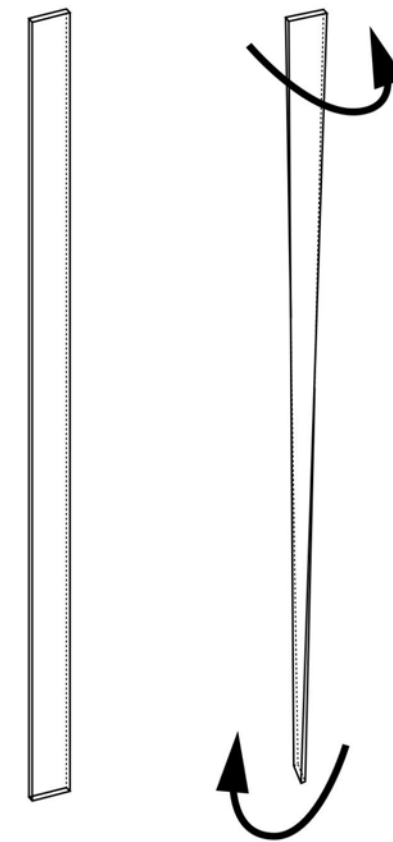
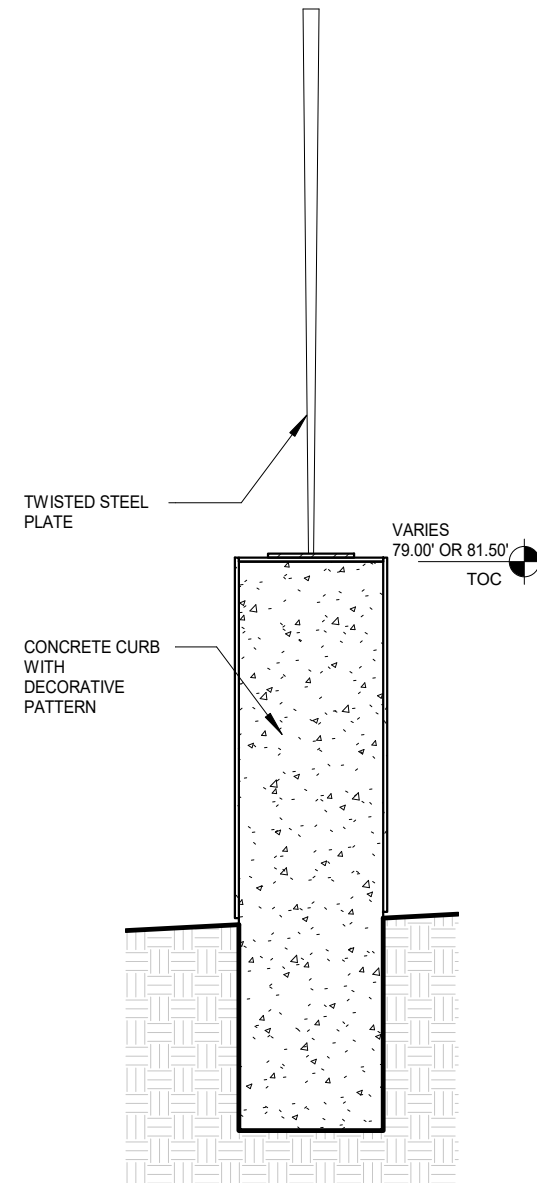
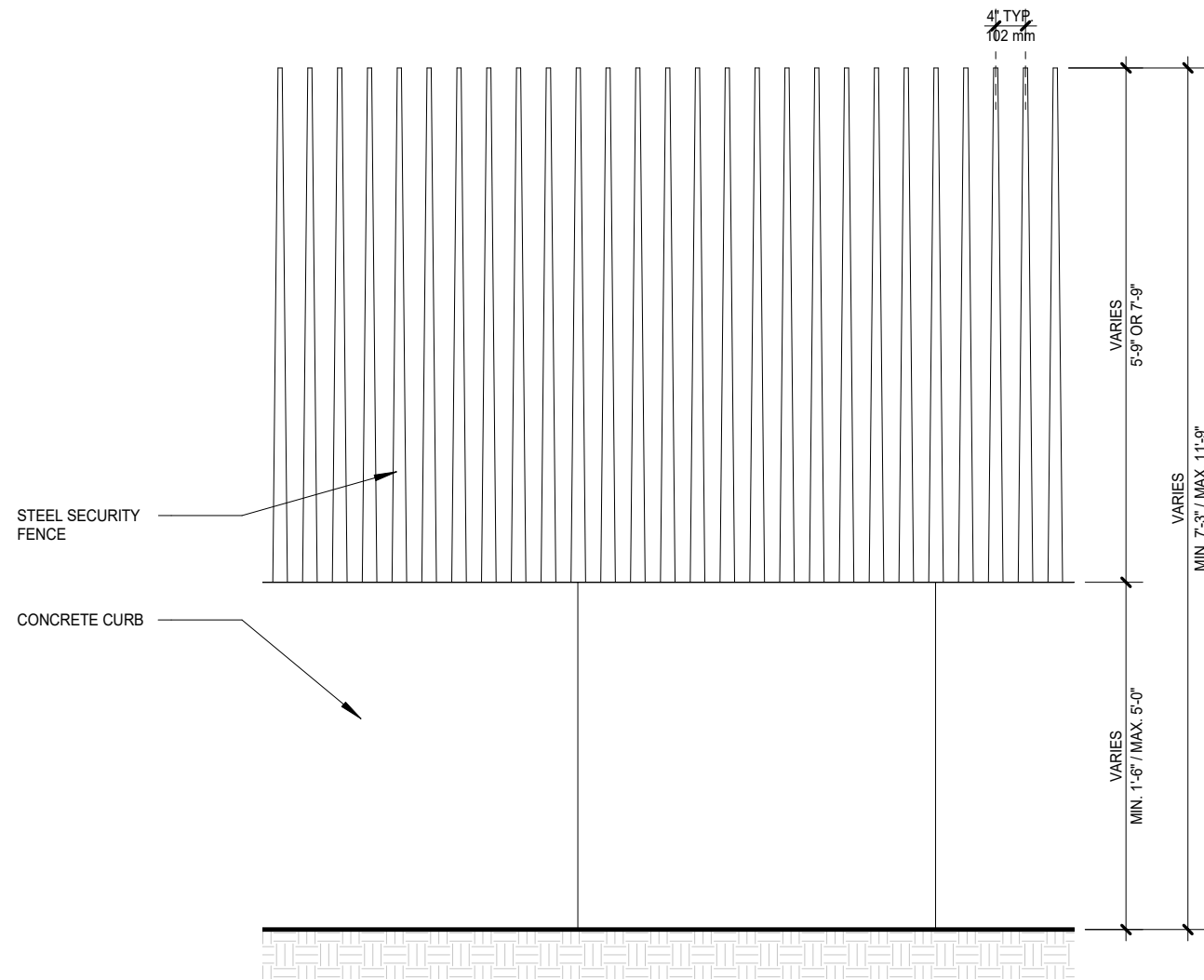


ENLARGED SECTION - NEW ELEVATOR OVER-RIDE
SCALE: 1/4" = 1'-0"

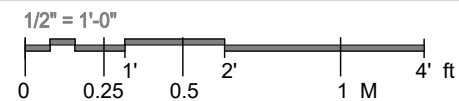


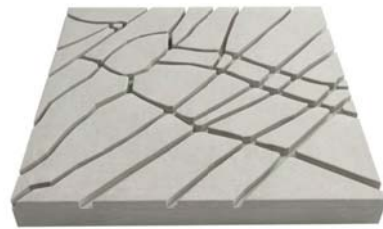
PROPOSED ELEVATOR OVER-RIDE





CONCEPT: TWISTED STEEL PLATE TO ACHIEVE BOTH SECURITY FUNCTION AND AESTHETIC





GLASS FIBER REINFORCED CONCRETE (GFRC)

