
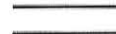
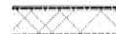



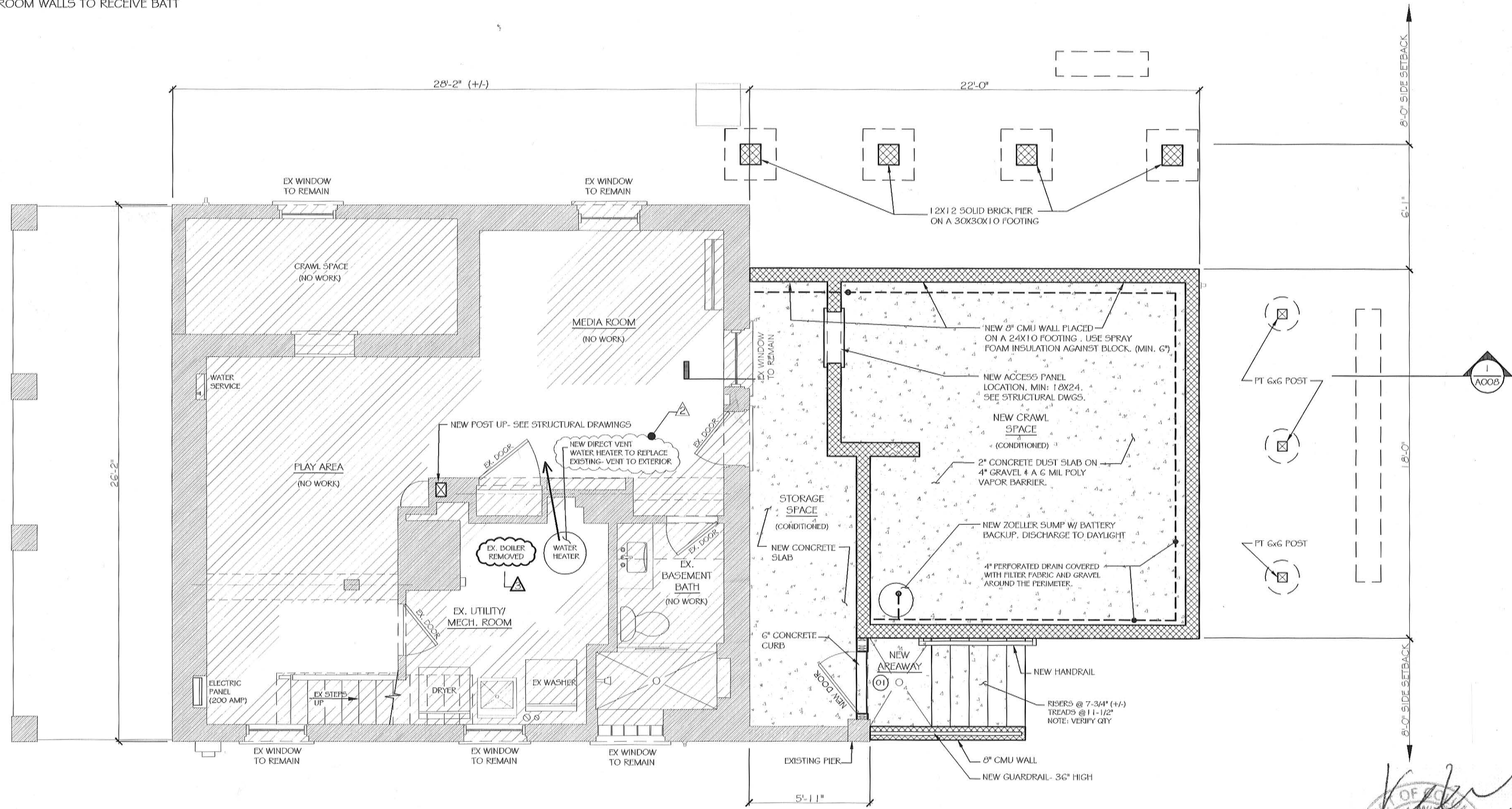


PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	INTERIOR ELEVATION MARK
	NO WORK IN THIS AREA

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE FROM EXISTING FINISH MATERIAL TO NEW CMU TO NEW FACE OF SHEATHING. (UNLESS NOTED OTHERWISE)
- 2.) CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK. IF ANY DISCREPANCY EXIST, NOTIFY SALTBOX.
- 3.) CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK AS NEEDED.
- 4.) ALL NEW BATHROOM WALLS TO RECEIVE BATT INSULATION.



DISTRICT OF COLUMBIA
 PERMIT OPERATIONAL DIVISION
 STRUCTURAL WORK IN GENERAL
 APPLICANT: SALTBOX ARCHITECTURE / CONSTRUCTION
 FURTHER APPROVAL OF THE DISTRICT OF COLUMBIA
 Date: 3/6/18
 Structural Engr. Section

OFFICIAL
 GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMITTING OPERATIONS DIVISION
 All work shall be done in conformity with the applicable codes and specifications of the District of Columbia, and shall be completed in accordance with the approved plans, unless otherwise noted.

REVISION	
▲	09.08.17
▲	02.28.18
▲	03.05.18

SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW
 WASHINGTON, D.C. 20001
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM

PHASE	PERMIT SET
DATE	07.26.17
SCALE	AS SHOWN
DRAWN	DHIRT
REV.	REVISION III-03.05.18

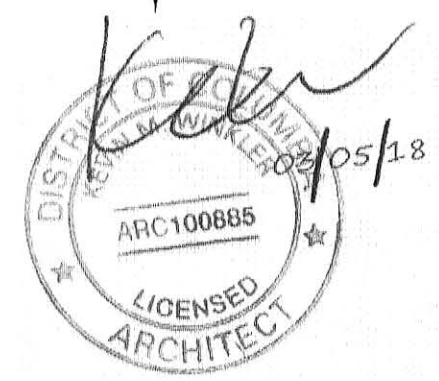
OGDEN CHANLETT-AVERY
 RESIDENCE
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

FLOOR PLAN-
 BASEMENT/
 CRAWL SPACE
 SHEET

A001
 Board of Building Adjustment
 District of Columbia
 CASE NO. 19777
 EXHIBIT NO. 25A1

1 A001 FLOOR PLAN- BASEMENT/CRAWL SPACE
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA, LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.



PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	INTERIOR ELEVATION MARK
	NO WORK IN THIS AREA

FIRST FLOOR NOTES:

- 1.) ALL WOOD FLOORS TO BE SANDED, REFINISHED, AND STAINED. P
- 2.) ALL OF FIRST FLOOR SHALL BE PRIMED AND PAINTED.
- 3.) PATCH DRYWALL WHERE ELECTRICAL AND/OR MECHANICAL WORK HAS TAKEN PLACE.

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE FROM EXISTING FINISH MATERIAL TO NEW CMU TO NEW FACE OF SHEATHING. (UNLESS NOTED OTHERWISE)
- 2.) CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK. IF ANY DISCREPANCY EXIST, NOTIFY SALTBOX.
- 3.) CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK AS NEEDED.
- 4.) ALL NEW BATHROOM WALLS TO RECEIVE BATT INSULATION.

DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 STRUCTURAL WORK IN GENERAL
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 3-6-18
 Date
 Structural Engr. Section

REVISION	
1	09.08.17
2	02.28.18
3	03.05.18

SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW
 WASHINGTON, D.C. 20001
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM

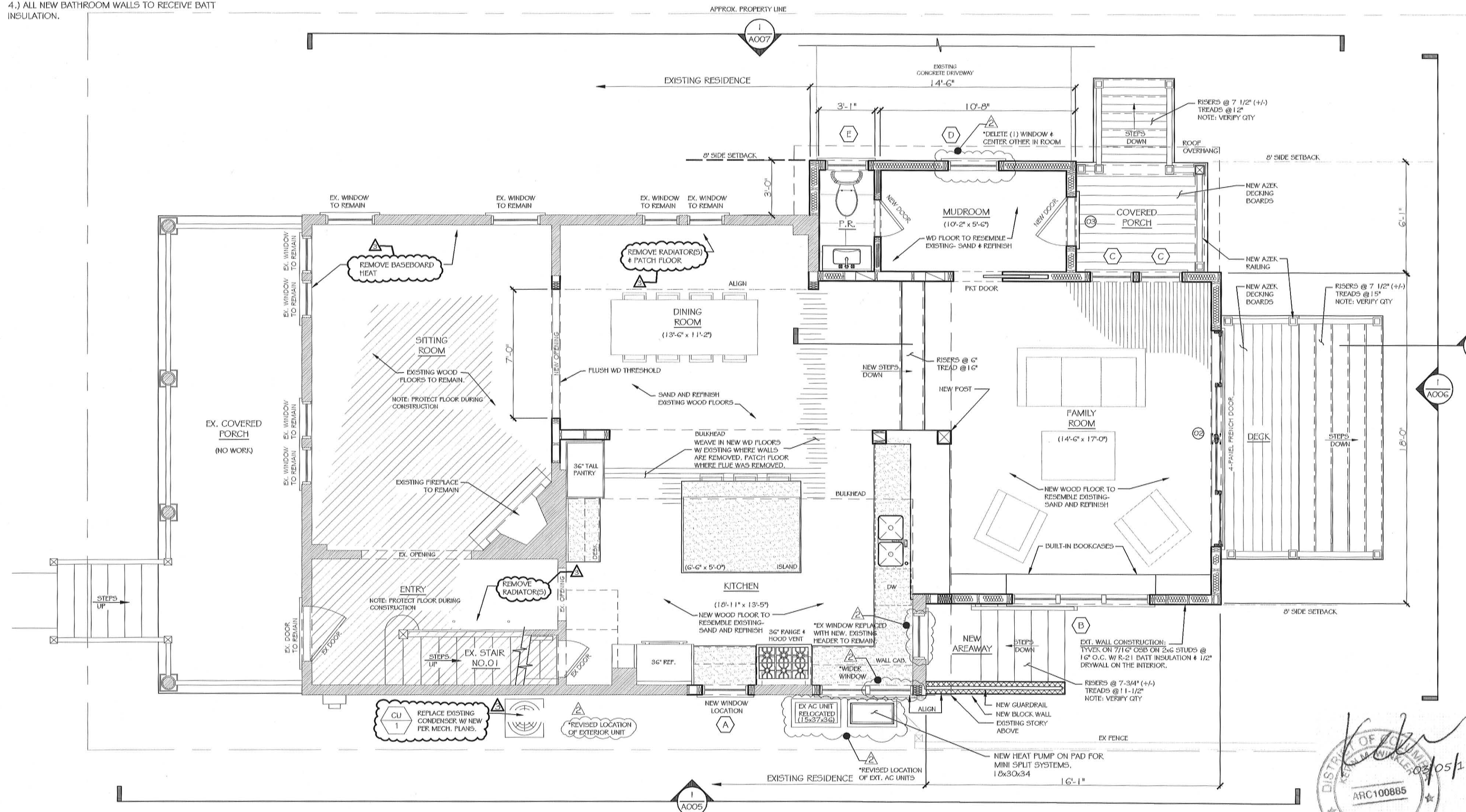
PHASE	PERMIT SET
DATE	07.26.17
SCALE	AS SHOWN
DRAWN	DHRT
REV.	REVISION III- 03.05.18

OGDEN CHANLETT-AVERY
 RESIDENCE
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

FLOOR PLAN-
 FIRST FLOOR

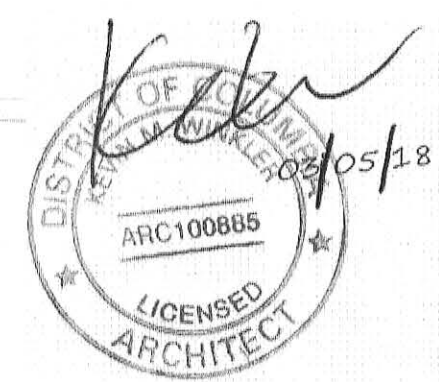
SHEET

A002









FLOOR PLAN- FIRST FLOOR
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME AND THAT I AM A DULY LICENSED
 PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA,
 LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.



PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	INTERIOR ELEVATION MARK
	NO WORK IN THIS AREA

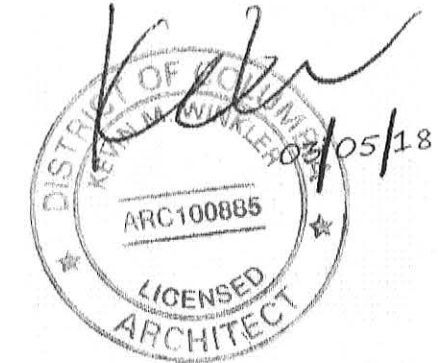
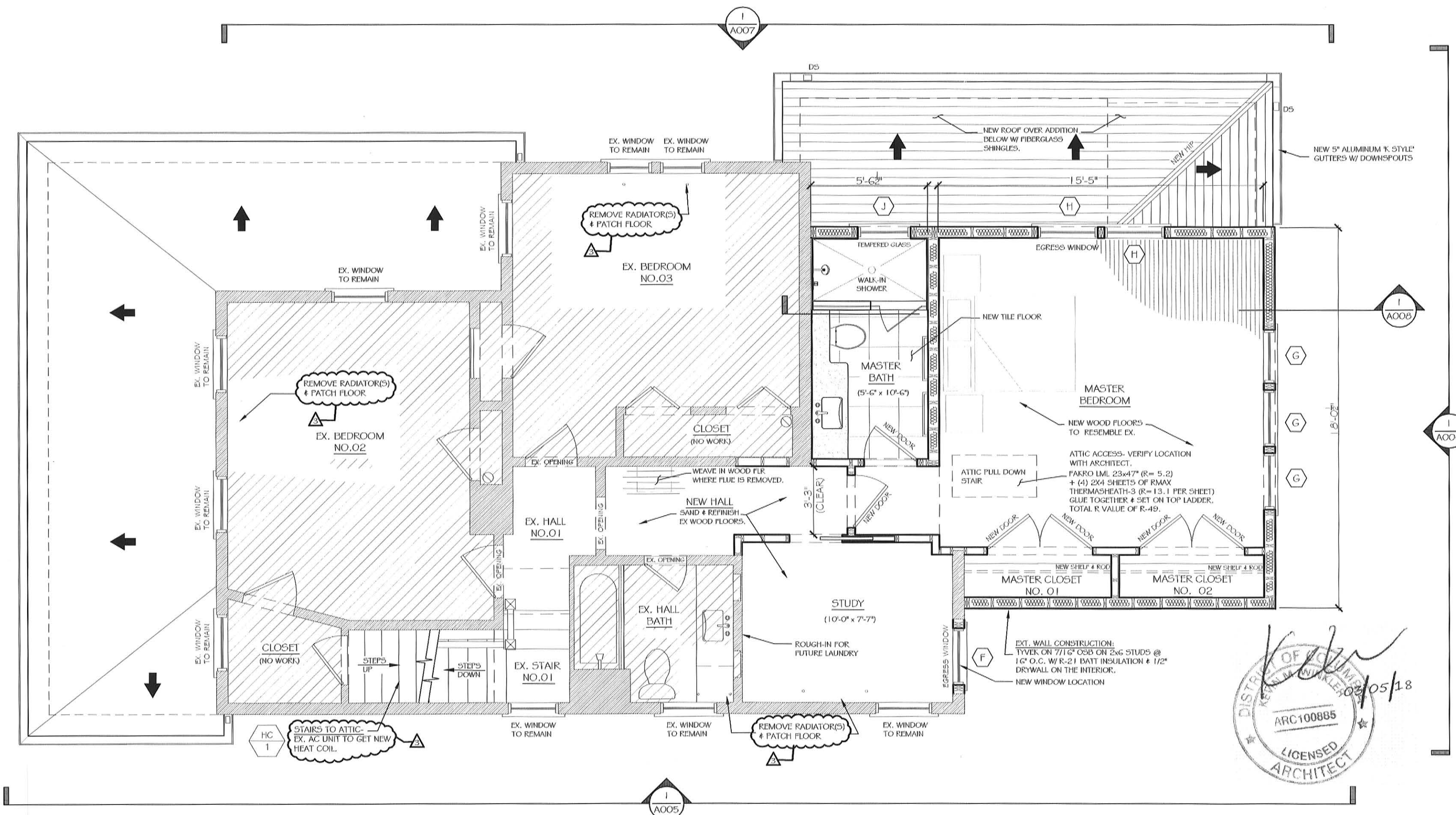
GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE FROM EXISTING FINISH MATERIAL TO NEW CMU TO NEW FACE OF SHEATHING. (UNLESS NOTED OTHERWISE)
- 2.) CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK. IF ANY DISCREPANCY EXIST, NOTIFY SALTBOX.
- 3.) CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK AS NEEDED.
- 4.) ALL NEW BATHROOM WALLS TO RECEIVE BATT INSULATION.

DISTRICT OF COLUMBIA
 FEDERAL NATIONALS DIVISION
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 3-6-18
 Date
 Structural Eng. Section

REVISION	
▲	09.08.17
▲	02.28.18
▲	03.05.18

SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW
 WASHINGTON, D.C. 20001
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM



FLOOR PLAN- SECOND FLOOR
 SCALE: 1/4"=1'-0"
 N

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME AND THAT I AM A DULY LICENSED
 PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA,
 LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.

PHASE	PERMIT SET	DATE	SCALE	DRAWN	REV.
		07.26.17	AS SHOWN	DHIRT	REVISION III- 03.05.18


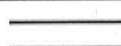




OGDEN CHANLETT-AVERY
RESIDENCE
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

FLOOR PLAN
 SECOND FLOOR

SHEET

A003

PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	INTERIOR ELEVATION MARK
	NO WORK IN THIS AREA

EXTERIOR ELEVATION NOTES:

- 1.) ALL OF EXTERIOR SHALL BE PREPARED & PAINTED.
- 2.) CONTRACTOR SHALL EXAMINE THE CONDITION OF ALL EXISTING BUILDING MATERIAL (SIDING, TRIM, ETC.).
- 3.) VERIFY EXISTING GRADE WITH STEP QTY IN FIELD.
- 4.) CONTRACTOR SHALL REMOVE EXISTING FENCES AS NEEDED AND REINSTALL AFTER CONSTRUCTION.
- 5.) OWNER SHALL BE RESPONSIBLE FOR TREE REMOVAL AS NEEDED.

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE FROM EXISTING FINISH MATERIAL TO NEW CMU TO NEW FACE OF SHEATHING. (UNLESS NOTED OTHERWISE)
- 2.) CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK. IF ANY DISCREPANCY EXISTS, NOTIFY SALTBOX.
- 3.) CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK AS NEEDED.
- 4.) ALL NEW BATHROOM WALLS TO RECEIVE BATT INSULATION.

DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 STRUCTURAL WORK IN GENERAL
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 3-6-18
 Date
 Structural Engr. Section

REVISION

△	09.08.17
△	02.28.18
△	03.05.18

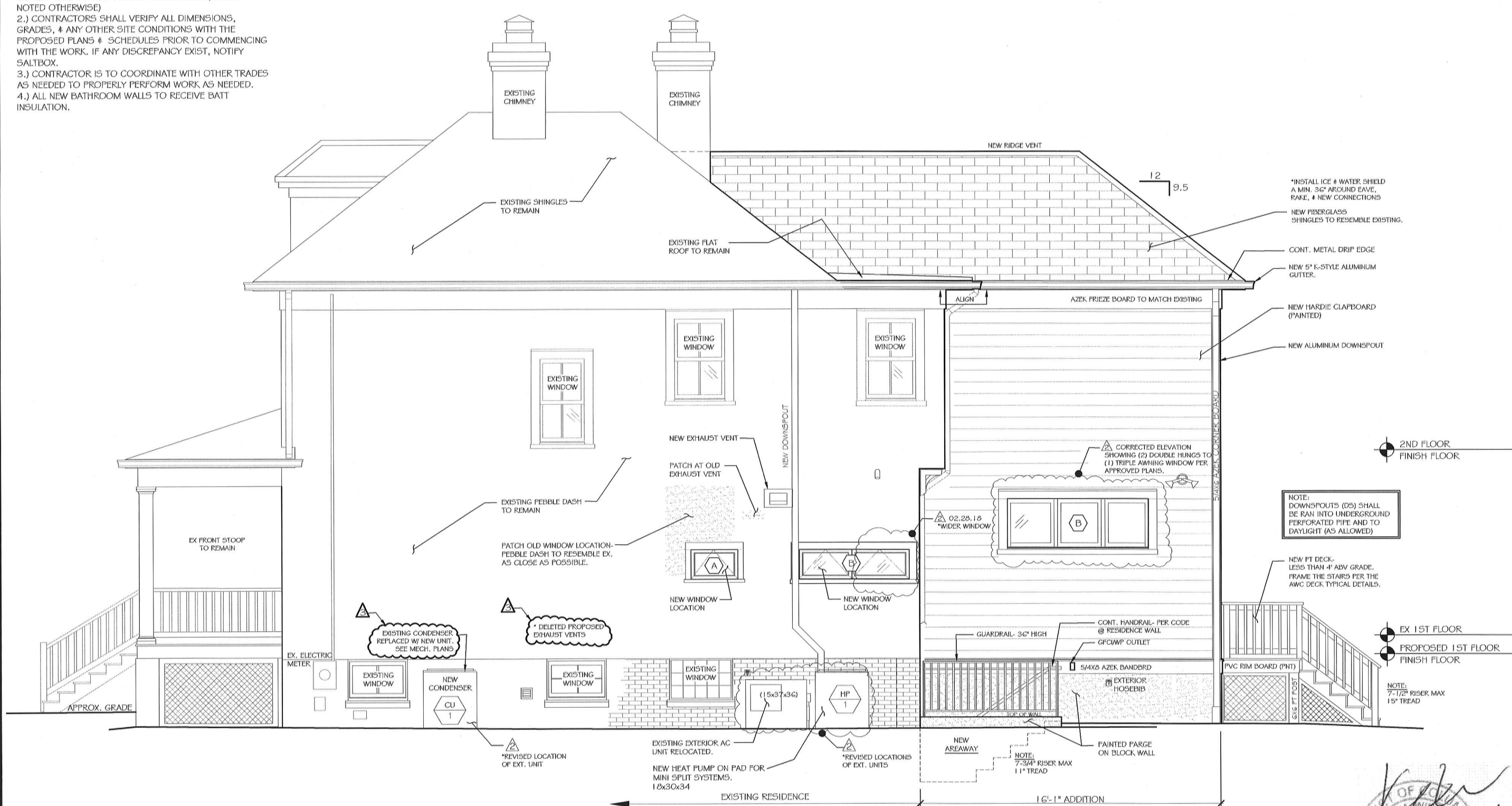
SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW
 WASHINGTON, D.C. 20001
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM

PHASE	PERMIT SET	DATE	SCALE	DRAWN	REV.
		07.26.17	AS SHOWN	DHRT	

**OGDEN CHANLETT-AVERY
 RESIDENCE**
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

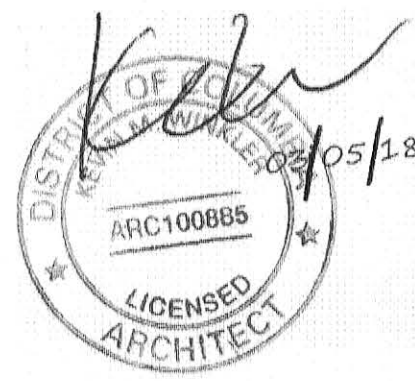
EXTERIOR
 ELEVATION
 SHEET

A005









1
 A005 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME AND THAT I AM A DULY LICENSED
 PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA,
 LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.



PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	INTERIOR ELEVATION MARK
	NO WORK IN THIS AREA

EXTERIOR ELEVATION NOTES:

- 1.) ALL OF EXTERIOR SHALL BE PREP'D & PAINTED.
- 2.) CONTRACTOR SHALL EXAMINE THE CONDITION OF ALL EX BUILDING MATERIAL (SIDING, TRIM, ETC).
- 3.) VERIFY EXISTING GRADE WITH STEP QTY IN FIELD.
- 4.) CONTRACTOR SHALL REMOVE EXISTING FENCES AS NEEDED AND REINSTALL AFTER CONSTRUCTION.
- 5.) OWNER SHALL BE RESPONSABLE FOR TREE REMOVAL AS NEEDED.

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE FROM EXISTING FINISH MATERIAL TO NEW CMU TO NEW FACE OF SHEATHING. (UNLESS NOTED OTHERWISE)
- 2.) CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK. IF ANY DISCREPANCY EXIST, NOTIFY SALTBOX.
- 3.) CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK AS NEEDED.
- 4.) ALL NEW BATHROOM WALLS TO RECEIVE BATT INSULATION.

DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 STRUCTURAL WORK BY CERTIFIED
 APPROVED ENGINEER TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 3-618
 Date
 Structural Engr. Section

REVISION	
△	09.08.17
△	02.28.18
△	03.05.18

SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW
 WASHINGTON, D.C. 20001
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM

PHASE	PERMIT SET	DATE	SCALE	DRAWN	REV.
		07.26.17	AS SHOWN		
				DHIRT	
					REVISION III- 03.05.18

**OGDEN CHANLETT-AVERY
 RESIDENCE**
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

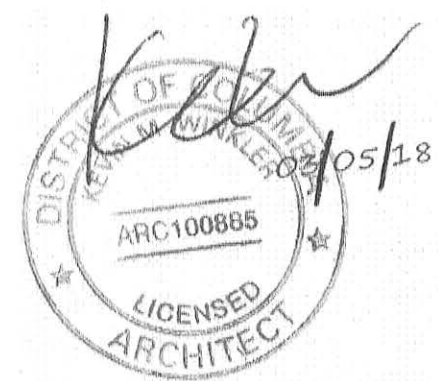
EXTERIOR
 ELEVATION
 SHEET

A007






1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME AND THAT I AM A DULY LICENSED
 PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA,
 LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.



DEMOLITION PLAN LEGEND:

-  EXISTING WALLS
-  EXISTING TO BE REMOVED AND DISPOSED OF (UNLESS NOTED)
-  NO WORK IN THIS AREA

GENERAL NOTES:

- 1.) ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
- 2.) WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY WITH PLYWOOD.
- 3.) DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK.
- 4.) ALL EXISTING FLOOR/FURNITURE/WALLS SHALL BE PROTECTED.
- 5.) PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO 'HABITAT FOR HUMANITY' OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
- 6.) ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLANS BEFORE WORK BEGINS.
- 7.) CONTRACTOR IS TO COORDINATE REMOVAL PLANS WITH ARCHITECTURAL AND STRUCTURAL PLANS. IF ANY QUESTIONS ARISE CONTRACTOR SHALL CONTACT SALTBOX.

STRUCTURAL DEMOLITION NOTES:

- 1.) INSTALL TEMPORARY SHORING FOR THE EXISTING STRUCTURE THAT IS TO REMAIN BEFORE DEMOLITION PROCEEDS. THE SHORING SHALL BRACE THE EXISTING STRUCTURE AGAINST BOTH VERTICAL AND LATERAL LOADS.
- 2.) DEMOLITION SHALL TAKE PLACE FROM THE ROOF DOWN WHEN APPLICABLE. THE EXISTING STRUCTURE SHOULD BE SAW CUT AT ALL JOINTS BEFORE ANY IMPACT DEMOLITION TAKES PLACE.

DISTRICT OF COLUMBIA
 PERMITS OPERATIONS DIVISION
 STRUCTURAL WORK IN GENERAL
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 3-6-18
 Date
 Structural Engr. Section

REVISION	
1	09.08.17
2	02.28.18
3	03.05.18

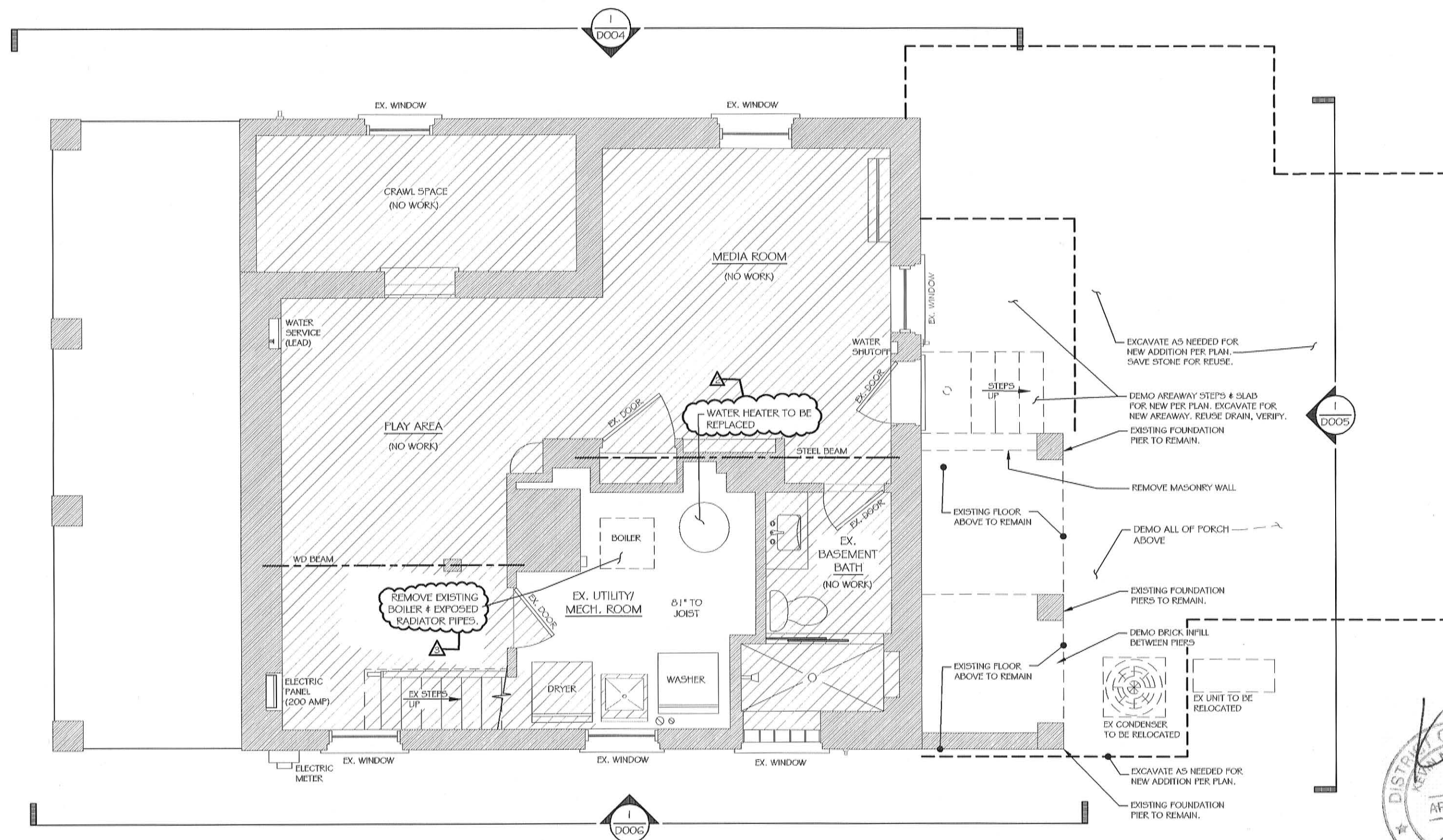
SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW OFFICE: 202-350-0300
 WASHINGTON, D.C. 20001 WWW.SALTBOXDESIGN.COM

PHASE	PERMIT SET
DATE	07.26.17
SCALE	AS SHOWN
DRAWN	DHIRT
REV.	REVISION III-03.05.18

**OGDEN CHANLETT-AVERY
 RESIDENCE**
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

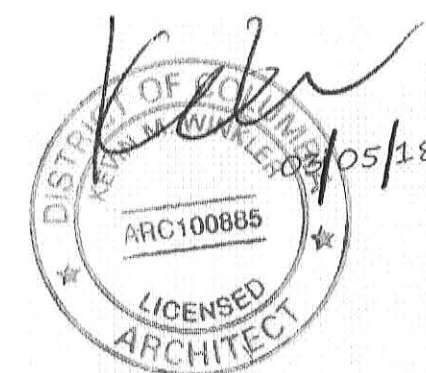
DEMOLITION-
 BASEMENT/
 CRAWLSPACE
 PLAN
 SHEET

D001






DEMOLITION- BASEMENT/CRAWLSPACE PLAN
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME AND THAT I AM A DULY LICENSED
 PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA,
 LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.



DEMOLITION PLAN LEGEND:

-  EXISTING WALLS
-  EXISTING TO BE REMOVED AND DISPOSED OF (UNLESS NOTED)
-  NO WORK IN THIS AREA

GENERAL NOTES:

- 1.) ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
- 2.) WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY WITH PLYWOOD.
- 3.) DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK.
- 4.) ALL EXISTING FLOOR/FURNITURE/WALLS SHALL BE PROTECTED.
- 5.) PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO 'HABITAT FOR HUMANITY' OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
- 6.) ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLANS BEFORE WORK BEGINS.
- 7.) CONTRACTOR IS TO COORDINATE REMOVAL PLANS WITH ARCHITECTURAL AND STRUCTURAL PLANS. IF ANY QUESTIONS ARISE CONTRACTOR SHALL CONTACT SALTBOX.

STRUCTURAL DEMOLITION NOTES:

- 1.) INSTALL TEMPORARY SHORING FOR THE EXISTING STRUCTURE THAT IS TO REMAIN BEFORE DEMOLITION PROCEEDS. THE SHORING SHALL BRACE THE EXISTING STRUCTURE AGAINST BOTH VERTICAL AND LATERAL LOADS.
- 2.) DEMOLITION SHALL TAKE PLACE FROM THE ROOF DOWN WHEN APPLICABLE. THE EXISTING STRUCTURE SHOULD BE SAW CUT AT ALL JOINTS BEFORE ANY IMPACT DEMOLITION TAKES PLACE.

DISTRICT OF COLUMBIA
 DEPARTMENT OF PERMITS DIVISION
 1624 TAYLOR STREET, NW OFFICE: 202-350-0300
 WASHINGTON, D.C. 20001 WWW.SALTBOXDESIGN.COM
 3-6-18 *Reemo*
 Date Structural Eng. Section

REVISION	
▲	09.08.17
▲	02.28.18
▲	03.05.18

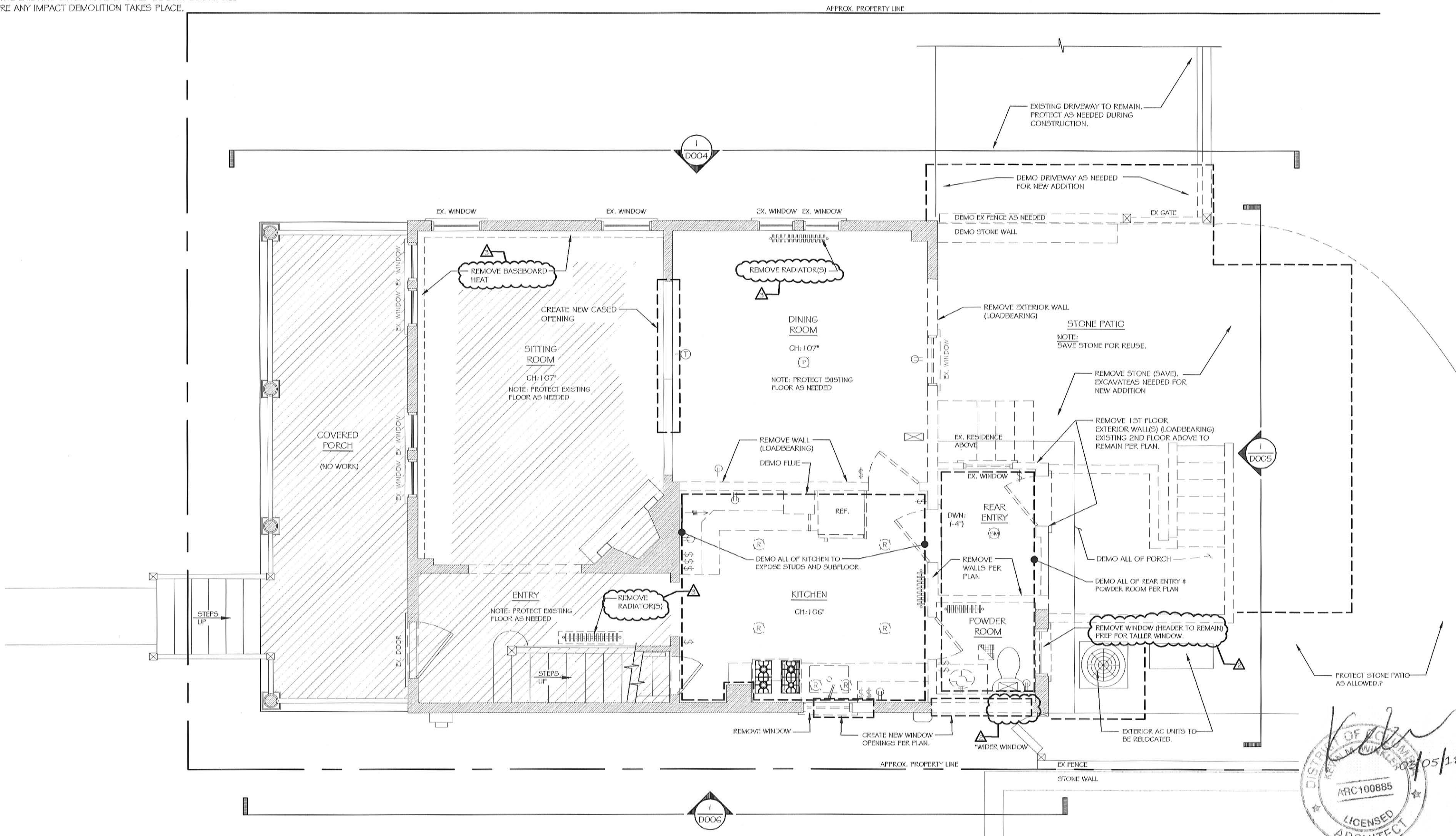
SALTBOX
 ARCHITECTURE / CONSTRUCTION
 1624 TAYLOR STREET, NW OFFICE: 202-350-0300
 WASHINGTON, D.C. 20001 WWW.SALTBOXDESIGN.COM

PHASE	DATE	SCALE	DRAWN	REV.
PERMIT SET	07.26.17	AS SHOWN	DHIRT	REVISION III-03.05.18

OGDEN CHANLETT-AVERY
 RESIDENCE
 4400 ALBEMARLE STREET NW
 WASHINGTON DC 20016

DEMOLITION
 FIRST FLOOR
 PLAN
 SHEET

D002



DEMOLITION- FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN THE DISTRICT OF COLUMBIA, LICENSE NO. ARC100885, EXPIRATION DATE 12-30-2018.

