

2604 29th St SE

Special Exception for IZ Bonus Density

Development Overview

- Development by special exception only to use IZ bonus density to allow approximately 1500 more square feet for two IZ units
- Vertical and rear addition to existing building. Other than FAR, resulting building will be within all matter-of-right zoning standards
- 12 ~1000 square foot units (2 additional units)
- 7-8 parking spaces (5-6 additional)
- 4 levels (3 + cellar)
- All units will be either 2 or 3 bedrooms
- Approximately 1500 sq ft of designated IZ square footage will be built but only ~1115 sq ft is required.

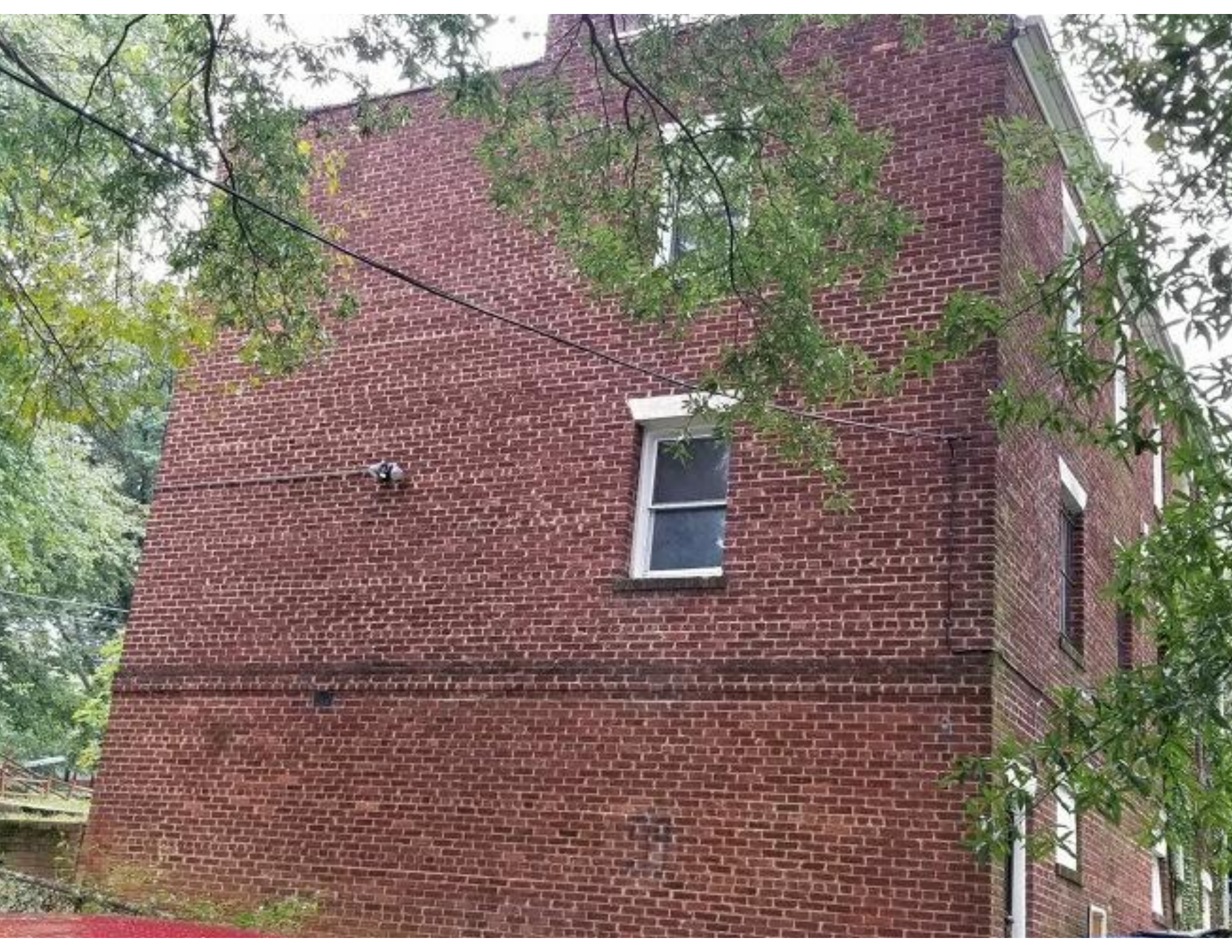




MRIS



MRIS





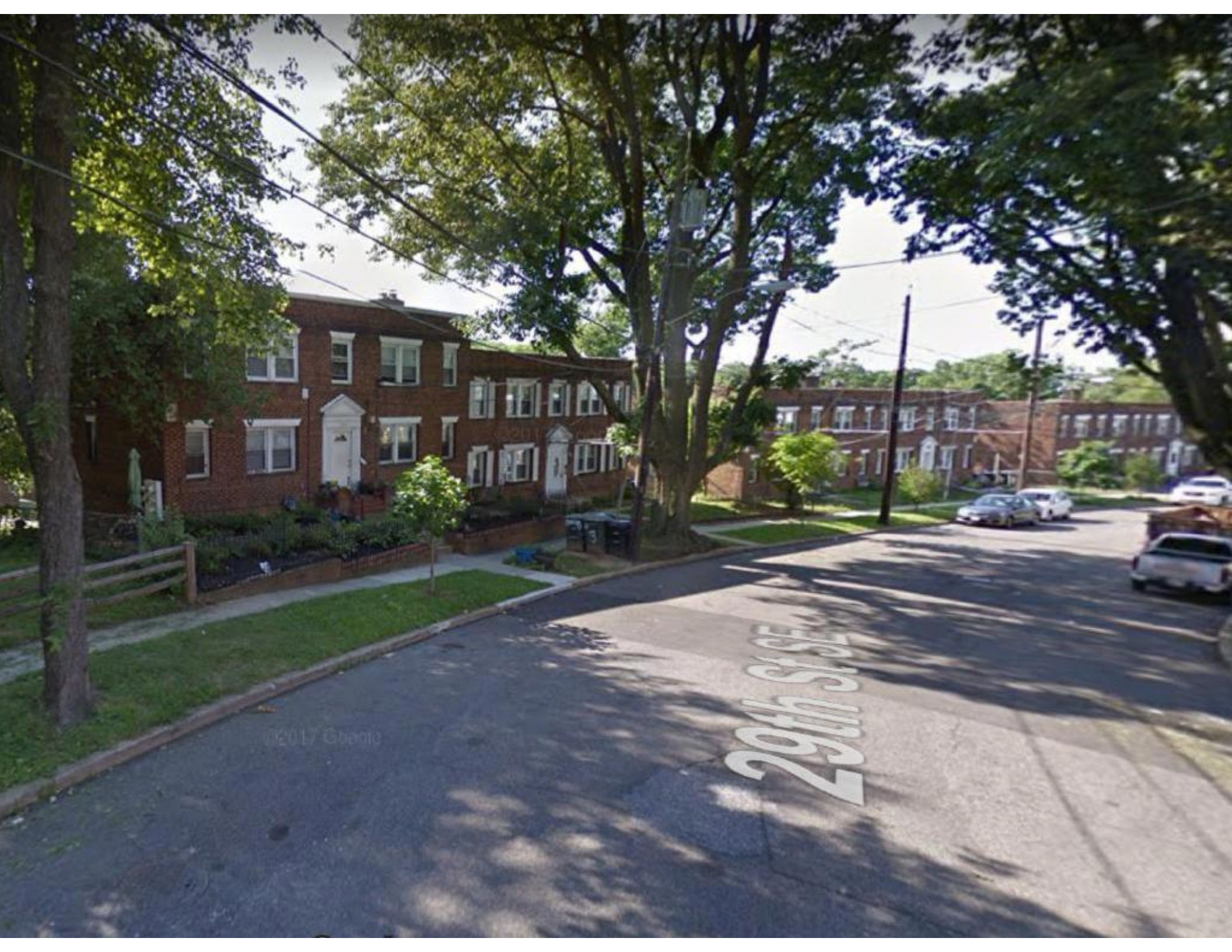
Columbia



014

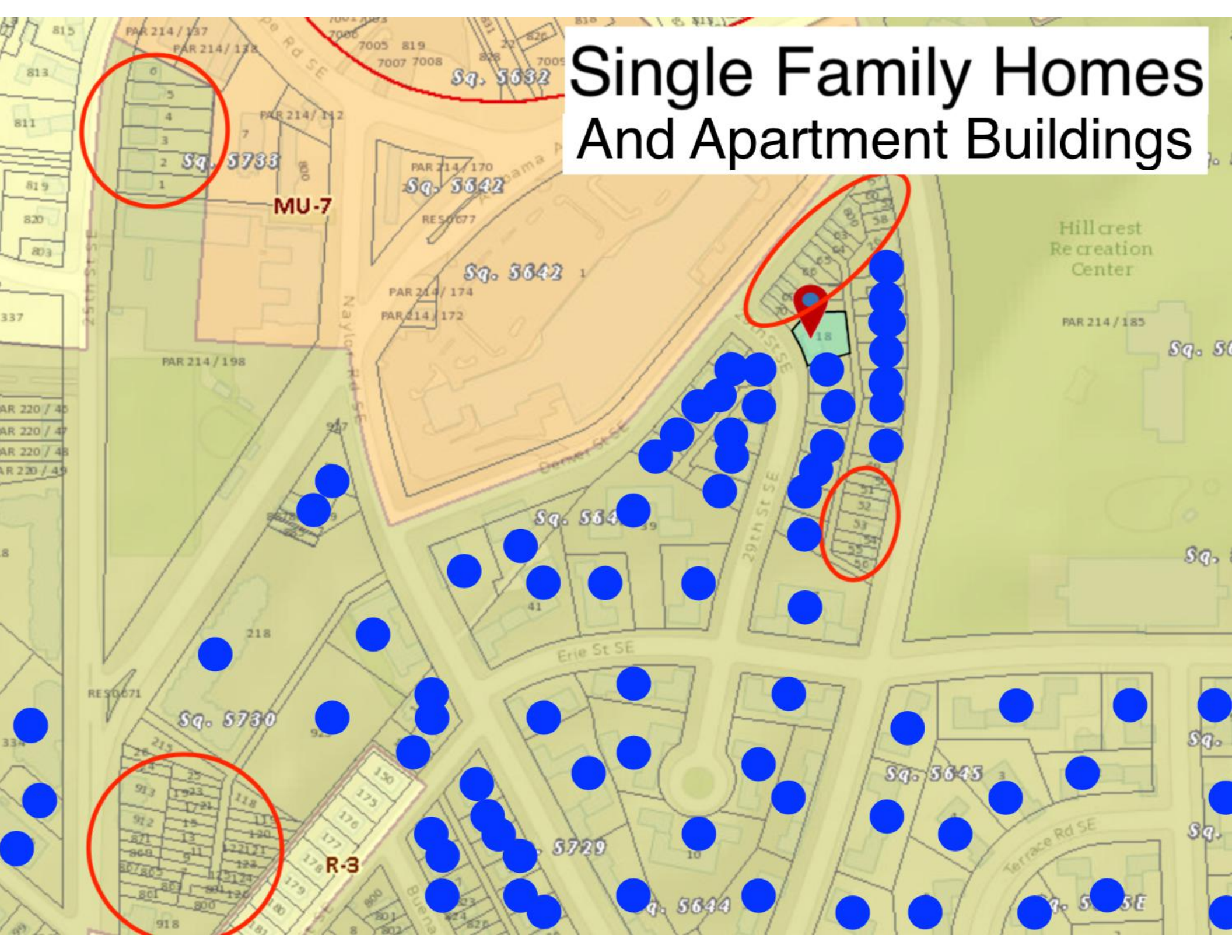


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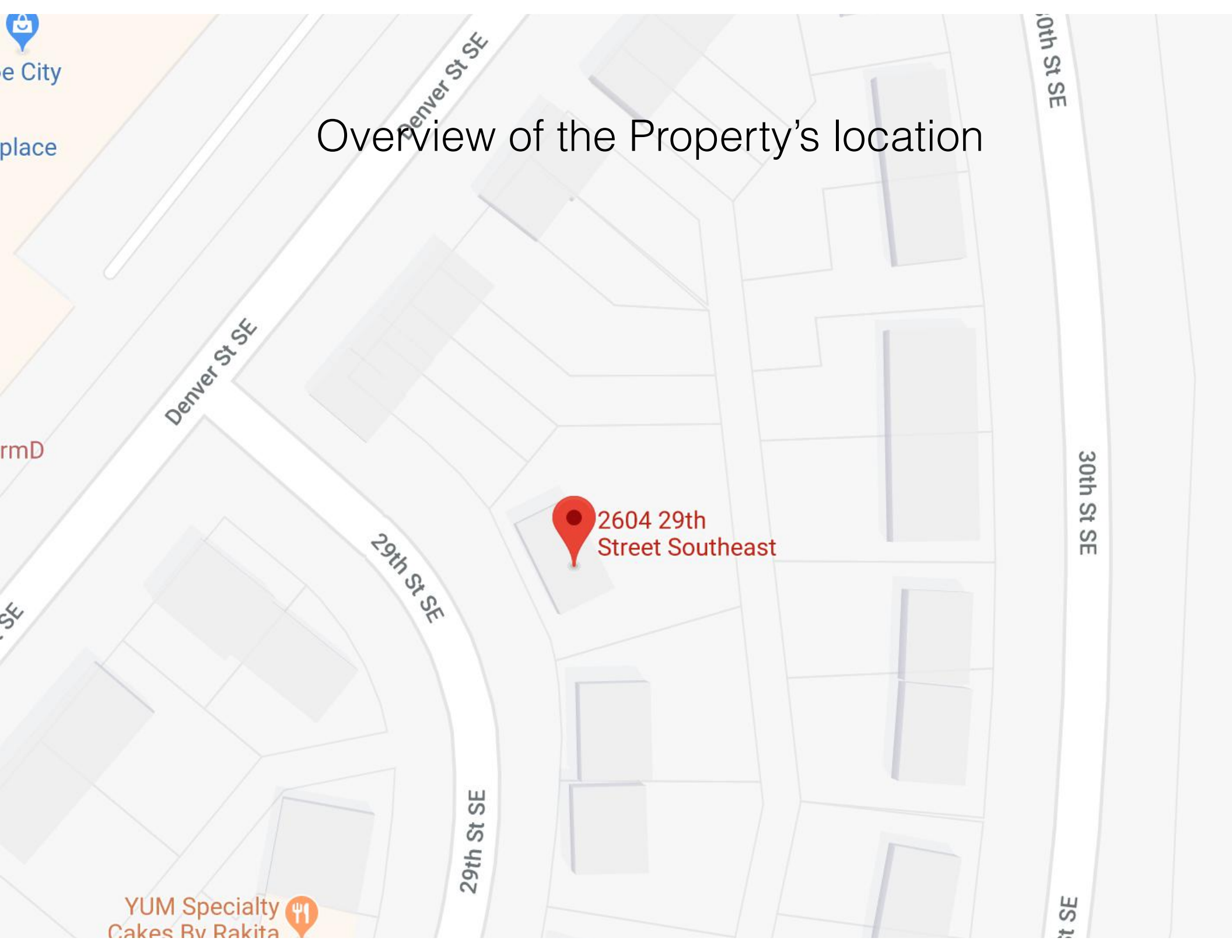


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Single Family Homes And Apartment Buildings



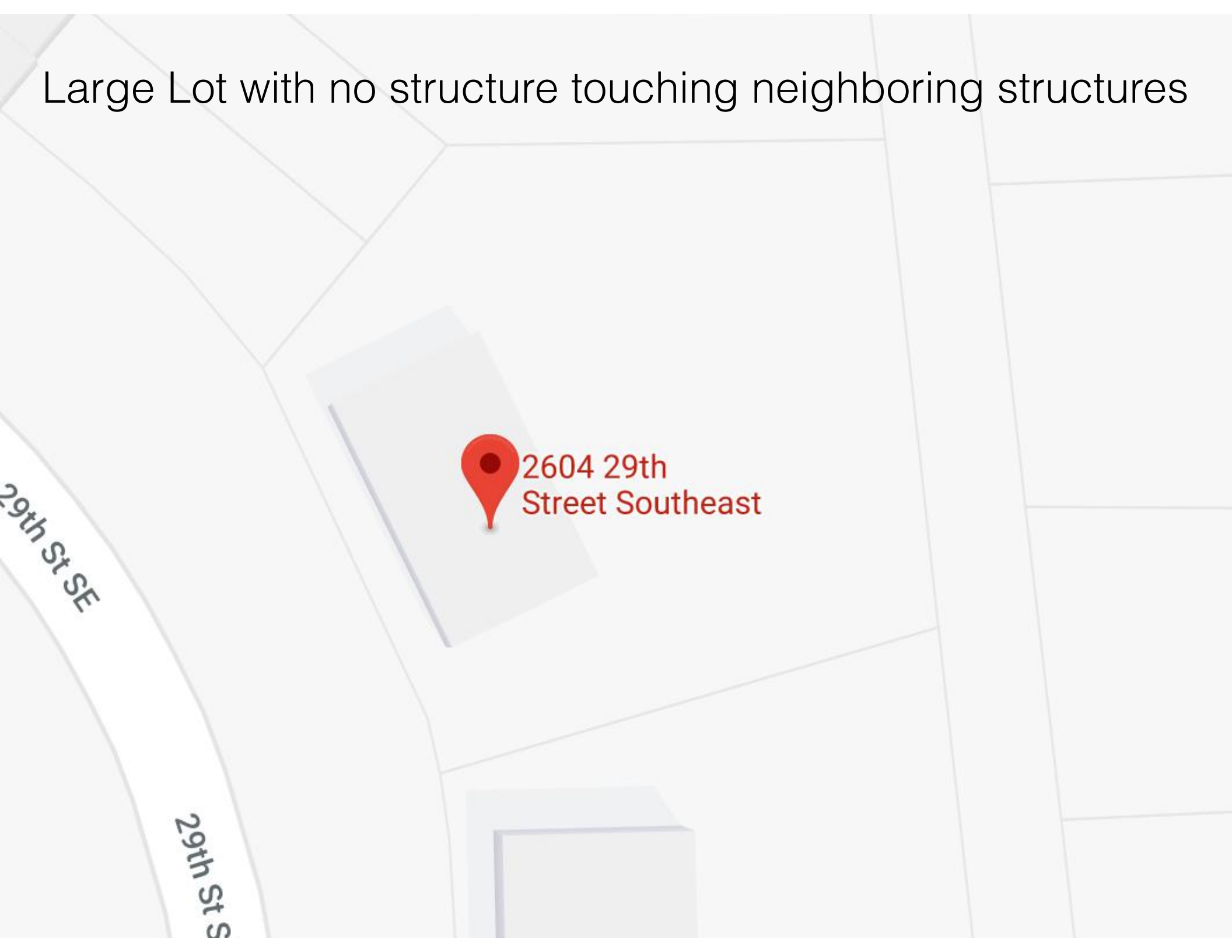
Overview of the Property's location

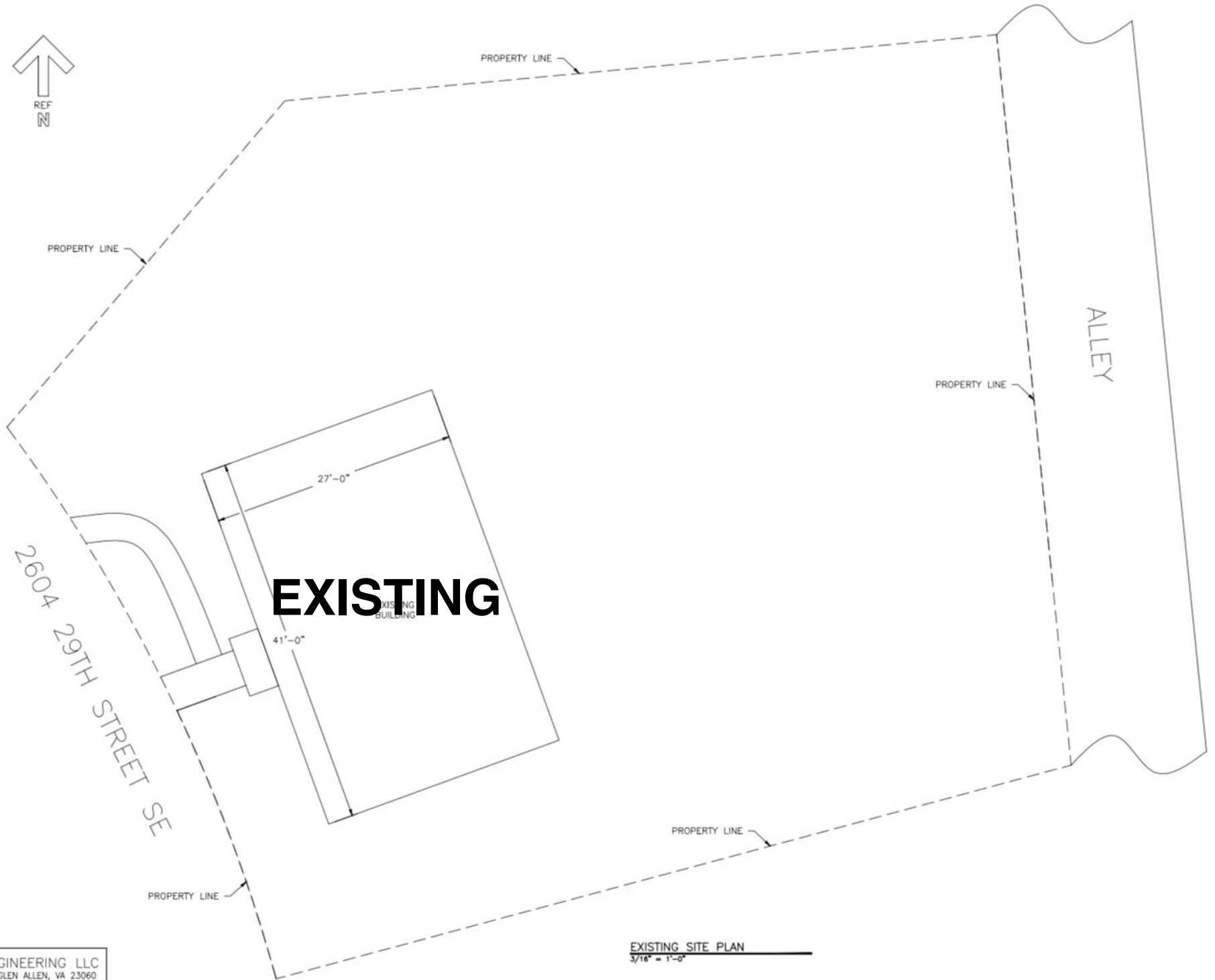


2604 29th Street Southeast

YUM Specialty Cakes By Rakita

Large Lot with no structure touching neighboring structures





EXISTING

EXISTING BUILDING

27'-0"

41'-0"

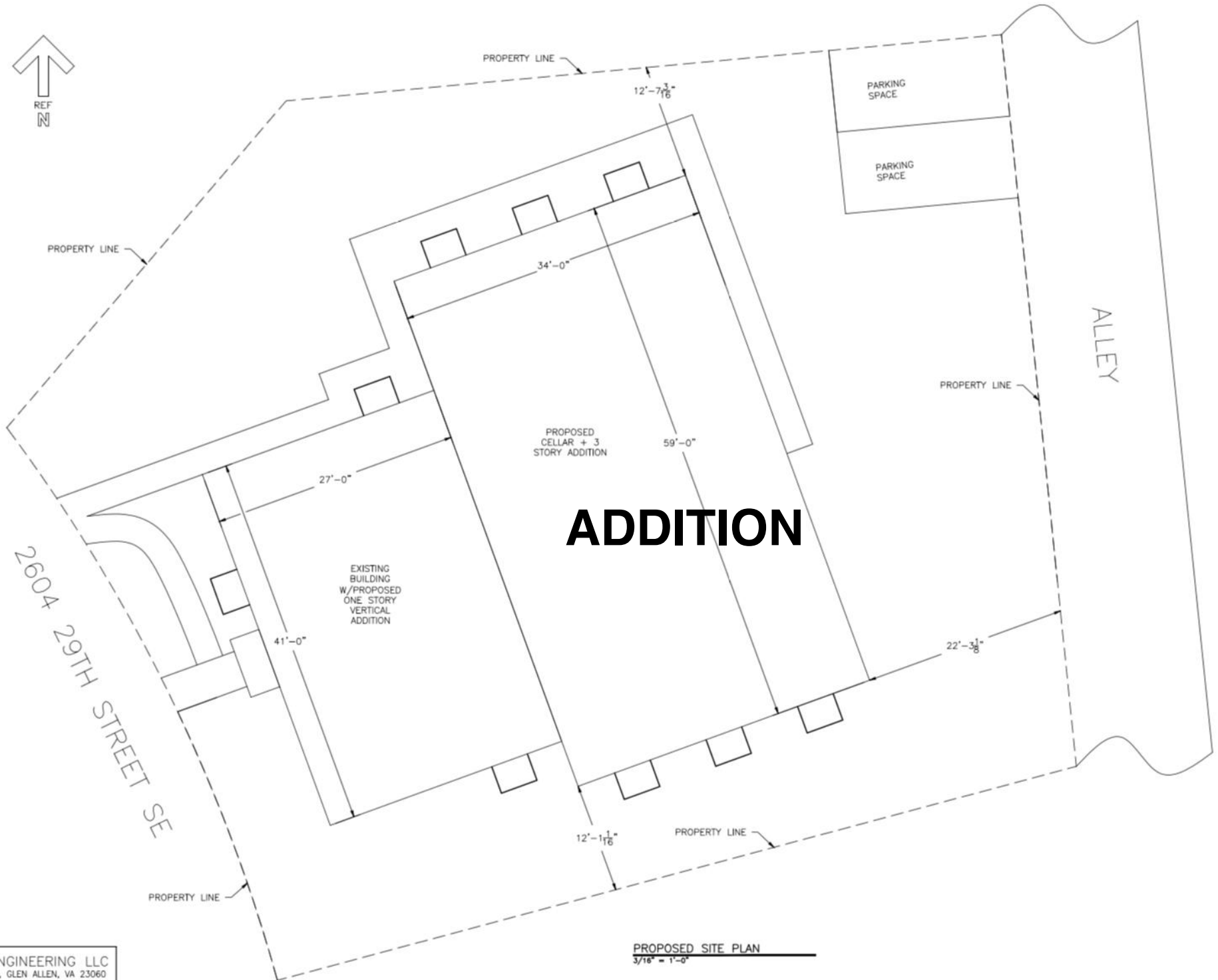
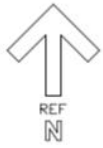
2604 29TH STREET SE

ALLEY

EXISTING SITE PLAN
3/16" = 1'-0"

SYSTEMATIC ENGINEERING LLC
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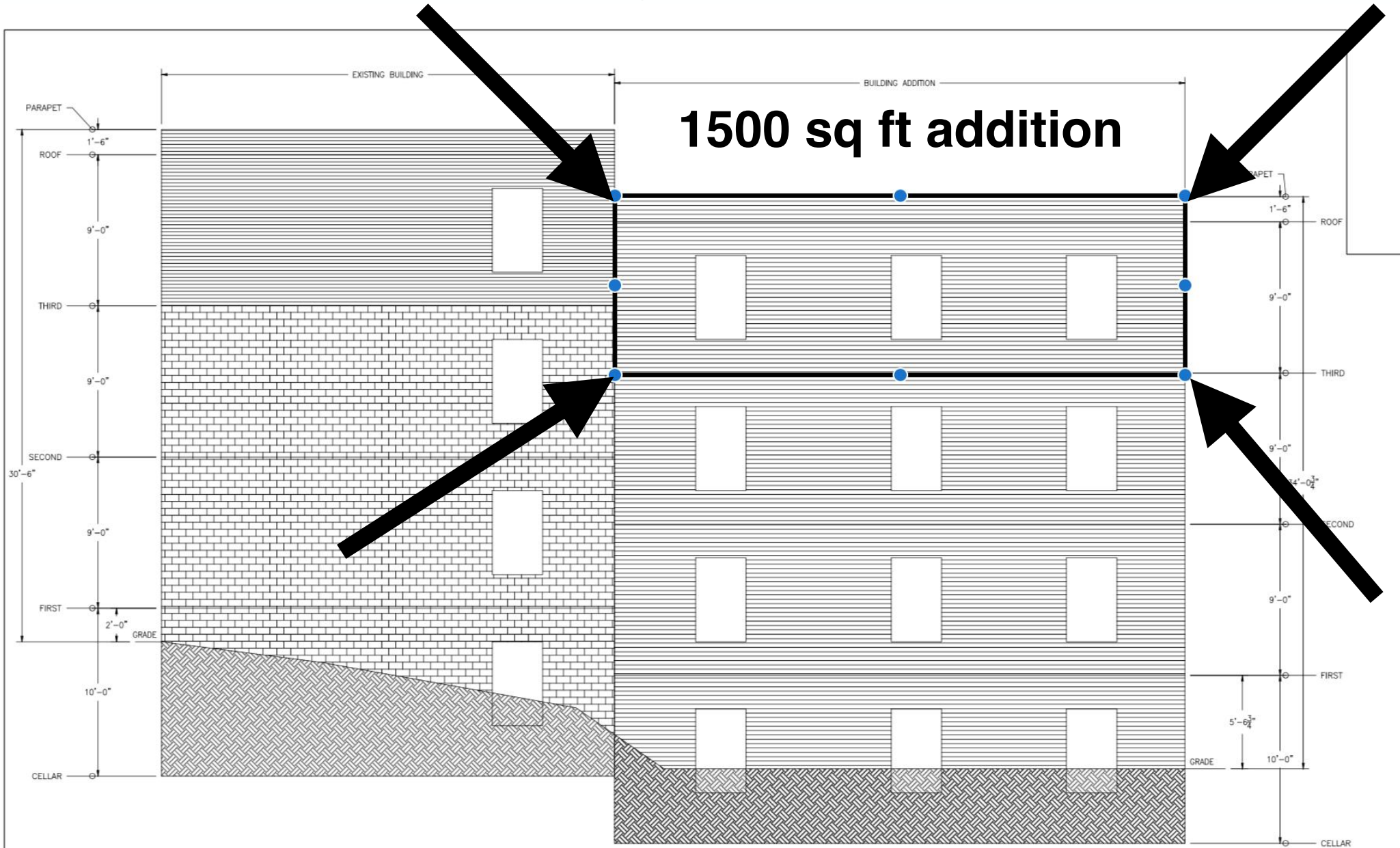
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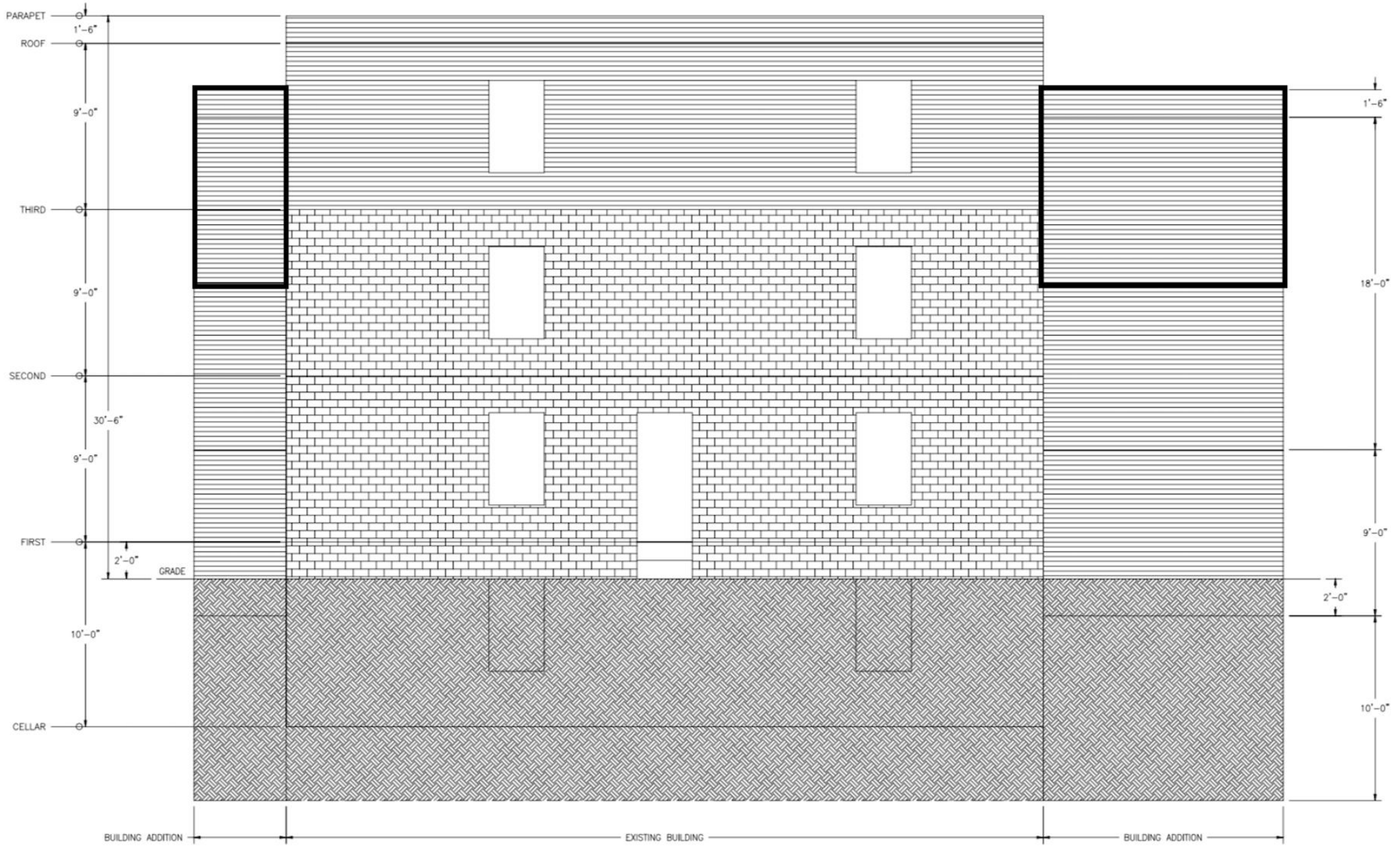
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PROPOSED SITE PLAN
3/16" = 1'-0"

SIDE



FRONT



(A) BUILDING ELEVATION
3/8" = 1'-0"

More Parking will be added if Special Exception is granted



Trash Storage