

1208 T St NW, Washington, DC 20009



1 SITE LOCATION PLAN
SCALE: NONE



2 EXISTING FRONT ELEVATION OF PROPERTY
SCALE: NONE



3 EXISTING REAR ELEVATION OF PROPERTY
SCALE: NONE

PROJECT DESCRIPTION

INTERIOR:
DEMOLITION PERMIT NO. **BP1802061** / INTERIOR PERMIT NO. **B1805706**.

EXTERIOR:
ALTERATIONS TO REAR FACADES IN ORDER TO BUILD A ROOF DECK ADDITION W/ PERGOLA, REAR 2ND FLOOR BALCONY & 1ST FLOOR DECK WHILE EXTENDING THE LOWER REAR AREA WAY PERMITTED UNDER PERMIT NO. **B1805706**.

BZA:
RELIEF IS REQUESTED TO EXTEND THE 1ST FLOOR DECK & LOWER AREAWAY INTO THE 20' REAR YARD SETBACK BY 2' FEET (SUBTITLE E - 306.1) & EXCEED THE 60% LOT COVERAGE (SUBTITLE E - 304.1), TO INSTALL A STEEL ROLL UP DOOR AT THE REAR PROPERTY LINE (DCMR 11-2301.2) INSTEAD OF 12'-0" FROM THE CENTER LINE OF THE REAR ALLEY TO MAINTAIN AN 18'-0" PARKING SPACE, & BUILD A ROOF DECK WITHOUT SETBACKS FROM SIDE & REAR FACADES (SUBTITLE C - 1502.1).

GENERAL NOTE: THESE DRAWINGS HAVE BEEN REDUCED FROM 24 X 36 TO 11 X 17. PLEASE REFER TO THE GRAPHIC SCALE ADJACENT TO DRAWINGS.



DRAWING INDEX

C-0001	COVERSHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX
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C-0005	ENERGY VERIFICATION SHEET
D-0001	CELLAR & 1ST FLOOR DEMOLITION PLANS & NOTES
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A-0001	ARCHITECTURAL CELLAR & 1ST FLOOR PLANS & NOTES
A-0002	ARCHITECTURAL 2ND, 3RD FLOOR PLANS & ROOF PLAN & NOTES
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A-0004	ARCHITECTURAL REFLECTED CEILING & POWER PLANS & NOTES, LIGHTING SCHEDULE
A-0005	ARCHITECTURAL ELEVATIONS & SECTION
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A-0007	ARCHITECTURAL RENDERINGS
A-0008	ARCHITECTURAL RENDERINGS

GENERAL INFO

OWNER:
MR. DALE DENTON /
MR. MORGAN WASHBURN
1334 CORCORAN ST NW
WASHINGTON, DC 20009

ARCHITECT:
AGGREGATE, LLC
1306 9TH ST NW
SUITE 200
WASHINGTON, DC 20001
PH: 202.289.0053

STRUCTURAL ENGINEER:
OHI ENGINEERING GROUP, PLLC
1025 THOMAS JEFFERSON ST NW
SUITE 420 EAST
WASHINGTON, DC 20007
PH: 202.499.5588

ZONING INFO

SQUARE: 0275
LOT: 0047
EXIST. USE: RF-1
PROPOSED USE: RF-1
EXIST. LOT AREA: 1377.6
EXIST. LOT OCC: 60%
PROPOSED LOT OCC: 74.2%
MAX. LOT OCC: 60%
PERVIOUS SURFACE: --

NOTE

ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.

CODE REVIEW INFO.

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- 2012 INTERNATIONAL BUILDING CODE (IBC) W/ RELATED WDC ADDENDUM & ZONING REQUIREMENTS
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2011 NATIONAL ELECTRIC CODE (NEC)

BUILDING DATA

	EXIST. BLDG.	PROP. ALTER.
IRC OCCUPANCY CLASSIFICATION	R-3	R-3
TYPE OF CONSTRUCTION	III-B	III-B
NUMBER OF STORES ABOVE GRADE	3	3
FULLY SPRINKLERED	N	N
FLOOR AREA OF HOUSE	3300 SQ FT	--
FLOOR AREA OF RENOVATION	--	--
FLOOR AREA OF REAR DECK	--	197 SQ FT
FLOOR AREA OF REAR BALCONY	--	43 SQ FT
FLOOR AREA OF ROOF DECK	--	224 SQ FT

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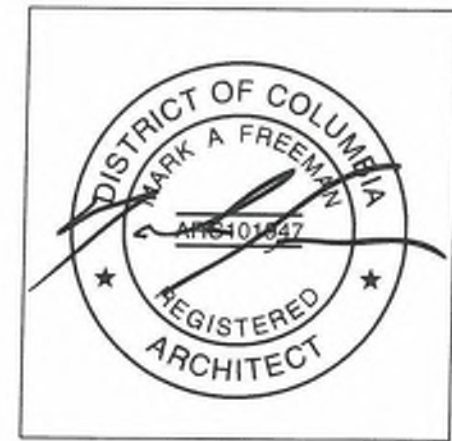
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SUBMISSION DATE	12.26.17
PROJNG	03.22.18
BZA / PERMIT	03.22.18
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. LICENSE NO. APR101947 EXPIRATION DATE 03/31/2021	
DRAWN BY:	VC / MF / OC
CHECKED BY:	MF
PROJECT NO:	2017-17

COVER

Board of Zoning Adjustment
District of Columbia
CASE NO. 19755
EXHIBIT NO. 5



SECTION 1 - GENERAL DATA

GENERAL CONDITIONS:

THESE NOTES AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT THE WORKING DRAWINGS WHICH TOGETHER ARE TO BE USED FOR PERFORMING THE WORK.

THE DRAWINGS AND THE SPECIFICATIONS ARE COMPLEMENTARY TO EACH OTHER AND WHATEVER CALLED FOR BY ONE SHALL BE BINDING AND CALLED FOR BY BOTH, WHERE THE SPECIFICATIONS DEAGREE WITH THE DRAWINGS, THE ARCHITECT WILL CLARIFY.

DIMENSIONS ON THE DRAWINGS SHALL BE FOLLOWED IN LIEU OF SCALE MEASUREMENTS, DO NOT SCALE DRAWINGS.

ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO ROUGH FRAMING UNLESS OTHERWISE INDICATED, DIMENSIONS, NOTES, FINISHES, ETC. INDICATED ON PLANS, SECTIONS AND/OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL AND/OR OPPOSITE PLANS, SECTIONS AND/OR DETAILS, UNLESS OTHERWISE NOTED OR DETAIL.

ALL BUILDING AND SANITARY LAWS, RULES AND REGULATIONS, HAVING JURISDICTION OVER THE PROJECT, SHALL BE A PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH BY THE OWNER AND CONTRACTOR WHETHER HEREBY SPECIFIED OR NOT.

ALL WORK, MATERIAL, AND EQUIPMENT INCORPORATED IN THE PROJECT INCLUDING FINISHING, HEATING AND ELECTRICAL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE OWNER.

GENERAL CONTRACTOR TO FURNISH ALL LABOR, EQUIPMENT, MATERIALS, CONNECTIONS AND SUPERVISION TO COMPLETE THE PROJECT AS SPECIFIED HEREBY, SHOWN ON THE PLANS, AND/OR REASONABLY IMPLIED FROM OTHER, UNLESS OTHERWISE NOTED.

THE USE OF THE WORDS "PROVIDE" OR "PROMOTE" IN THE SPECIFICATIONS ARE INTENDED TO MEAN "TURNKEY" (AND "INSTALLED" AND/OR "CONNECTED") UNLESS SPECIFICALLY MENTIONED OTHERWISE.

WHERE THE WORDS "SHOW" OR "SHOWN ON DRAWINGS" ARE USED IN THE SPECIFICATIONS IT SHALL BE CONSTRUED TO MEAN "NOTED", "INDICATED", "SCHEDULED", "DETAILED", OR ANY OTHER DIAGRAMMATIC OR WRITTEN REFERENCE MADE ON ANY OF THE CONTRACT DOCUMENTS, INCLUDING BOTH THE DRAWINGS AND SECTIONS OF THE SPECIFICATIONS, AND ALL OF THE AFOREMENTIONED TERMS SHALL BE CONSTRUED INTERCHANGEABLE.

THE TERM "BY OWNER" WHEN RELATED TO EQUIPMENT, ACCESSORIES, FITTINGS, APPLIANCES, SUPPLIES, ETC. MEANS SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

THE OWNER SHALL BE USED TO REFER TO MR. DALE DEBON & MR. MORGAN WASHBURN.

THE CONTRACTOR SHALL BE USED TO REFER TO THE GENERAL CONTRACTOR AND SUB CONTRACTORS PERFORMING THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS FOR THE OWNER.

LICENSE, INSURANCE AND BONDS:

THE CONTRACTOR/SUBCONTRACTORS PERFORMING THE WORK SHALL BE LICENSED IN THE DISTRICT OF COLUMBIA, AND SHALL HOLD ALL REQUIRED JURISDICTIONAL LICENSES.

THE CONTRACTOR SHALL CARRY FOR EVERY PERSON EMPLOYED BY THEM ON THE PREMISES THE INSURANCES AS TO PROTECT THE OWNER, INCLUDING WORKMENS COMPENSATION AND LIABILITY INSURANCE AND PROPERTY DAMAGE INSURANCE.

APPLICABLE BUILDING CODE:

CURRENT EDITION AND AMENDMENTS OF THE INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON, DC AMENDMENTS, AND ALL LAWS AND CODES CURRENTLY ENFORCED AT THE BUILDING LOCATION. ALL MATERIALS AND WORK SHALL COMPLY WITH THE ADOPTED/ENFORCED CODE.

PERMITS:

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND SHALL OBTAIN ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS.

GENERAL CONSTRUCTION NOTES:
ALL WORKMANSHIP SHALL BE PERFORMED AND COMPLETED IN A WORKMANLIKE MANNER MAINTAINING THE HIGH QUALITY STANDARDS OF EACH TRADE.

THE CONTRACTOR SHALL INSPECT THE SITE AND EXAMINE THE DRAWINGS AND SPECIFICATIONS THOROUGHLY TO INFORM THEMSELVES OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING WORK OR ORDERING MANUFACTURED ITEMS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS BEFORE COMMENCING WORK OR ORDERING MANUFACTURED ITEMS. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF EXISTING OBSERVABLE OR REASONABLY ASSUMABLE CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED.

THE CONTRACTOR SHALL STORE MATERIALS IN A SAFE AND DRY LOCATION AND SHALL PROTECT ALL WORK, EQUIPMENT, AND MATERIALS THROUGHOUT THE CONSTRUCTION PROCESS.

SCHEDULE OF COMPLETION AND PAYMENTS FOR THE WORK SHALL BE AS AGREED TO BY THE OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE COMPETENT ONLY SUPERVISION INCLUDING CAREFULLY SECURING THE PROPERTY AT THE END OF EACH WORK DAY COORDINATE ALARM AND/OR OTHER SECURITY ISSUES AT THE SITE WITH THE OWNER.

ALL STRUCTURAL WORK REQUIRED BY THESE PLANS SHALL TAKE PLACE USING THE MOST CUSTOMARY AND PRECAUTIONARY PRACTICES TO CAUSE NO MOVEMENT TO THE EXISTING STRUCTURE NOR DAMAGE TO EXISTING FINISHES. SHORING AND BRACING SHALL OCCUR FROM THE FOUNDATION UP AS REQUIRED AND SHALL BE WELL ANCHORED AND PADDED TO PROTECT FINISHES.

IN AREAS WHERE EXISTING STRUCTURES OR FINISHES ARE INDICATED TO BE MOVED OR REMOVED, ALL DISTURBED FINISHES SHALL BE REPAIRED TO MATCH EXISTING UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL DURING THE COURSE OF THE WORK PROVIDE ADEQUATE PROTECTION TO STOP THE SPREAD OF GRY, DIRT, DUST, ETC. AND SHALL REMOVE TRASH, DEBRIS, ETC. ACCUMULATED BY THE CONSTRUCTION WEEKLY. THE PROJECT, UPON COMPLETION SHALL BE TURNED OVER TO THE OWNER "GLOVE" CLEAN, AND ALL EQUIPMENT AND DISPOSABLE COMPONENTS SHALL BE FUNCTIONING AND ALL SURFACES FINISHED.

THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES. AFTER COMPLETION OF THE CONTRACT AND BEFORE RECEIVING FINAL PAYMENT, THE CONTRACTOR SHALL HAVE ALL PARTS OF RENOVATED AREAS CLEANED AS NECESSARY.

ALL EQUIPMENT, FIXTURES AND APPLIANCES REQUIRING ELECTRIC POWER SHALL BE SURED FOR USE WITH THE POWER TO BE SUPPLIED. ALL ELECTRICAL REQUIREMENTS SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.

VERIFY ALL DIMENSIONS BEFORE FOR HORIZONTAL AND VERTICAL CONTROL BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT FOR INSTRUCTIONS PRIOR TO STARTING.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE FINAL SELECTION OF APPLIANCES, CABINERY, FIXTURES AND ACCESSORIES NOT SPECIFIED. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL THESE ITEMS AS PART OF THIS CONTRACT.

THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE BIDDING AS NOT TO CAUSE DELAYS TO ANY PHASE OF CONSTRUCTION DUE TO LATE SCHEDULING OF INTERCONNECTED WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING RFD MEASUREMENTS BEFORE ORDERING MATERIALS AND PRE-ARRANGED ITEMS. ANY NECESSARY ADJUSTMENTS SHALL BE MADE IN ACCORDANCE WITH THE DECISION OF THE OWNER.

ALL EQUIPMENT WARRANTIES AND MAINTENANCE MANUALS SHALL BE GIVEN TO THE OWNER IN ONE CONSOLIDATED PACKAGE. WARRANTY PERIOD SHALL BEGIN UPON COMPLETION OF WORK.

UNLESS OTHERWISE NOTED, ALL EQUIPMENT, MATERIALS AND COMPONENTS SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

THE CONTRACTOR SHALL EXTEND OR RELOCATE, AS REQUIRED, ALL VISIBLE INTERIOR UTILITIES DISTURBED BY THE DEMOLITION/RENOVATION, TO THE NEAREST REASONABLE LOCATION UNLESS OTHERWISE NOTED. I.E. ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, TELEPHONE OUTLETS, CABLE CONNECTIONS, HVAC SUPPLY, ETC.) COORDINATE THE NEW LOCATION WITH THE OWNER AND/OR ARCHITECT.

THE CONTRACTOR SHALL COORDINATE THE TEMPORARY "SHUT DOWN" OF ALL UTILITIES INCLUDING FIRE PROTECTION AND ALARM SYSTEMS WITH THE OWNER.

SECTION 2 - SITE WORK:

SEE C-0003 & C-0004

SECTION 3 - CONCRETE:

SEE STRUCTURAL NOTES 3-0005

SECTION 4 - MASONRY:

SEE STRUCTURAL NOTES 3-0005

SECTION 5 - METALS:

SEE STRUCTURAL NOTES 3-0005

MISC. METALS:

THE CONTRACTOR SHALL PROVIDE ALL MISC. NAILS, BOLTS, SUPPORTS, SCREWS AND FASTENERS AS REQUIRED TO COMPLETE THE WORK, DESIGNATED IN THE DRAWINGS.

SECTION 6 - WOOD AND PLASTICS:

FRAMING:

SEE STRUCTURAL NOTES 3-0005

FINISH CARPENTRY & MILLWORK:

ALL WORKMANSHIP AND MATERIALS SHALL MEET THE HIGHEST QUALITY STANDARDS FOR EACH TYPE OF INSTALLATION AND MATERIAL. PREMIUM GRADE FINISH UNLESS OTHERWISE NOTED.

FINISH HARDWARE:

ALL HARDWARE ITEMS FOR ARCHITECTURAL CARPENTRY, WOODWORK SHALL BE PROVIDED BY CONTRACTOR COMPLETE WITH FASTENERS AND RELATED ACCESSORIES.

SECTION 7 - THERMAL & MOISTURE PROTECTION:

ALL INSULATION PRODUCTS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.

SECTION 8 - DOORS & WINDOWS:

SEE EXTERIOR DOOR SCHEDULE PAGES A-0001A -A-0002 FOR MORE INFORMATION.

HARDWARE SELECTIONS TO BE PROVIDED BY OWNER.

SECTION 9 - FINISH:

GYPSON DRYWALL:

WALLS SHALL BE FINISHED WITH 1/2" WATER RESISTANT GYPSON BOARD WHERE NOTED BY NOTE AND SHALL BE MESH TAPED, SPACED, AND SHOWN HANGERS. PROVIDE CORNER BEADS FOR ALL EXPOSED CORNERS, AND CASING BEADS WHERE GYPSON BOARD IS ADJACENT TO DIFFERENT MATERIAL.

ALL GYPSON BOARD PRODUCTS SHALL BE HANDLED, INSTALLED AND FINISHED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "GYPSON CONSTRUCTION HANDBOOK" AS PUBLISHED BY THE U.S. GYPSON COMPANY.

WALL:

N/A

PAINING & STAIN:

METAL HARDWARE AND MISC. FITTING ARE NOT TO BE PAINTED, UNLESS SPECIFIED OR NOTED.

THE CONTRACTOR SHALL REMOVE ALL SHEATH PLATES, COVER PLATES, TRIM BEADS AND MISC. SURFACE HARDWARE AS REQUIRED, PRIOR TO PAINTING AND REINSTALL THEM AS COMPLETION OF THE PAINTING WORK.

CASING & SEALANTS:

LATER CASING SHALL ONLY BE USED FOR FINISH, OR CRACKLE IN NONEXPANDING, PAINTABLE SURFACES SUCH AS WOOD TRIM ON DRYWALL.

COUNTERTOPS:

COUNTERTOPS SHALL BE SELECTED & PURCHASED BY OWNER AND INSTALLED BY THE GC. ALL EDGES SHALL BE DETERMINED. MATCHING COUNTERTOP MATERIAL SHALL BE USED FOR BACKSPLASH ON RECHON COUNTERS. THE CONTRACTOR SHALL

SECTION 10 - SPECIALTIES:

N/A

SECTION 11 - EQUIPMENT:

APPLIANCES:

SELECTIONS TO BE PURCHASED AND INSTALLED BY CONTRACTOR.

SECTION 12 - FURNISHING:

N/A

SECTION 13 - SPECIAL CONSTRUCTION:

N/A

SECTION 14 - CONVEYING SYSTEMS:

N/A

SECTION 15 - MECHANICAL:

N/A

FINISHING:

N/A

SECTION 16 - ELECTRICAL:

SEE PAGES 0-0001

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SUBMISSION	DATE
PROPOSAL	12.28.17
S&A / PERMIT	03.22.18

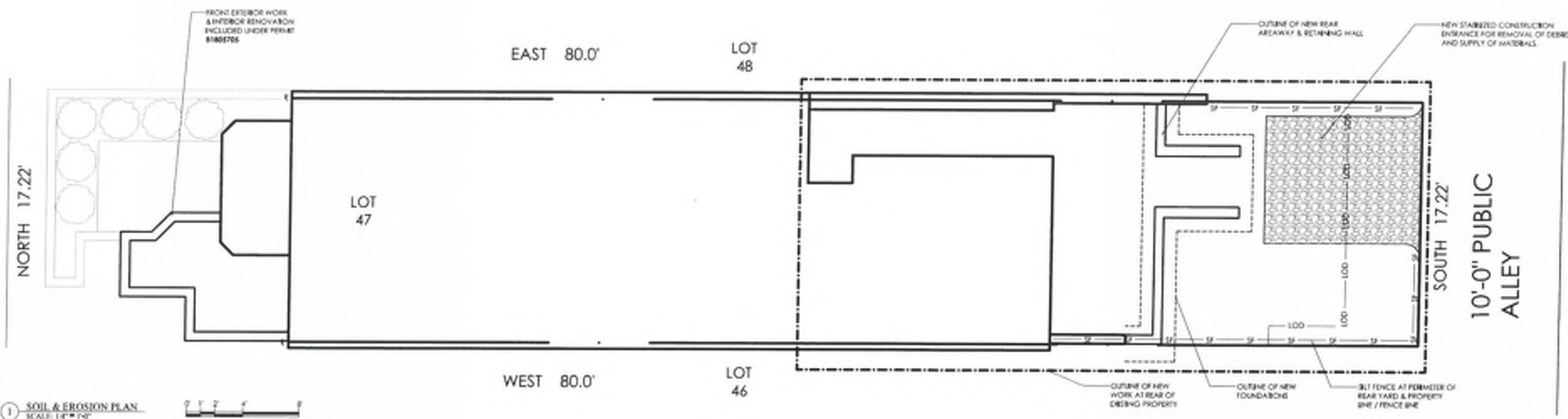
SPECIFICATIONS

C-0002

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA, LICENSE NO. A196401847. EXPIRATION DATE 03/31/2021

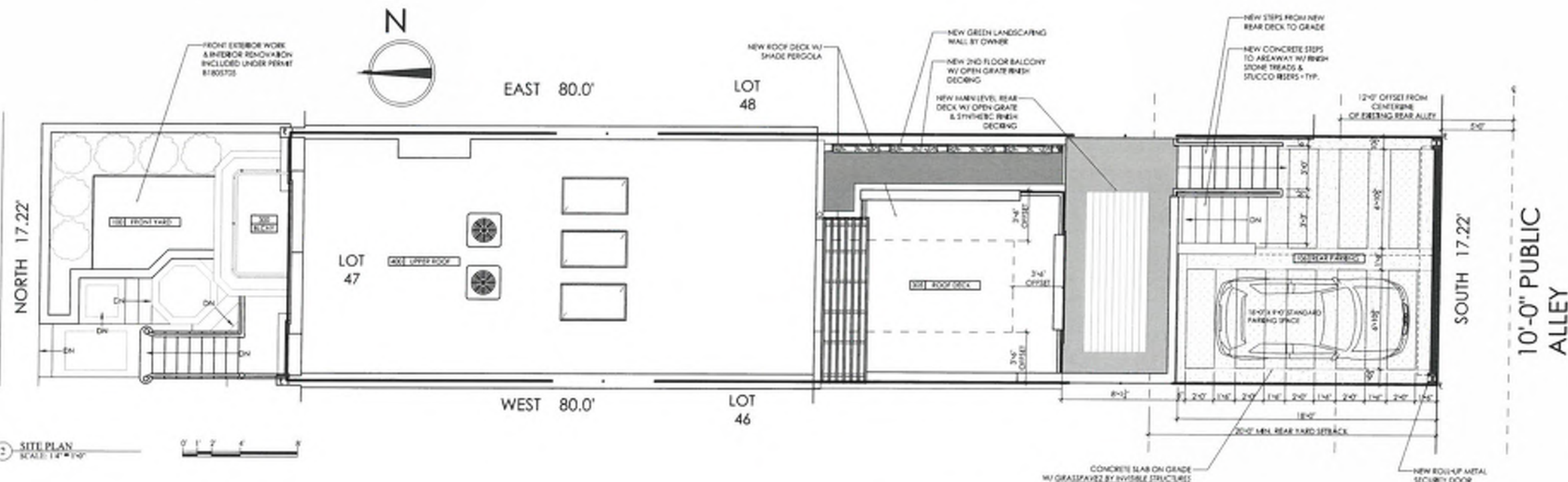
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CHECKED BY: MFL/WF
PROJECT NO.: 2017-17

T STREET, NW

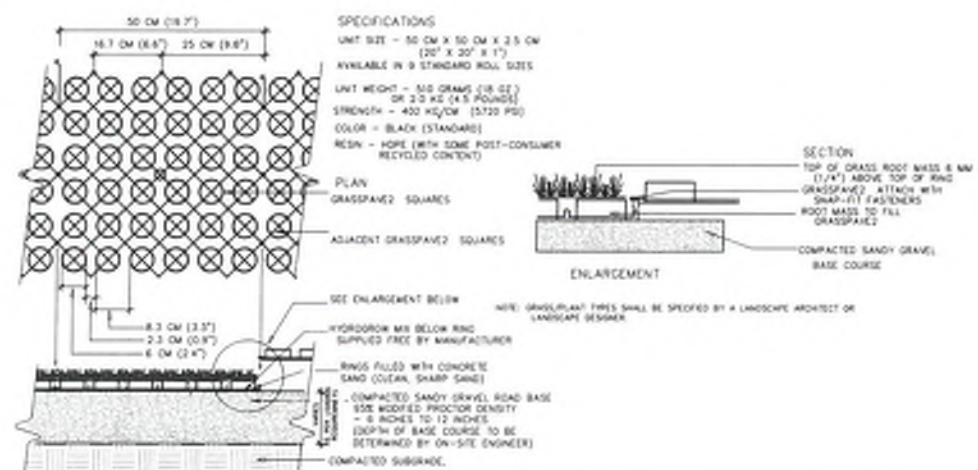


1 SOIL & EROSION PLAN
SCALE: 1/4" = 1'-0"

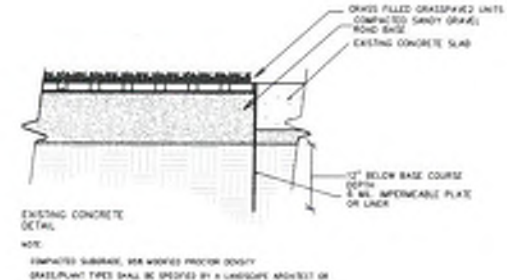
T STREET, NW



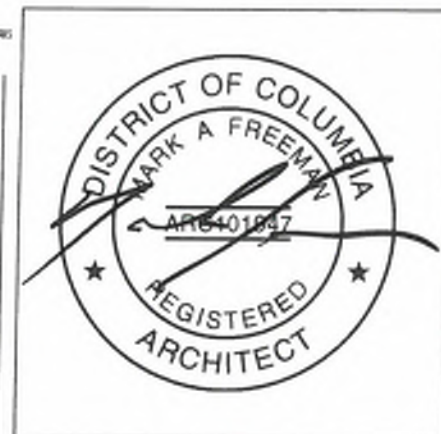
2 SITE PLAN
SCALE: 1/4" = 1'-0"



3 TYP. GRASSPAVE2 DETAIL
SCALE: 1/4" = 1'-0"



4 GRASSPAVE2 DETAIL @ CONCRETE EDGE
SCALE: 1/4" = 1'-0"



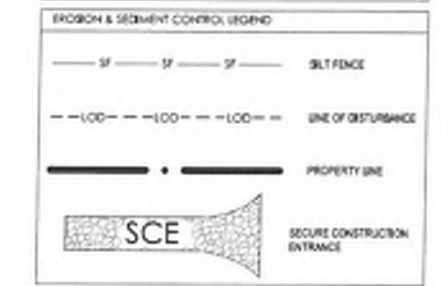
- SEDIMENT & EROSION NOTES**
1. All sediment and erosion control methods shall be installed before the start of any excavation and / or construction as per standards and specifications for soil erosion for Washington, DC CONTACT 302-535-2637 for an on site inspection prior to any land disturbing activity. If an on-site inspection reveals further erosion control measures are necessary, the same shall be provided.
 2. All debris to be removed from the site.
 3. Any and / or stream shall be swept clean of all lines during excavation and construction.
 4. All sediment and erosion control measures to be inspected daily by the contractor. Any damaged device or measure shall be repaired or replaced by the close of business or as suggested by the Architect.
 5. All vehicles leaving the site shall exit through the construction entrance only and shall be washed down to remove mud from tires before entering the street. Construction entrance to be maintained in good working condition.
 6. All catch basins and area drains shall be protected during excavation and construction.
 7. If any catch basin or drain becomes dugged as a result of excavation or construction, the contractor shall be responsible for its immediate cleaning.
 8. All disturbed areas within the limit of disturbance boundary not shown to be paved shall be seeded or sodded per Washington, DC specifications within seven days of disturbance.
 9. Any stockpiling, regardless of location on site, shall be stockpiled with plastic or canvas, after it's establishment and for the duration of the project.
 10. After take or demolition, the contractor shall provide ground cover to prevent erosion and sediment runoff from occurring. Such as seed, soil, paving, landscaping, or mulch, etc.
 11. At the completion of construction and after the Washington, DC Erosion and Sediment Control Inspector approval, all temporary erosion, sedimentation and erosion control measures and devices shall be removed and all disturbed areas shall be permanently stabilized.

SOIL & EROSION PLAN NARRATIVE

ALL EXCAVATION WORK TO BE PERFORMED IN THE REAR YARD AND EXISTING HOME.

THE REAR YARD WILL BE REMOVED AND REPLACED WITH A NEW CONCRETE SLAB ON GRADE WITH NEW GRASSPAVE2 GRASS PAVED UNITS.

THE REAR AREAWAY RETAINING WALL & STEPS WILL BE EXTENDED INTO THE REAR YARD SETBACK WHILE THE REAR ROLL UP DOOR WILL BE HELD AT THE REAR PROPERTY LINE TO MAINTAIN AN 18' X 9' PARKING SPACE.



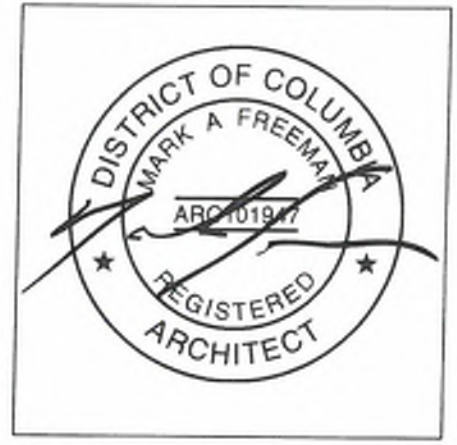
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SUBMISSION	DATE	SITE PLAN
PRELIM	12.28.17	
SEA / PERMIT	03.22.18	C-0003
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND HAVE AN ADEQUATE ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. LICENSE NO. ARS 401897 EXPIRES ON 03/31/2022		
DRAWN BY:	GC / MH	
CHECKED BY:	MFLW	
PROJECT NO:	2017-17	



DDOE EROSION/SEDIMENT CONTROL DETAILS

<p>PORTABLE SEDIMENT TANK DETAIL</p> <p>CONSTRUCTION NOTES</p> <ol style="list-style-type: none"> CLEAN OUT THE SEDIMENT TANK WHEN ONE THIRD (1/3) FILLED WITH SILT. STEEL DRUMS ARE USED AS AN EXAMPLE DUE TO THEIR READY AVAILABILITY ANY TANKS MAY BE USED PROVIDED THAT THE VOLUME REQUIREMENTS ARE MET AND THE APPROVAL IS FROM THE APPROVING AGENCY. ALL SEDIMENT COLLECTED IN THE TANK SHALL BE DISPOSED OF IN A SEDIMENT TRAPPING DEVICE OR AS APPROVED BY THE INSPECTOR. TANK STORAGE VOLUME REQUIRED = 16 CUBIC FEET OF STORAGE FOR EACH GALLON PER MINUTE OF PUMP DISCHARGE CAPACITY. MULTIPLE TANKS MAY BE USED. 	<p>SUMP PIT DETAIL</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> PIT DIMENSIONS ARE VARIABLE, WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANPIPE DIAMETER. THE STANPIPE SHOULD BE CONSTRUCTED BY PERFORMING A 1/2" TO 24" DIAMETER CORROSION RESISTANT PIPE. THEN WRAPPING WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE CLASS E. THE PERFORATIONS SHALL BE 1/2" X 6" SLOTS OR 1" DIAMETER HOLES. A BASE OF FILTER MATERIAL, CONSISTING OF CLEAN GRAVEL OR #57 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12" AFTER INSTALLING THE STANPIPE. THE PIT SURROUNDING THE STANPIPE SHOULD THEN BE BACKFILLED WITH THE SAME FILTER MATERIAL. THE STANPIPE SHOULD EXTEND 12" TO 18" ABOVE THE TOP OF THE PIT OR THE RISER (CREST ELEVATION (EARTH OR WATER) ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 2" MINIMUM ABOVE THE ANTICIPATED STANDING WATER ELEVATION. 	<p>STRAW BALE DIKE DETAIL</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> LENGTH - MIN. OF 30' RAMP + 30' RAMP FOR SINGLE RESIDENCE USE. WIDTH - 12" MINIMUM SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 4" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR OVERHEAD TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 6:1 SLOPES AND MIN. OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SIZE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE MOUNT OF RAINFALL TO BE CONVEYED. A 6" MIN. WILL BE REQUIRED. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT (GRAVEL, GRASS, MATS) OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WARNING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY WHEN WARNING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO A APPROVED SEDIMENT TRAPPING DEVICE. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN. 	<p>STANDARDS AND SPECIFICATIONS FOR DUST CONTROL</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL (CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DEleterious MATERIAL, TO BE USED FOR ON-SITE DUST CONTROL. THE CONTRACTOR SHALL SUPPLY WATER SPRINKLING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: <ol style="list-style-type: none"> APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, SPRAY BARRIAGE WITH DISCHARGE PRESSURE GAUGE. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 30 PSI (1.31 MPa). MINIMUM KEEP AREAS DAMP WITHOUT CREATING UNDESIRABLE CONDITIONS SUCH AS FLOODING. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL: <ol style="list-style-type: none"> APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES. LOCATE TANK AND SPRINKLING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE WETTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING UNDESIRABLE CONDITIONS SUCH AS FLOODING. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES. 	<p>STANDARD SYMBOLS</p> <p>Earth Dike: [Symbol] A-2 B-2</p> <p>Straw Bale Dike: [Symbol] S-1</p> <p>Silt Fence: [Symbol] S-2</p> <p>Temporary Dike: [Symbol] S-3</p> <p>Stabilized Construction Entrance: [Symbol] S-4</p> <p>Grade Stabilization Structure: [Symbol] S-5</p> <p>Pipe Slope Drain: [Symbol] S-6</p> <p>Perimeter Dike/Diaphragm: [Symbol] S-7</p> <p>Curb Inlet Protection: [Symbol] S-8</p> <p>Diversion: [Symbol] S-9</p> <p>Grassed Waterway: [Symbol] S-10</p> <p>Unseeded Waterway: [Symbol] S-11</p> <p>Rock Outlet Protection: [Symbol] S-12</p> <p>Subsurface Drain: [Symbol] S-13</p> <p>Jersey Barrier: [Symbol] S-14</p> <p>Turbidity Curtain: [Symbol] S-15</p>																																								
<p>SILT FENCE</p> <p>SILT FENCE DESIGN CRITERIA</p> <table border="1"> <thead> <tr> <th>SLOPE STEEPNESS</th> <th>(MINIMUM) SLOPE LENGTH</th> <th>(MINIMUM) SILT FENCE LENGTH</th> </tr> </thead> <tbody> <tr> <td>FLATTER THAN 50:1</td> <td>UNLIMITED</td> <td>UNLIMITED</td> </tr> <tr> <td>50:1 TO 20:1</td> <td>120 FT.</td> <td>1,000 FT.</td> </tr> <tr> <td>20:1 TO 10:1</td> <td>100 FT.</td> <td>750 FT.</td> </tr> <tr> <td>10:1 TO 5:1</td> <td>80 FT.</td> <td>500 FT.</td> </tr> <tr> <td>5:1 TO 3:1</td> <td>40 FT.</td> <td>250 FT.</td> </tr> <tr> <td>3:1 TO 2:1</td> <td>20 FT.</td> <td>125 FT.</td> </tr> <tr> <td>2:1 AND STEEPER</td> <td>20 FT.</td> <td>125 FT.</td> </tr> </tbody> </table> <p>NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM SOIL CLASS A) MINIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS SILT FENCE MAY BE THE ONLY PERMANENT CONTROL REQUIRED.</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> FENCE POST SHALL BE A MINIMUM OF 36" LONG DRIVEN 18" MINIMUM INTO THE GROUND. WOOD POST SHALL BE 1 1/2" SQUARE (SPANNING OUT OR 1 3/4" DIAMETER (DRIVING ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POST WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LINEAR FOOT. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F: <table border="1"> <thead> <tr> <th>TENSILE STRENGTH</th> <th>50 LB/SQ. YD. (MIN)</th> <th>TEST METHOD</th> <th>508</th> </tr> </thead> <tbody> <tr> <td>TENSILE MODULUS</td> <td>20 LB/SQ. YD. (MIN)</td> <td>TEST METHOD</td> <th>508</th> </tr> <tr> <td>FLOW RATE</td> <td>0.3 GPM / FT² (MAX)</td> <td>TEST METHOD</td> <th>503</th> </tr> <tr> <td>FILTRATION EFFICIENCY</td> <td>75% (MIN)</td> <td>TEST METHOD</td> <th>502</th> </tr> </tbody> </table> WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BRIDGES. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BLDGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES SIDE OF THE FABRIC HEIGHT. 	SLOPE STEEPNESS	(MINIMUM) SLOPE LENGTH	(MINIMUM) SILT FENCE LENGTH	FLATTER THAN 50:1	UNLIMITED	UNLIMITED	50:1 TO 20:1	120 FT.	1,000 FT.	20:1 TO 10:1	100 FT.	750 FT.	10:1 TO 5:1	80 FT.	500 FT.	5:1 TO 3:1	40 FT.	250 FT.	3:1 TO 2:1	20 FT.	125 FT.	2:1 AND STEEPER	20 FT.	125 FT.	TENSILE STRENGTH	50 LB/SQ. YD. (MIN)	TEST METHOD	508	TENSILE MODULUS	20 LB/SQ. YD. 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The area shall be established or shaped to the grade and cross section as required to meet the criteria specified herein and the final grade shall be compacted to a minimum 90% relative density. Fill shall be compacted by wetting and roiling. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike. Inspection and maintenance must be provided periodically and after each rain event. 	<p>DETAIL 1 - EARTH DIKE</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> Seal and cover with stone much. Seal and cover with Erosion Control Matting or use with soil. Seal and cover with Erosion Control Matting or use with soil.
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<p>CURB INLET PROTECTION (COG OR COS INLETS)</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> ATTACH A CONTINUOUS PIECE OF WIRE MESH 30" MIN. WIDTH BY THREAT LENGTH PLUS 4" TO THE 2 1/4" WIRE (MEASURING THREAT LENGTH) PLUS 2" AS SHOWN ON THE STANDARD DRAWING. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2 1/4" WIRE. SECURELY NAIL THE 2 1/4" WIRE TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WIRE AND THE INLET FACE (MAX. 4" APART). PLACE THE ASSEMBLY AGAINST THE INLET THREAT AND NAIL (MIN. 2" LENGTHS OF 2 1/4" TO THE TOP OF THE WIRE AT SPACER LOCATIONS). THE 2 1/4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MIN. 1" (2 1/2" IN) BEYOND BOTH ENDS OF THE THREAT OPENING. FORM THE 1/2" X 1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4" X 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT. ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT FLOW TO THE INLET. 	<p>CURB INLET PROTECTION NOTES</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> ATTACH A CONTINUOUS PIECE OF WIRE MESH 30" MIN. WIDTH BY THREAT LENGTH PLUS 4" TO THE 2 1/4" WIRE (MEASURING THREAT LENGTH) PLUS 2" AS SHOWN ON THE STANDARD DRAWING. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2 1/4" WIRE. SECURELY NAIL THE 2 1/4" WIRE TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WIRE AND THE INLET FACE (MAX. 4" APART). PLACE THE ASSEMBLY AGAINST THE INLET THREAT AND NAIL (MIN. 2" LENGTHS OF 2 1/4" TO THE TOP OF THE WIRE AT SPACER LOCATIONS). THE 2 1/4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MIN. 1" (2 1/2" IN) BEYOND BOTH ENDS OF THE THREAT OPENING. FORM THE 1/2" X 1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4" X 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT. ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT FLOW TO THE INLET. 	<p>DETAIL 238 - AT GRADE INLET PROTECTION</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> LIFT GRATE AND WEIR WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS THEN SET GRATE BACK IN PLACE. PLACE 3/4" TO 1 1/2" STONE, 4" X 4" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL ELEVATION. 	<p>VEHICLE WASH DETAIL</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> LIFT GRATE AND WEIR WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS THEN SET GRATE BACK IN PLACE. PLACE 3/4" TO 1 1/2" STONE, 4" X 4" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL ELEVATION. 	<p>BRICKBAT GROUND COVER</p> <p>STANDARDS AND SPECIFICATIONS</p> <p>DEFINITION: TEMPORARY GROUND COVER CONSISTING OF BROKEN BRICK (1/2 PICE OR SMALL) PLACED OVER SEeded (WITH).</p> <p>PURPOSE: BRICKBATS PROVIDE A TEMPORARY GROUND COVER OVER SEeded URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.</p> <p>CONDITIONS WHEN PRACTICE APPLIES: BRICKBATS MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.</p> <p>DESIGN CRITERIA: THE BRICKBATS SHALL BE PLACED TO A DEPTH OF 3 INCHES TO A MINIMUM, COVERING THE SEeded EARTH ON THE SITE. THEN COMPACTED AND LEVELLED.</p>																																								

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SUBMISSION	DATE	SOIL & EROSION NOTES C-0004
PROJNO	12.28.17	
SEA / PDONE	03.22.18	
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. LICENSE NO. A-101947 (EXPIRES ON 04/30/2022)		
DRAWN BY:	GC / MP	
CHECKED BY:	MP/EP	
PROJECT NO.	201717	

2012 IECC Section #	Description	Prescriptive Code Value	Plan Value	Marked (Y/N)	Plan Review	Field Ins.
402.1	Lighting and Cooling equipment shall use only Energy Star based products (defined as A-EER based)	See attached	See attached			
402.1.1	Lighting fixtures	See attached	See attached			
402.1.2	Lighting controls	See attached	See attached			
402.1.3	Lighting controls	See attached	See attached			
402.1.4	Lighting controls	See attached	See attached			
402.1.5	Lighting controls	See attached	See attached			
402.1.6	Lighting controls	See attached	See attached			
402.1.7	Lighting controls	See attached	See attached			
402.1.8	Lighting controls	See attached	See attached			
402.1.9	Lighting controls	See attached	See attached			
402.1.10	Lighting controls	See attached	See attached			
402.1.11	Lighting controls	See attached	See attached			
402.1.12	Lighting controls	See attached	See attached			
402.1.13	Lighting controls	See attached	See attached			
402.1.14	Lighting controls	See attached	See attached			
402.1.15	Lighting controls	See attached	See attached			
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402.1.17	Lighting controls	See attached	See attached			
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402.1.45	Lighting controls	See attached	See attached			
402.1.46	Lighting controls	See attached	See attached			
402.1.47	Lighting controls	See attached	See attached			
402.1.48	Lighting controls	See attached	See attached			
402.1.49	Lighting controls	See attached	See attached			
402.1.50	Lighting controls	See attached	See attached			

Key: Mandatory for all Compliance Approaches as Relevant to the Scope of Work

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402.1.10	Lighting controls	See attached	See attached			
402.1.11	Lighting controls	See attached	See attached			
402.1.12	Lighting controls	See attached	See attached			
402.1.13	Lighting controls	See attached	See attached			
402.1.14	Lighting controls	See attached	See attached			
402.1.15	Lighting controls	See attached	See attached			
402.1.16	Lighting controls	See attached	See attached			
402.1.17	Lighting controls	See attached	See attached			
402.1.18	Lighting controls	See attached	See attached			
402.1.19	Lighting controls	See attached	See attached			
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402.1.27	Lighting controls	See attached	See attached			
402.1.28	Lighting controls	See attached	See attached			
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402.1.30	Lighting controls	See attached	See attached			
402.1.31	Lighting controls	See attached	See attached			
402.1.32	Lighting controls	See attached	See attached			
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402.1.43	Lighting controls	See attached	See attached			
402.1.44	Lighting controls	See attached	See attached			
402.1.45	Lighting controls	See attached	See attached			
402.1.46	Lighting controls	See attached	See attached			
402.1.47	Lighting controls	See attached	See attached			
402.1.48	Lighting controls	See attached	See attached			
402.1.49	Lighting controls	See attached	See attached			
402.1.50	Lighting controls	See attached	See attached			

2012 IECC Section #	Description	Prescriptive Code Value	Plan Value	Marked (Y/N)	Plan Review	Field Ins.
402.1	Lighting and Cooling equipment shall use only Energy Star based products (defined as A-EER based)	See attached	See attached			
402.1.1	Lighting fixtures	See attached	See attached			
402.1.2	Lighting controls	See attached	See attached			
402.1.3	Lighting controls	See attached	See attached			
402.1.4	Lighting controls	See attached	See attached			
402.1.5	Lighting controls	See attached	See attached			
402.1.6	Lighting controls	See attached	See attached			
402.1.7	Lighting controls	See attached	See attached			
402.1.8	Lighting controls	See attached	See attached			
402.1.9	Lighting controls	See attached	See attached			
402.1.10	Lighting controls	See attached	See attached			
402.1.11	Lighting controls	See attached	See attached			
402.1.12	Lighting controls	See attached	See attached			
402.1.13	Lighting controls	See attached	See attached			
402.1.14	Lighting controls	See attached	See attached			
402.1.15	Lighting controls	See attached	See attached			
402.1.16	Lighting controls	See attached	See attached			
402.1.17	Lighting controls	See attached	See attached			
402.1.18	Lighting controls	See attached	See attached			
402.1.19	Lighting controls	See attached	See attached			
402.1.20	Lighting controls	See attached	See attached			
402.1.21	Lighting controls	See attached	See attached			
402.1.22	Lighting controls	See attached	See attached			
402.1.23	Lighting controls	See attached	See attached			
402.1.24	Lighting controls	See attached	See attached			
402.1.25	Lighting controls	See attached	See attached			
402.1.26	Lighting controls	See attached	See attached			
402.1.27	Lighting controls	See attached	See attached			
402.1.28	Lighting controls	See attached	See attached			
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402.1.34	Lighting controls	See attached	See attached			
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402.1.40	Lighting controls	See attached	See attached			
402.1.41	Lighting controls	See attached	See attached			
402.1.42	Lighting controls	See attached	See attached			
402.1.43	Lighting controls	See attached	See attached			
402.1.44	Lighting controls	See attached	See attached			
402.1.45	Lighting controls	See attached	See attached			
402.1.46	Lighting controls	See attached	See attached			
402.1.47	Lighting controls	See attached	See attached			
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402.1.49	Lighting controls	See attached	See attached			
402.1.50	Lighting controls	See attached	See attached			



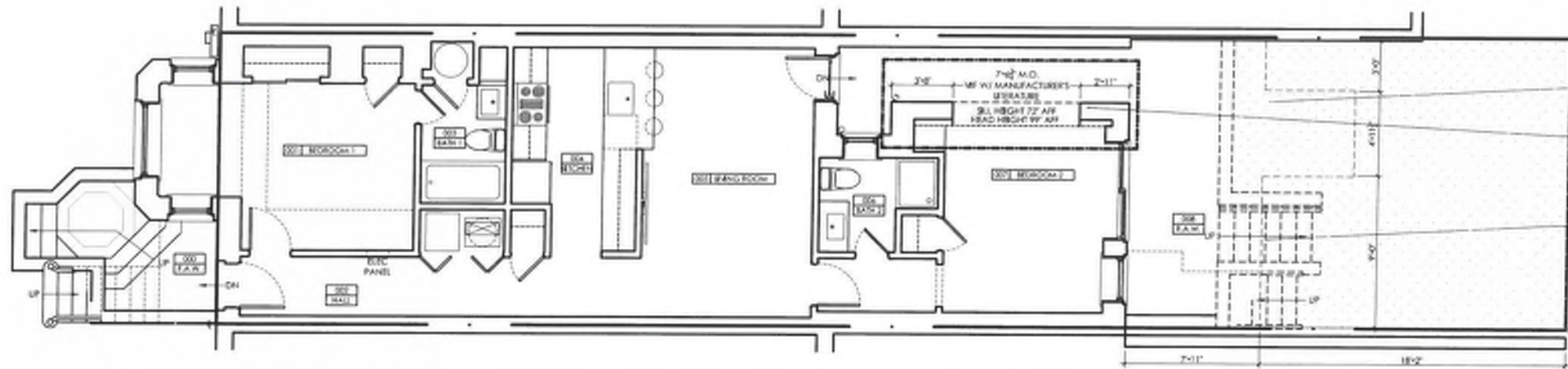
DCRA Energy Verification Sheet

Low-Rise Residential Version 1.0_2014

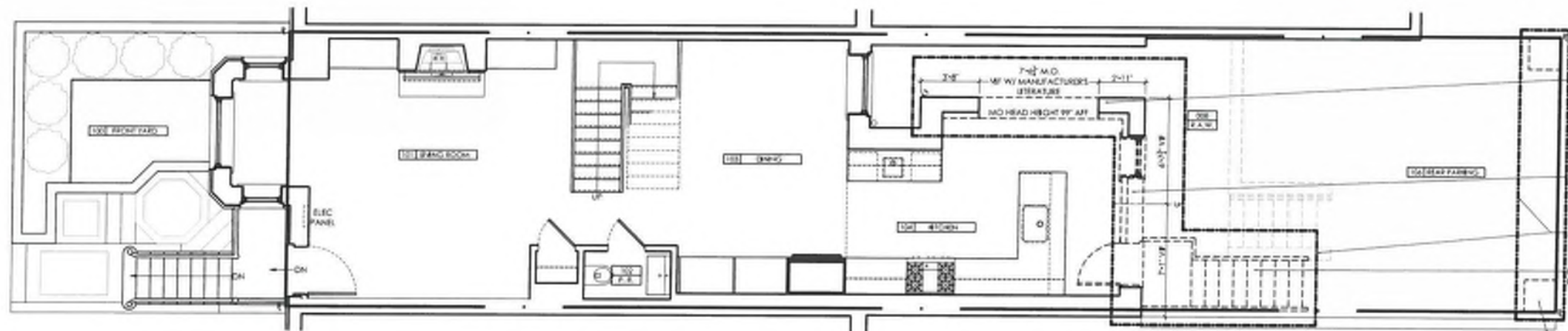
This Energy Verification Sheet is based on DOE's Store and Score spreadsheets and was adapted to fit the 2013 DC Energy Conservation Code. This verification sheet does not replace the 2013 DC ECC or 2012 IECC and is included for DCRA to verify significant requirements during permitting and inspection. The project team shall design and install the building to the full energy code whose measures specific to the project may not be included in this sheet. The project team shall also include this document into their drawings and fill it in for low-rise residential projects completing Level 3 Alterations or new construction. Elements that are not applicable to the scope of work shall be marked "N/A" in the "Designer Identified Drawing Page # & Plan Value" columns. Elements that are applicable shall be marked with the relevant page number where the item is specified in the drawings. Exemptions to items on this sheet shall be indicated so that plan reviewers and inspectors may verify compliance by code section number references and brief description. Projects using the Performance Path need to fill in only the Highlighted, mandatory rows. Other Compliance Approaches require filling in all rows. Completion of this page does not absolve project teams from providing other energy verification documentation.

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1 CELLAR DEMOLITION PLAN SCALE 1/4" = 1'-0"



2 1ST FLOOR DEMOLITION PLAN SCALE 1/4" = 1'-0"



DEMOLITION GENERAL NOTES

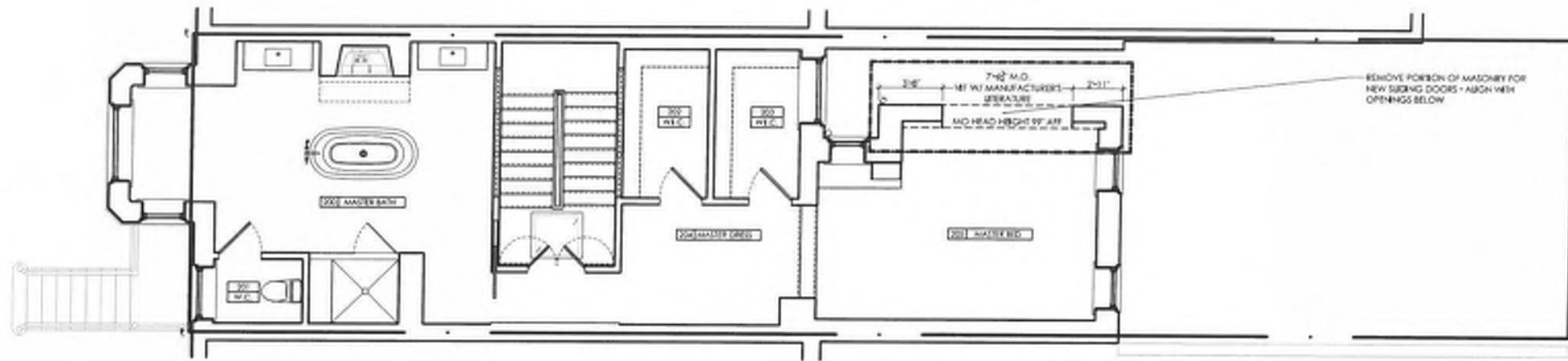
SHORING & DEMOLITION

1. The General Contractor shall be experienced in shoring and demolition work and should carefully evaluate the situation that exists prior to shoring work.
2. The General Contractor shall notify the Architect or Engineer immediately if any circumstance exist which affect the stability of the existing structure or the shoring.
3. The General Contractor's equipment that loading, shoring, and demolition work are potentially hazardous and are difficult types of work requiring care and caution during performance.
4. The General Contractor is responsible for monitoring the performance of the temporary shoring and have additional shoring readily available on site in the event of deflection or movement of the shoring.
5. The General Contractor is responsible for the design, installation, maintenance, and performance of all temporary loading and shoring.
6. Adequate bracing and connections between the components of the shoring system shall be provided by and the responsibility of the General Contractor.

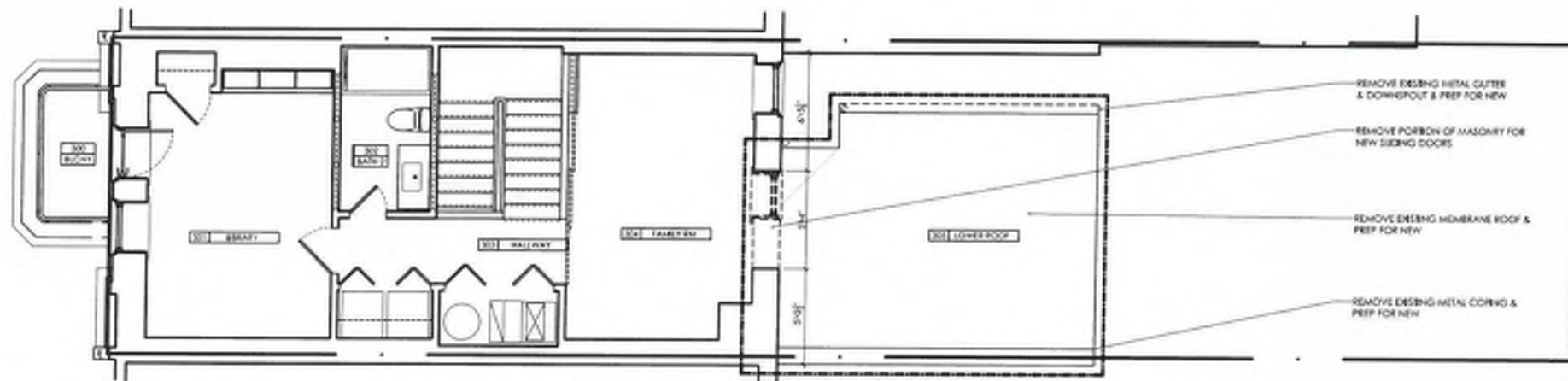


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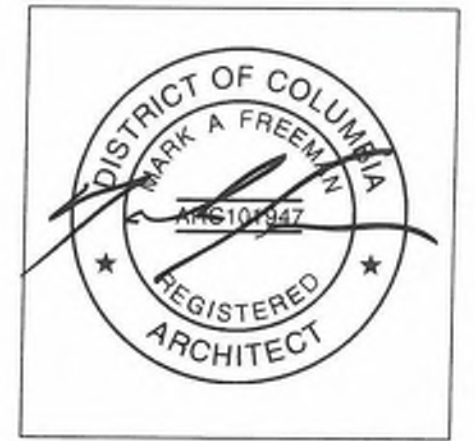
<p>aggregate architecture • design 1308 9th St NW, Suite 200 WASHINGTON, DC 20001</p> <p>Aggregate, LLC © 2018 This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE, LLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitute the original and unpublished work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</p>	<p>SUBMISSION DATE PRECING 12.28.17 SEA / PERMIT 03.22.18</p>	<p>DEMOLITION PLANS</p> <p>D-0001</p>
	<p>I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA, D.C. EXPIRES: N/A, REG. 1011947, EXPIRES: N/A, DATE OF REGISTRATION: 03/22/18</p> <p>DRAWN BY: DC / JCC / JMR CHECKED BY: MFL/HP PROJECT NO: 2017-17</p>	



1 2ND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 3RD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION GENERAL NOTES

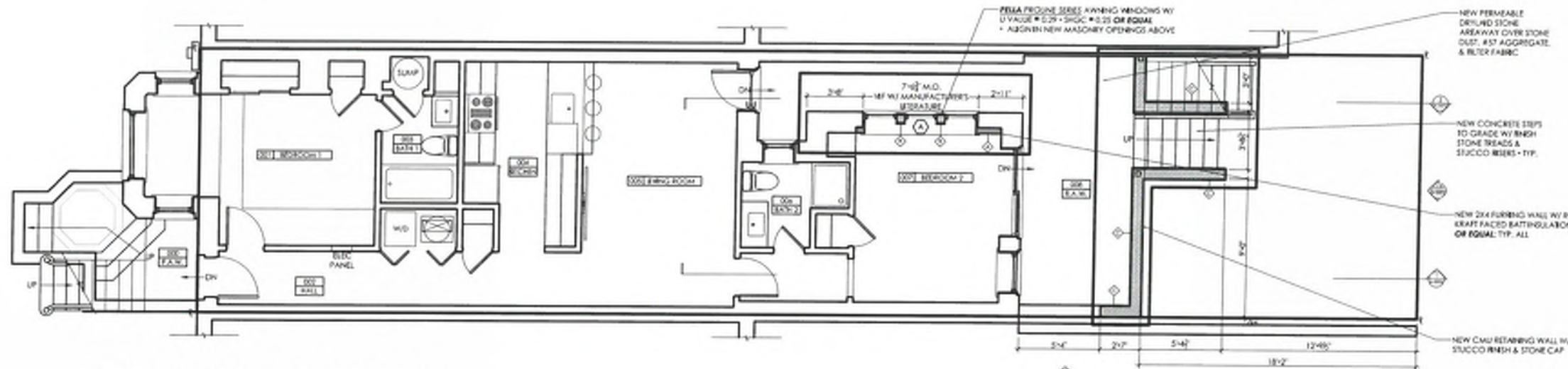
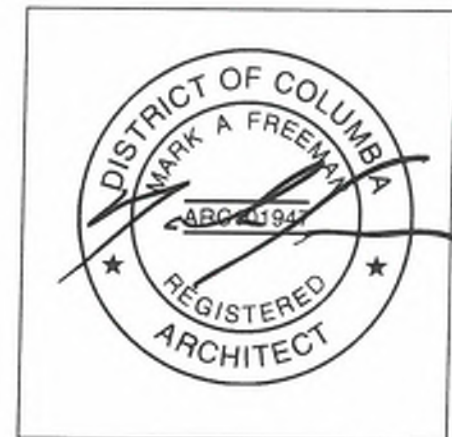
1. The General Contractor shall be experienced in shoring and demolition work and shall carefully evaluate the situation that exists prior to starting work.
2. The General Contractor shall notify the Architect or Engineer immediately if any circumstance exists which affect the stability of the existing structure or the shoring.
3. The General Contractor shall be cognizant that loading, shoring, and demolition work are potentially hazardous and are of critical types of work requiring care and caution during performance.
4. The General Contractor responsible for monitoring the performance of the temporary shoring and have additional shoring readily available on site in the event of deflection or movement of the shoring.
5. The General Contractor is responsible for the design, installation, maintenance, and performance of all temporary bracing and shoring.
6. Adequate bracing and connections between the components of the shoring system shall be provided by and the responsibility of the General Contractor.

WALL KEY

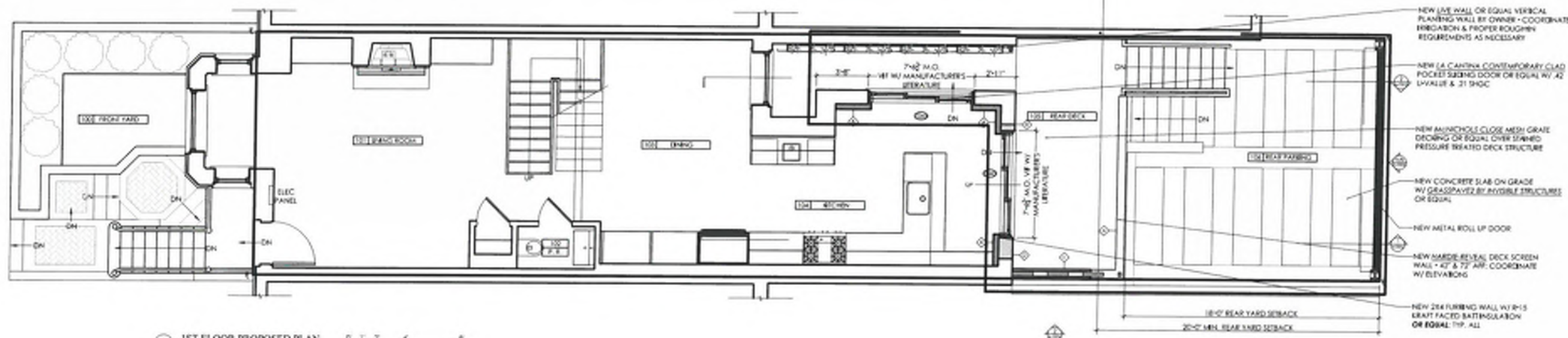
	EXISTING WALL TO REMAIN
	TO BE REMOVED

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<p>aggregate architecture + design 1308 9th St NW, Suite 200 WASHINGTON, DC 20001</p> <p>Aggregate, LLC © 2018</p> <p>This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE, LLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitute the original and unpublished work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</p>	<table border="1"> <tr> <th>SUBMISSION</th> <th>DATE</th> </tr> <tr> <td>PROJING</td> <td>12.28.17</td> </tr> <tr> <td>SEALED/PERM</td> <td>03.22.18</td> </tr> </table> <p>I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. LICENSE NO. ARS101947 EXPIRATION DATE 03/22/2021</p> <p>DRAWN BY: VC/TUC/2017 CHECKED BY: MP/LW/17 PROJECT NO: 2017-17</p>	SUBMISSION	DATE	PROJING	12.28.17	SEALED/PERM	03.22.18	<p>DEMOLITION PLANS</p> <p>D-0002</p>
	SUBMISSION	DATE						
PROJING	12.28.17							
SEALED/PERM	03.22.18							



1 CELLAR PROPOSED PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

WALL KEY

	2x4 WALL FRAMING
	2x6 WALL FRAMING
	NEW CMU WALL
	NEW BRICK WALL
	1 HOUR FIRE RATED WALL UL 184 W/ 2x4 STUDS

- PARISHION NOTES
- General Contractor shall layout partitions as quickly as possible. Layouts to be approved by Architect before studs are installed.
 - All partitions shall be spotted, taped and sanded smooth with no waste joints.
 - All exterior corners of G.W.B. shall have metal corner beads.
 - All interior dimensions are from face of stud wall.
 - Provide finishing of floor and glazing coatings in accordance with manufacturer's recommendations.
 - Provide and install the retardant wood blocking or steel studs where all hung corners, shelves etc. will be installed. Verify shop standards with millwork subcontractor and meet with Architect for acceptance prior to fabrication.
 - General Contractor shall coordinate, space and review the installation of all partitions. All partitions shall be properly sealed according to applicable codes.
 - Verify door undercuts with Architect prior to installation.
 - All case work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving a minimum of exposed face finishing.

1ST FLOOR DOOR SCHEDULE

DOOR DESCRIPTION	FRAME	HARDWARE	COMMENTS
1040 7'-3" 8'-0" 1 3/4" ML/WD FACTORY 01	WOOD NONE PAINTED	SLIDING	LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOOR W/ 42 U-VALUE / 21 SHOC
1046 7'-3" 8'-0" 1 3/4" ML/WD FACTORY 01	WOOD NONE PAINTED	SLIDING	LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOOR W/ 42 U-VALUE / 21 SHOC

NOTE: PROMOTE TEMPERED SAFETY GLASS PER BUILDING CODE. NOTE: VERIFY ALL DIMENSIONS IN FIELD.

WINDOW SCHEDULE

WINDOW DESCRIPTION	DETAILS	COMMENTS
A 2'-7" 2'-7" AWNING 03	CLAD FACTORY	PERMA PROFILE SERIES 3 AWNING WINDOWS W/ 29 U-VALUE / 25 SHOC OR EQSAS

NOTE: PROMOTE TEMPERED SAFETY GLASS PER BUILDING CODE. NOTE: VERIFY ALL DIMENSIONS & MASONRY OPENING IN FIELD FOR PROPER SIZING & INSTALLATION.

- GENERAL NOTES
- If it shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative in writing, if any and if it does not conform to the original conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all subcontractors and suppliers of materials to secure all necessary approvals to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be incorporated into the work of this project. No claim for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
 - Commencement of work in any area by the Contractor shall be certified as that the contractor has checked the existing conditions and found them satisfactory to accept the portion of work.
 - All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
 - All work shall be performed in a safe manner and shall be in good and usable condition at the date of completion thereof.
 - Contractor is required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
 - Under no circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the building.
 - All work shall be completed to the premises and Contractors, subcontractors or Materialmen are not permitted to perform any said Owner's work on (or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
 - No construction material or debris shall be placed in any of the Owner's trash receptacles or containers at any time. The Contractor shall arrange (if required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
 - The abbreviation of "N.E.C." indicates work and/or materials not in the contract of the General Contractor, however this does not relieve the General Contractor of the responsibility of coordination.
 - Scope of coverage or work caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
 - All concealed wood blocking in walls and ceiling shall be flame retardant treated.
 - All sets are to remain clear and open during all phases of construction applicable.
 - The locations of existing utilities are shown in approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
 - The term "Owner" shall refer to MR. DALE DEBON & MR. MORGAN WASHBURN and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
 - The Contractor shall provide the scheduled pre-installed millwork as described and detailed and responsible to receive, check and confirm the millwork is in good condition, obtain sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent uninstalled and shall be installed by the Contractor in a safe manner, with minimum number of joints possible. Caps of returns, under all corners and use scarf joints for end to end and joining. Stains of all cuts and damaged areas are required.
 - General Contractor shall check with the Owner prior to commencing construction.
 - In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
 - General Contractor to provide 35 additional stock of finish materials or as agreed to by the construction manager.
 - General Contractor to adhere to owner provided close out forms if any.

- TURNOVER REQUIREMENTS
- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor shall provide a list with full names, addresses and phone numbers of all subcontractors and material suppliers.
 - The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and all turnover.
 - General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
 - General Contractor to turn over all keys to the owner's representative and mark each key for identification.
 - The General Contractor shall set all materials per the Owner's Requirements.
 - The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operator, Maintenance, and Warranty Manuals.
 - General Contractor and all subcontractors shall warranty the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
 - The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

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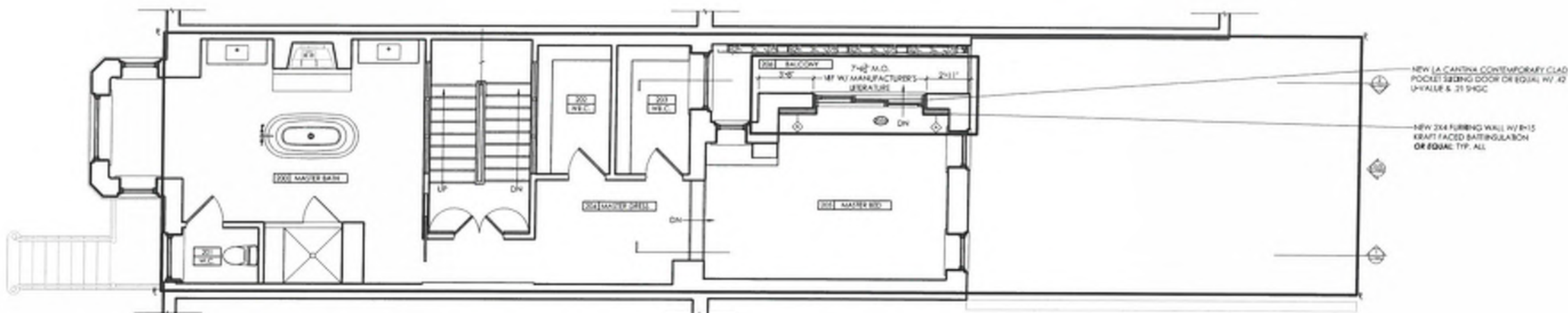
SUBMISSION	DATE
PROJING	12.28.17
SEA / PERMIT	03.23.18

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. LICENSE NO. ABC-1947

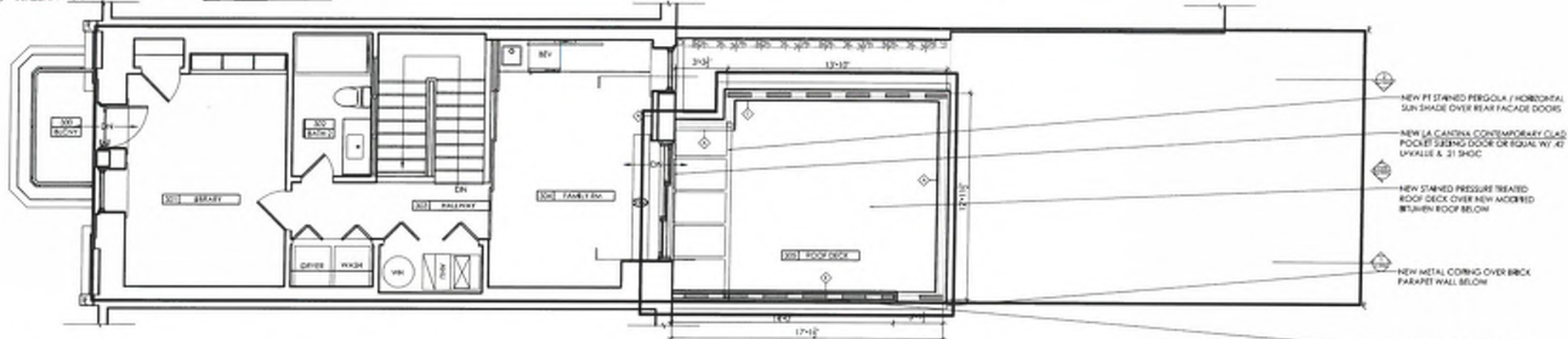
DESIGNER: VGD/CM/PLW
CHECKED BY: MF/PLW
PROJECT NO.: 2017-17

PROPOSED
PLANS,
NOTES, &
SCHEDULES

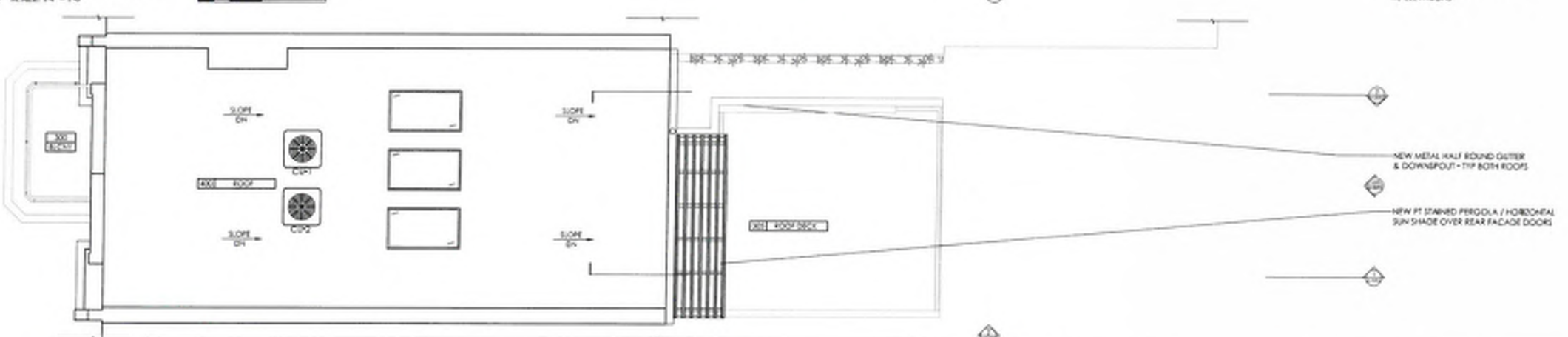
A-0001



1 2ND FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"



2 3RD FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"



3 ROOF PROPOSED PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

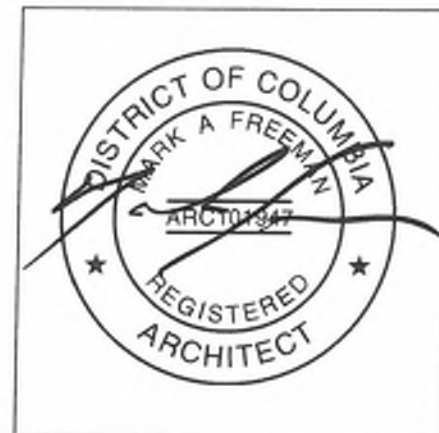
- It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative in writing of any and all discrepancies between said existing conditions and those shown on the drawings. Further it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary modifications to some as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation approved in advance of proceeding with the work.
- Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
- All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
- All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
- Contractors are required to give the owner a minimum of twenty-four (24) hours advanced written notice of all work.
- Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the building.
- All work shall be confined to the premises and Contractor, Subcontractors or Materialmen are not permitted to perform any said Owner's work (or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
- No construction materials or debris shall be placed in any of the Owner's high-reachables or compartments of any kind. The Contractor shall arrange (if Required) for a hoist dumper, size and location of which is subject to owner's approval, for the removal of refuse.

- The abbreviation of "N.C." indicates work and/or materials not the contract of the General Contractor, however this does not relieve the General Contractor of the responsibility of coordination.
- Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
- All concealed wood blocking, walls and ceiling shall be flame retardant treated.
- All cuts are to remain clear and open during all phases of construction if applicable.
- The locations of existing utilities are shown on appropriate work only and have not been independently verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
- The term "Owner" shall refer to MR. DAVID GENTON & MR. MORGAN WASHINGTON and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
- The Contractor shall provide the scheduled pre-finished millwork as described and detailed and responsible to receive, check and confirm the millwork is in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancy. All pieces are sent uncrated and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cape all returns, refer all corners and use scarf joints for end to end joining. Refinish all cuts and damaged areas as required.
- General Contractor shall check-in with the Owner prior to commencing construction.
- In addition to the General Notes listed herein, AIA document A301 General Conditions of contract for construction shall apply.
- General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
- General Contractor to adhere to owner provided close out format only.

2ND & 3RD FLOOR DOOR SCHEDULE

NO.	WIDTH	HIGHT	THK.	MAT.	FINISH	QTY.	FRAME	HARDWARE	COMMENTS
205a	7'-2"	8'-0"	1 3/4"	MS/WD	FACTORY 01	1	WOOD NONE PAINTED	SLIDING	LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOOR W/ 42 UPRAIL & 21 SHGC
304a	7'-2"	8'-0"	1 3/4"	MS/WD	FACTORY 01	1	WOOD NONE PAINTED	SLIDING	LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOOR W/ 42 UPRAIL & 21 SHGC

NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE
NOTE: VERIFY ALL DIMENSIONS IN FIELD



WALL KEY

[Symbol]	2x4 WALL FRAMING
[Symbol]	2x6 WALL FRAMING
[Symbol]	NEW CMU WALL
[Symbol]	NEW BRICK WALL
[Symbol]	1 HOUR FIRE RATED WALL U.L. L044 W/ 2x4 STUDS

PARSON NOTES

- General Contractor shall layout portions of quality or possible. Layouts to be approved by Architect before study is finalized.
- All portions shall be specified, topped and sanded smooth with no visible joints.
- All exterior corners of G.W.B. shall have metal corner beads.
- All exterior dimensions are from face of stud wall.
- Provide bracing of all door and glazing openings in accordance with manufacturer's recommendations.
- Provide and install fire retardant wood blocking or steel mesh where all hung cabinets, shelves etc. are installed. Verify shop standard with all work subcontractor and review with Architect for acceptance prior to fabrication.
- General Contractor shall coordinate, space and leave the installation of all penetrations. All penetrations shall be properly sealed according to applicable codes.
- Verify door undercut with Architect prior to installation.
- All case-work to be installed to A.W.I. standard quality level premium grade. The design, detailing and fabrication of millwork should be checked toward achieving installation with a minimum of exposed face lettering.

TURN-OVER REQUIREMENTS

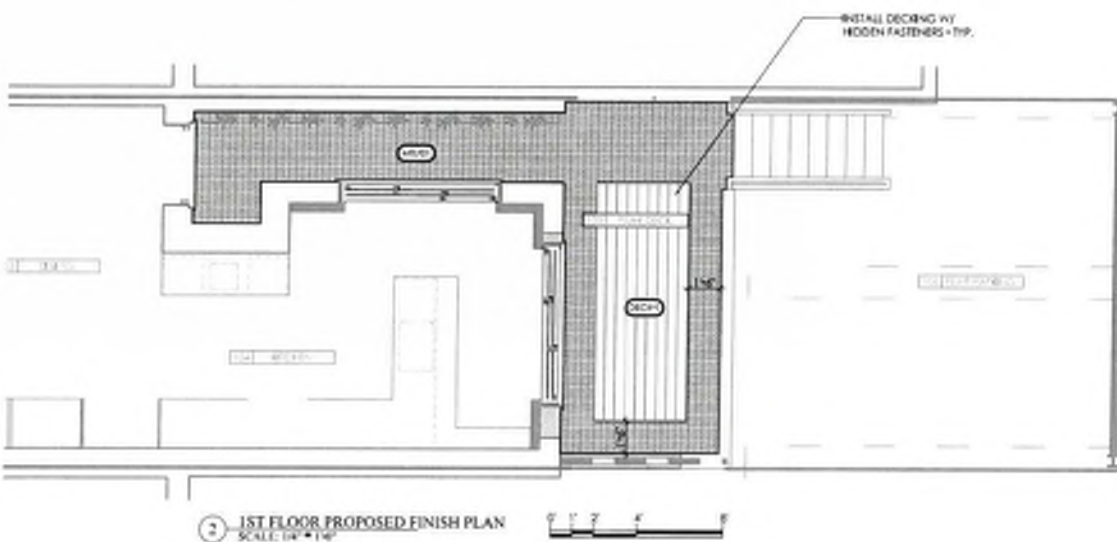
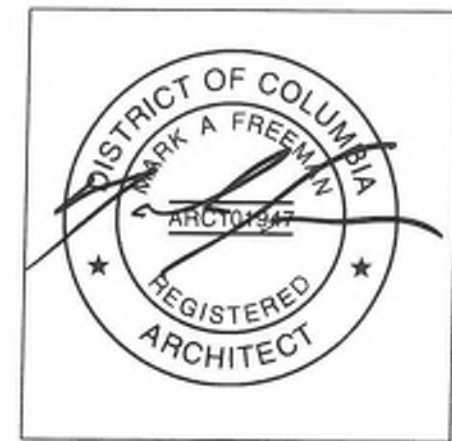
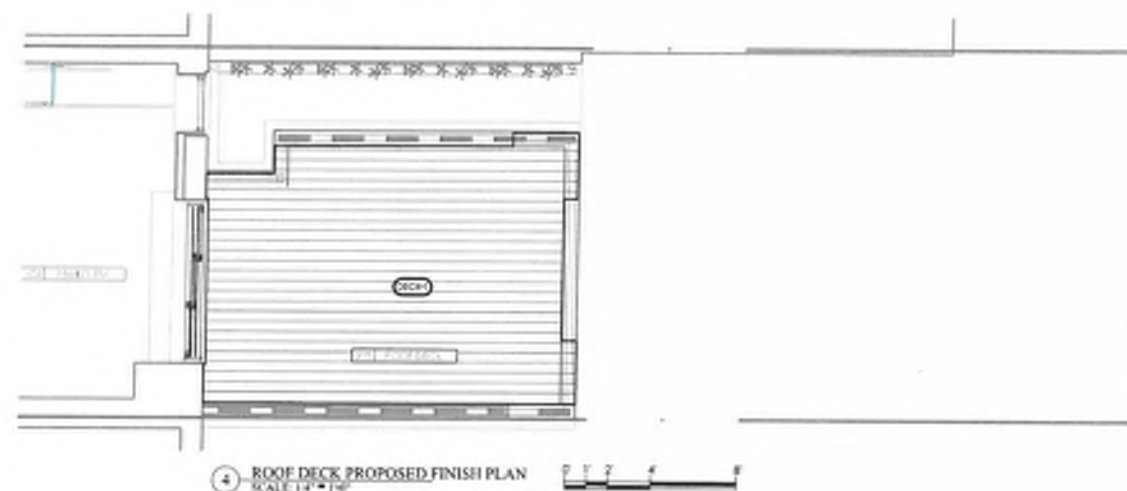
- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
- The Contractor shall be responsible for having the spare equipment desired to the satisfaction of the Owner at the time of Carpet and Furniture Installation and of turnover.
- General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
- General Contractor to turn over all keys to the owner's representative and mark each key for identification.
- The General Contractor shall set all thermostat per the Owner's Requirements.
- The General Contractor shall explain the operation of all technical systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
- General Contractor and all Subcontractors shall warranty the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
- The General Contractor shall install new filters in the HVAC units one week prior to turnover of the project.

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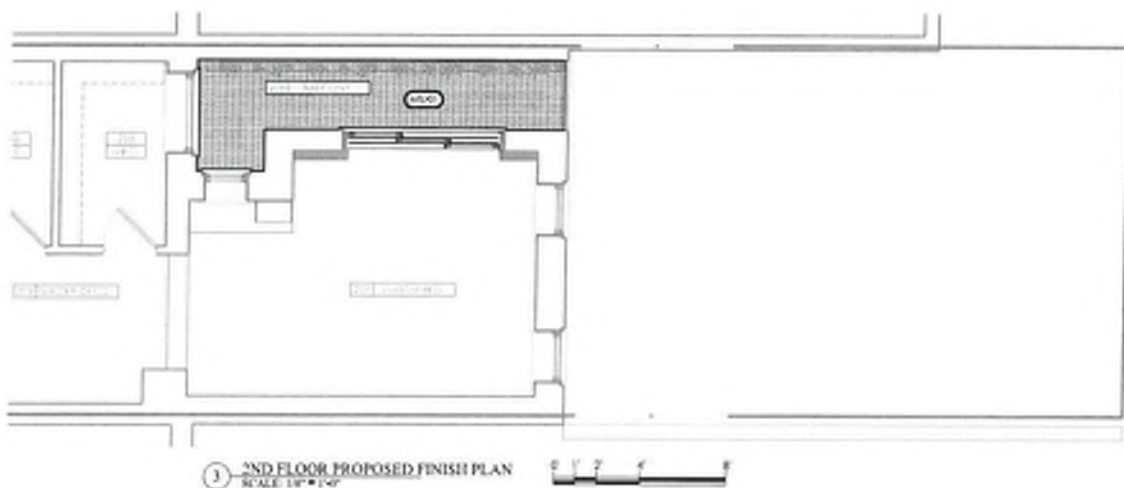
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PROJECT NO:	2017-07

PROPOSED PLANS, NOTES, & SCHEDULES
A-0002



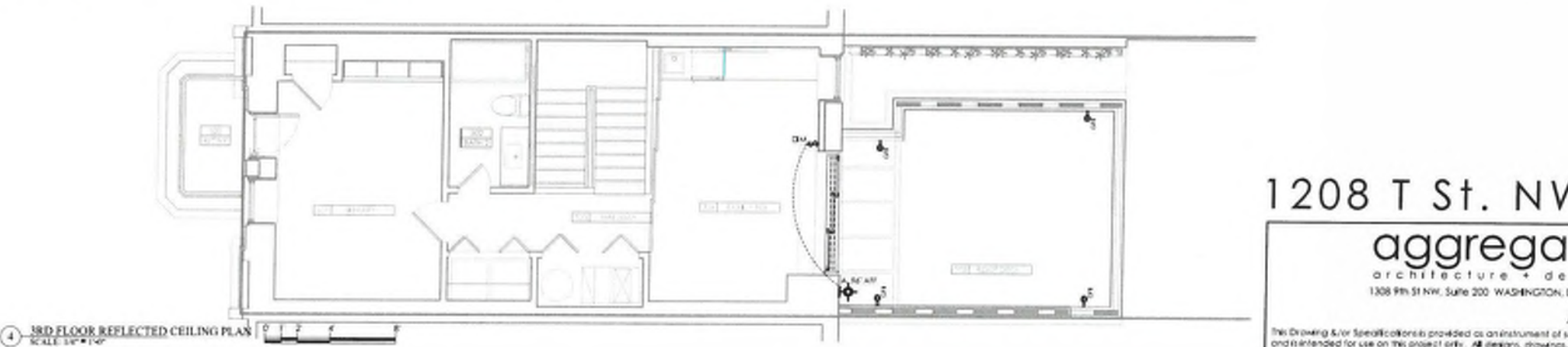
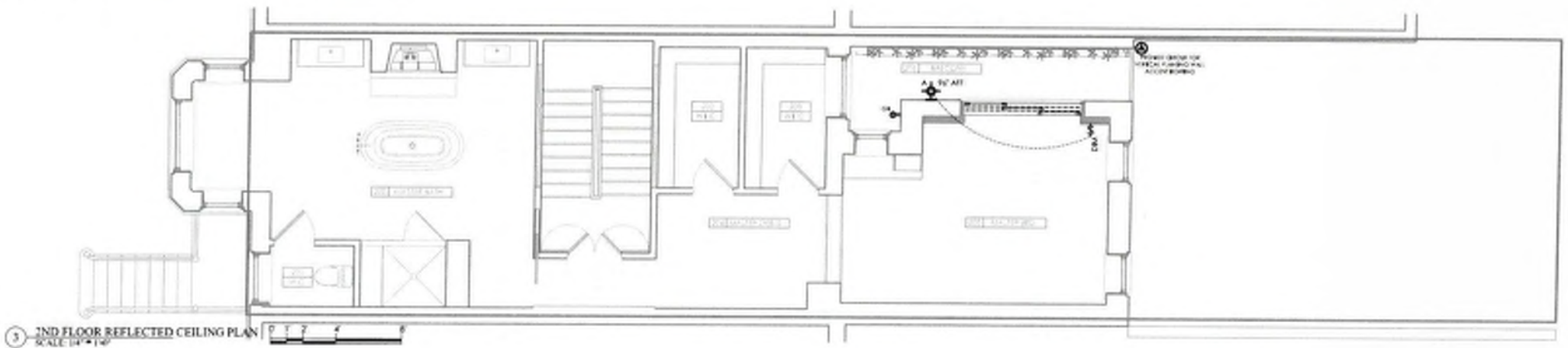
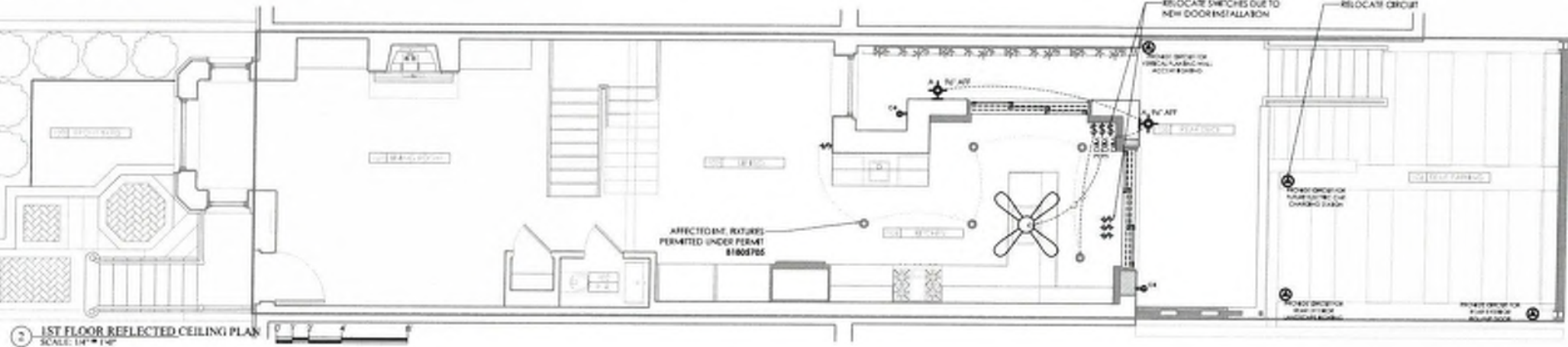
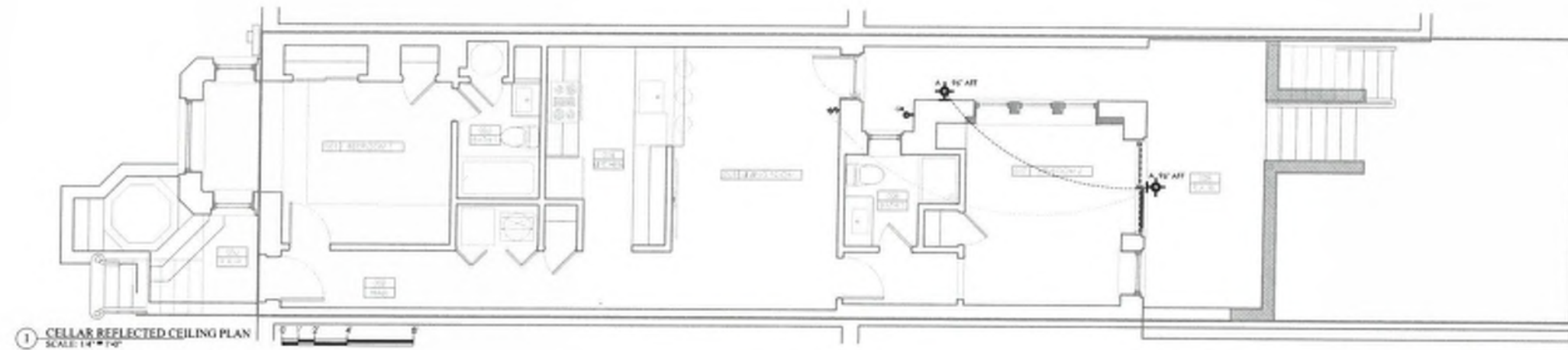
METAL					
SYMBOL	AREA	MATERIAL	COLOR	MFR / SOURCE	NOTES
MET-1	REAR BALCONIES	ALUMINUM MESH	N/A	MC NEHOLS	QTY 1000 1/2" X 1/2" MESH PER 100 SQ FT
DECK					
SYMBOL	AREA	MATERIAL	COLOR	MFR / SOURCE	NOTES
DECK-1	REAR DECK / ROOF DECK	STAINED PRESSURE TREATED 5/4 X 6 DECKING	TRD	HOME DEPOT	SEAL SEMI-TRANSPARENT WATERPROOFING WOOD (2 IN OR EQUAL)
STONE					
SYMBOL	AREA	MATERIAL	COLOR	MFR / SOURCE	NOTES
STONE	REAR AREAWAY	NATURAL CLEFT FLAGSTONE IN RANDOM BROKEN COURSED ASHLAR PATTERN	TRD	TRD	

- FINISH NOTES**
- ALL WALLS AND SURFACES RECEIVING PRIME AND ALL COVERINGS, ETC. SHALL BE PROPERLY PREPARED PRIOR TO FINISH INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL JOINTS OF OTHER GYPSUM METAL TRIM SHALL BE SPACKLE BLENDED INTO THE ADJACENT SURFACE.
 - THE GENERAL CONTRACTOR SHALL PROVIDE ONE FINAL TOUCHUP OF ALL PAINTED SURFACES AFTER MOVEMENTS COMPLETED.
 - ALL NEW WALLS SPECIFIED TO BE PAINTED SHALL BE PAINTED WITH ONE PRIME COAT AND TWO FINISH COATS OF COLOR.
 - ALL DOORS AND DOOR FRAMES SPECIFIED TO BE PAINTED SHALL BE PAINTED WITH SAEM FINISH WITH ONE PRIME AND TWO FINISH COATS AS INDICATED.
 - ALL COILING REGISTER, VENTS, GRILLS, DIFFUSERS, SPEAKERS, ETC. ARE TO BE CLEANED AND PAINTED TO MATCH THE COILING BEFORE BEING REINSTALLED.
 - ONLY WHERE INDICATED "EQUAL TO OR BETTER" SHALL SUBSTITUTIONS FOR SPECIFIED MATERIALS BE CONSIDERED.
 - BEFORE PROCEEDING WITH PROCUREMENT, THE RESPECTIVE INSTALLER SHALL VERIFY DIMENSIONS TO ASSURE SUFFICIENT QUANTITIES OF MATERIALS TO COMPLETE THE WORK.
 - WHERE THERE IS A QUESTION AS TO THE ACCEPTABLE LEVEL OF QUALITY THE ARCHITECT WILL ACT AS THE MEDIATOR.
 - UPON RECEIPT FROM THE MANUFACTURER, THE INSTALLER SHALL INSPECT ALL MATERIALS FOR DEFECTS, FLAWS, CORRECT COLOR AND PATTERN.
 - ALL MATERIALS ARE TO BE ACCUMULATED TO LOCAL JOB SITE ENHANCEMENT BEFORE INSTALLATION PER SPECIFICATIONS.
 - COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS FOR HANDLING, STORAGE, INSTALLATION AND PROTECTION IS THE EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

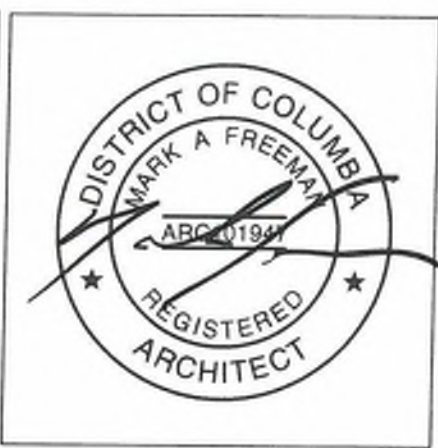


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- POWER & TELEPHONE NOTES**
1. All outlets to be mounted 18" above finished floor, UNO.
 2. All switches to be mounted 42" above finished floor, UNO.
 3. All outlets for Ball/pendant to be placed mounted 45" above finished floor, UNO.
 4. All outlets on 110V work (W) to be mounted 42" above finished floor, UNO.
 5. Outlets shown back to back in same partition are to be staggered. Provide undersill blocking as required to maintain dimensions indicated.
 6. All cover plates are to be white, unless otherwise noted.
 7. Outlets located adjacent to wet areas are to be ground fault interruption type (GFI).
 8. Refer to Architectural drawings for locations of outlets & switches. Where multiple switches open one location, switches to be grouped horizontally & grouped and installed with a single cover plate. Refer to Engineering or Contractor Shop drawings for information regarding circuiting, specifications and panels.
 9. Exact locations of thermostats indicated on engineering drawings shall be identified by G.C. and coordinated with Architect prior to installation. Where single outlet or located near angle/light switch / thermostat, thermostat to be relocated above switch centerline, and outlet below switch centerline.



- RCP NOTES**
1. Refer to the partition plan for the location and extent of G.W.B.
 2. All light fixtures are to be installed in accordance with the locations shown on the architectural reflected ceiling plan.
 3. General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
 4. Exact locations of thermostats indicated on engineering drawings shall be identified by G.C. and coordinated with Architect prior to installation. Where single outlet or located near angle/light switch / thermostat, thermostat to be relocated above switch centerline, and outlet below switch centerline.
 5. Any discrepancies in light fixtures, switches, thermostats, and diffuser locations between the Architectural and Engineering drawings, or between the drawings and existing field conditions, shall be cleared with Architect before proceeding.

- ELECTRICAL NOTES**
1. **EXISTING CONDITIONS:** The Electrical Contractor is encouraged to visit the site prior to submitting his bid carefully examining all existing conditions and including his bid the piece of labor and materials that may effect his work.
 2. The Electrical Contractor shall provide all new material, equipment, components, labor to replace existing to the extent necessary to satisfy all applicable building code and safety requirements to render all fully functional and safe operating system.
 3. The Electrical Contractor to Secure and Pay all Necessary Electrical Permits, Fees, and Taxes.
 4. Location of equipment, Conduit and other electrical work is indicated diagrammatically by drawings. The Electrical Contractor is to determine the exact location on the job site, subject to structural conditions and the work of other trades.
 5. The Electrical Contractor shall guarantee all material, labor, and equipment for a period of one year from the date of acceptance. Guarantee shall be warranty maintenance for the first year of system operation.

ELECTRICAL LEGEND

⊕	GR
⊕	DUPLEX
⊕	SINGLE SWITCH
⊕	DIMMER SWITCH
⊕	3-WAY DIMMER SWITCH
⊕	SPECIAL QUALITY CONNECTION POINT
⊕	EXTERIOR WALL SOURCE - HVAC BOWING RISER W/ W/2 DARK SAT FINISH, 14 W/ 750 LUMEN, 3000K LED FIXTURE

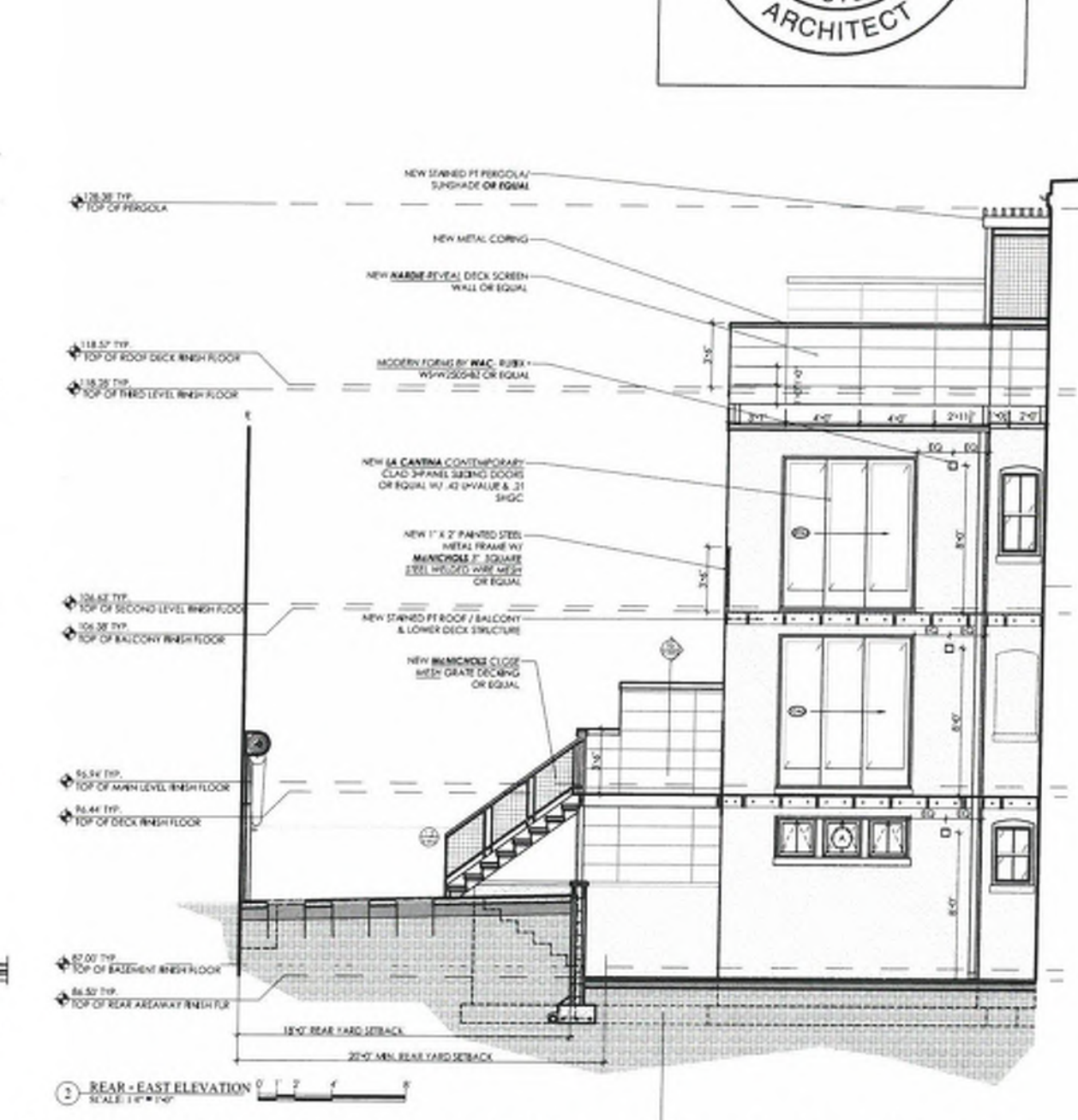
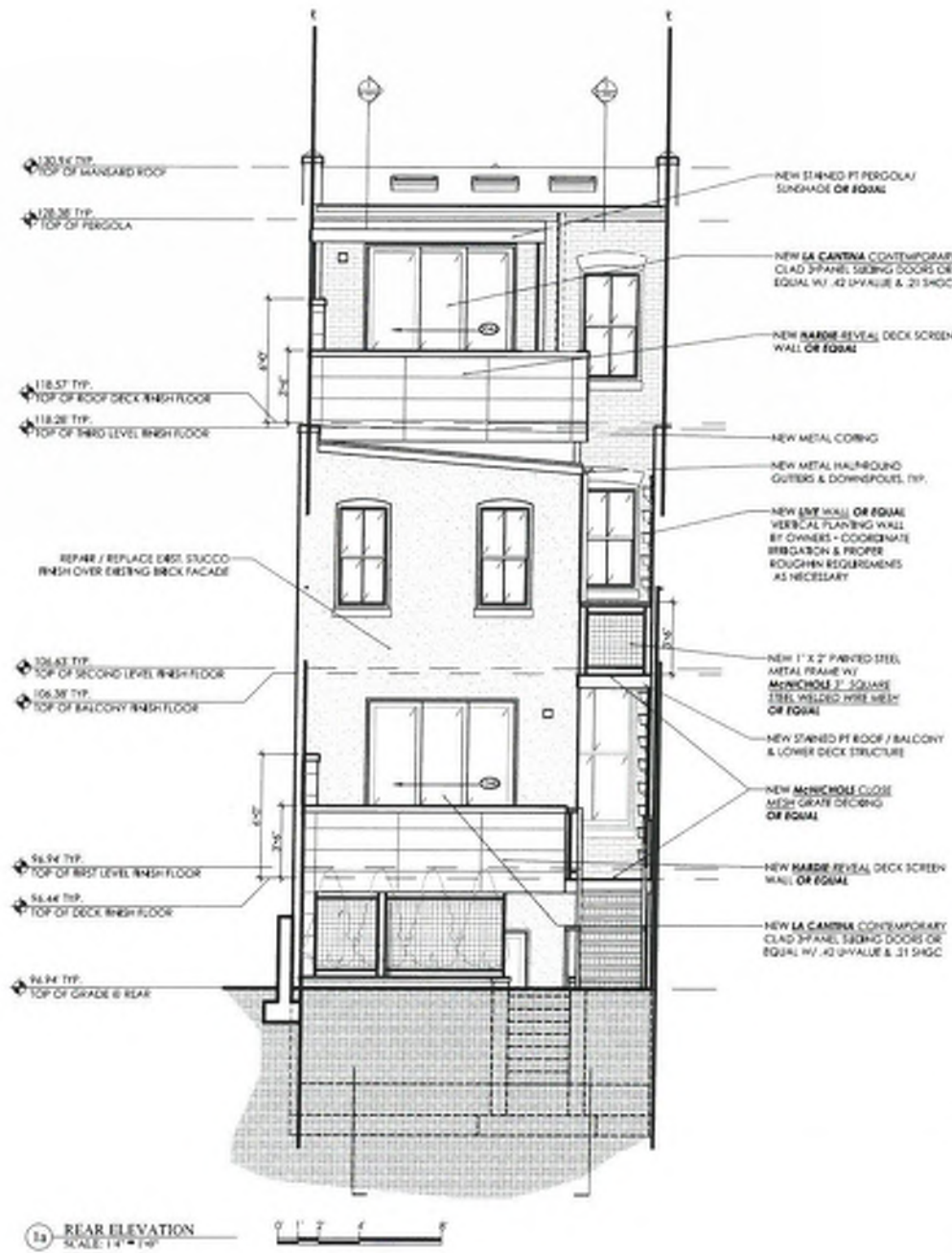
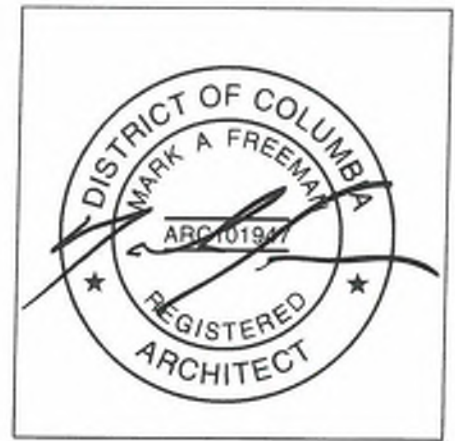
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SEALED / PDONE	03.22.18	A-0004
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PROJECT NO.	201717	

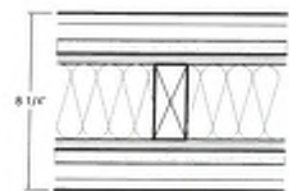


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BOC TABLE R402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

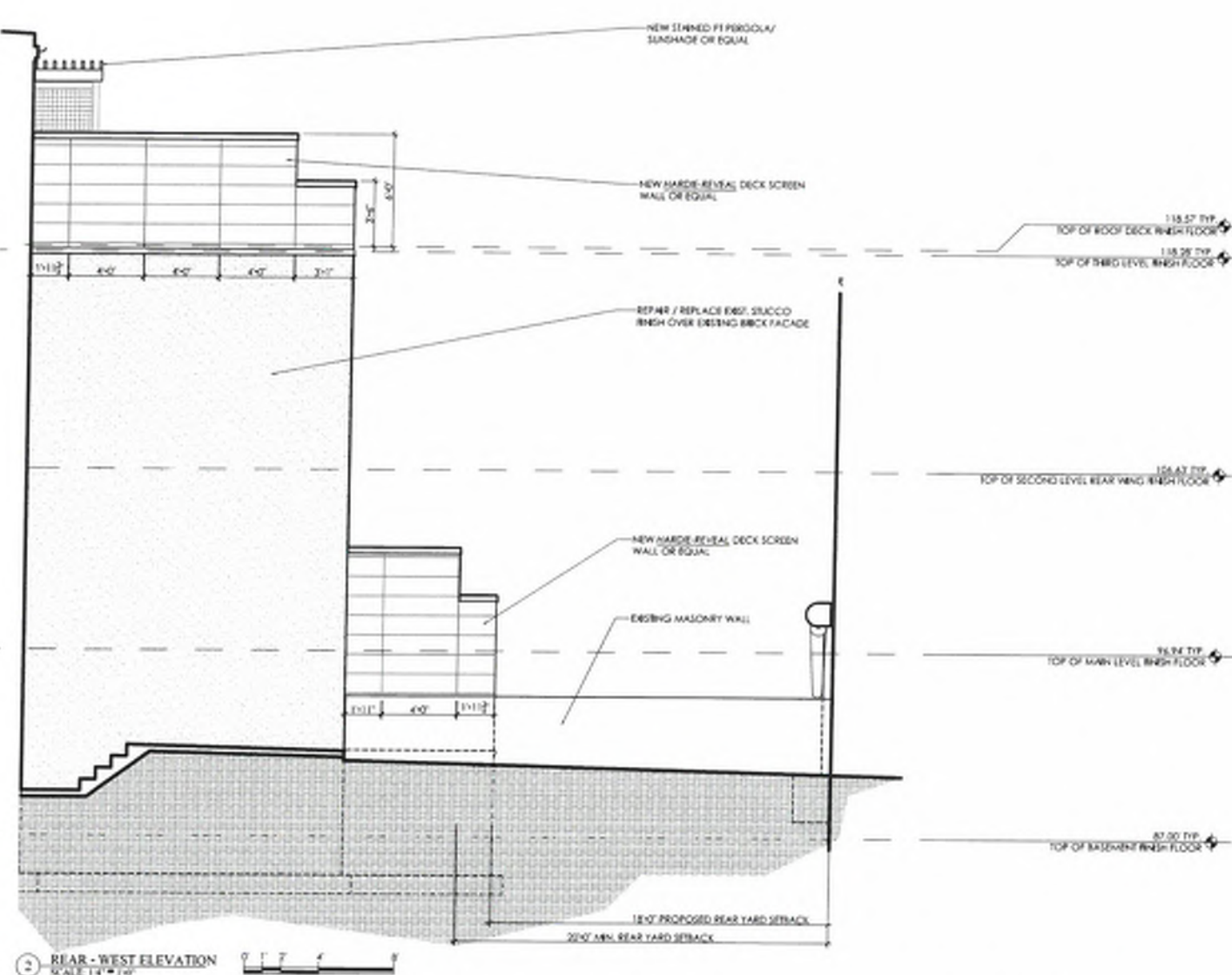
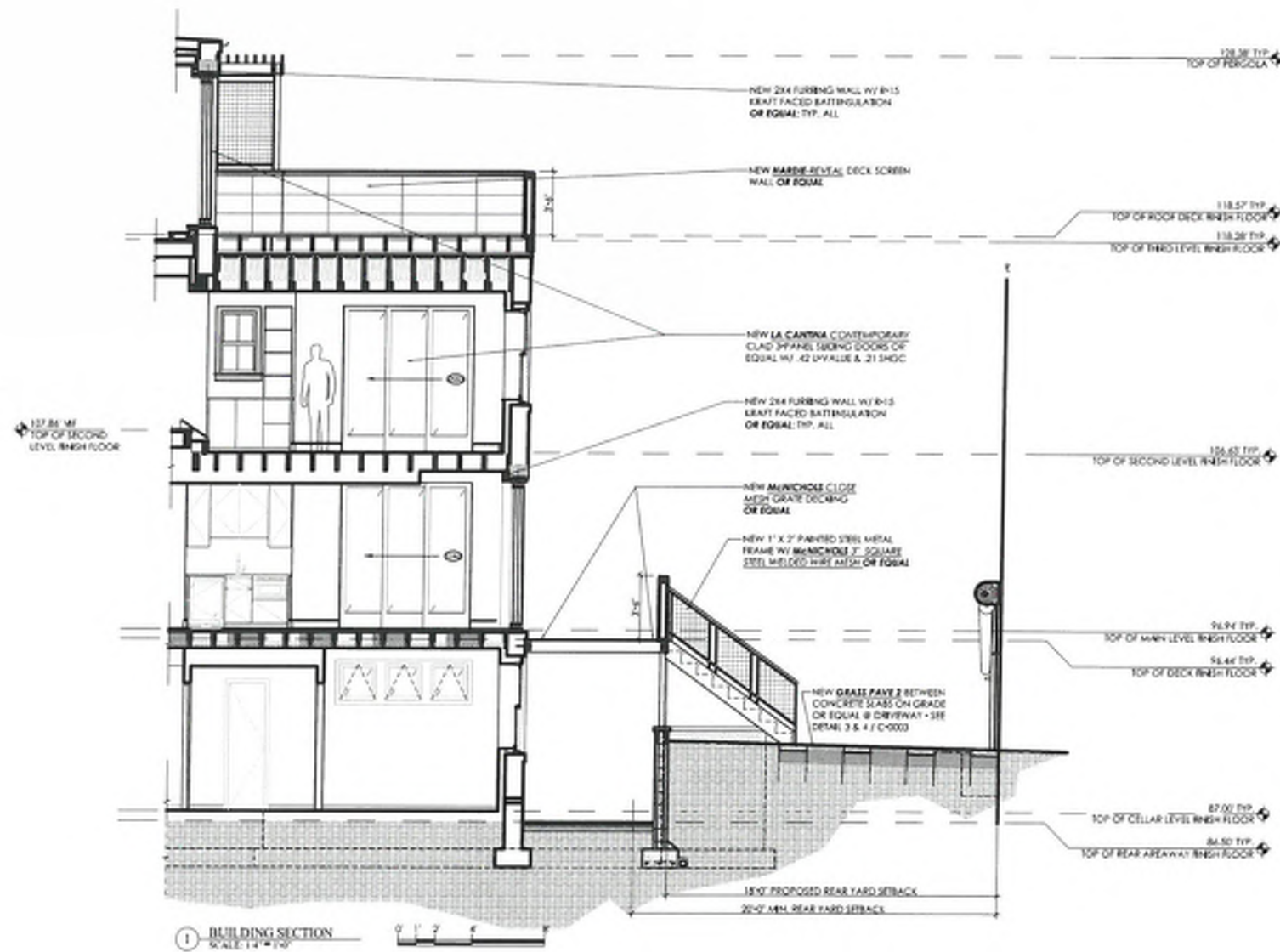
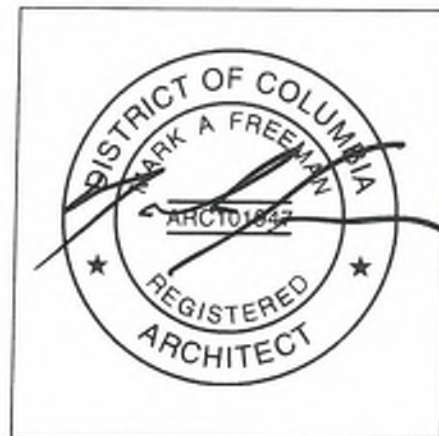
COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAIN A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.
CEILING / ATRC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATRC SPACES SHALL BE SEALED.
WALLS	CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
BM JOISTS	BM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS)	INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGES/INSULATION.
CRACK SPACE WALLS	WHERE PROVIDED IN SILL OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACK SPACE WALLS. EXPOSED FARTHEN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
NARROW CAMBS	BATTEN NARROW CAMBS SHALL BE CUT TO FIT. OR NARROW CAMBS SHALL BE FILLED INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE Cavity SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHT FIXTURES	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
PLUMBING & WIRING	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND PIPING AND PLUMBING IN EXTERIOR WALLS. OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEYOND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
REPLACE	AN AIR BARRIER SHALL BE INSTALLED ON REPLACE WALLS. REPLACES SHALL HAVE GASKETED DOORS.



3 1 HR FIRE RATED WALL DETAIL. SCALE: 1/4"

System Performance
1 HR Fire
Reference to UL Design No. U344

- System Description
Wood Stud Partition (3 wallbeams)
- JAMES HARDIE PANEL, cement board 5/8" w/ rain screen
 - 3/4" metal furring channel
 - 5/8" SHEETROCK Brand IRROCODE Core Gypsum Panel
 - Joints finished
 - Vapor barrier
 - 1/2" plywood sheathing
 - 2x4 wood studs 16" or 24" o.c. - fire blocked
 - 3 1/2" mineral wool insulation
 - 1/2" plywood sheathing
 - Vapor barrier
 - 5/8" SHEETROCK Brand IRROCODE Core Gypsum Panel
 - Joints finished
 - 3/4" metal furring channel
 - JAMES HARDIE PANEL, cement board 5/8" w/ rain screen



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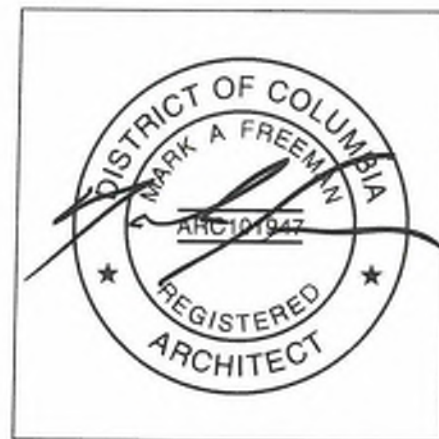
1 REAR WORMS EYE VIEW
SCALE: NONE

- NEW METAL CORNING
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOORS OR EQUAL
- NEW 1" X 2" PAINTED STEEL METAL FRAME W/ McNICHOLS 3" SQUARE STEEL WELDED WIRE MESH OR EQUAL
- NEW McNICHOLS CLOSE MESH GRATE DECKING OR EQUAL ON STAINED PT WOOD BALCONY STRUCTURE
- NEW LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOORS OR EQUAL
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW 1" X 2" PAINTED STEEL METAL FRAME W/ McNICHOLS 3" SQUARE STEEL WELDED WIRE MESH OR EQUAL
- NEW STAINED PT WOOD STAIR OR EQUAL
- NEW STEEL ROLL-UP DOOR
- NEW CONCRETE SLAB ON GRADE W/ GRASSPAVEZ BY INVISIBLE STRUCTURES OR EQUAL



2 REAR BIRDS EYE VIEW
SCALE: NONE

- NEW METAL CORNING
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW STAINED PT WOOD PERGOLA/SUNSHADE OR EQUAL
- NEW 1" X 2" PAINTED STEEL METAL FRAME W/ McNICHOLS 3" SQUARE STEEL WELDED WIRE MESH OR EQUAL
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOORS OR EQUAL
- NEW McNICHOLS CLOSE MESH GRATE DECKING OR EQUAL ON STAINED PT WOOD BALCONY STRUCTURE



3 SIDE ELEVATION
SCALE: NONE

- NEW STAINED PT WOOD PERGOLA/SUNSHADE OR EQUAL
- NEW METAL CORNING
- NEW 1" X 2" PAINTED STEEL METAL FRAME W/ McNICHOLS 3" SQUARE STEEL WELDED WIRE MESH OR EQUAL
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOORS OR EQUAL
- NEW McNICHOLS CLOSE MESH GRATE DECKING OR EQUAL ON STAINED PT WOOD BALCONY STRUCTURE
- NEW LA CANTINA CONTEMPORARY CLAD 3-PANEL SLIDING DOORS OR EQUAL
- NEW HARDIE-REVEAL DECK SCREEN WALL OR EQUAL
- NEW McNICHOLS CLOSE MESH GRATE DECKING OR EQUAL ON STAINED PT WOOD DECK STRUCTURE
- REPAIR/REPLACE EXISTING STUCCO FINISH OVER EXISTING BRICK FACADE
- NEW STEEL ROLL-UP DOOR

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PROJECT NO: 2017-17

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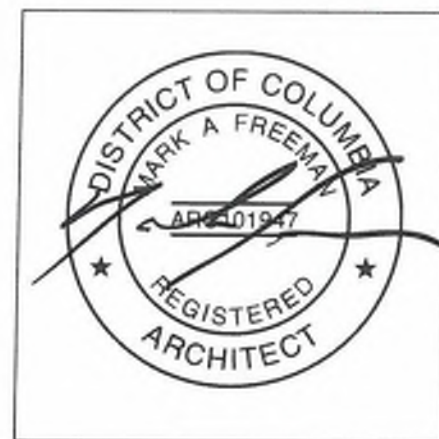
A-0007



1 REAR FACADE
SCALE: NONE



2 EXTERIOR PLAN VIEW
SCALE: NONE



3 REAR BIRD'S EYE VIEW
SCALE: NONE

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