



RE: 128 17th St NE, BZA Case#19693, Response to Public Space & DDOT Comments

To Whom It May Concern,

We are in receipt of Public Space and DDOT Review comments for the above referenced project. We have assembled the following itemized narrative responses and revised construction documents.

1. Comment No.01:
New Parking Space encroaches into public space beyond the property line. No parking is required according to zoning. Delete parking space.
Response:
 - 1 Revised Zoning Analysis on sheet LS1.0 for parking requirement.
 - 2 Removed Parking Space and all related notes from sheets AS1.0 and A1.1.

2. Comment No.02:
New Egress Stairs on the side of the building (connecting to new balcony) are in public space. Remove stairs.
Response:
 - 1 Removed Metal Stair and related notes from sheets AS1.0, A1.1, A1.2, A13.4, A13.5.

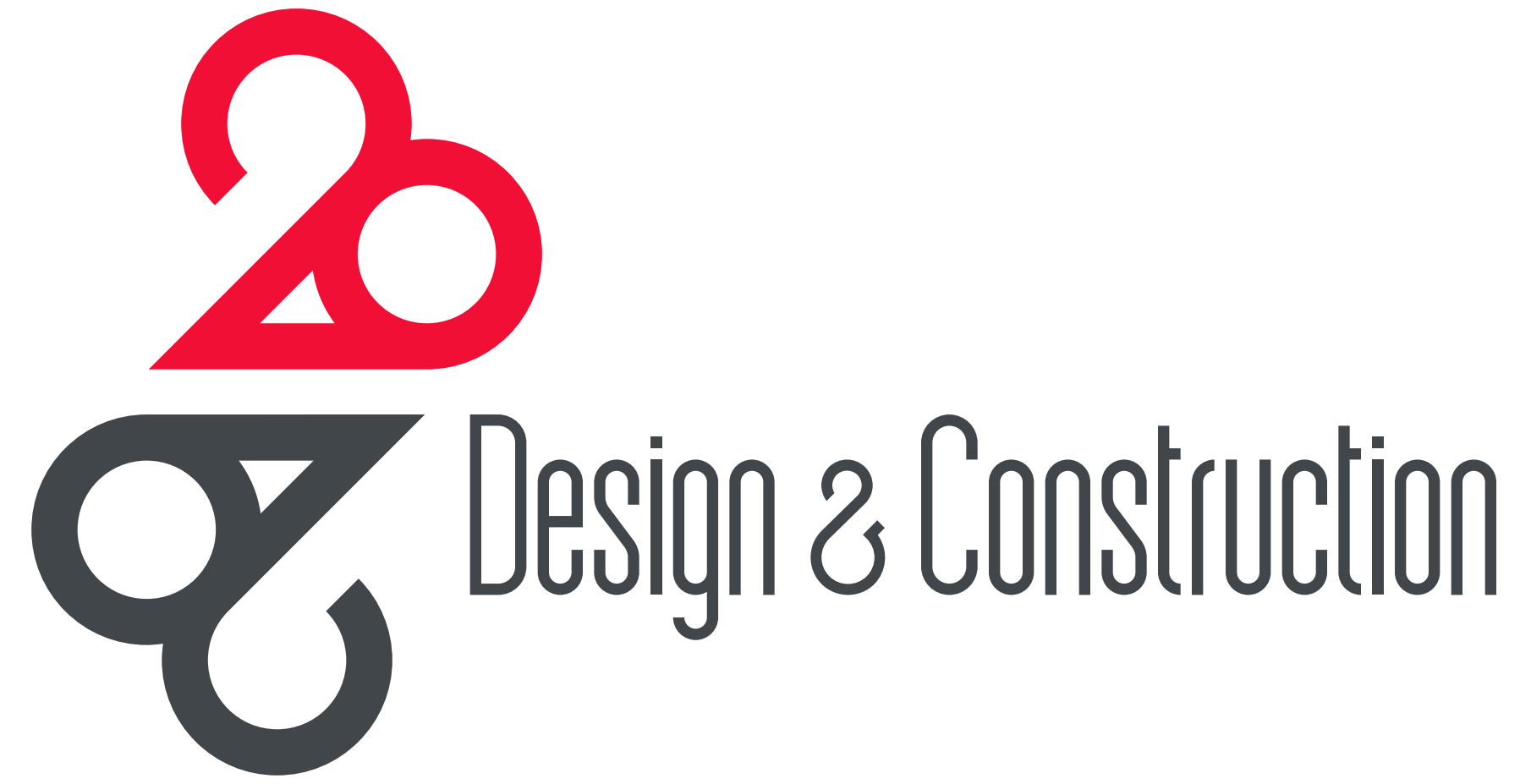
3. Comment No.03:
Fence Door on the Constitution Ave., side opens out into public space / sidewalk. Revise door direction to open into the property.
Response:
 - 1 Changed direction of the door swing to open into the property, not side walk on sheets AS1.0 and A1.1

4. Comment No.04:
The entire Side Yard landscape cannot be paved. Only a portion of it can be paved for recreation.
Response:
 1. Revised landscape design on sheets AS1.0 and A1.1
 2. Added concrete walkway

Should you have any further questions or comments please contact me at the information provided below.

Thank you,

Eman Amirian
Principal
20/20 Design & Construction
417-434-2191
eman.amirian@2020-dc.com

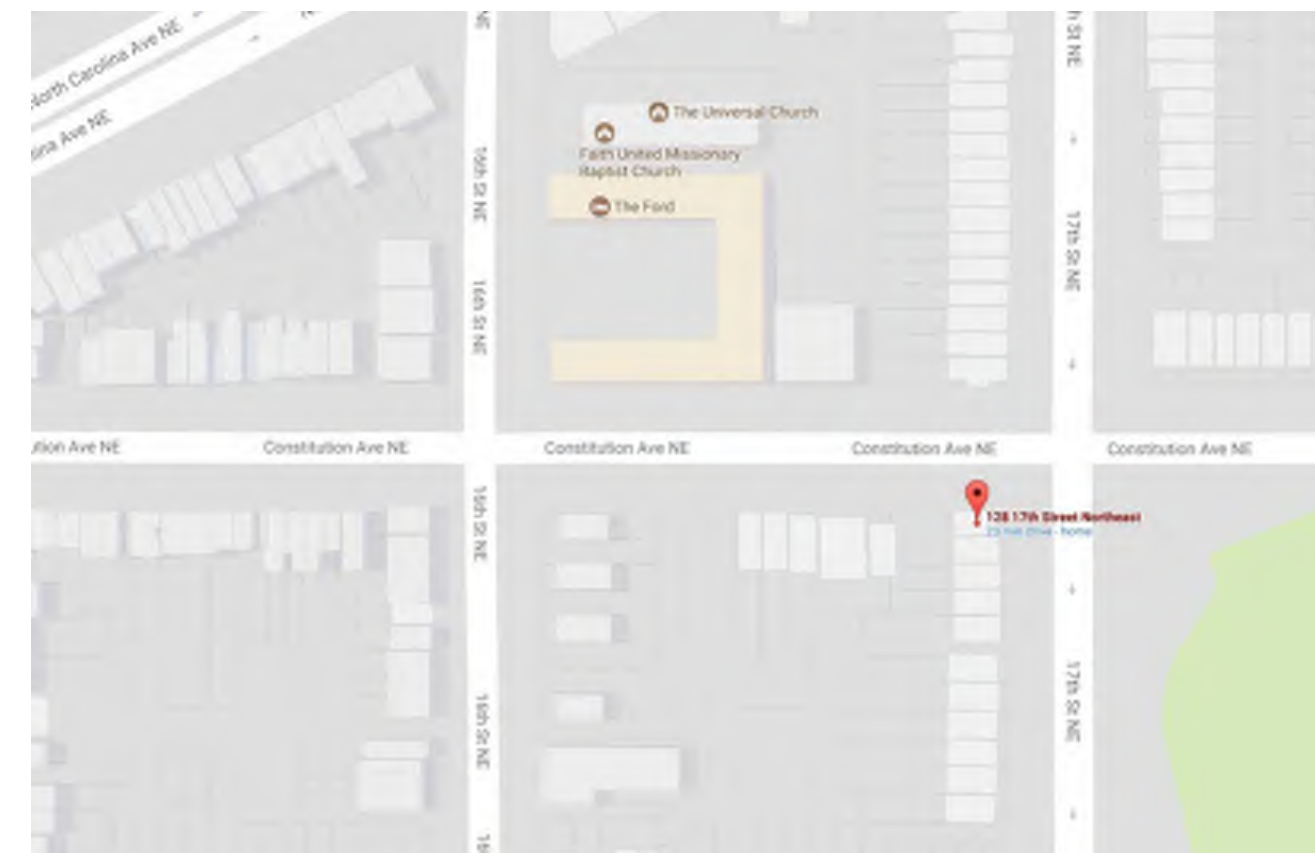


128 17TH STREET N.E.
WASHINGTON, D.C. 20002

EAST CAPITAL HILL HOUSE ALTERATION & ADDITION

PERMIT SET REVISED
PUBLIC SPACE COMMENTS
02/23/2018

AREA MAP



OWNER

20 / 20 DESIGN & CONSTRUCTION
9525 GEORGIA AVE.,
SUITE 203 A
SILVER SPRING, MD 20910
Tel: (417) 434-2191

ARCHITECT

20 / 20 DESIGN & CONSTRUCTION
9525 GEORGIA AVE.,
SUITE 203 A
SILVER SPRING, MD 20910
Tel: (417) 434-2191

M.E.P. ENGINEER

STRUCTURAL ENGINEER

DENABABA ENGINEERING CONSULTANT, LLC
11803 EDMOND WOODS WAY
BOWIE, MD 20721
Tel: (301) 262-6820

DRAWING INDEX

ARCHITECTURAL

DATE	SHEET	TITLE
...	...	COVER
10/04/17	GC1.1	GRAPHIC CONVENTIONS
10/04/17	LS1.0	BUILDING CODE DATA
02/23/18	AS1.0	SITE PLAN
10/04/17	D1.1	DEMOLITION PLAN
10/04/17	D1.2	DEMOLITION PLAN
10/04/17	A0.1	EXISTING FLOOR PLAN – BASEMENT & GARDEN LEVEL
10/04/17	A0.2	EXISTING FLOOR PLAN – FIRST, SECOND, & ROOF LEVEL
02/23/18	A1.1	NEW WORK PLAN – BASEMENT & GARDEN LEVEL
02/23/18	A1.2	NEW WORK PLAN – FIRST, SECOND, AND ROOF LEVEL
02/23/18	A4.1	REFLECTED CEILING PLAN
10/04/17	A12.1	DOOR & FRAME TYPES, NOTES, AND SCHEDULE
10/04/17	A12.2	DOOR HEADER, JAMB, AND THRESHOLD DETAIL
10/04/17	A13.1	EXTERIOR ELEVATIONS – EXISTING CONDITION
10/04/17	A13.2	EXTERIOR ELEVATIONS – EXISTING CONDITION
10/04/17	A13.3	EXTERIOR ELEVATIONS – DEMOLITION
02/23/18	A13.4	EXTERIOR ELEVATIONS – NEW WORK
02/23/18	A13.6	EXTERIOR ELEVATIONS – NEW WORK
10/04/17	A13.6	INTERIOR ELEVATIONS
10/04/17	A14.1	WALL DETAILS & PARTITION TYPES
10/04/17	A14.2	SECTIONS
10/04/17	A14.3	BUILDING SECTION

MECHANICAL

DATE	SHEET	TITLE
10/04/17	P001	PLUMBING RISER DIAGRAMS

PLUMBING

DATE	SHEET	TITLE
10/04/17	P001	PLUMBING RISER DIAGRAMS

STRUCTURAL

DATE	SHEET	TITLE
02/23/18	S001	STRUCTURAL NOTES & DETAILS
02/23/18	S100	EXISTING STRUCTURAL PLANS
02/23/18	S101	PROPOSED BASEMENT & FIRST FLOOR PLANS
02/23/18	S102	PROPOSED SECOND & ROOF FRAMING PLANS
02/23/18	S200	BUILDING SECTION
02/23/18	ESC1	EROSION AND SEDIMENT CONTROL PLAN

ELECTRICAL

DATE	SHEET	TITLE
02/23/18	A12.2	LIGHTING & POWER PLAN – BASEMENT & GARDEN FLOOR
02/23/18	A12.2	LIGHTING & POWER PLANS – FIRST & SECOND FLOOR LEVEL
10/04/17	A12.2	ELECTRICAL RISER DIAGRAM

RELEASES

DATE	DESCRIPTION
10/04/17	PERMIT SET
02/23/18	PUBLIC SPACE COMMENTS

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMS ARE FROM FINISHED FACE, UON.
- CONTRACTOR WILL SUBMIT SPRINKLER DESIGN & HYDRAULIC CALCULATIONS BY LICENSED P.E..
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT, TENANT, REPRESENTATIVE & BUILDING STAFF IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- MEANS & METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL BRACING/SHORING BY CONTRACTOR SHALL BE CERTIFIED BY LICENSED STRUCTURAL ENGINEER.
- FURNITURE & EQUIPMENT TO BE FURNISHED AND INSTALLED BY OWNER, U.N.O..
- TOILET AND PREP AREAS TO USE WATER-RESISTANT G.W.B.. CONTRACTOR TO SUPPLY AND INSTALL ALL REQUIRED WATER & DRAIN LINES TO EQUIPMENT.
- CONTRACTOR TO PROVIDE ALL REQ. WALL BLOCKING, FASTENERS, & OVERHEAD UNISTRUT SUPPORT TO INSTALL ALL WALL/CEILING MOUNTED EQUIPMENT, FIXTURES, AND SHELVING, U.N.O..
- PLUMBER TO COMPLETELY INSTALL ALL HAND SINKS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FINISH SCHEDULE & MILLWORK DETAILS.
- ALL ROUGH INS & FINAL CONNECTIONS WILL BE DONE BY GENERAL CONTRACTOR, U.N.O..
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS TO UNDERSTAND THE COMPLETE SCOPE OF WORK PRIOR TO THE START OF WORK. A COMPLETE & UP TO DATE SET OF PLANS AS APPROVED BY THE LOCAL JURISDICTION IS TO BE MAINTAINED AT THE JOB SITE FOR REVIEW AND USE AT ALL TIMES.
- FLOOR, WALL & CEILING FINISHES SHALL EXTEND OVER, UNDER, OR BEHIND, ANY ITEM OF EQUIPMENT, FURNITURE, ETC., AS INDICATED IN THE DRAWINGS.
- COORDINATE LOCATION OF CEILING DIFFUSERS, LIGHT FIXTURES, SPRINKLER HEAD, MECH. DUCTS, SO AS NOT TO INTERFERE WITH EACH OTHER. NOTIFY ARCHITECT IF CONFLICTS REQUIRE THE RELOCATION OF VISIBLE ELEMENTS IN THE FINISHED CEILING.
- REPAIR, REPLACE, AND/OR REFINISH ANY DAMAGE TO THE BUILDING'S ORIGINAL CONDITION AND ANY DAMAGE TO THE EXISTING BUILDING CAUSED BY NEW CONSTRUCTION.
- ALL MILLWORK TO CONFORM TO A.W.I. STANDARD FOR CUSTOM GRADE.
- CONTRACTOR SHALL BE EXPERIENCED AND QUALIFIED IN THE JURISDICTION OF WASHINGTON, D.C. FOR WORK AS DESCRIBED ON THE DRAWINGS, CONTRACTOR TO CONDUCT ALL OPERATIONS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR TO INITIATE AND COORDINATE WITH THE BUILDING OWNER PRIOR TO STARTING ANY WORK ON SITE.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT TENANTS, UNLESS AUTHORIZED BY OWNER AND AUTHORITIES HAVING JURISDICTION. CONTRACTOR IS RESPONSIBLE FOR IDENTIFICATION, REMOVAL, RELOCATION, AND PROTECTION OF EXISTING UTILITY LINES AS REQUIRED TO ACCOMMODATE PROPOSED SCOPE OF WORK AS DESCRIBED ON DRAWINGS.
- PROTECT PORTION OF THE BUILDING TO REMAIN AND ALL NEW WORK FROM WEATHER AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- CLEAN EXISTING SITE DAILY TO PROTECT WORKERS PEDESTRIANS REQUIRING ACCESS TO THE SITE.
- CONSTRUCTION SHALL AT NO TIME RESTRICT ACCESS TO THE ADJACENT TENANTS OR THE COMMON SERVICE AREAS, INCLUDING ALLEYS.
- UNDERPINNING WORK SHALL BE PERFORMED ONLY BY A SPECIALTY CONTRACTOR LICENSED AND INSURED IN WASHINGTON, D.C. WITH MIN. OF 5 YEARS OF CONTINUOUS EXPERIENCE IN THIS TYPE OF WORK AND UNDER SIMILAR CONDITIONS. PRIME CONTRACTOR TO BE LICENSED, INSURED, AND BONDED IN WASHINGTON, D.C.

ABBREVIATIONS

ABV ABOVE	MISC MISCELLANEOUS
ADA AMERICANS WITH DISABILITIES ACT (ANSI A117.1)	MO MASONRY OPENING
ADJ ADJUSTABLE	MTD MOUNTED
AFF ABOVE FINISHED FLOOR	NO NUMBER
ALUM ALUMINUM	NOM NOMINAL
ANOD ANODIZED	NS NURSE'S STATION
AWI ARCHITECTURAL WOODWORKING INSTITUTE	O OXYGEN
BS BACK SPLASH	OC ON CENTER
CCT CUBICLE CURTAIN TRACK	OF/CI OWNER FURNISHED / CONTRACTOR INSTALLED
CF/CI CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	OF/OI OWNER FURNISHED / OWNER INSTALLED
CF/OI CONTRACTOR FURNISHED / OWNER INSTALLED	OFC OFFICE
CG CORNER GUARD	OPP OPPOSITE HAND
CH COAT HOOK	PART PARTITION
CJ CONSTRUCTION JOINT	PLAM PLASTIC LAMINATE
CLG CEILING	PM PICTURE MOLDING
CM CROWN MOLDING	PNL PANEL
COL COLUMN	PP PUSH PLATE
COMM COMMUNICATION	PR PAIR
CONC CONCRETE	PTD PAPER TOWEL DISPENSER
CONS CONSULTATION	PTF PAINTED TRIM FINISH
CONT CONTINUOUS	PWF PAINTED WALL FINISH
CORR CORRIDOR	RD ROOF DRAIN
CPT CARPET	REC RECESSED
CR CARD READER	REQ'D REQUIRED
CS CLEAN SUPPLY	REV REVISED
CT COUNTERTOP	RM ROOM
DBL DOUBLE	RO ROUGH OPENING
DR DRESSING ROOM	RS REDUCER STRIP
DRP DECORATIVE RESIN PANEL	SCWD SOLID CORE WOOD DOOR
EJ EXPANSION JOINT	SD SOAP DISPENSER
EL ELEVATION	SDT STATIC DISSIPATIVE TILE
ELEC ELECTRICAL	SF SQUARE FEET
ELEV ELEVATOR	SIM SIMILAR
EMR ELEVATOR MACHINE ROOM	SPEC SPECIFY, SPECIFICATION
EQ EQUAL	SS SOLID SURFACE
EQP EQUIPMENT	SST STAINLESS STEEL
ETR EXISTING TO REMAIN	STL STEEL
EX EXISTING	STO STORAGE
FE FIRE EXTINGUISHER	STRUCT STRUCTURAL
FEC FIRE EXTINGUISHER CABINET	SU SOILED UTILITY
FOR FLOOR GROUT	SUSP SUSPENDED
FIN FINISH	SVB SHEET VINYL BASE
FLR FLOOR	SVF SHEET VINYL FLOOR
FR FIRE RETARDANT	T/O TOP OF
FRT FIRE RETARDANT TREATED	TB TILE BASE
GB GRAB BAR	TF TILE FLOOR
GL GLASS	TELE TELEPHONE
GR GROMMET	TG TEMPERED GLASS
GWB GYPSUM WALL BOARD	TOIL TOILET
HC HANDICAP	TS THERMOSTAT
HGT HEIGHT	TYP TYPICAL
HM HOLLOW METAL	UL UNDERWRITERS LABORATORY
HR HOUR	UNO UNLESS NOTED OTHERWISE
INSUL INSULATION	V VACUUM
JC JANITOR'S CLOSET	VB VINYL BASE
KS KNEE SPACE	VCB VINYL COVE BASE
LAV LAVATORY	VCT VINYL COMPOSITION TILE
MACH MACHINE	VEST VESTIBULE
MAX MAXIMUM	VIF VERIFY IN FIELD
MCB METAL COVE BASE	VT VINYL TILE
MECH MECHANICAL	VWC VINYL WALL COVERING
MED MEDICAL	WC WATER CLOSET
MEP MECHANICAL/ELECTRICAL/PLUMBING	WGR WALL GROUT
MIN MINIMUM	WP WALL PROTECTION
	WPS WALL PANEL SYSTEM
	WT WALL TILE

DRAWING REFERENCES

SECTION	ELEVATION	DETAIL
WALL TYPE	KEYED NOTE	REVISION CLOUD/Delta
COLUMN GRID/BUBBLE	EMERGENCY EGRESS	ROOM NUMBER
FINISH TAG	DOOR NUMBER	WINDOW TAG
EQUIPMENT TAG	CEILING HEIGHT A.F.F.	NORTH ARROW
ALIGN TAG	SPOT ELEVATION	AREA OUTSIDE SCOPE OF WORK

DRAWING SYMBOLS

WINDOW	STEEL	CONCRETE
	WATER CLOSETS	
	SINKS	
	WALK-IN SHOWER	
EXISTING DOOR	NEW DOOR	
FLUORESCENT LIGHT FIXT.	FLUORESCENT LIGHT FIXT.	PATIENT EXAM LIGHT FIXT.
UNDERCABINET TASK LIGHT	RECESSED DOWNLIGHT	
WALL-MTD. VANITY LIGHT	SURFACE-MTD. DRUM LIGHT	CLG MTD EXAM LIGHT
SUPPLY DIFFUSER	RETURN AIR GRILLE	NEW BULKHEAD
24" X 24" GRID/PANELS	24" X 24" GRID/PANELS	24" X 24" GRID/PANELS
EXIST. SUSPENDED CEILING	NEW SUSPENDED CEILING	DEMO CEILING GRID
FIRE ALARM DEVICE		BUILDING EXIT

LINE WORK

NEW ONE HOUR FIRE RATED PARTITION	NEW TWO HOUR FIRE RATED PARTITION
NEW SMOKE BARRIER	NEW SMOKE PARTITION
EXISTING ONE HR FIRE RTD PARTITION	EXISTING TWO HR FIRE RTD PARTITION
EXISTING SMOKE BARRIER	EXISTING SMOKE PARTITION
SMOKE BARRIER TRAVEL DISTANCE	PATH OF EGRESS & TRAVEL DISTANCE
NEW CONSTRUCTION SHOWN DARKER	NEW INTERIOR PARTITION (TYPICAL)
EXISTING ITEMS SHOWN LIGHTER	NEW BRICK VENEER
SELECTIVE DEMO ITEMS SHOWN DASHED	NEW CMU PARTITION
GYPSUM BOARD	
CONCRETE	
INSULATION	
WOOD FINISH	

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Key Plan

Revisions

No.	Description	Date
1	PERMIT SET	10/04/17

Project

Project Number

Drawing Information

GRAPHIC CONVENTIONS

Scale _____ As Noted

Date _____

Drawn By _____ EA

Checked By _____

Drawing Number GC1.1

GENERAL PROJECT DESCRIPTION

PROJECT NAME:
HOUSE NO.03 – WASHINGTON, D.C.

PROJECT ADDRESS:
17TH STREET N.E.
WASHINGTON, DC 20002

PROJECT OWNER:
20/20 DESIGN & CONSTRUCTION (EMAN AMIRIAN)

DESCRIPTION OF WORK:
COMPLETE INTERIOR RENOVATION OF THE EXISTING DWELLING 1,500 S.F., NEW ADDITION OF APPROX. 850 S.F., AND INSTALL NEW CENTRAL AIR HANDLING UNIT.

PROJECT DATA

SITE DATA:
LOT 0056
SQUARE 1083

ZONING DISTRICT:
RESIDENTIAL FLAT ZONE (RF-1)

HISTORIC DISTRICT:
NONE HISTORIC

MAXIMUM BUILDING HEIGHT:
ZR16 TITLE 11 – SUBTITLE F-303.1
ALLOWED 35'-0"
EXISTING 30'-8"
PROPOSED 30'-8"
- 3 STORIES

LOT OCCUPANCY:
ZR16 TITLE 11 – SUBTITLE F-304.1
ALLOWED 60%
EXISTING 38%
PROPOSED 60%

EXISTING BUILDING AREAS:

FLOOR	AREAS	EXTERIOR CANOPIES	TOTALS
G (BSMT)	380 S.F.	-	380 S.F.
1	550 S.F.	100 S.F.	650 S.F.
2	550 S.F.	-	550 S.F.

ZONING ANALYSIS

	RF-1
Dwelling Units	2
Maximum Lot Occupancy (%)	60% for attached row structures and conversions.
Maximum Height (ft)	35 ft. or 40 ft for 3 or more new one-family row dwellings built concurrently on separate record lots. Up to 40 ft by BZA Special Exception.
Maximum Stories	3
Minimum Rear Yard (ft)	20 ft
Minimum Side Yard (ft)	None required along a side street abutting a corner lot.
Front Setback (ft)	No lesser or greater than existing set back on the same block
Parking	None Required

APPLICABLE CODES:

BUILDING CODE:
INTERNATIONAL RESIDENTIAL CODE 2012 EDITION
DCMR 11 ZONING REGULATION 2013 EDITION
DCMR 12 DC CONSTRUCTION CODES SUPPLEMENT 2013 EDITION
ICC INTERNATIONAL FIRE CODE 2012 EDITION
(DCMR 12H-2013 SUPPLEMENT)
ICC INTERNATIONAL ENERGY CONSERVATION CODE 2012 EDITION
(DCMR 12I-2013 SUPPLEMENT)
ICC INTERNATIONAL GREEN CONSTRUCTION CODE 2012 EDITION
(DCMR 12K-2013 SUPPLEMENT)

ELECTRICAL CODE:
NEC – NATIONAL ELECTRICAL CODE 2011 EDITION

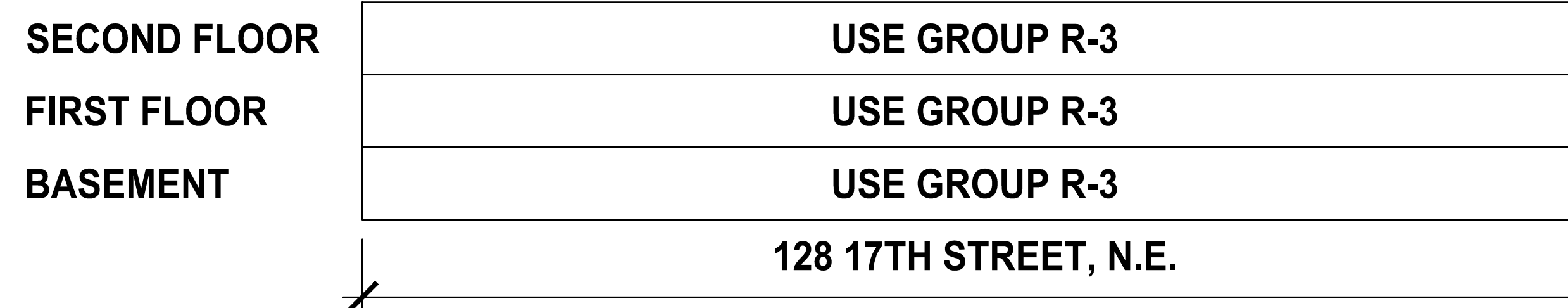
MECHANICAL CODE:
IMC-ICC INTERNATIONAL MECHANICAL CODE 2012 EDITION
DISTRICT OF COLUMBIA MECHANICAL CODE 2013

PLUMBING CODE:
IPC-ICC INTERNATIONAL PLUMBING CODE 2012 EDITION
DISTRICT OF COLUMBIA PLUMBING CODE 2013

DESIGN CRITERIA:

- A. USE GROUP CLASSIFICATION:**
EXISTING IBC CLASSIFICATION R-3
PROPOSED IBC CLASSIFICATION R-3
CHANGE OF OCCUPANCY NO
- B. CONSTRUCTION TYPE:**
IBC TYPE TYPE VB
- C. FIRE PROTECTION SYSTEM:**
NOT REQUIRED
- D. EXISTING BUILDING CODE COMPLIANCE METHOD**
INTERNATIONAL EXISTING BUILDING CODE – LEVEL 3 ALTERATION (2012 EDITION)

EXISTING USE SEPARATION



Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date
	PERMIT SET	10/04/17
Δ	PUBLIC SPACE COMMENTS	02/23/18

Project

Project Number
Drawing Information

BUILDING CODE DATA

Scale NTS
Date
Drawn By EA
Checked By

Drawing Number

LS1.0

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date
	PERMIT SET	10/04/17
▲	PUBLIC SPACE COMMENTS	02/23/18

Project

Project Number
Drawing Information

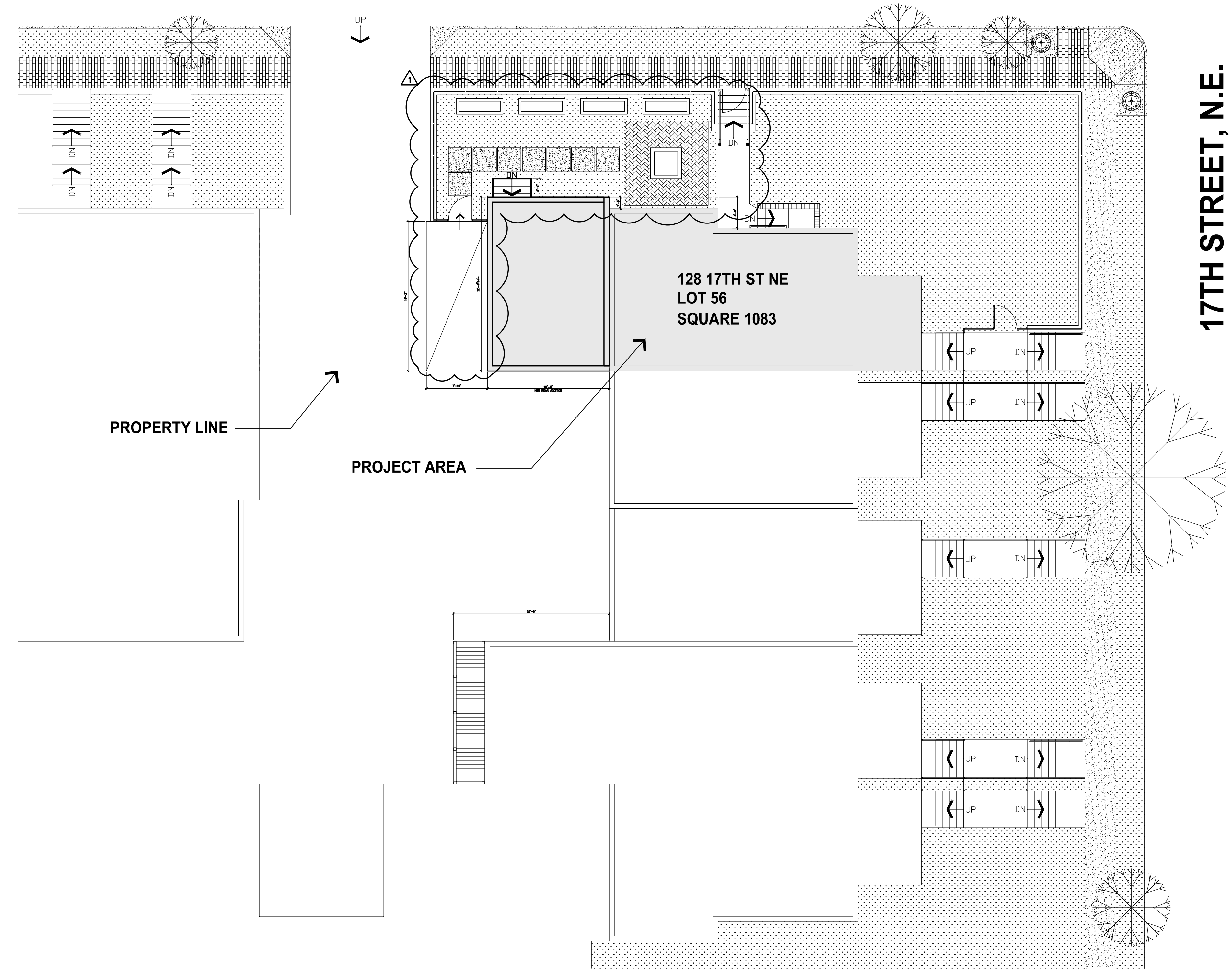
SITE PLAN

Scale 1/8"=1'-0"
 Date _____
 Drawn By _____ EA
 Checked By _____

Drawing Number AS1.0

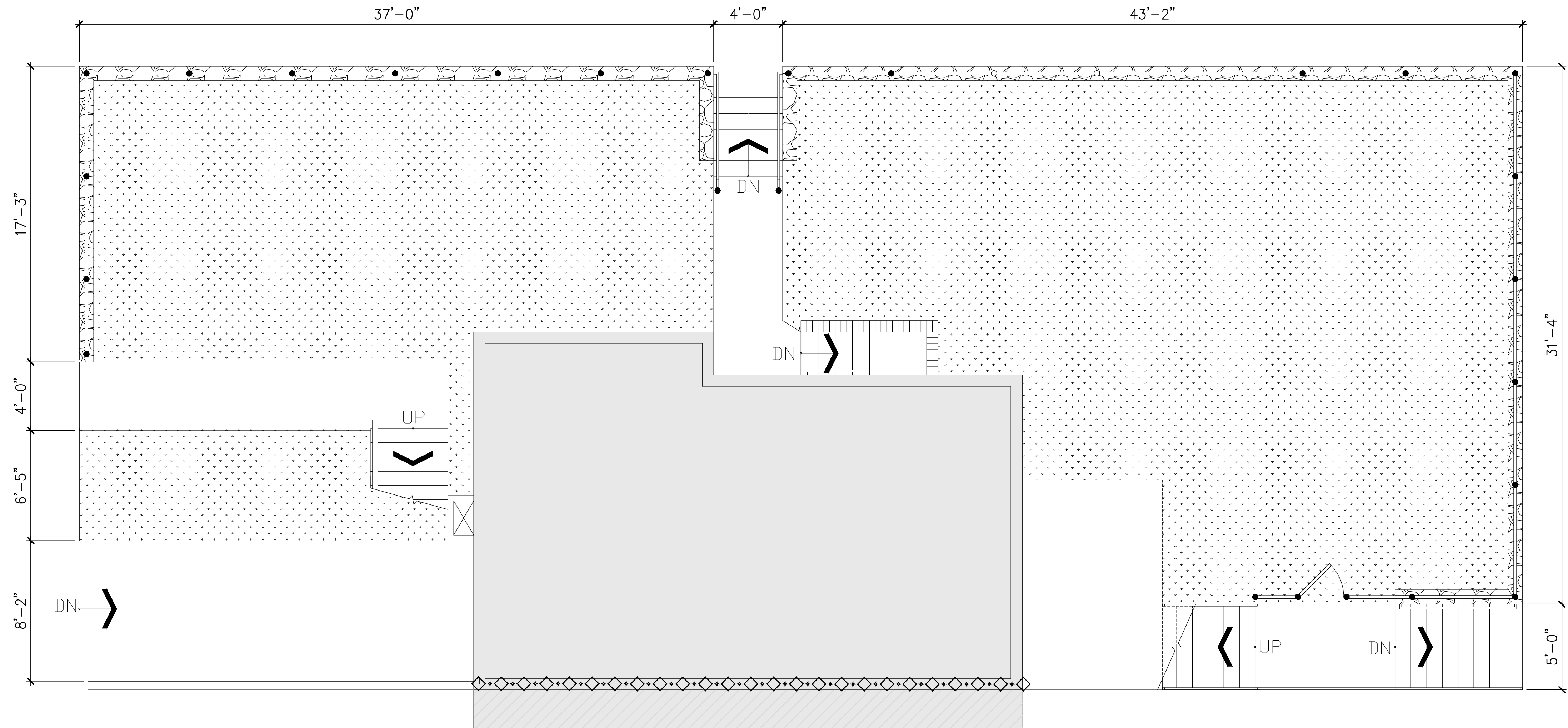
CONSTITUTION AVE., N.E.

17TH STREET, N.E.



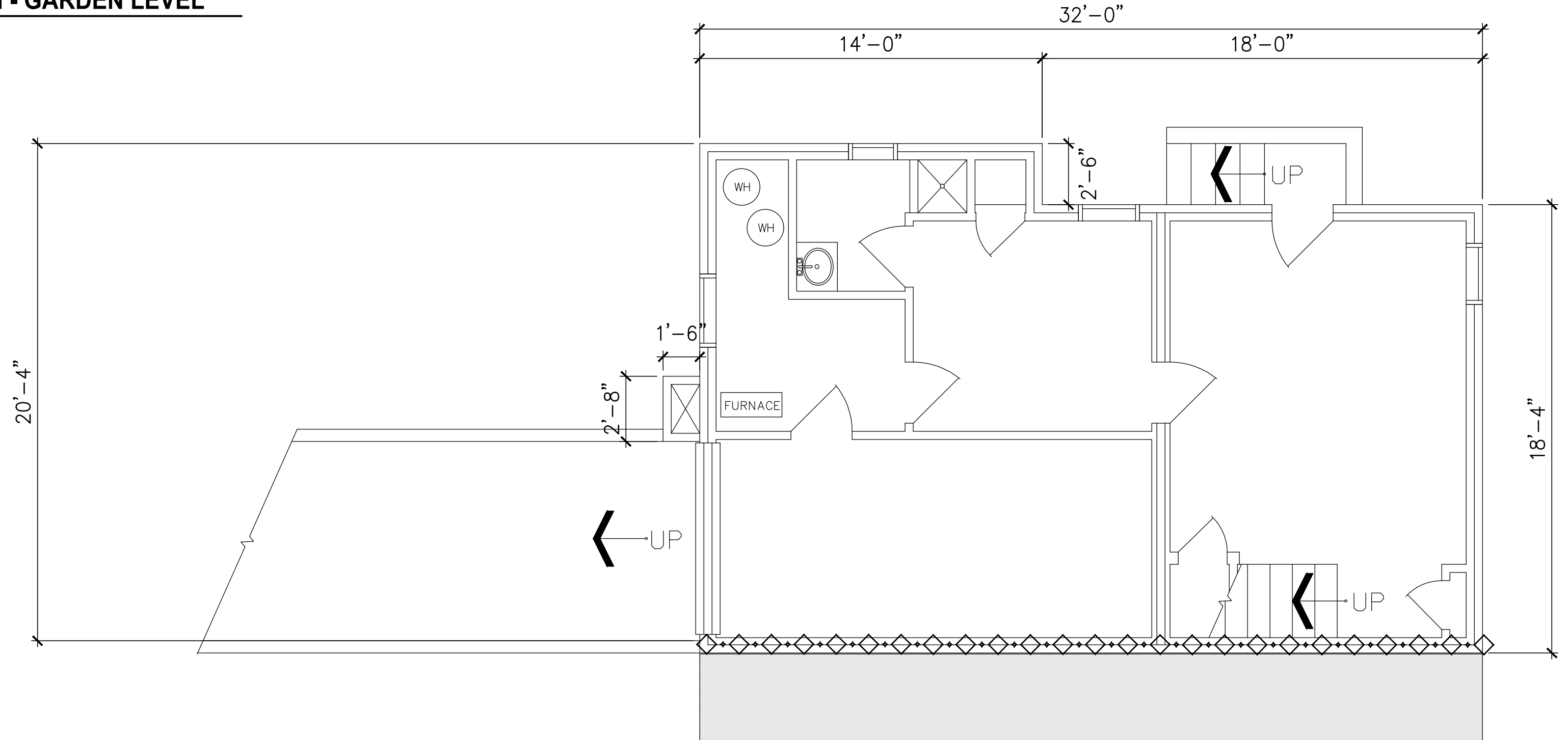
1 **SITE PLAN**
 SCALE: 1/8"=1'-0"

CONSTITUTION AVE., N.E.



17TH STREET, N.E.

2 EXISTING PLAN - GARDEN LEVEL
SCALE: 1/4"=1'-0"



1 EXISTING PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

Architect

Consultant

Seal

Key Plan

Revisions

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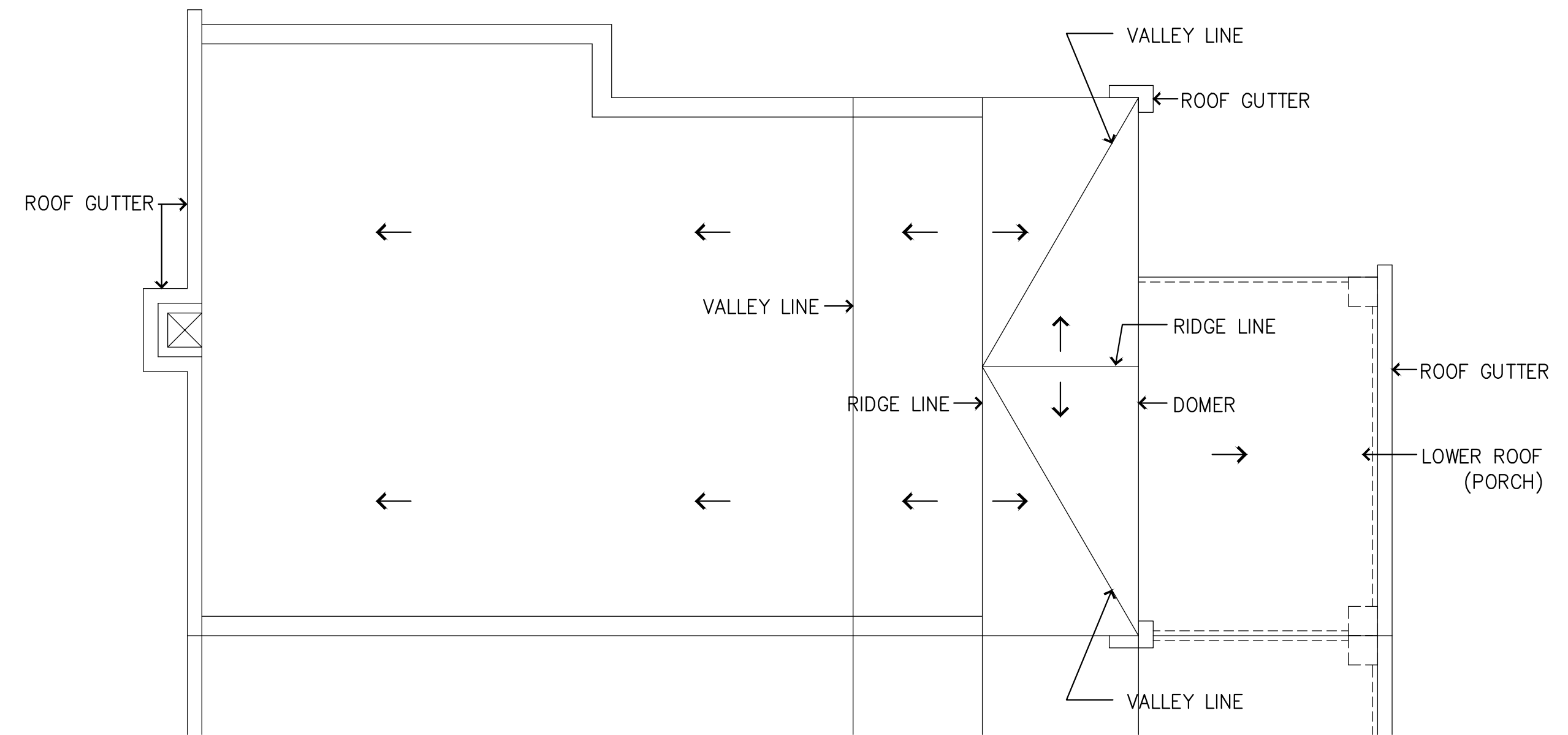
EXISTING PLAN
BASEMENT AND GARDEN
LEVEL

Scale 1/4"=1'-0"
Date
Drawn By EA
Checked By

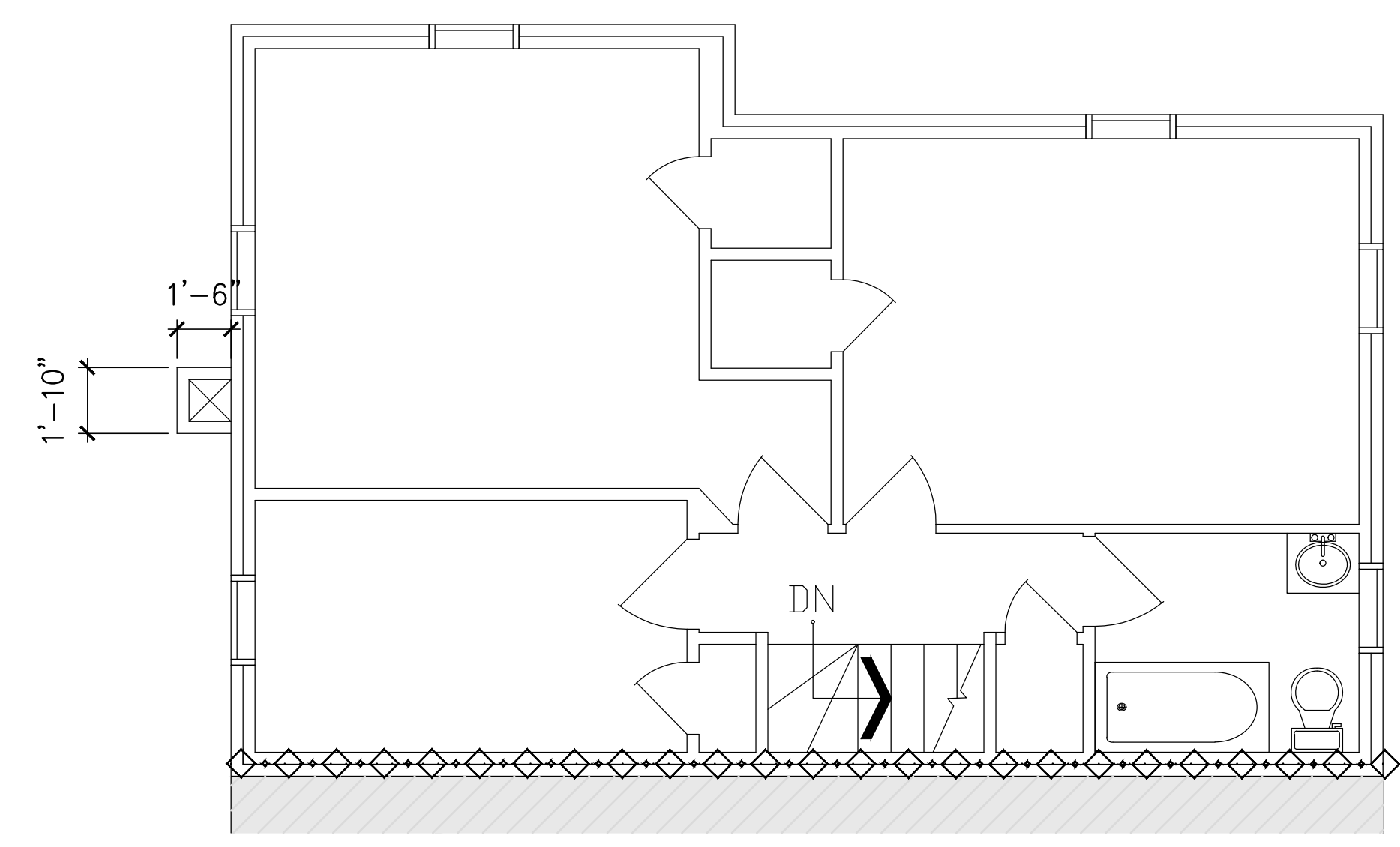
Drawing Number A0.1

No.	Description	Date
	PERMIT SET	10/04/17

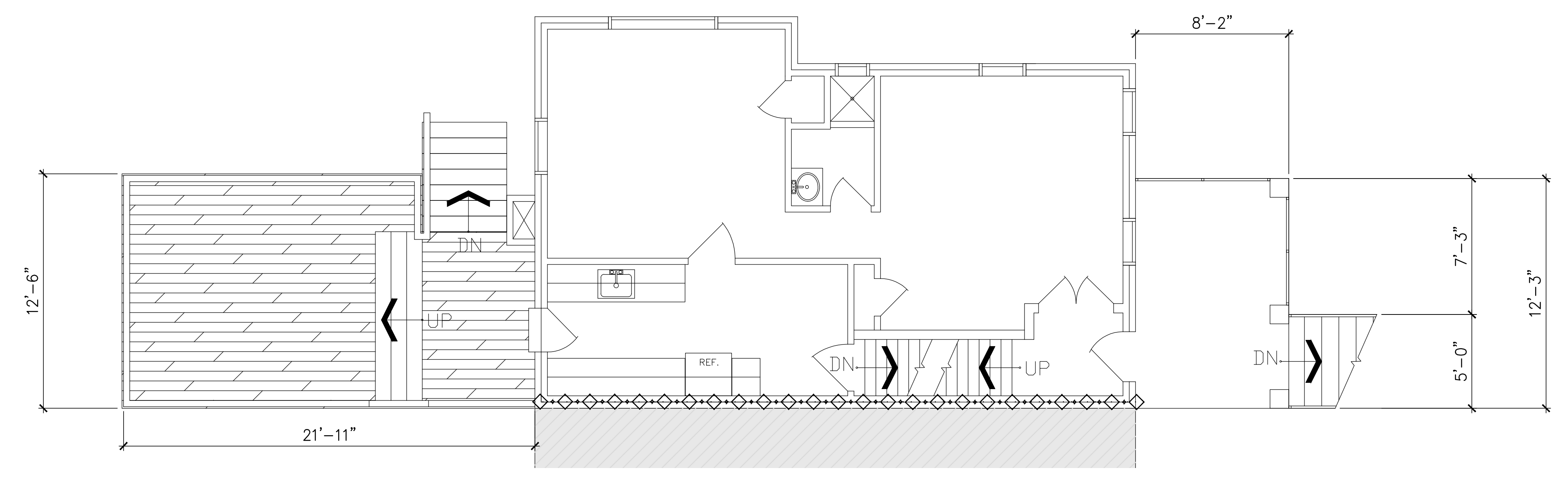
EXISTING PLAN
FIRST, SECOND, AND
ROOF LEVEL



3 EXISTING PLAN - ROOF LEVEL
SCALE: 1/4"=1'-0"



2 EXISTING PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 EXISTING PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

No.	Description	Date
	PERMIT SET	10/04/17

DEMOLITION PLAN
BASEMENT AND GARDEN
LEVEL

TYPICAL DEMOLITION NOTES

COMPONENTS SHOWN AS "DASHED LINES" ON THIS DRAWING INDICATE PORTIONS OF EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.

FOR ALL ITEMS SCHEDULED FOR DEMOLITION, COORDINATE WITH OWNER'S REP. REGARDING WHICH ITEMS ARE TO BE PROTECTED SALVAGED, AND/OR DISCARDED.

SCHEDULING & SEQUENCING OF THE WORK:
PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL MEET WITH THE OWNER'S REP. & A REPRESENTATIVE OF THE "END USER" TO DISCUSS & FORMULATE A SCHEDULING & SEQUENCING OF THE WORK PLAN IN AN EFFORT TO MINIMIZE THE DISRUPTION OF ONGOING SERVICES & ACTIVITIES WITHIN THE AREAS OF THE WORK. BEFORE COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF SCHEDULING & SEQUENCING INDICATING TARGET DATES FOR CERTAIN PHASES ON THE WORK & ASSOCIATED SELECTIVE DEMOLITION PROVIDE COPIES TO OWNERS REP., END USER & ARCHITECT.

ELECTRICAL COMPONENTS: COORDINATE REMOVAL OF ELECTRICAL SYSTEMS AND COMPONENTS WITH ELECTRICAL DRAWINGS.

MECHANICAL COMPONENTS: COORDINATE REMOVAL OF MECHANICAL SYSTEMS AND COMPONENTS WITH MECHANICAL DRAWINGS.

PLUMBING COMPONENTS: COORDINATE REMOVAL OF PLUMBING SYSTEMS AND COMPONENTS WITH PLUMBING DRAWINGS.

G.C. SHALL BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAR OF DEBRIS AND MAINTAINING FIRE EGRESS PATHS.

G.C. SHALL REPAIR ANY DAMAGE TO ADJACENT AND SURROUNDING FLOORS, WALLS, DOORS AND CEILINGS NOT AFFECTED BY DEMOLITION AND REINSTALLATION ACTIVITIES. SEE SPECIFICATIONS RELATING TO PROTECTION OF EXISTING WORK.

G.C. SHALL COORDINATE CLEANING REQUIREMENTS AT THE END OF EACH SHIFT AND AT THE END OF CONSTRUCTION WORK.

G.C. WILL HAVE 5 WORKING DAYS (AT THE END OF THE DEMOLITION PHASE) TO NOTIFY THE ARCHITECT IN WRITING OF ANY EXISTING CONDITIONS OR DISCREPANCIES FROM DESIGN DRAWINGS THAT WILL IMPACT THE WORK.

DEMO PLAN - KEY NOTES

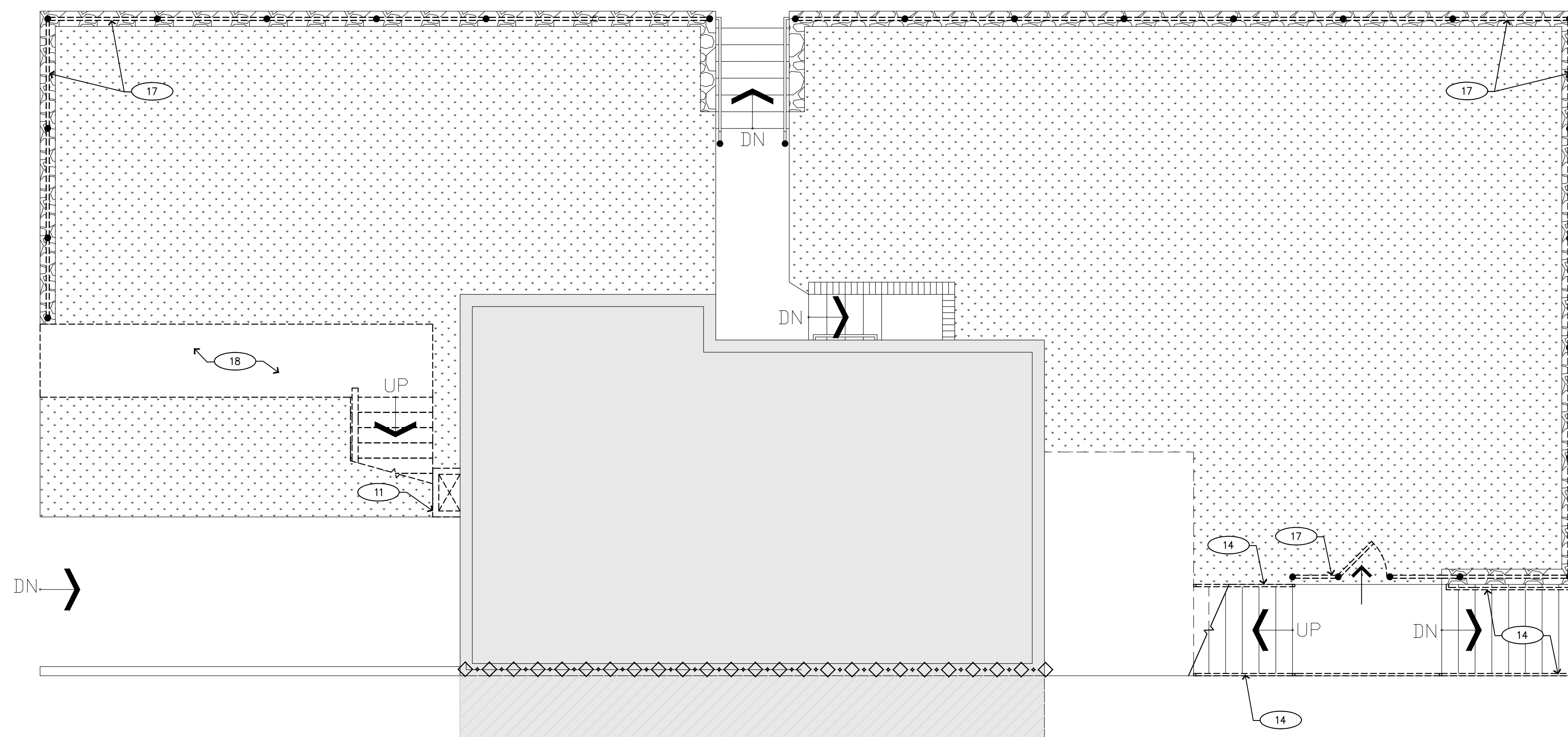
D&R DEMO. AND REMOVE – DEMOLISH ITEM IDENTIFIED & REMOVE

R&R REMOVE AND REINSTALL – REMOVE ITEM IDENTIFIED, STORE, PROTECT AND REINSTALL

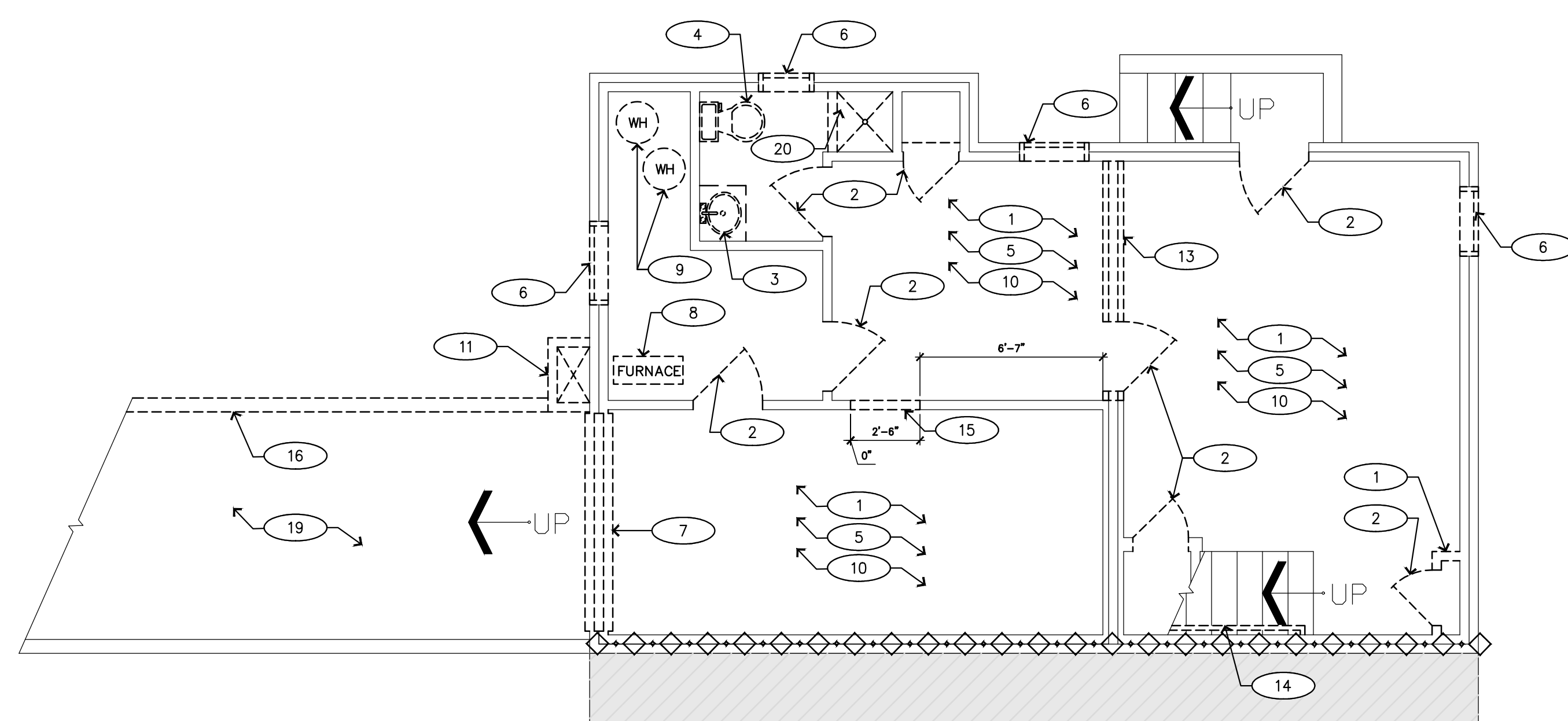
R&S REMOVE AND SALVAGE – REMOVE ITEM IDENTIFIED, STORE AT A LOCATION DIRECTED BY THE OWNER.

P&I PROVIDE AND INSTALL.

1. D&R GYPSUM WALL
2. D&R DOOR AND HARDWARE
3. D&R KITCHEN CABINETS, SINK, AND COUNTER TOP
4. D&R SINK AND BASE
5. D&R TOILET
6. D&R BATH TUB
7. D&R FLOORING (PREP FOR NEW FLOOR)
8. R&R EQUIPMENT (STOVE, REF., W/D, & ETC.)
9. D&R WINDOW
10. D&R GYPSUM CEILING WHERE REQUIRED
11. D&R EXISTING BRICK CHIMNEY
12. D&R RAILING
13. D&R HAND RAIL
14. D&R OUTDOOR DECK AND SUPPORT DOWN TO THE GRADE
15. D&R ROOF GUTTERS
16. D&R LOWER ROOF ABOVE THE FRONT PORCH
17. D&R PORTION OF THE BRICK WALL (TO THE SLAB) AND ALL WALL ASSEMBLIES
18. D&R ROOF CURB AND MEMBRANE
19. D&R PORTION OF THE BRICK WALL AND PREP FOR NEW WINDOW. 12 INCH ROUGH OPENING. PROVIDE STRUCTURAL SUPPORT FOR THE BRICK



2 DEMOLITION PLAN - GARDEN LEVEL
SCALE: 1/4"=1'-0"



1 DEMOLITION PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

No.	Description	Date
	PERMIT SET	10/04/17

DEMOLITION PLAN FIRST, SECOND, AND ROOF LEVEL

TYPICAL DEMOLITION NOTES

COMPONENTS SHOWN AS "DASHED LINES" ON THIS DRAWING INDICATE PORTIONS OF EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.

FOR ALL ITEMS SCHEDULED FOR DEMOLITION, COORDINATE WITH OWNER'S REP. REGARDING WHICH ITEMS ARE TO BE PROTECTED, SALVAGED, AND/OR DISCARDED.

SCHEDULING & SEQUENCING OF THE WORK:
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ELECTRICAL COMPONENTS: COORDINATE REMOVAL OF ELECTRICAL SYSTEMS AND COMPONENTS WITH ELECTRICAL DRAWINGS.

MECHANICAL COMPONENTS: COORDINATE REMOVAL OF MECHANICAL SYSTEMS AND COMPONENTS WITH MECHANICAL DRAWINGS.

PLUMBING COMPONENTS: COORDINATE REMOVAL OF PLUMBING SYSTEMS AND COMPONENTS WITH PLUMBING DRAWINGS.

G.C. SHALL BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAR OF DEBRIS AND MAINTAINING FIRE EGRESS PATHS.

G.C. SHALL REPAIR ANY DAMAGE TO ADJACENT AND SURROUNDING FLOORS, WALLS, DOORS AND CEILINGS NOT AFFECTED BY DEMOLITION AND REINSTALLATION ACTIVITIES. SEE SPECIFICATIONS RELATING TO PROTECTION OF EXISTING WORK.

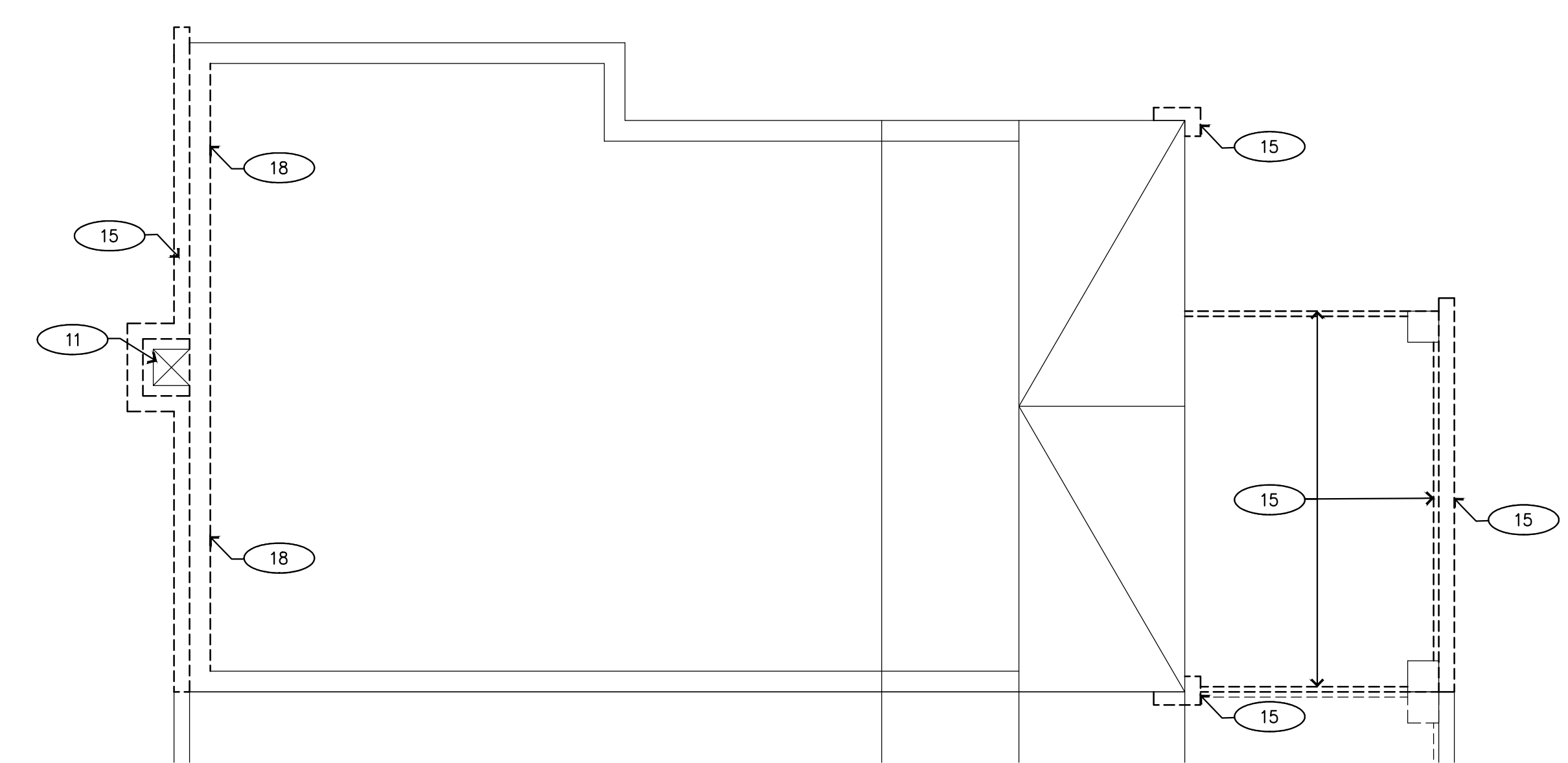
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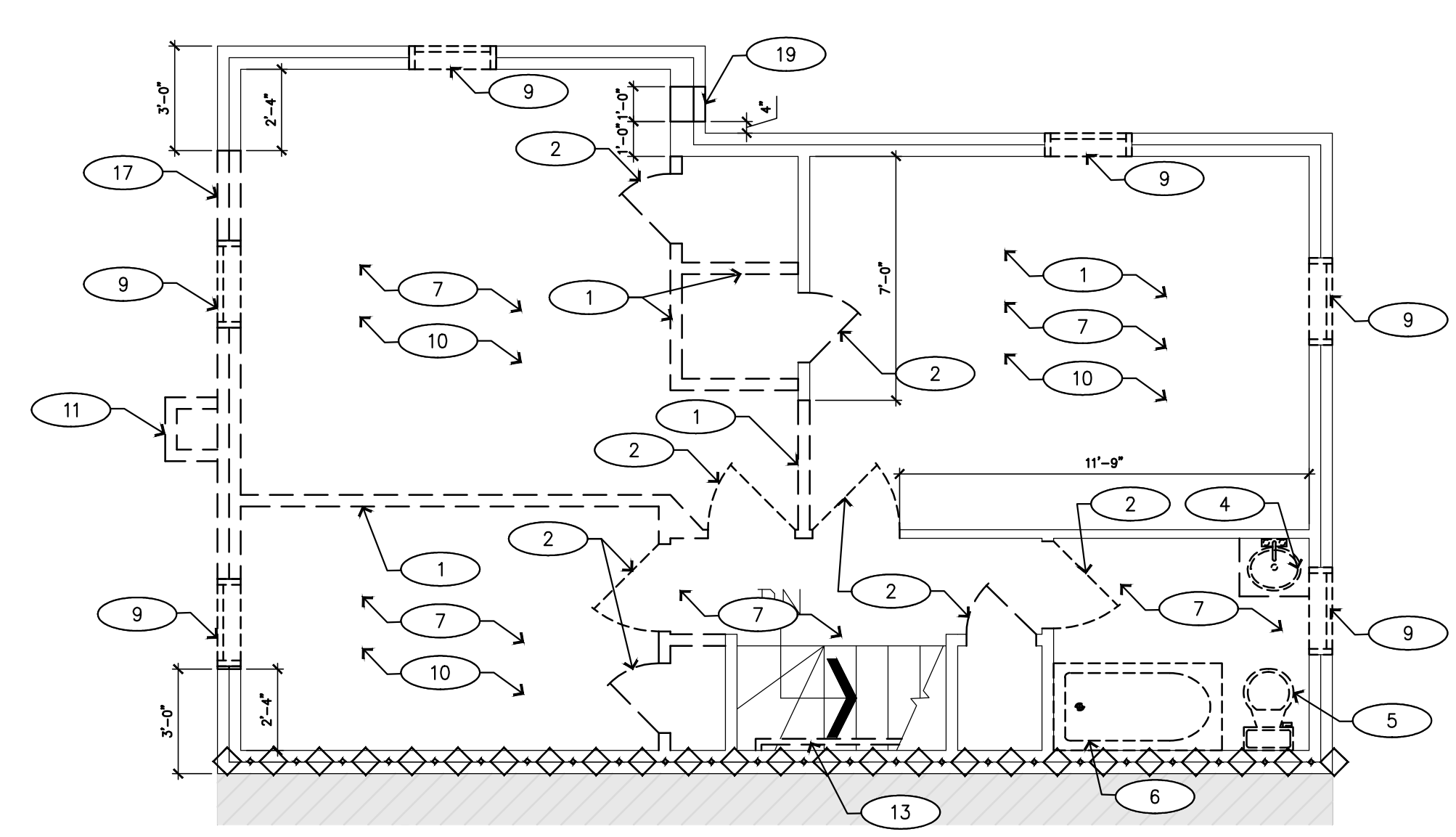
DEMO PLAN - KEY NOTES

- D&R DEMO. AND REMOVE - DEMOLISH ITEM IDENTIFIED & REMOVE
- R&R REMOVE AND REINSTALL - REMOVE ITEM IDENTIFIED, STORE, PROTECT AND REINSTALL
- R&S REMOVE AND SALVAGE - REMOVE ITEM IDENTIFIED, STORE AT A LOCATION DIRECTED BY THE OWNER.
- P&I PROVIDE AND INSTALL.

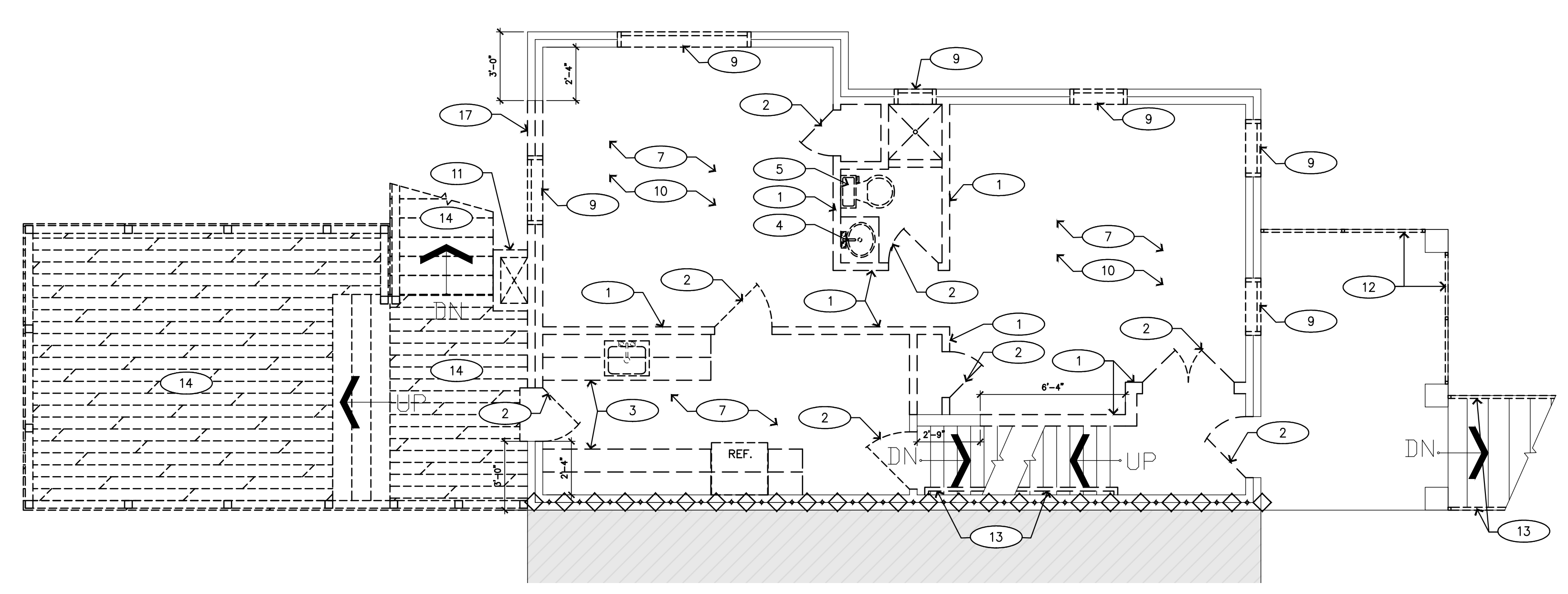
- D&R GYPSUM WALL
- D&R DOOR AND HARDWARE
- D&R KITCHEN CABINETS, SINK, AND COUNTER TOP
- D&R SINK AND BASE
- D&R TOILET
- D&R BATH TUB
- D&R FLOORING (PREP FOR NEW FLOOR)
- R&R EQUIPMENT (STOVE, REF., W/D, & ETC.)
- D&R WINDOW
- D&R GYPSUM CEILING WHERE REQUIRED
- D&R EXISTING BRICK CHIMNEY
- D&R RAILING
- D&R HAND RAIL
- D&R OUTDOOR DECK AND SUPPORT DOWN TO THE GRADE
- D&R ROOF GUTTERS
- D&R LOWER ROOF ABOVE THE FRONT PORCH
- D&R PORTION OF THE BRICK WALL (TO THE SLAB) AND ALL WALL ASSEMBLIES
- D&R ROOF CURB AND MEMBRANE
- D&R PORTION OF THE BRICK WALL AND PREP FOR NEW WINDOW. 12 INCH ROUGH OPENING. PROVIDE STRUCTURAL SUPPORT FOR THE BRICK



3 DEMOLITION PLAN - ROOF LEVEL
SCALE: 1/4"=1'-0"



2 DEMOLITION PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 DEMOLITION PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

No.	Description	Date
	PERMIT SET	10/04/17
Δ	PUBLIC SPACE COMMENTS	02/23/18

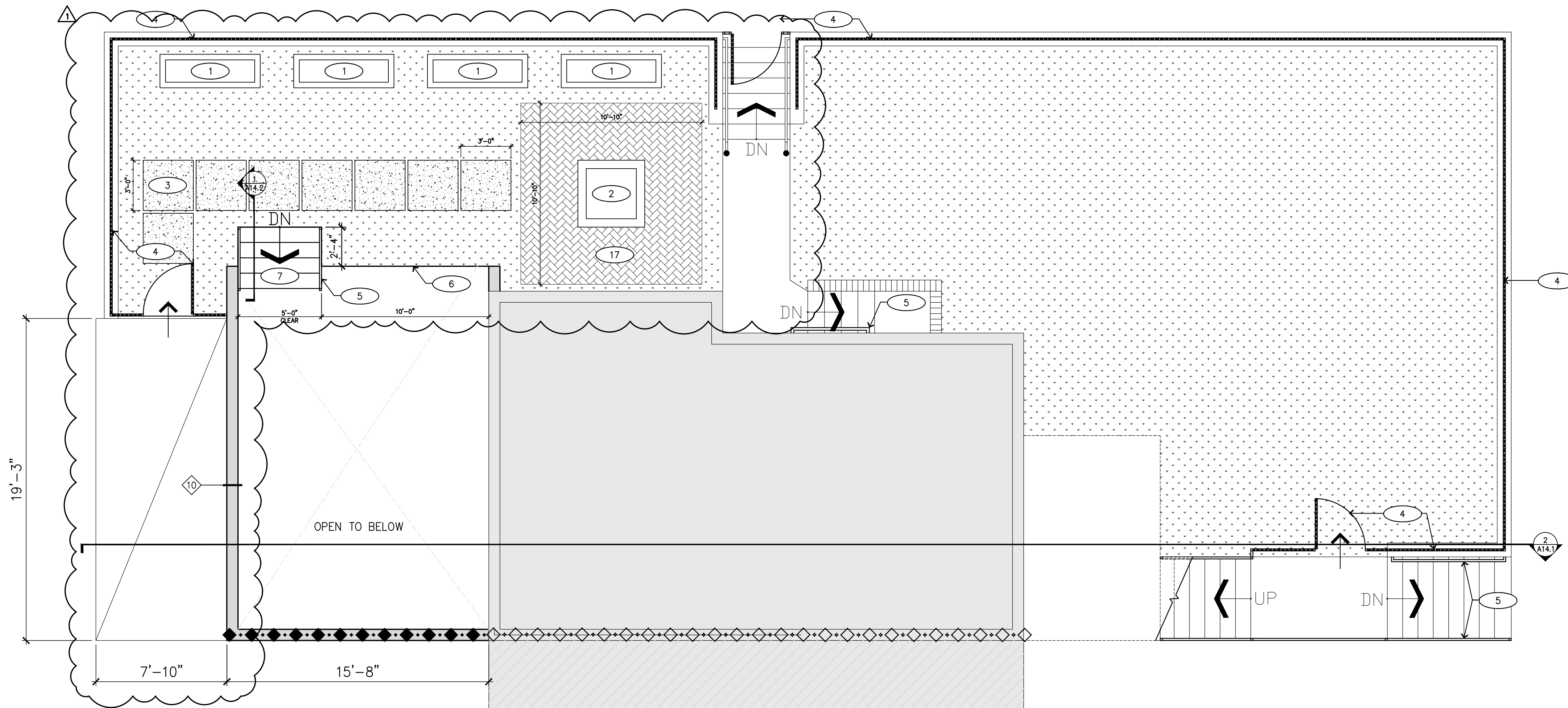
NEW WORK PLAN BASEMENT AND GARDEN LEVEL

GENERAL FLOOR PLAN NOTES

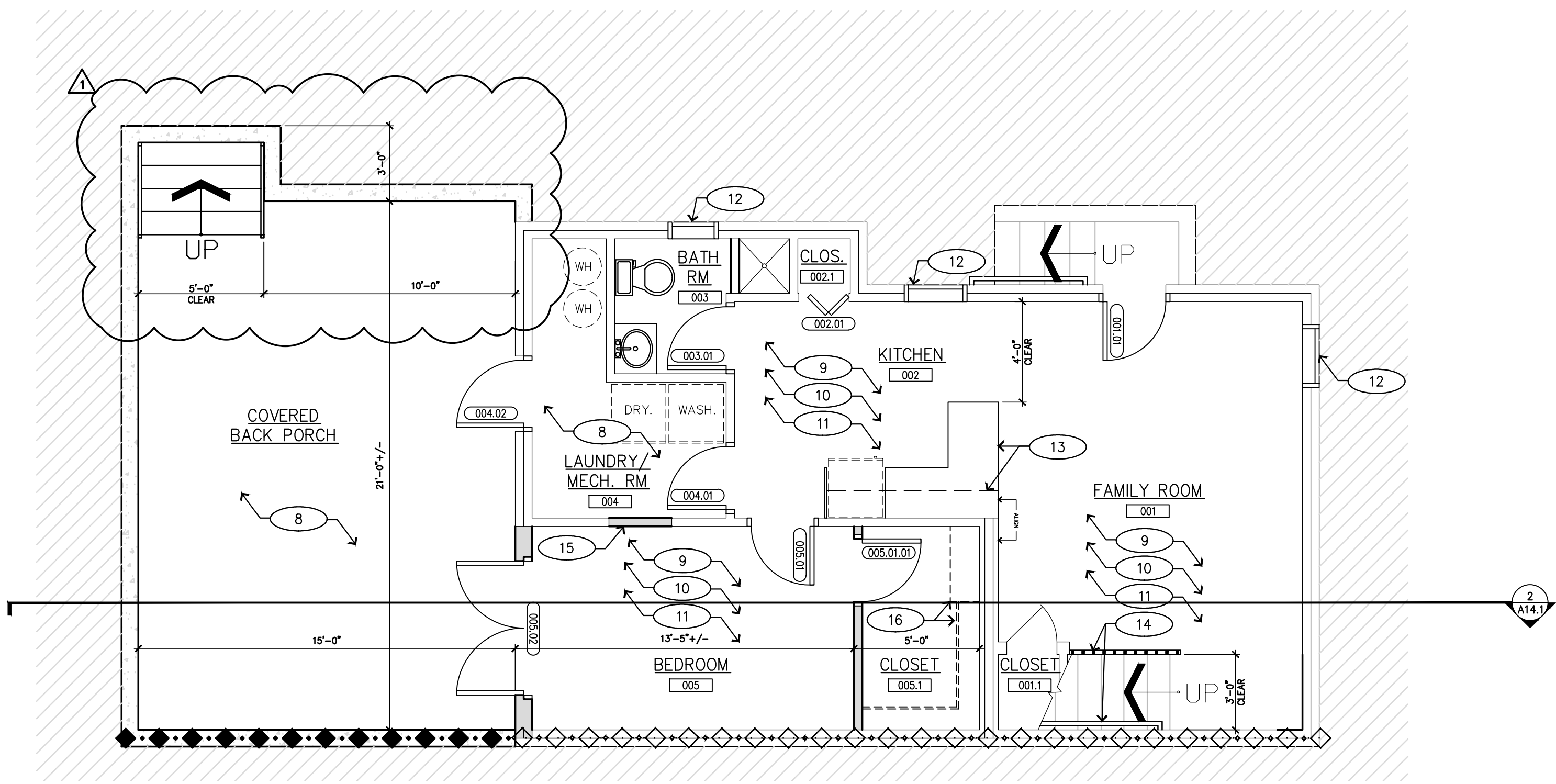
1. DOOR LOCATIONS ARE NOT DIMENSIONED IF THEY ARE LOCATED 4" FROM ADJACENT WALL OR IF THEY ARE CENTERED ON THE ROOM INTO WHICH THEY OPEN.
2. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED DUE TO CONSTRUCTION ACTIVITIES - RETURN TO ORIGINAL CONDITION.
3. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL NEW WALLS "TYPE 1" AND ON SHEET A14.1, U.N.O.
5. GPR FLOOR SLAB PRIOR TO ANY NEW SLAB PENETRATIONS.
6. REMOVE AND REINSTALL CEILING IN SPACES BELOW AS REQUIRED FOR ALL NEW WORK.
7. GC TO PROVIDE CHALK LINE FOR STUD PARTITION LAYOUT. REVIEW BY ARCHITECT, PRIOR TO INSTALLATION OF STUDS.

NEW WORK PLAN - KEY NOTES

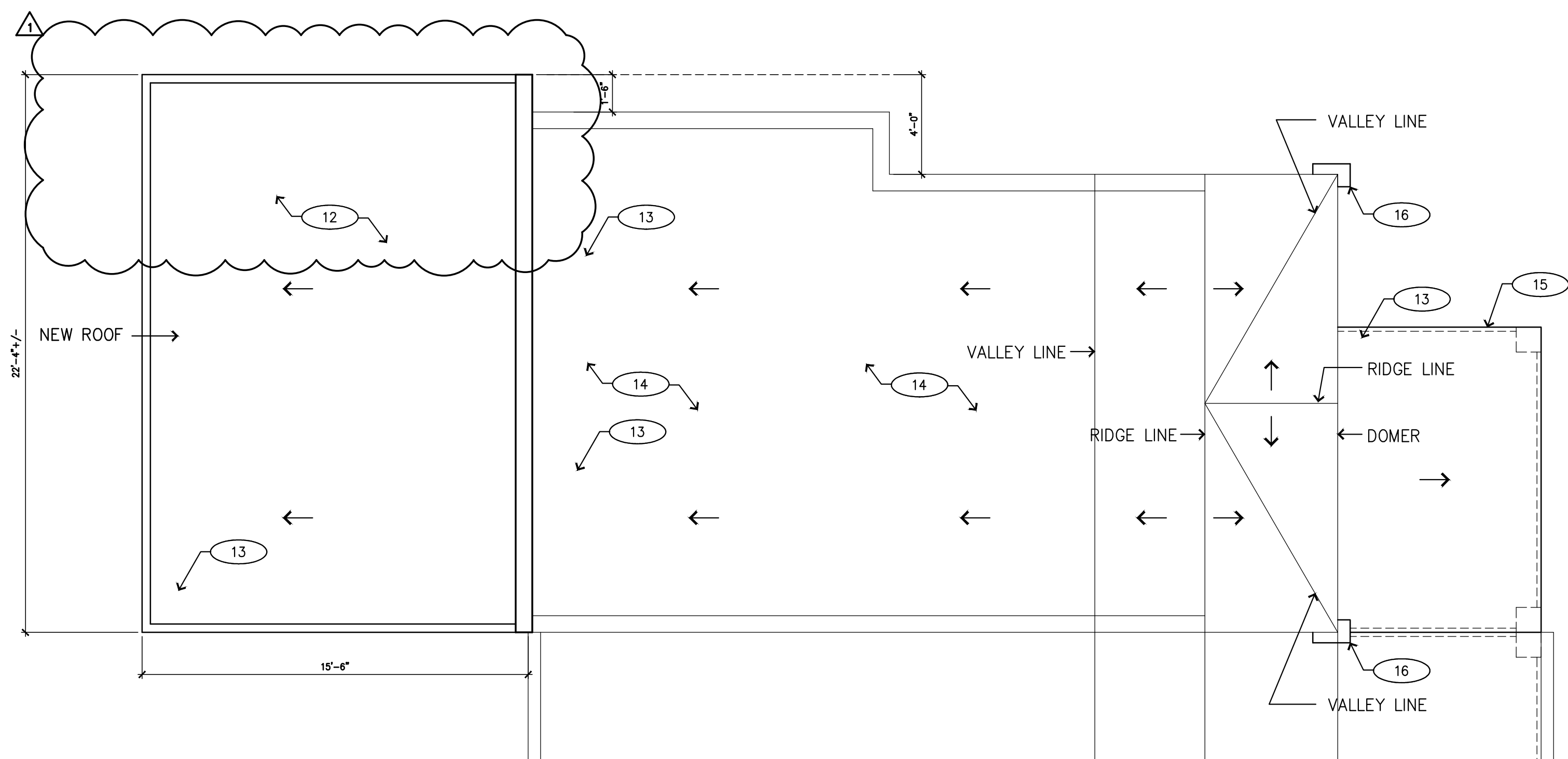
1. FURNISH AND INSTALL NEW PLANTERS. SEE ELEVATION A13.6 FOR MORE INFORMATION.
2. INSTALL NEW FIRE PIT. OWNER TO PROVIDE FIRE PIT
3. FURNISH AND INSTALL CONCRETE WALKWAY
4. FURNISH AND INSTALL NEW CABLE RAILING/FENCING SYSTEM AND DOOR (ULTRA-TECH OR SIMILAR IN BLACK)
5. FURNISH AND INSTALL NEW EXTERIOR METAL HAND RAIL (IN BLACK)
6. INSTALL NEW CONCRETE PERIMETER RETAINING WALL.
7. INSTALL NEW CONCRETE STAIRS. (4) TOTAL.
8. INSTALL NEW CONCRETE FLOOR (SOG). TROWEL FINISH.
9. FURNISH AND INSTALL NEW FLOORING.
10. REPAIR, PATCH, AND PAINT CEILING.
11. REPAIR, PATCH, AND PAINT EXISTING GYPSUM BOARD.
12. FURNISH AND INSTALL NEW ALUMINUM WINDOWS.
13. FURNISH AND INSTALL NEW KITCHEN CABINETS.
14. FURNISH AND INSTALL NEW INTERIOR METAL STAIR RAILING HANDRAIL (IN BLACK).
15. FILL IN OPENING IN THE EXISTING WALL. SEE A14.1 FOR WALL TYPES.
16. FURNISH AND INSTALL HANGER ROD.
17. FURNISH AND INSTALL BRICK PAVERS.



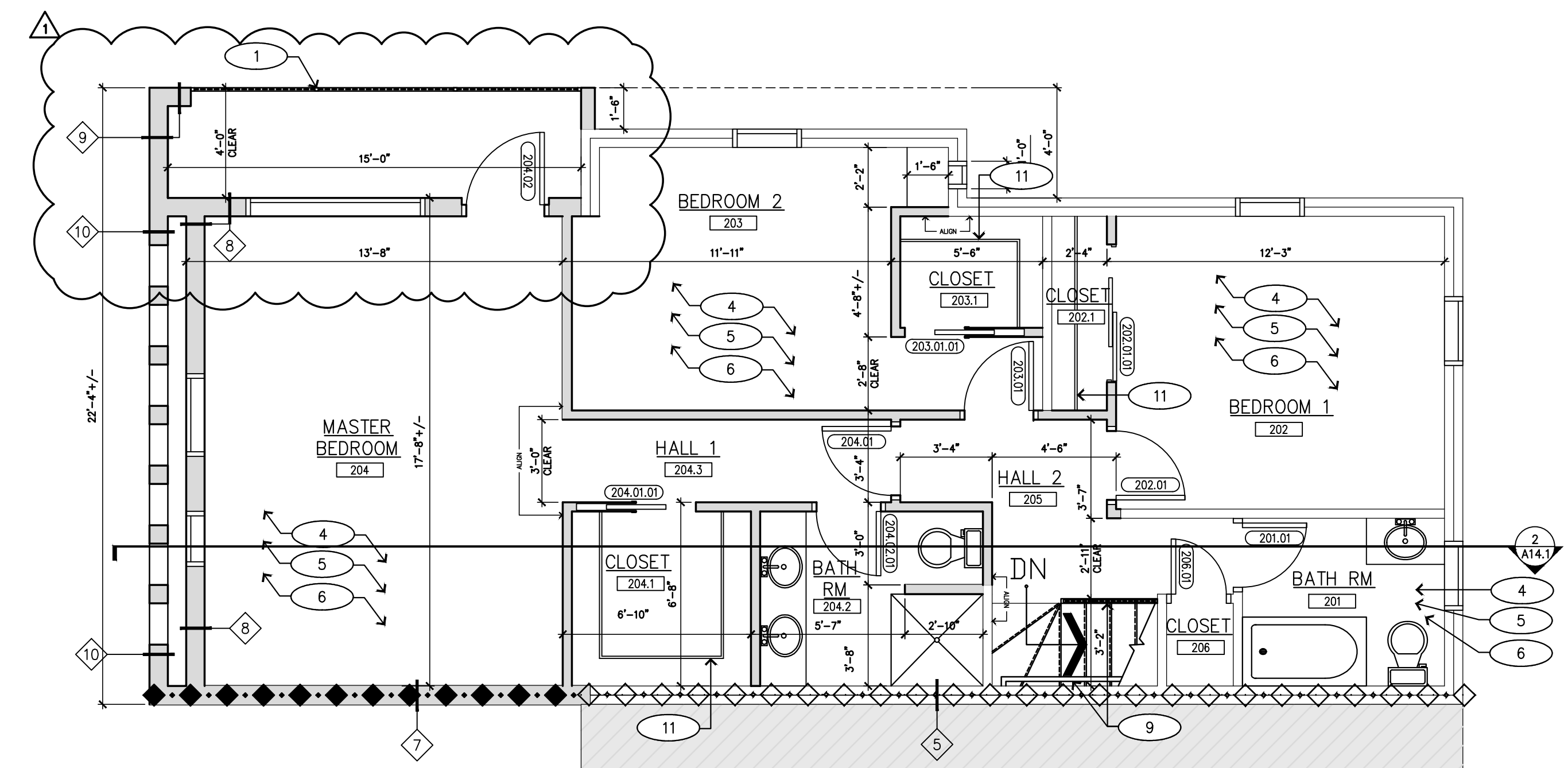
2 NEW WORK PLAN - GARDEN LEVEL
 SCALE: 1/4"=1'-0"



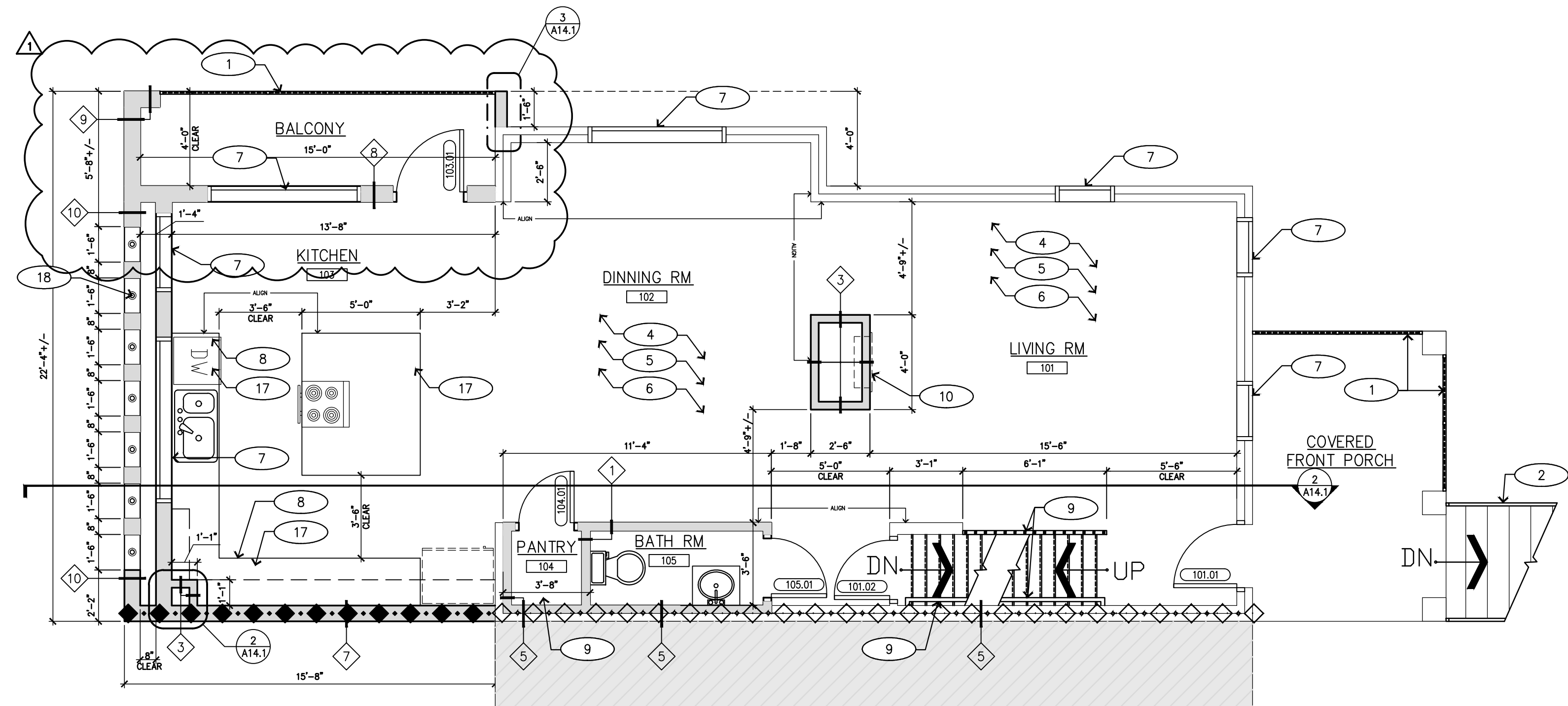
1 NEW WORK PLAN - BASEMENT LEVEL
 SCALE: 1/4"=1'-0"



3 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



2 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 NEW WORK PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

- NEW WORK PLAN - KEY NOTES**
- FURNISH AND INSTALL NEW OUTDOOR CABLE RAILING/FENCING SYSTEM AND DOOR (ULTRA-TECH OR SIMILAR IN BLACK)
 - FURNISH AND INSTALL NEW EXTERIOR HAND RAIL (IN BLACK).
 - DELETED---
 - FURNISH AND INSTALL NEW FLOORING.
 - REPAIR, PATCH, AND PAINT CEILING.
 - REPAIR, PATCH, AND PAINT EXISTING GYPSUM BOARD.
 - FURNISH AND INSTALL NEW WINDOWS.
 - FURNISH AND INSTALL NEW KITCHEN CABINETS.
 - FURNISH AND INSTALL NEW INTERIOR HANDRAIL AND RAILING SYSTEM (IN BLACK)
 - FURNISH AND INSTALL NEW ELECTRIC FIREPLACE.
 - FURNISH AND INSTALL HANGER ROD.
 - FURNISH AND INSTALL NEW ROOF MEMBRANE.
 - FURNISH AND INSTALL NEW ROOF DRAIN.
 - PATCH AND REPAIR EXISTING ROOF WHERE REQUIRED.
 - FURNISH AND INSTALL NEW STEEL ROOF IN FRONT PORCH.
 - FURNISH AND INSTALL NEW ROOF GUTTERS.
 - FURNISH AND INSTALL NEW GRANIT COUNTER TOP.
 - FURNISH AND INSTALL 4" OUTDOOR LED LIGHTS.
 - PROVIDE ADDITIONAL PLUMBING AND ELECTRIC FEED FOR WASHER AND DRYER.

- GENERAL FLOOR PLAN NOTES**
- DOOR LOCATIONS ARE NOT DIMENSIONED IF THEY ARE LOCATED 4" FROM ADJACENT WALL OR IF THEY ARE CENTERED ON THE ROOM INTO WHICH THEY OPEN.
 - PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED DUE TO CONSTRUCTION ACTIVITIES - RETURN TO ORIGINAL CONDITION.
 - FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - ALL NEW WALLS "TYPE 1" AND ON SHEET A14.1, U.N.O.
 - GPR FLOOR SLAB PRIOR TO ANY NEW SLAB PENETRATIONS.
 - REMOVE AND REINSTALL CEILING IN SPACES BELOW AS REQUIRED FOR ALL NEW WORK.
 - GC TO PROVIDE CHALK LINE FOR STUD PARTITION LAYOUT. REVIEW BY ARCHITECT, PRIOR TO INSTALLATION OF STUDS.

Revisions

No.	Description	Date
	PERMIT SET	10/04/17
	PUBLIC SPACE COMMENTS	02/23/18

Project

Project Number

Drawing Information

NEW WORK PLAN
FIRST, SECOND, AND
ROOF LEVEL

Scale 1/4"=1'-0"
Date
Drawn By EA
Checked By

Revisions

No.	Description	Date
	PERMIT SET	10/04/17
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Project

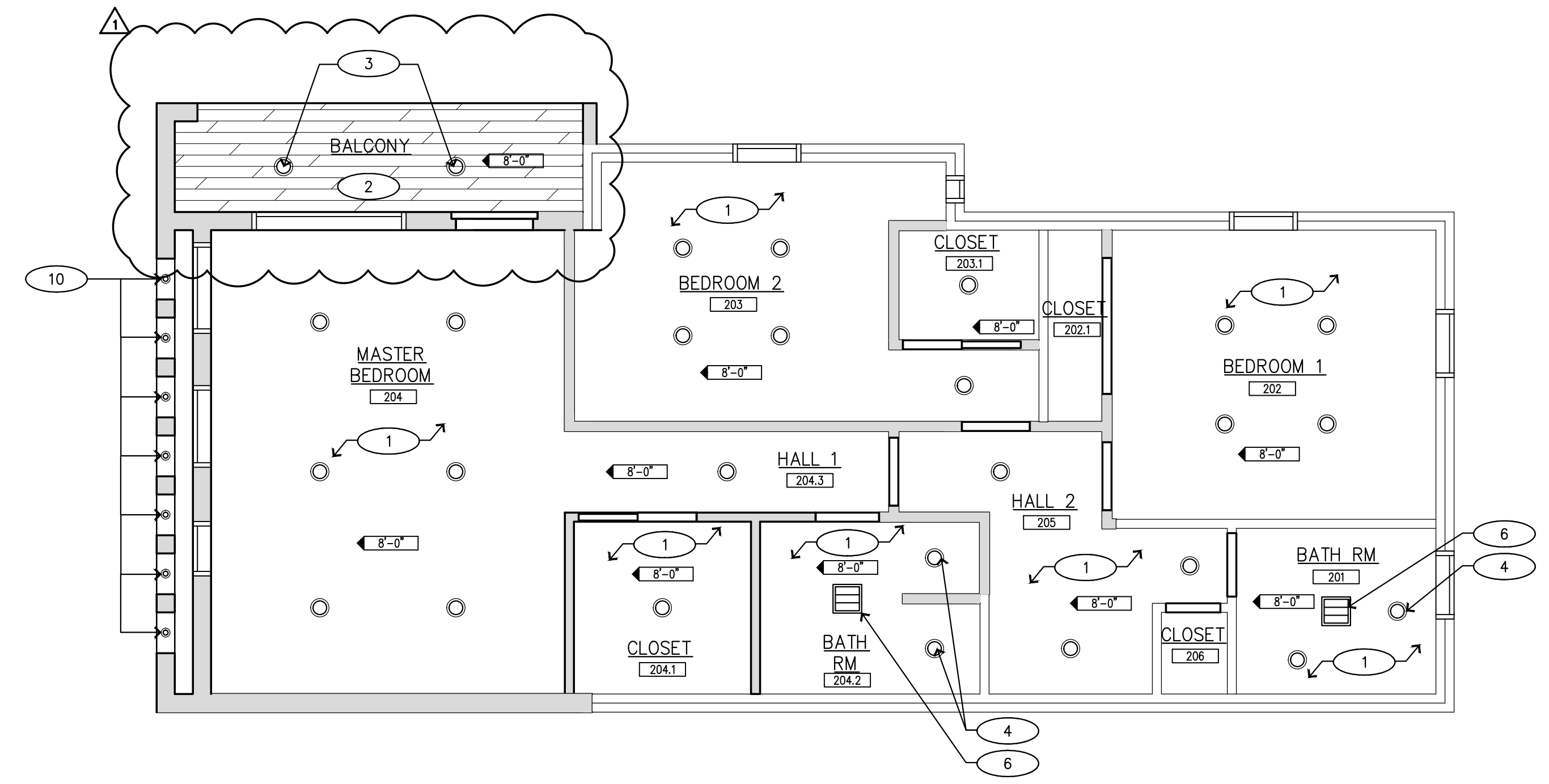
Project Number
Drawing Information

REFLECTED CEILING
PLAN – BASEMENT,
FIRST & SECOND FLOOR

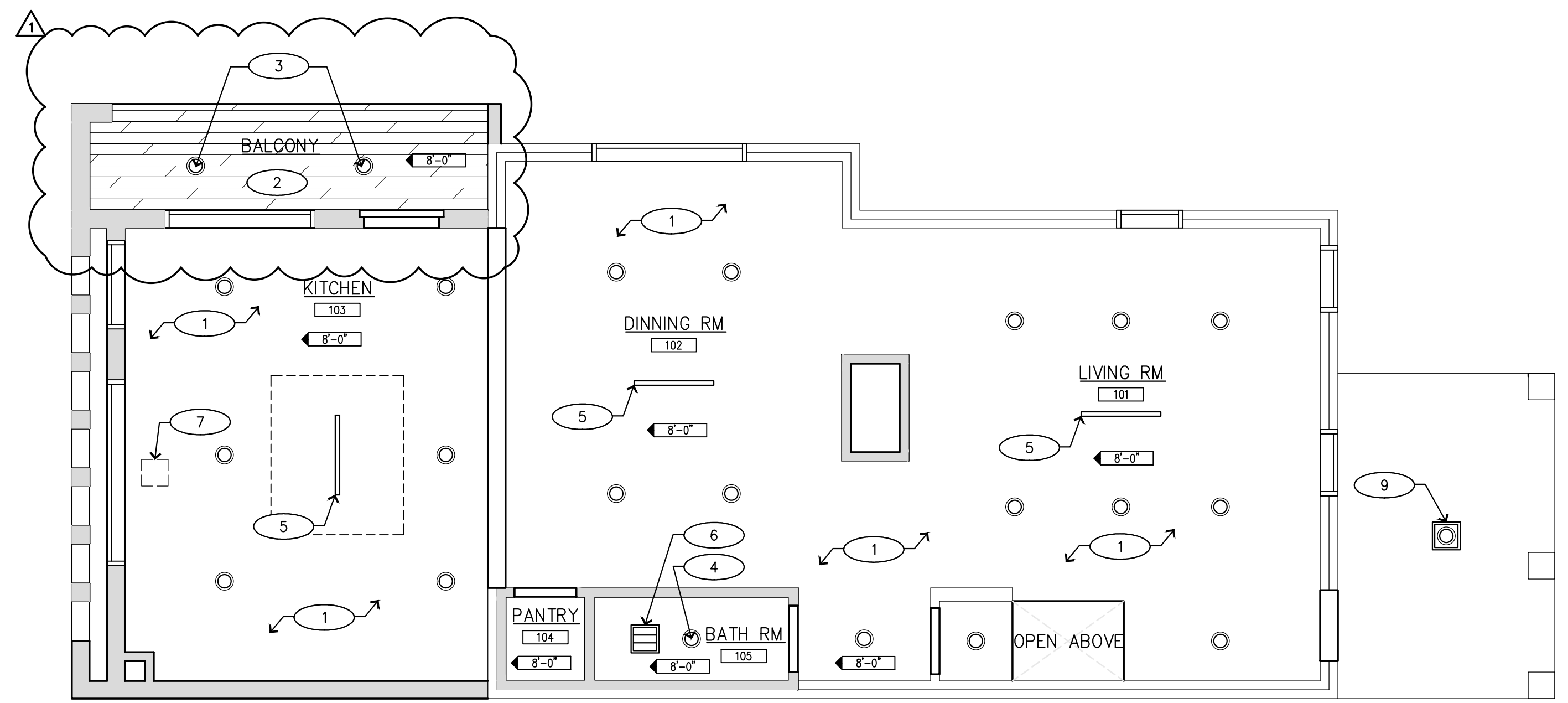
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Date
Drawn By EA
Checked By

Drawing Number

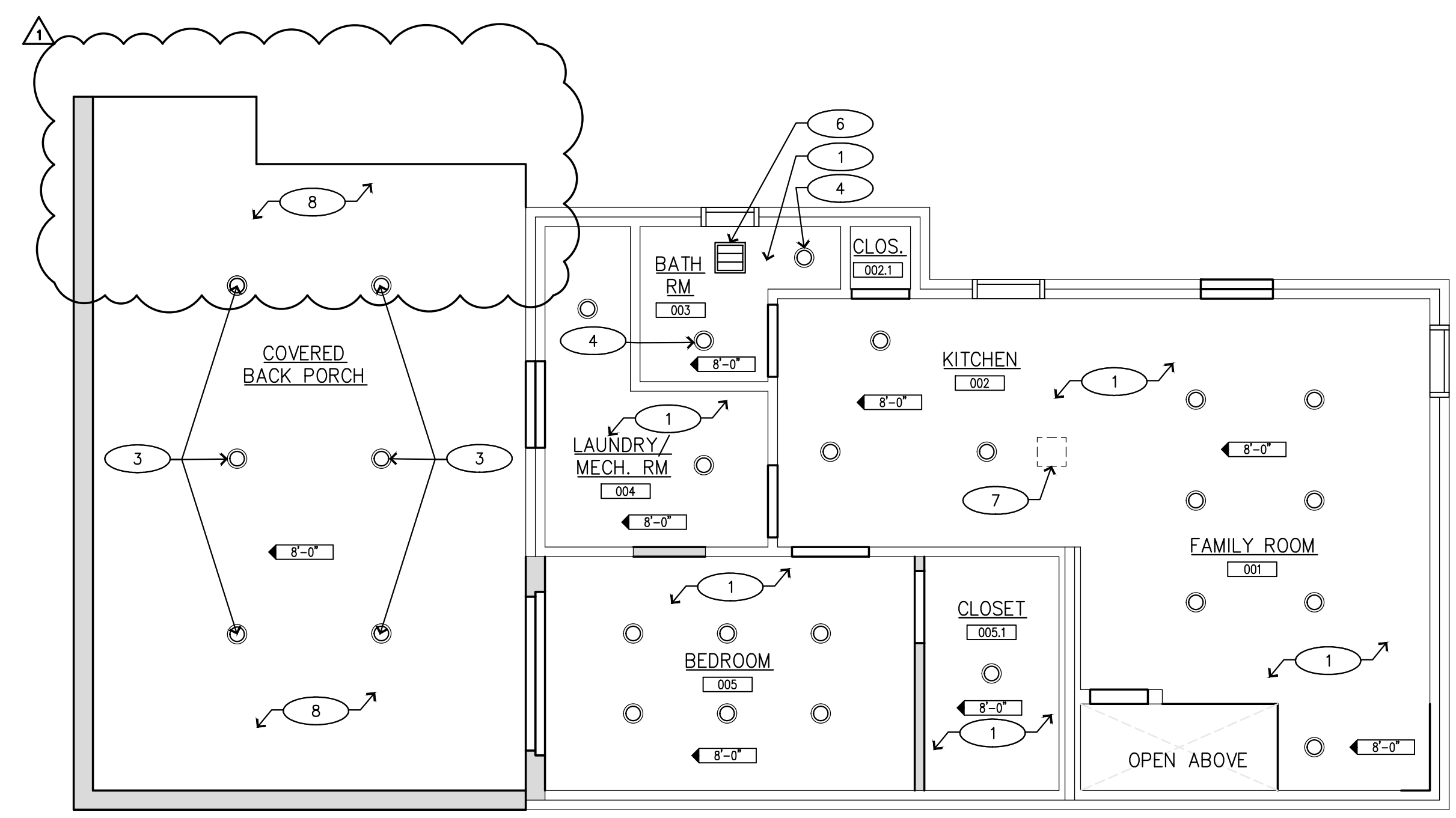
A4.1



3 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



2 NEW WORK PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"



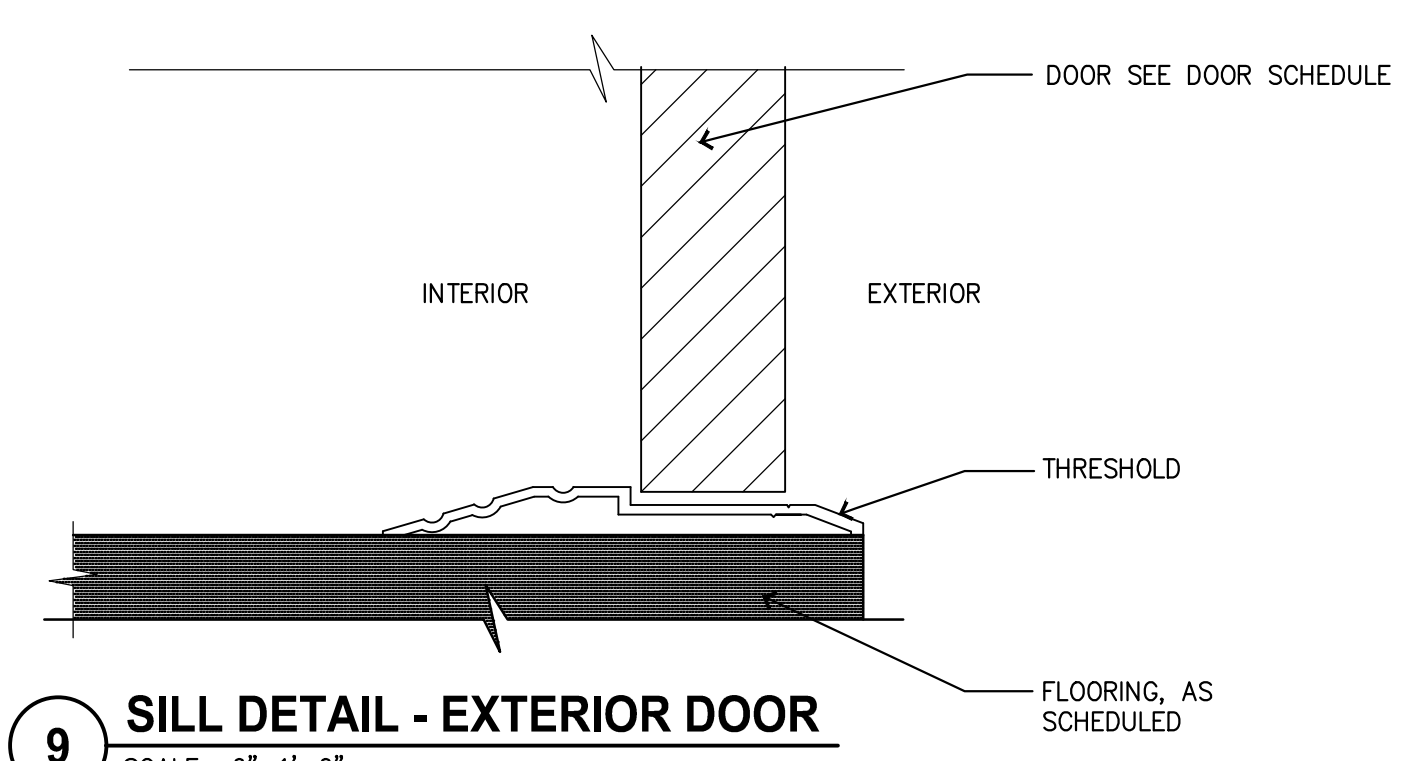
1 NEW WORK PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES

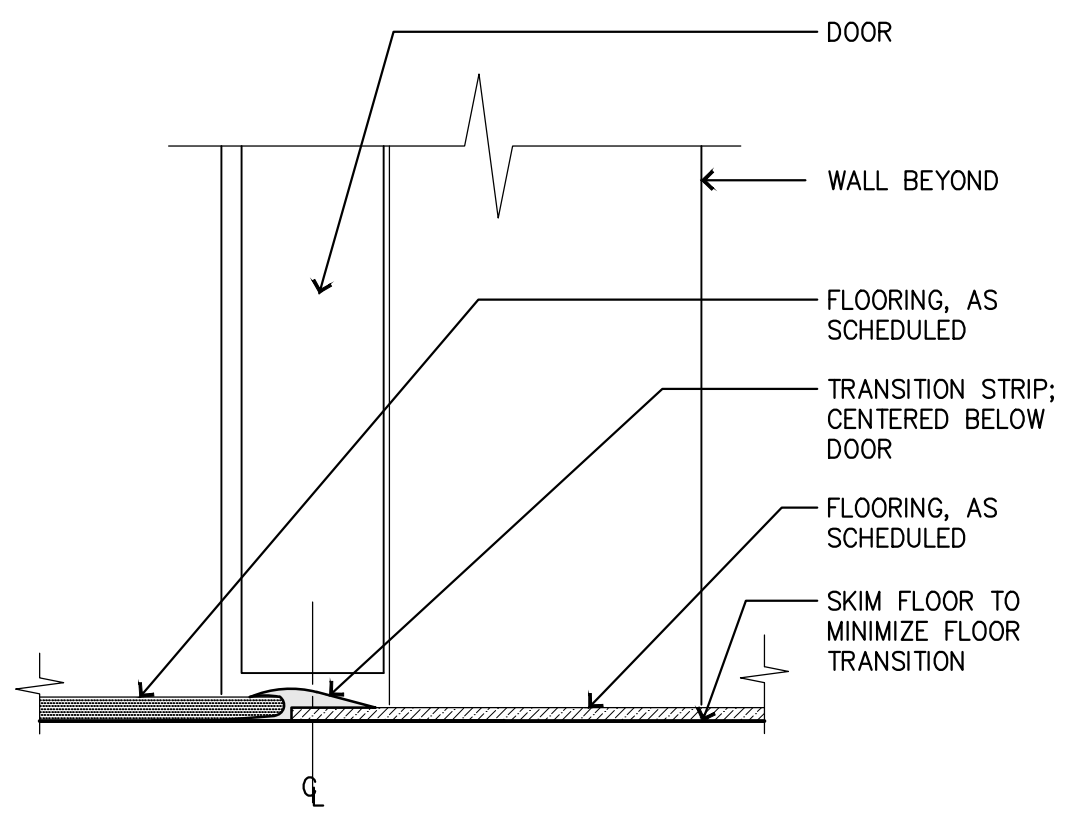
1. ALL CEILINGS ARE GWB U.O.N.
2. ALL LIGHTS ARE 6 INCH LED RECESSED LIGHTS U.O.N.

NEW WORK PLAN - KEY NOTES

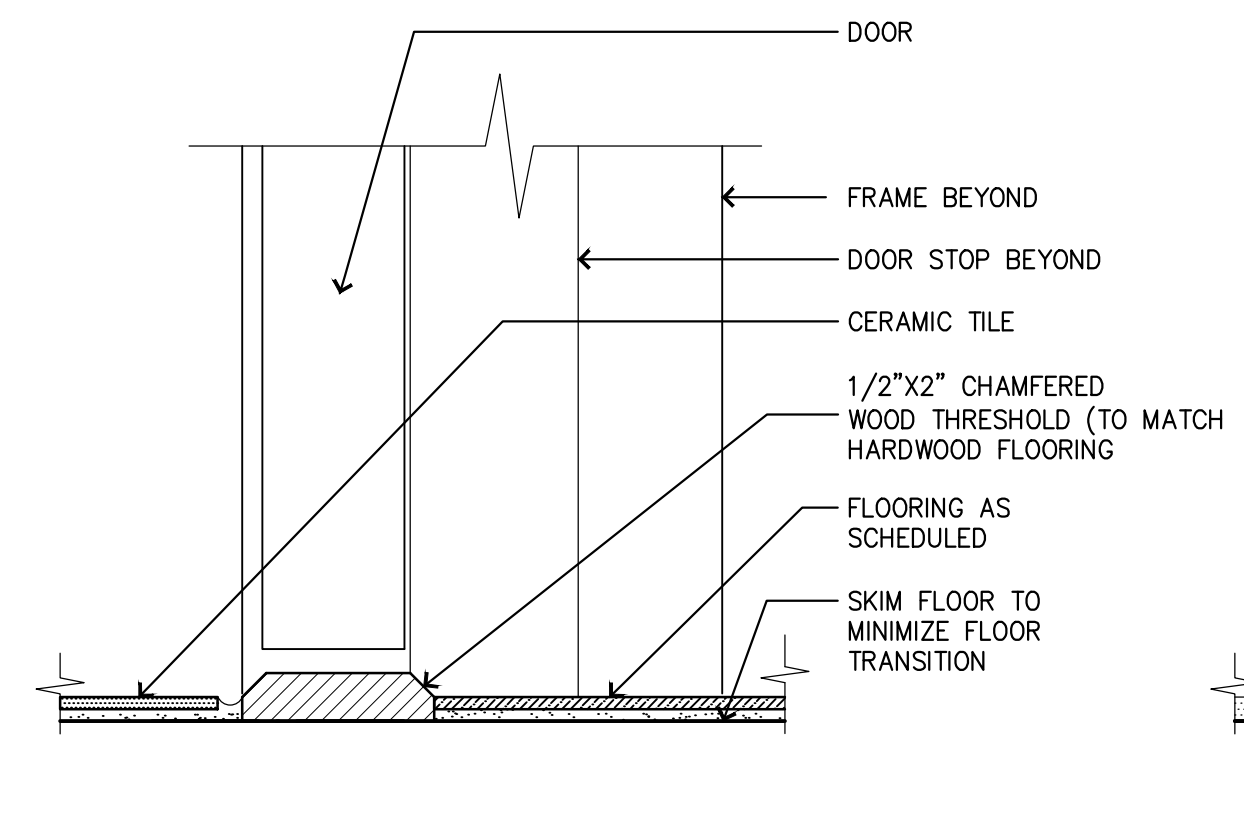
1. PATCH, REPAIR, PAINT, OR REINSTALL (WHERE REQ.) GYPSUM CEILING.
2. INSTALL WOOD FINISH CEILING. MATERIAL AND COLOR TO MATCH WOOD SIDING/PANEL.
3. FURNISH AND INSTALL DAMP RATED LED RECESSED CEILING LIGHT.
4. FURNISH AND INSTALL WET RATED LED RECESSED CEILING LIGHT.
5. FURNISH AND INSTALL LED TRACK LIGHT.
6. FURNISH AND INSTALL BATHROOM FAN.
7. CUT OPENING IN THE CEILING FOR RANGE HOOD. PROVIDE ADDITIONAL SUPPORT AROUND THE OPENING FOR THE HOOD. SEE HOOD CUT SHEET FOR MORE INFORMATION.
8. STUCCO FINISH CEILING. COLOR TO MATCH EXTERIOR STUCCO WALL FINISH (WHITE).
9. FURNISH AND INSTALL DAMP RATED DECORATIVE PATIO LIGHT.
10. FURNISH AND INSTALL 4 INCH WET RATED LED LIGHT.



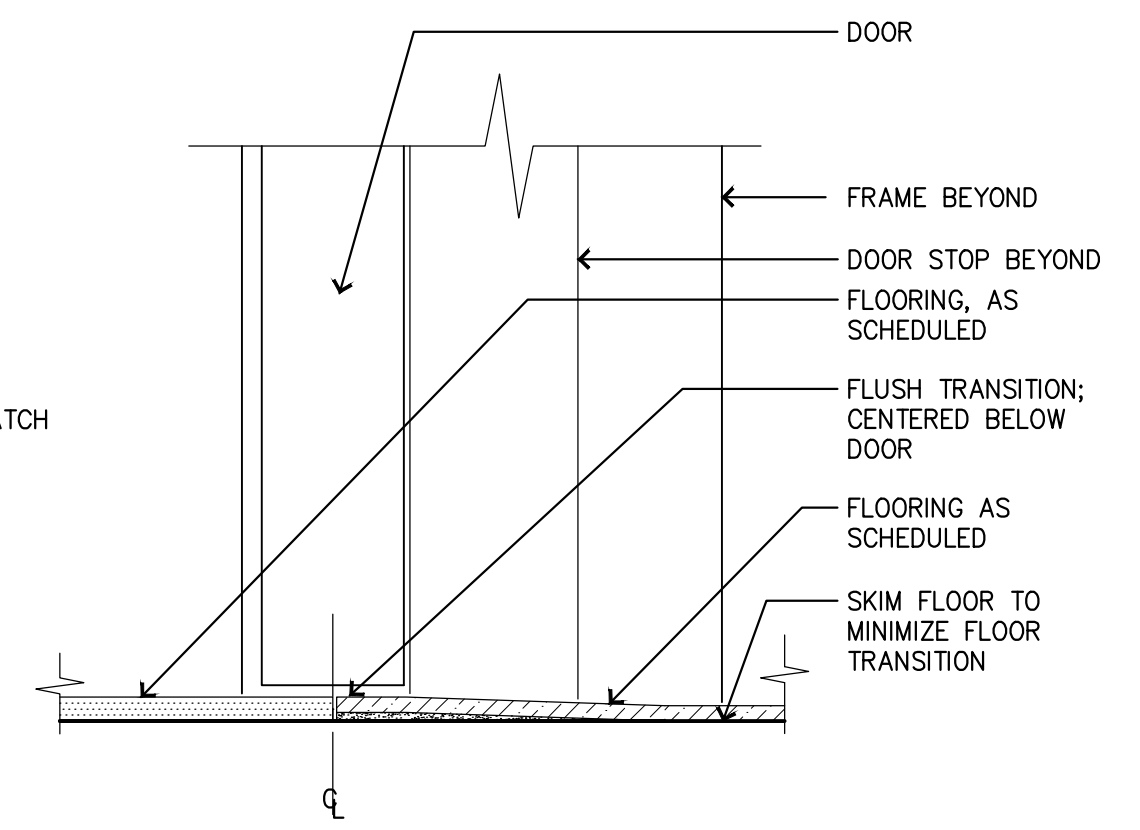
9 SILL DETAIL - EXTERIOR DOOR
SCALE: 6"=1'-0"



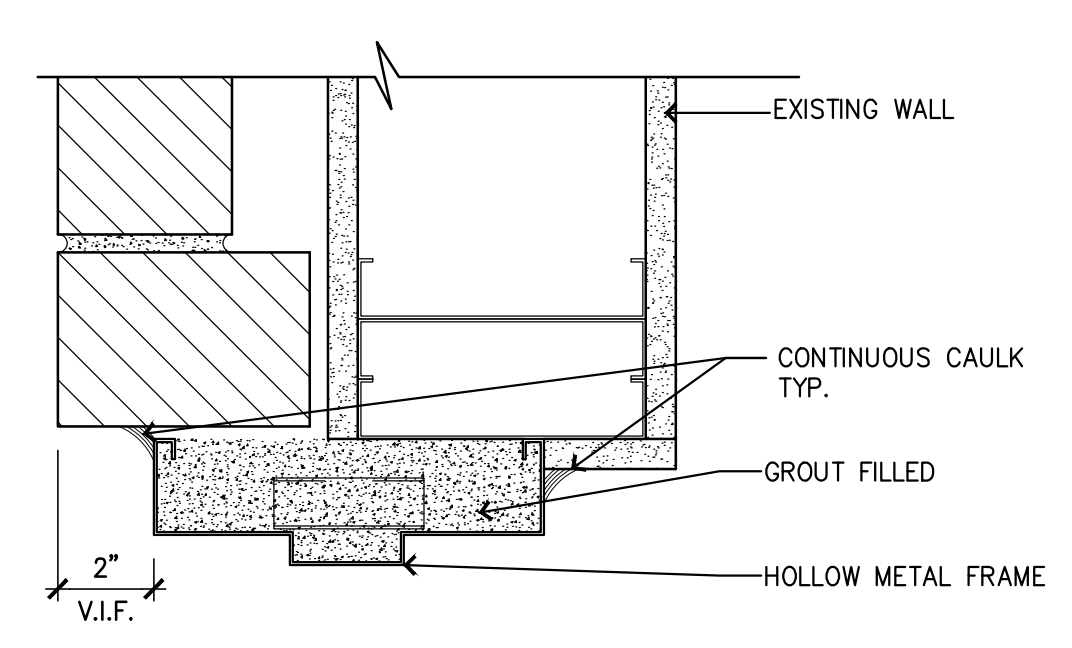
6 THRESHOLD DETAIL - TRANSITION STRIP
SCALE: 6"=1'-0"



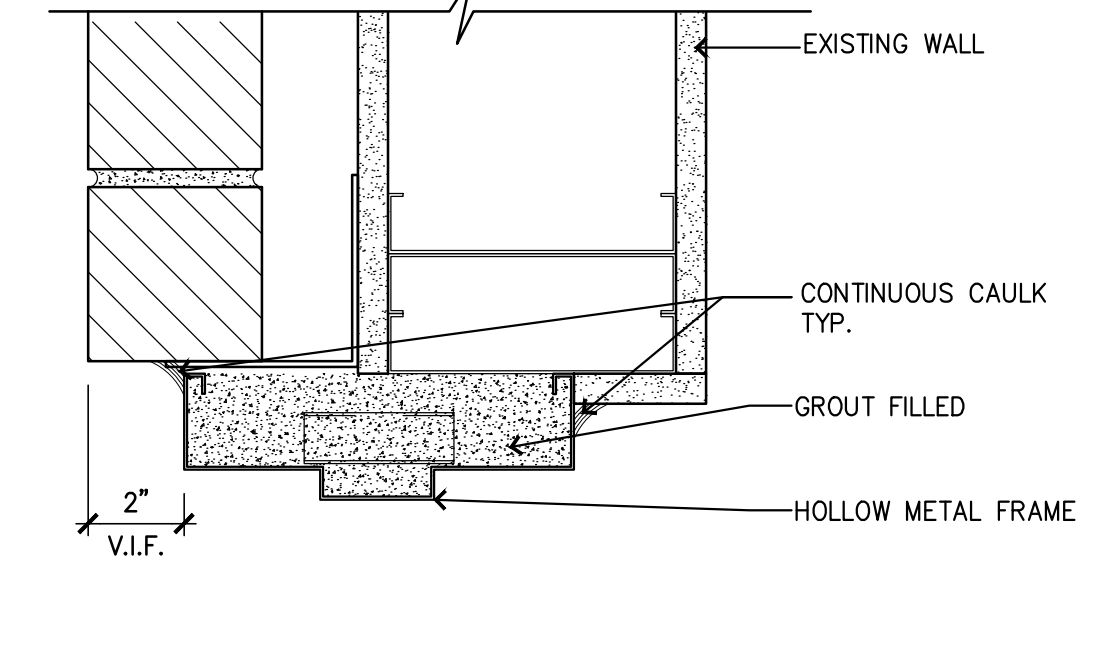
7 WOOD THRESHOLD DETAIL
SCALE: 6"=1'-0"



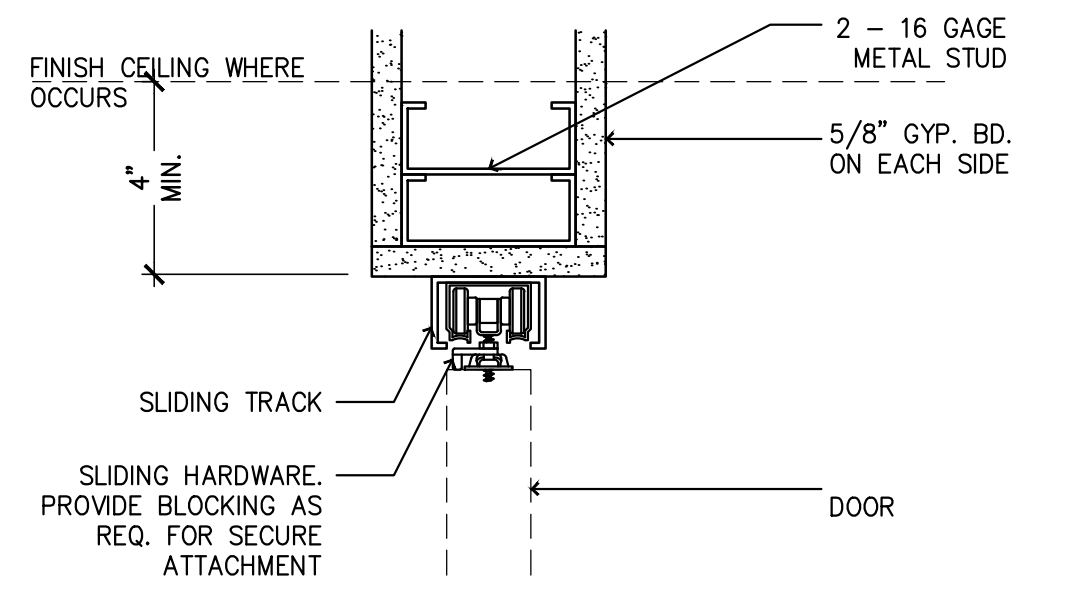
5 THRESHOLD DETAIL - EVEN TRANSITION
SCALE: 6"=1'-0"



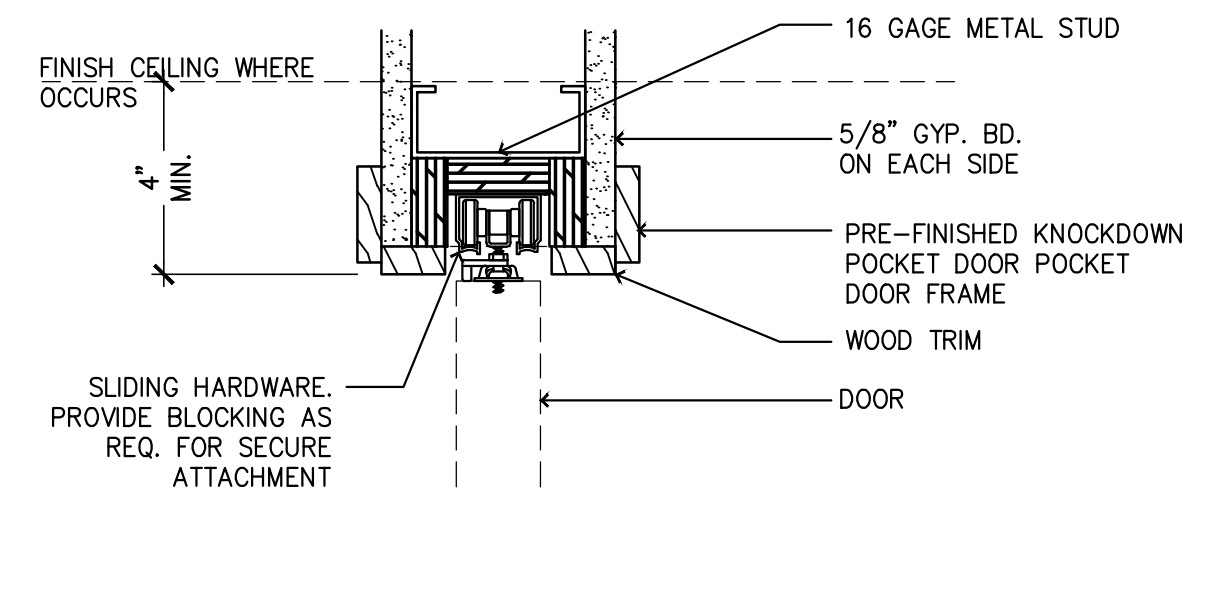
10 JAMB DETAIL - EXTERIOR
SCALE: 3"=1'-0"



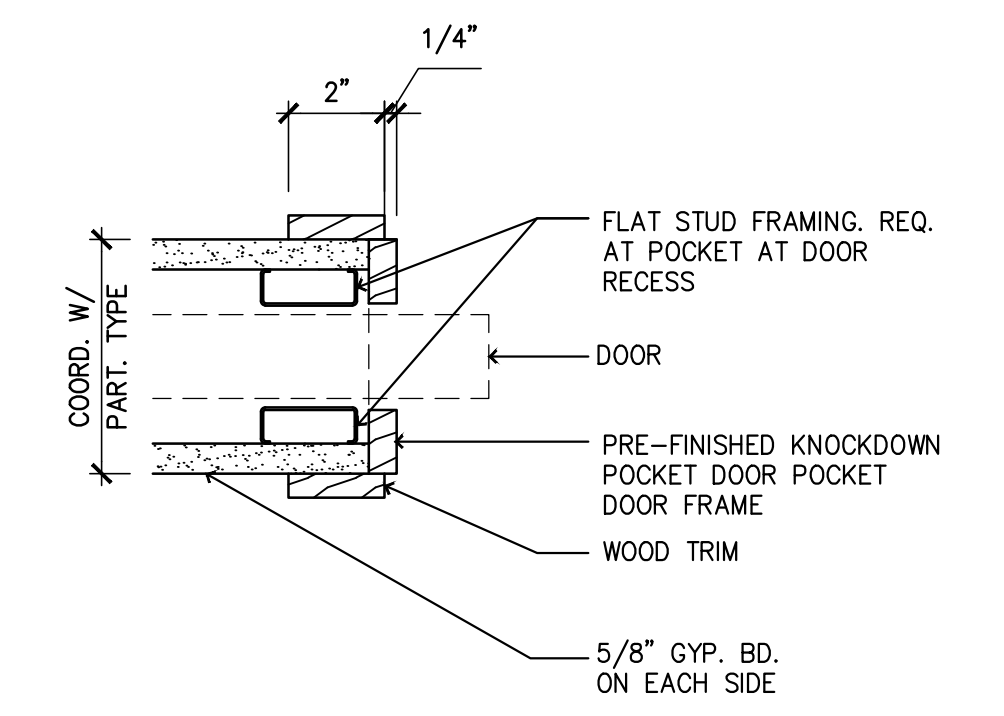
9 HEAD DETAIL - EXTERIOR
SCALE: 3"=1'-0"



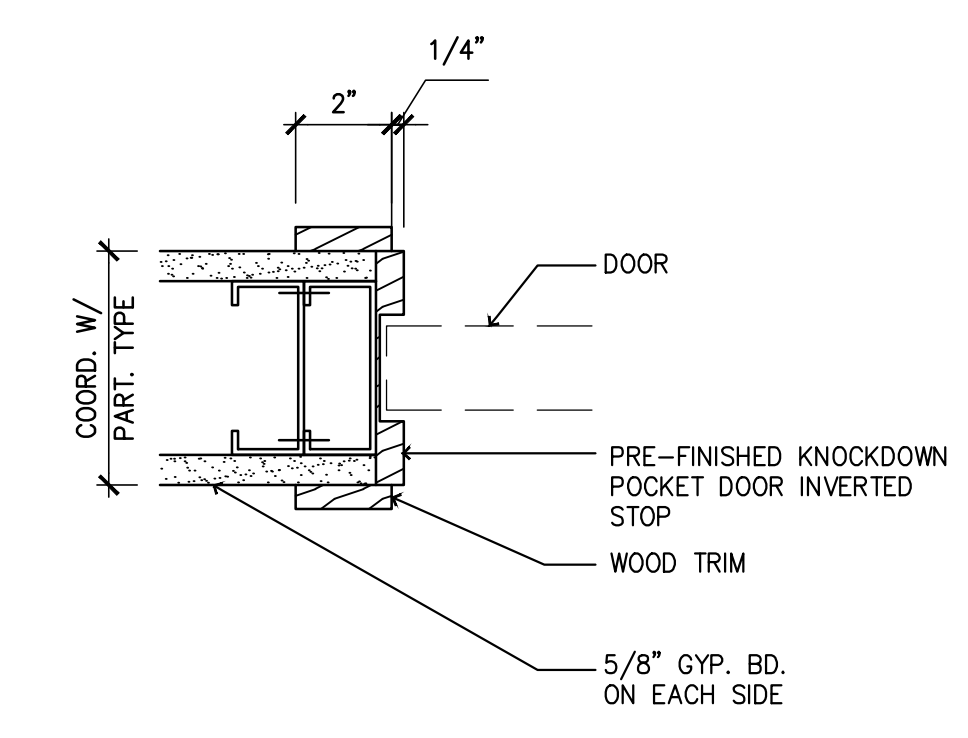
8 HEAD DETAIL - SLIDING DOOR
SCALE: 3"=1'-0"



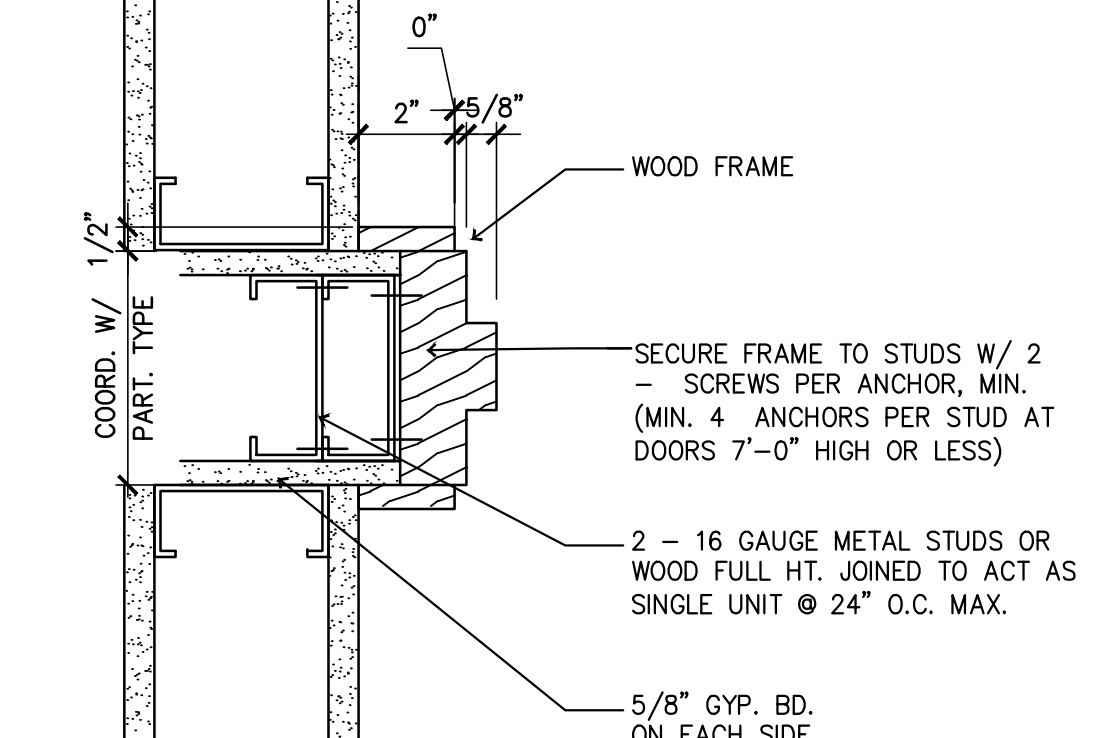
7 HEAD DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



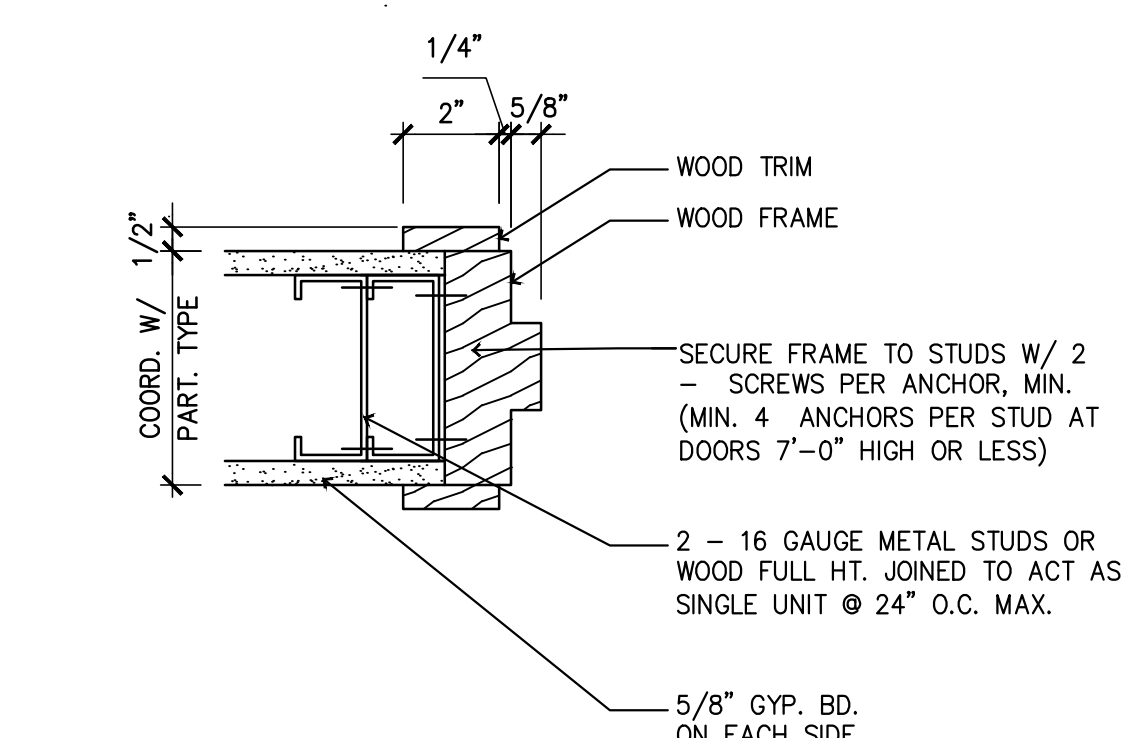
6 JAMB DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



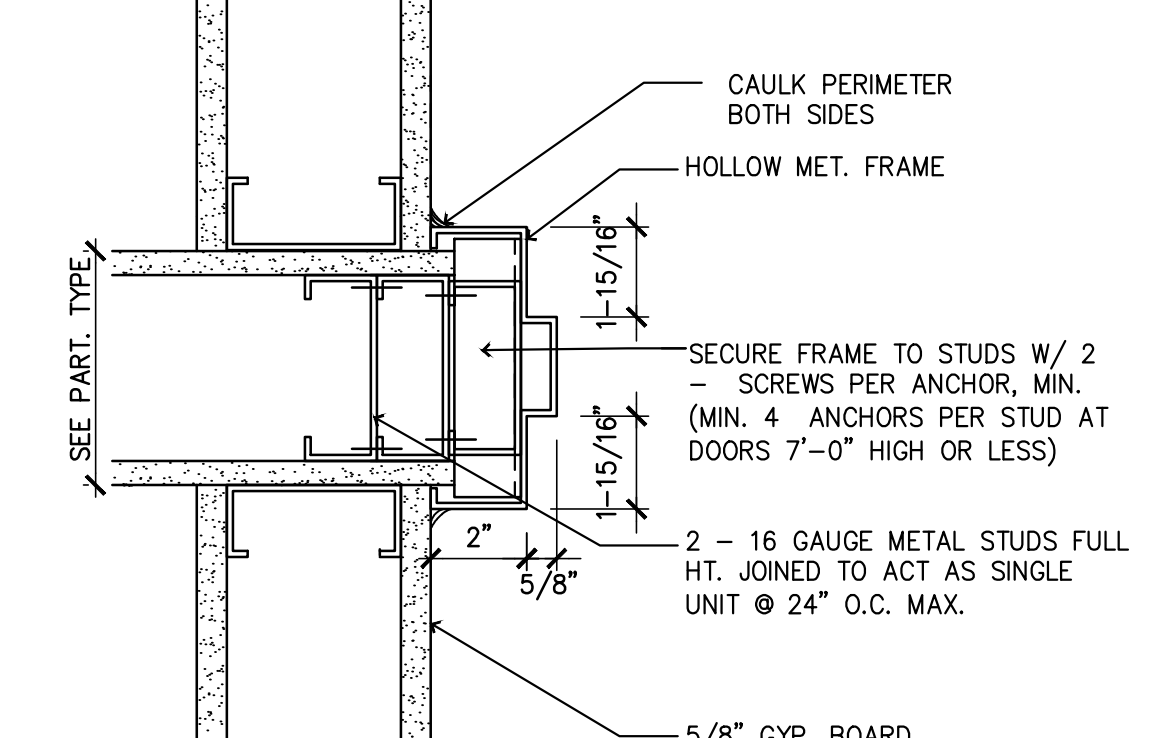
5 JAMB DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



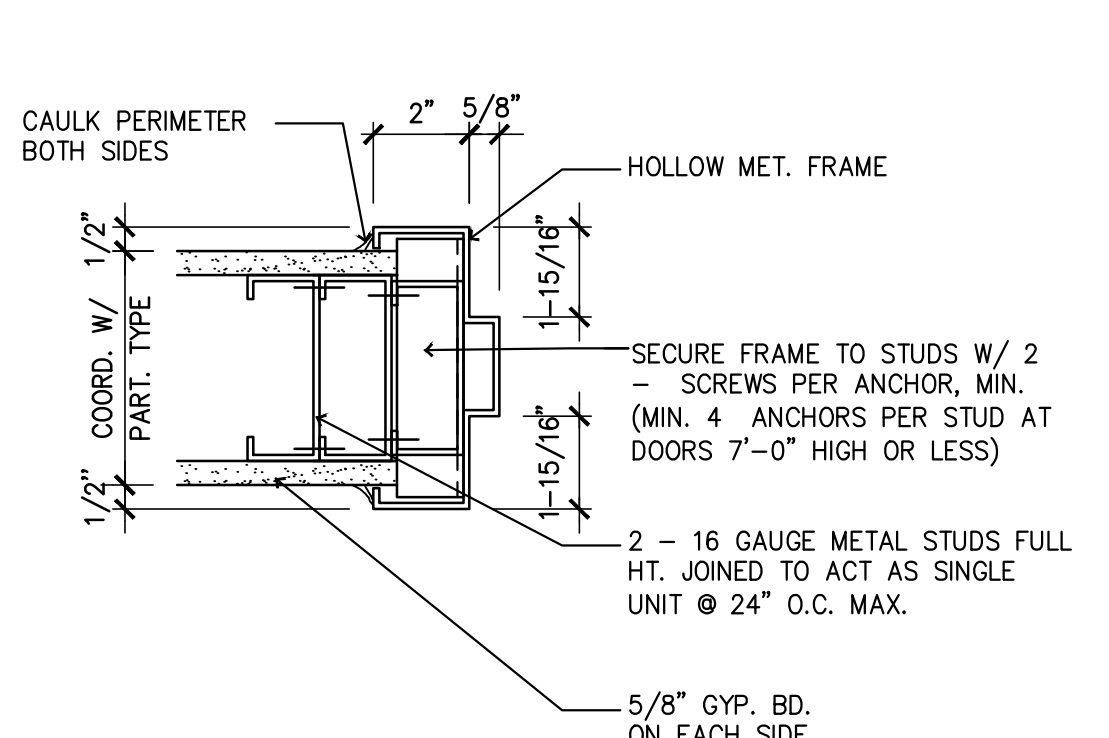
4 HEAD/JAMB DETAIL - WOOD
SCALE: 3"=1'-0"



3 HEAD/JAMB DETAIL - WOOD
SCALE: 3"=1'-0"



2 HEAD/JAMB DETAIL - HOLLOW METAL
SCALE: 3"=1'-0"



1 HEAD/JAMB DETAIL - HOLLOW METAL
SCALE: 3"=1'-0"

Revisions

No.	Description	Date
1	PERMIT SET	10/04/17

Project

Project Number
Drawing Information

DOOR HEADER, DOOR JAMB, AND THRESHOLD DETAIL

Scale As Noted
Date
Drawn By EA
Checked By

Drawing Number 12.2

Architect

Consultant

Seal

Key Plan

Revisions

No. Description Date

Project

Project Number
Drawing Information

EXTERIOR ELEVATION
EXISTING CONDITION

Scale _____ As Noted
Date _____
Drawn By _____ EA
Checked By _____

Drawing Number

A13.1



2 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - EXISTING CONDITION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - EXISTING CONDITION
SCALE: 1/4"=1'-0"

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number

Drawing Information

EXTERIOR ELEVATION
EXISTING CONDITION

Scale _____ As Noted

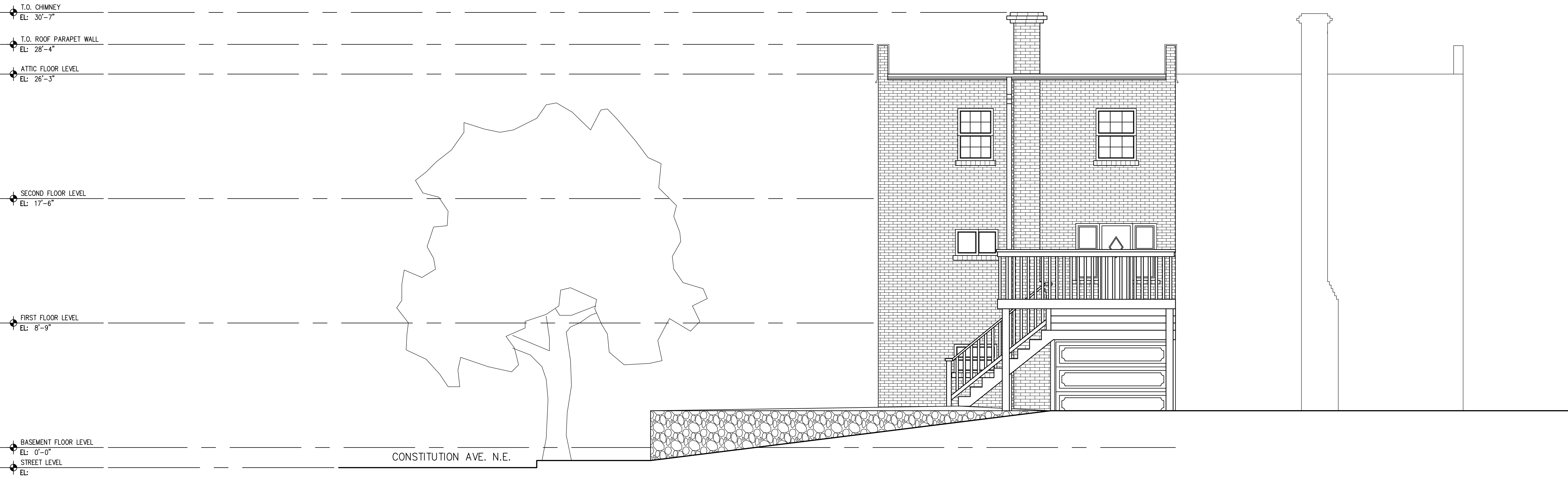
Date _____

Drawn By _____ EA

Checked By _____

Drawing Number

A13.2



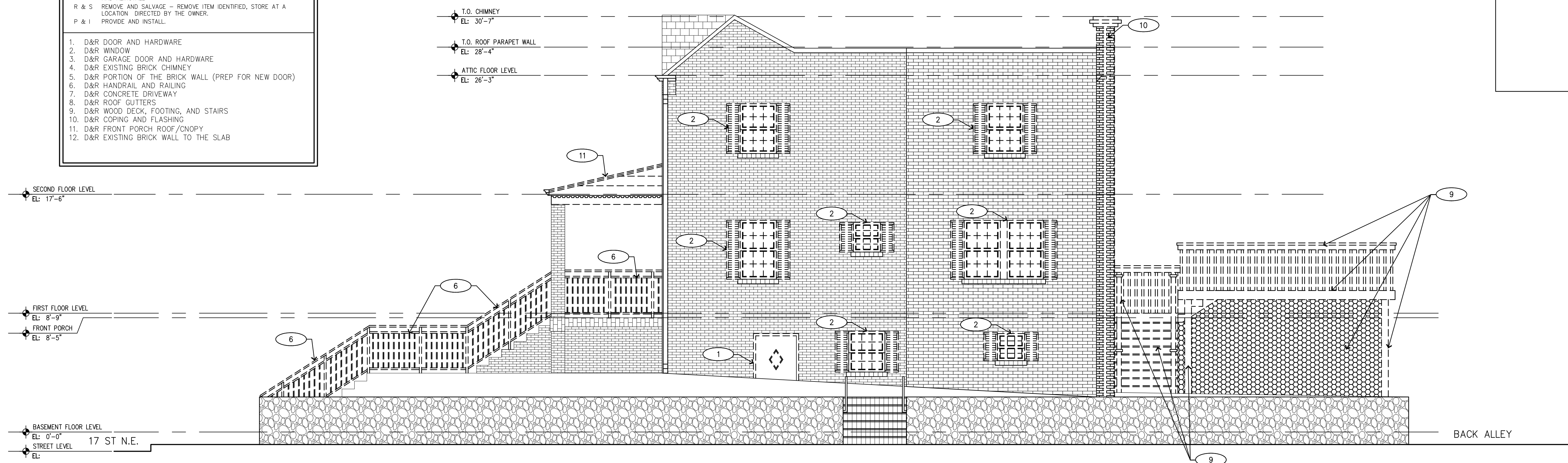
1 REAR ELEVATION (BACK ALLEY) - EXISTING CONDITION
 SCALE: 1/4"=1'-0"

No.	Description	Date

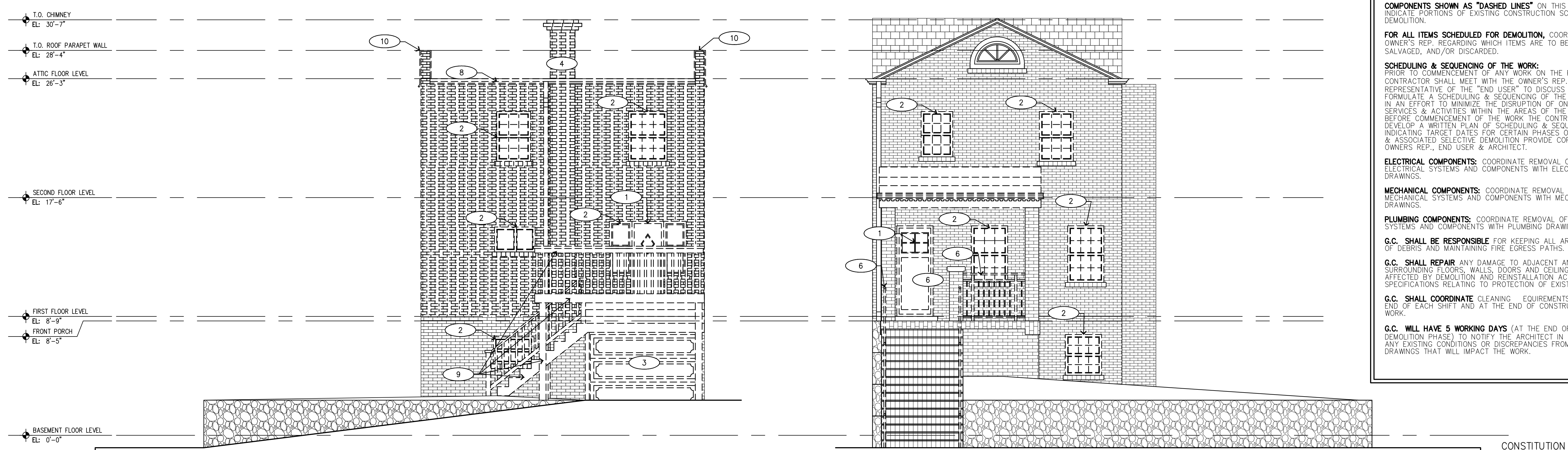
DEMO PLAN - KEY NOTES

D & R DEMO AND REMOVE - DEMOLISH ITEM IDENTIFIED & REMOVE
R & R REMOVE AND REINSTALL - REMOVE ITEM IDENTIFIED, STORE, PROTECT AND REINSTALL
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P & I PROVIDE AND INSTALL

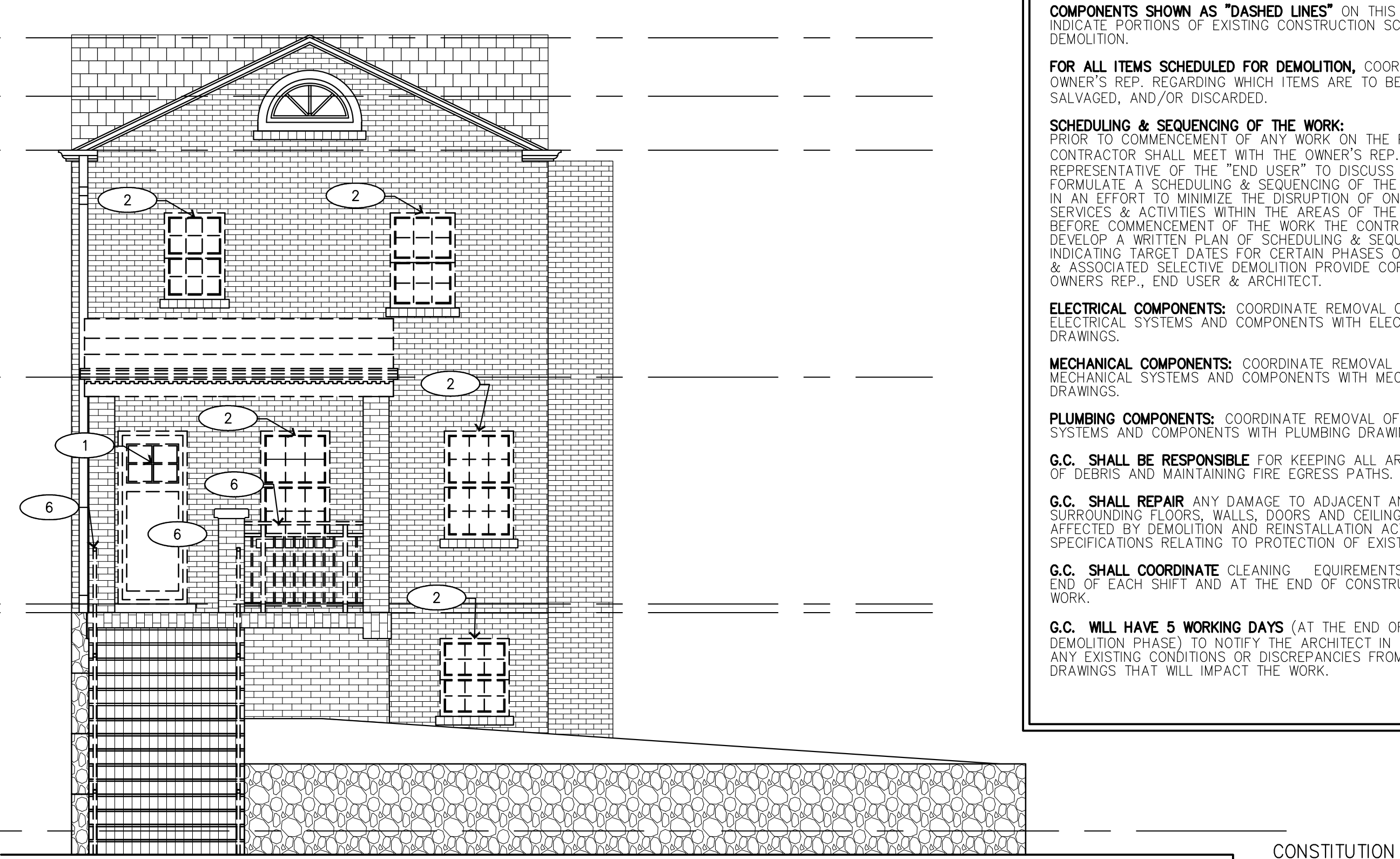
- D&R DOOR AND HARDWARE
- D&R WINDOW
- D&R GARAGE DOOR AND HARDWARE
- D&R EXISTING BRICK CHIMNEY
- D&R PORTION OF THE BRICK WALL (PREP FOR NEW DOOR)
- D&R HANDRAIL AND RAILING
- D&R CONCRETE DRIVEWAY
- D&R ROOF GUTTERS
- D&R WOOD DECK, FOOTING, AND STAIRS
- D&R COPING AND FLASHING
- D&R FRONT PORCH ROOF/CNOPY
- D&R EXISTING BRICK WALL TO THE SLAB



3 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - DEMOLITION
SCALE: 1/4"=1'-0"



2 REAR ELEVATION (BACK ALLEY) - DEMOLITION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - DEMOLITION
SCALE: 1/4"=1'-0"

TYPICAL DEMOLITION NOTES

COMPONENTS SHOWN AS "DASHED LINES" ON THIS DRAWING INDICATE PORTIONS OF EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.

FOR ALL ITEMS SCHEDULED FOR DEMOLITION, COORDINATE WITH OWNER'S REP. REGARDING WHICH ITEMS ARE TO BE PROTECTED, SALVAGED, AND/OR DISCARDED.

SCHEDULING & SEQUENCING OF THE WORK:
PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL MEET WITH THE OWNER'S REP. & A REPRESENTATIVE OF THE "END USER" TO DISCUSS & FORMULATE A SCHEDULING & SEQUENCING OF THE WORK PLAN IN AN EFFORT TO MINIMIZE THE DISRUPTION OF ONGOING SERVICES & ACTIVITIES WITHIN THE AREAS OF THE WORK. BEFORE COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF SCHEDULING & SEQUENCING INDICATING TARGET DATES FOR CERTAIN PHASES ON THE WORK & ASSOCIATED SELECTIVE DEMOLITION PROVIDE COPIES TO OWNERS REP., END USER & ARCHITECT.

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G.C. SHALL REPAIR ANY DAMAGE TO ADJACENT AND SURROUNDING FLOORS, WALLS, DOORS AND CEILINGS NOT AFFECTED BY DEMOLITION AND REINSTALLATION ACTIVITIES. SEE SPECIFICATIONS RELATING TO PROTECTION OF EXISTING WORK.

G.C. SHALL COORDINATE CLEANING REQUIREMENTS AT THE END OF EACH SHIFT AND AT THE END OF CONSTRUCTION WORK.

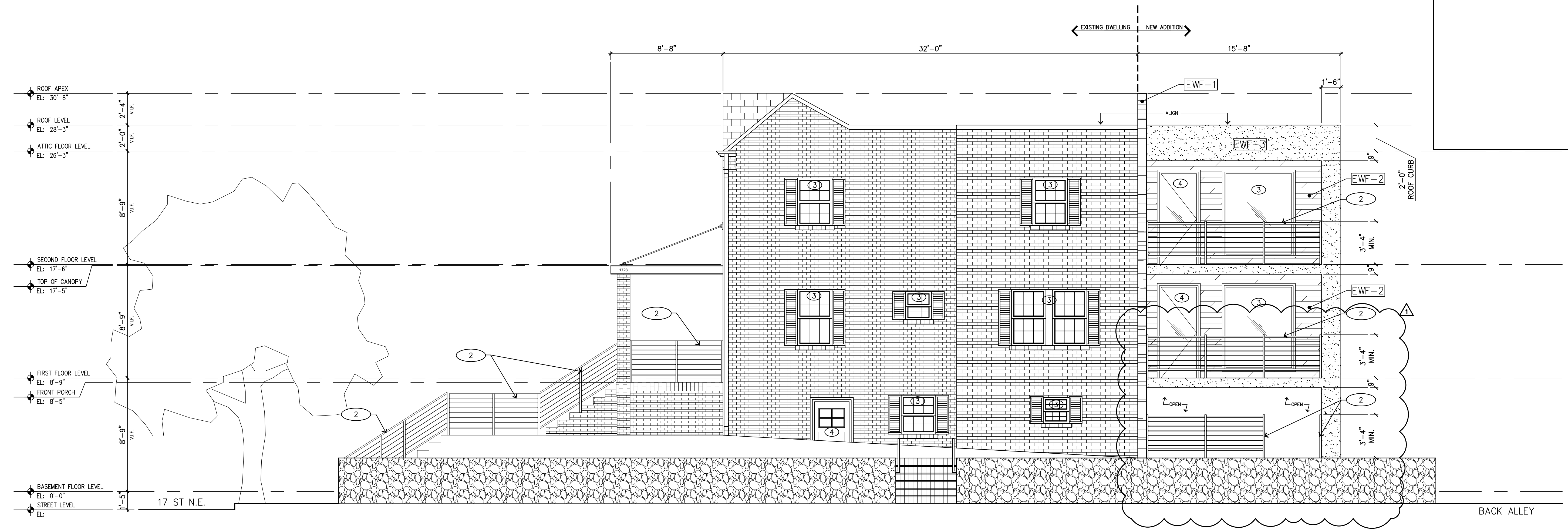
G.C. WILL HAVE 5 WORKING DAYS (AT THE END OF THE DEMOLITION PHASE) TO NOTIFY THE ARCHITECT IN WRITING OF ANY EXISTING CONDITIONS OR DISCREPANCIES FROM DESIGN DRAWINGS THAT WILL IMPACT THE WORK.

No.	Description	Date
	PERMIT SET	10/04/17
	PUBLIC SPACE COMMENTS	02/23/18

EXTERIOR ELEVATIONS NEW WORK

Scale _____ As Noted
 Date _____
 Drawn By _____ EA
 Checked By _____

Drawing Number **A13.4**



2 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - NEW WORK
 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - NEW WORK
 SCALE: 1/4"=1'-0"

ELEVATION - KEY NOTES

- REPAIR OR REPLACE DAMAGED OR MISSING BRICK TO MATCH EXISTING, WHERE REQUIRED.
- FURNISH AND INSTALL METAL RAILING AND HANDRAIL. COLOR: BLACK.
- FURNISH AND INSTALL (IN PLACE) NEW ALUMINUM WINDOW. COLOR: WHITE (TO MATCH EXISTING). SEE WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE.
- FURNISH AND INSTALL NEW ENTRY DOOR. SEE DOOR SCHEDULE FOR DOOR TYPE AND SIZE.
- FURNISH AND INSTALL NEW METAL PORCH CANOPY. COLOR: BLACK.
-

EXTERIOR WALL FINISH MATERIAL

EWF-1 PRODEMA PRODEX WOOD PANELS IN LIGHT BROWN
 EWF-2 PRODEMA PRODEX 6" WOOD SIDING. COL: LIGHT BROWN
 EWF-3 STUCCO WALL. COLOR: WHITE

Revisions

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	PERMIT SET	10/04/17
Δ	PUBLIC SPACE COMMENTS	02/23/18

Project

Project Number
Drawing Information

EXTERIOR ELEVATION NEW WORK

Scale _____ As Noted
Date _____
Drawn By _____
Checked By _____

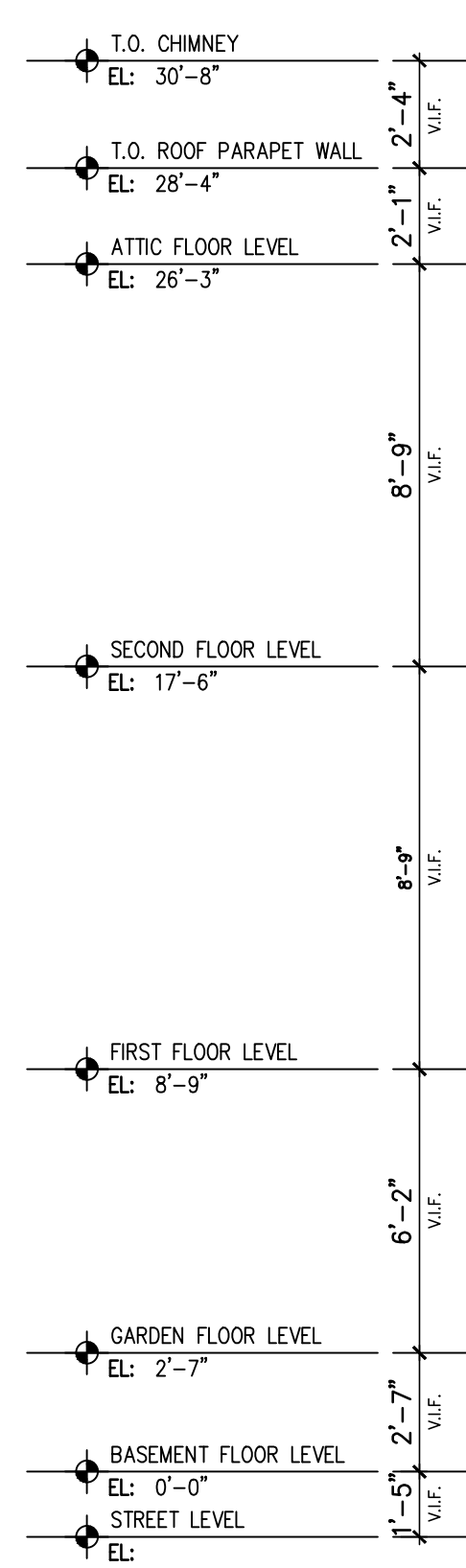
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ELEVATION - KEY NOTES

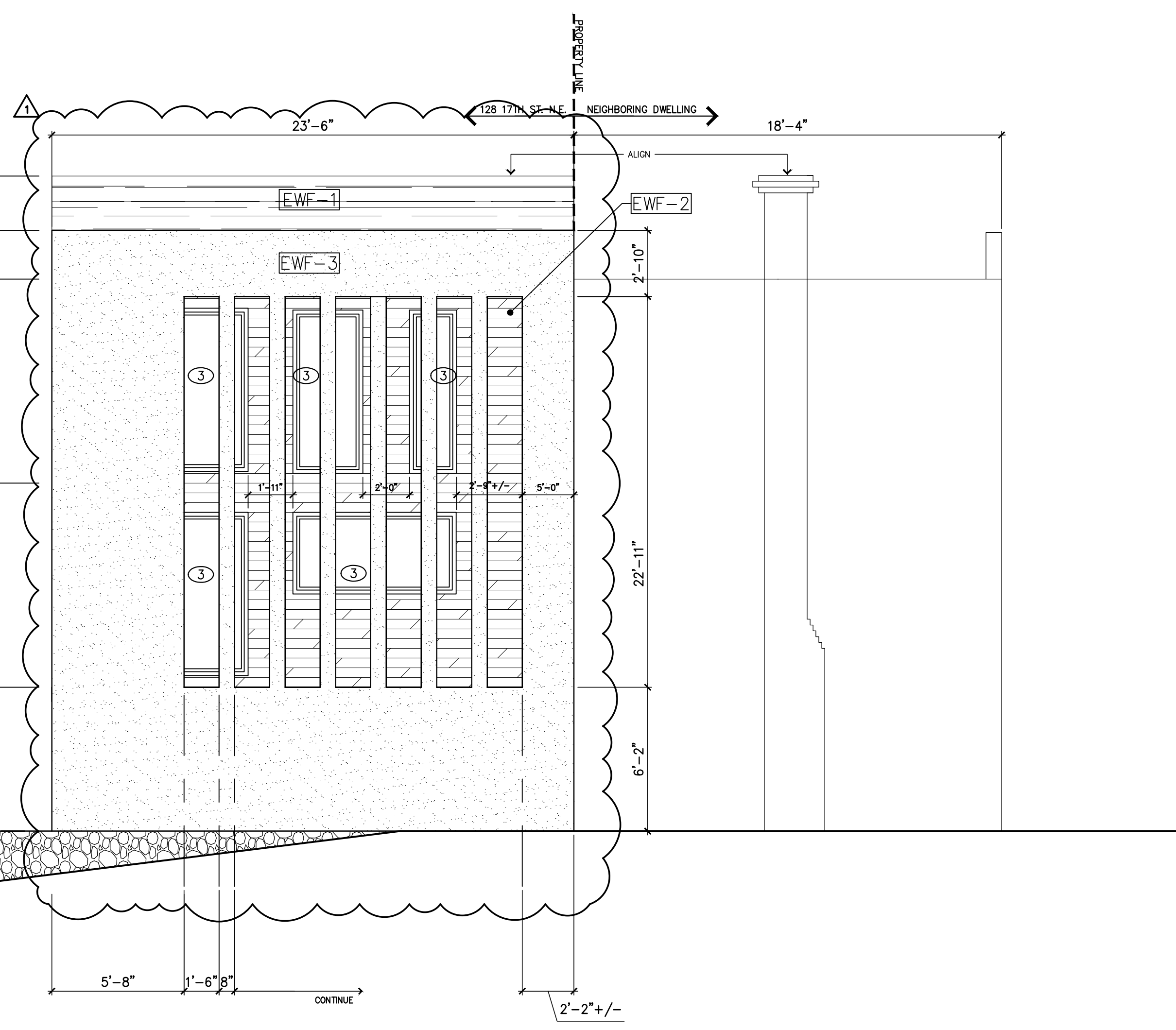
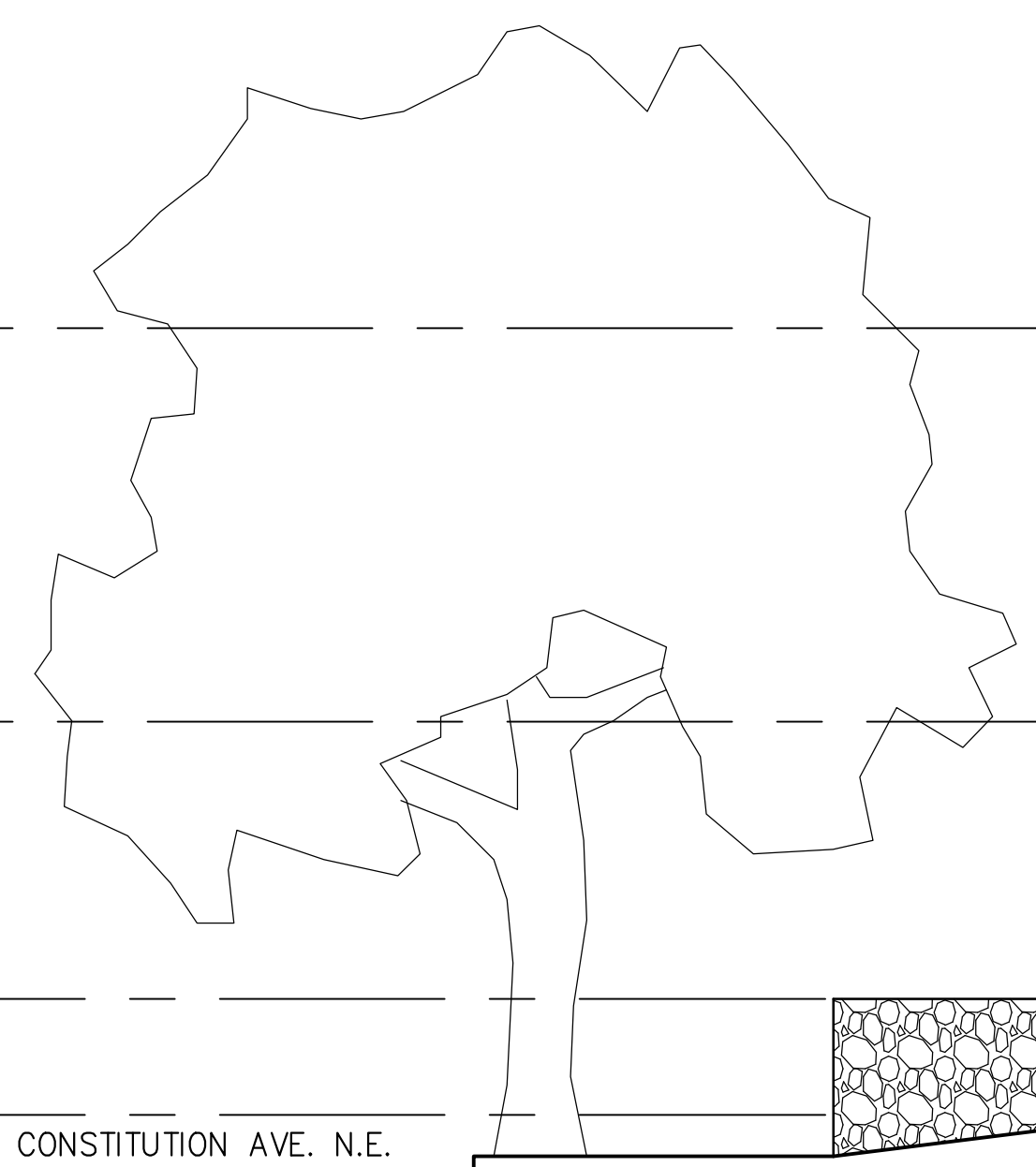
1. REPAIR OR REPLACE DAMAGED OR MISSING BRICK TO MATCH EXISTING, WHERE REQUIRED.
2. FURNISH AND INSTALL METAL RAILING AND HANDRAIL. COLOR: BLACK.
3. FURNISH AND INSTALL (IN PLACE) NEW ALUMINUM WINDOW. COLOR: WHITE (TO MATCH EXISTING). SEE WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE.
4. FURNISH AND INSTALL NEW ENTRY DOOR. SEE DOOR SCHEDULE FOR DOOR TYPE AND SIZE.
5. FURNISH AND INSTALL NEW METAL PORCH CANOPY. COLOR: BLACK.
- 6.

EXTERIOR WALL FINISH MATERIAL

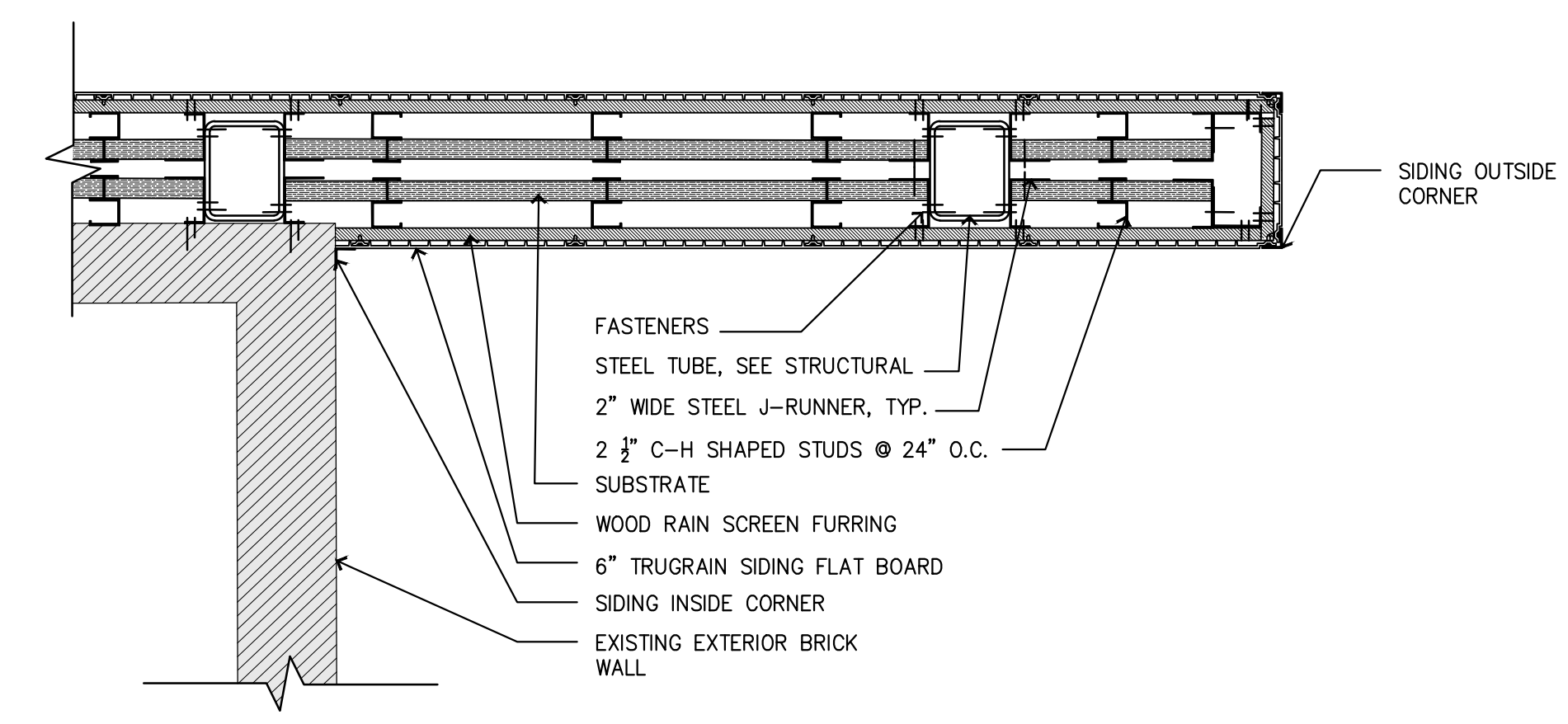
- EW-1 PRODEMA PRODEX WOOD PANELS IN LIGHT BROWN
- EW-2 PRODEMA PRODEX 6" WOOD SIDING. COLOR: LIGHT BROWN
- EW-3 STUCCO WALL. COLOR: WHITE



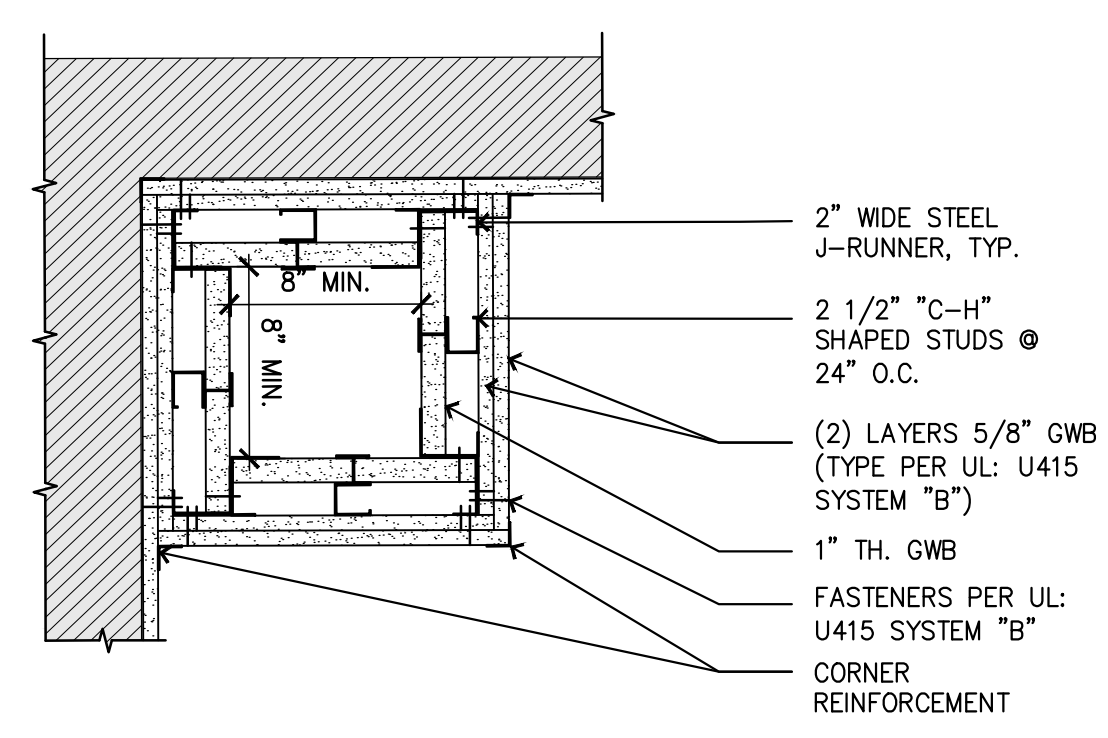
1 REAR ELEVATION (BACK ALLEY) - NEW WORK
SCALE: 1/4"=1'-0"



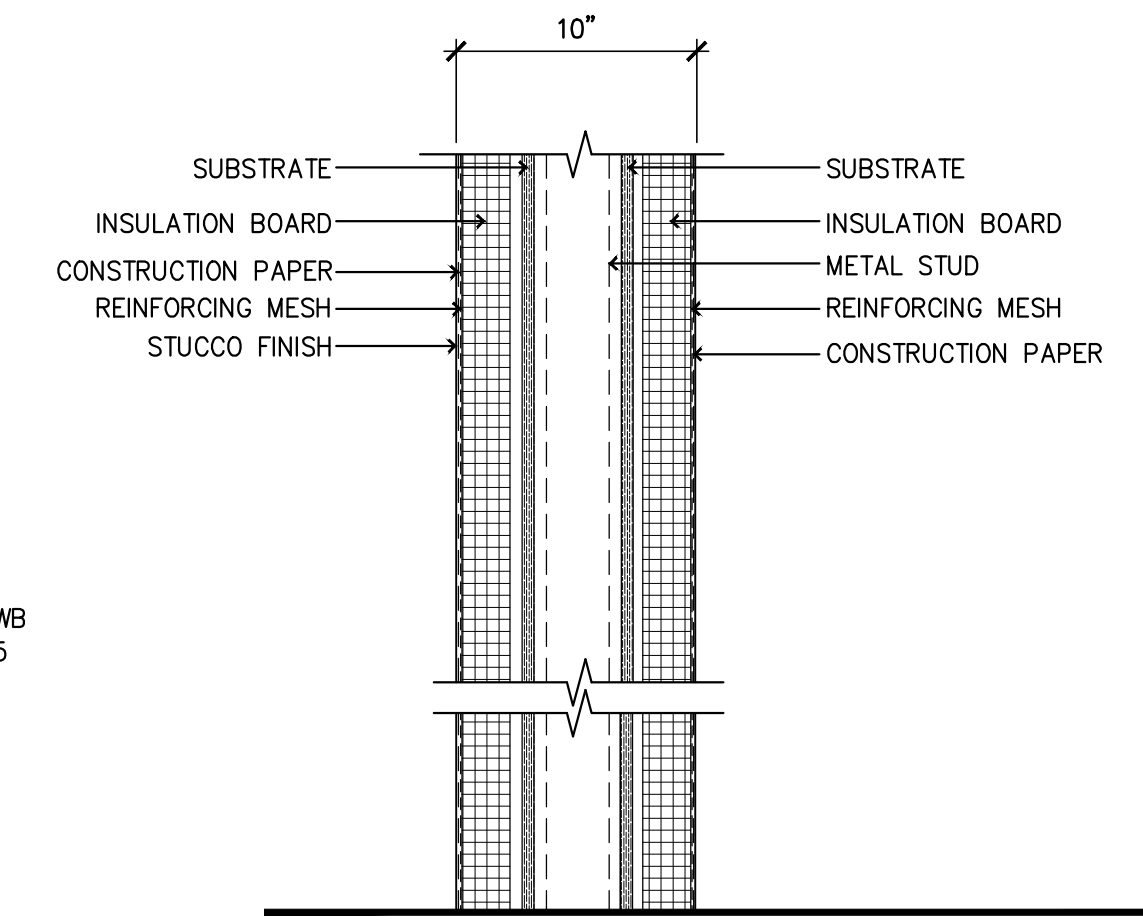
No.	Description	Date
1	PERMIT SET	10/04/17



3 WALL DETAIL
SCALE: 1 1/2" = 1'-0"

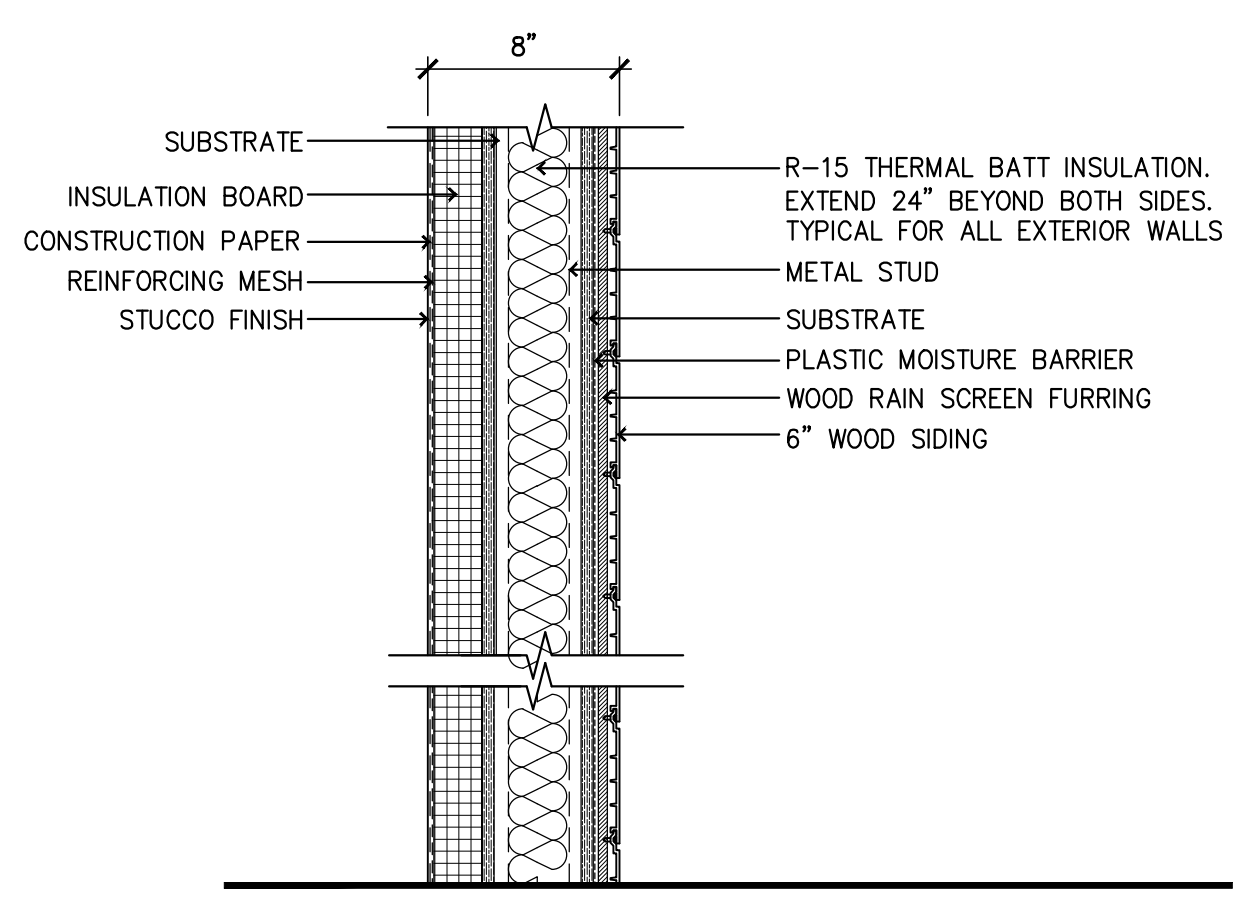


2 WALL DETAIL
SCALE: 1 1/2" = 1'-0"

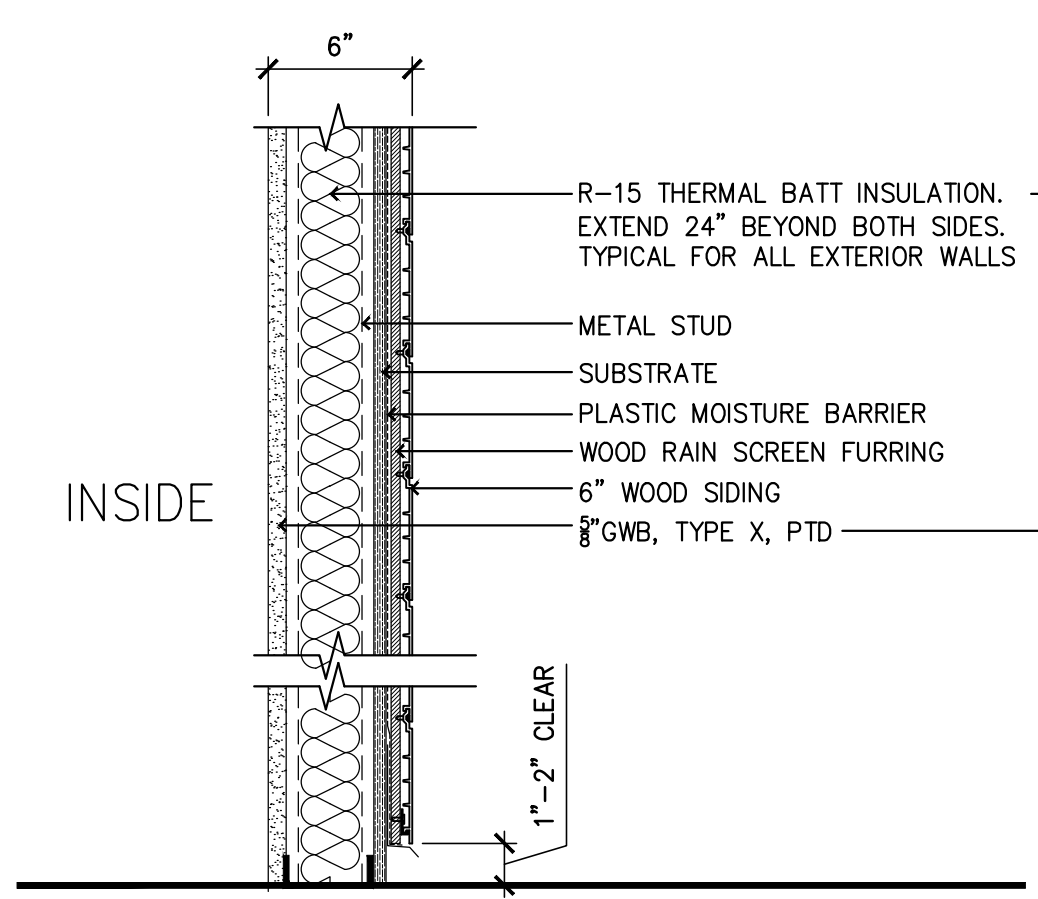


10 TYPICAL STUCCO WALL DETAIL
CONSTRUCT W/ 3 5/8" MTL. STUDS
EXTERIOR: UL U356 1 HR

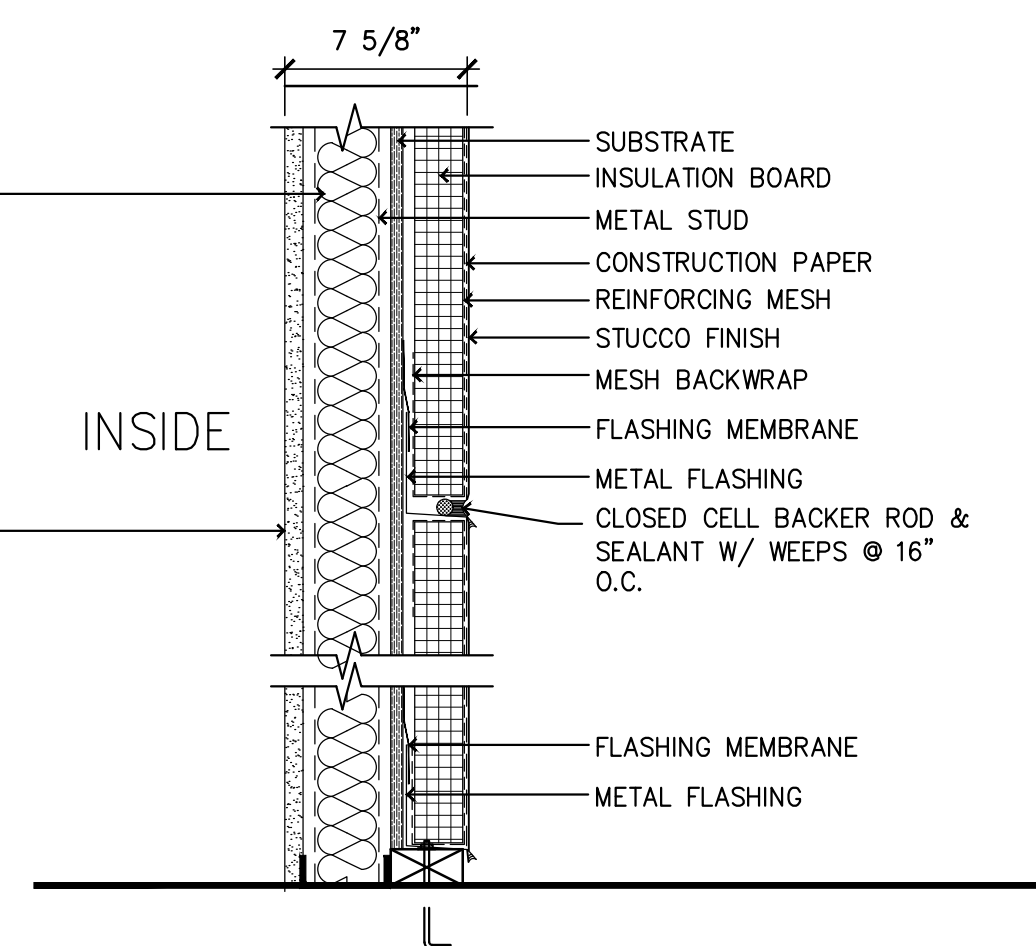
10A TYPICAL STUCCO WALL DETAIL
CONSTRUCT W/ 3 5/8" MTL. STUDS
EXTERIOR: UL U905 2HR



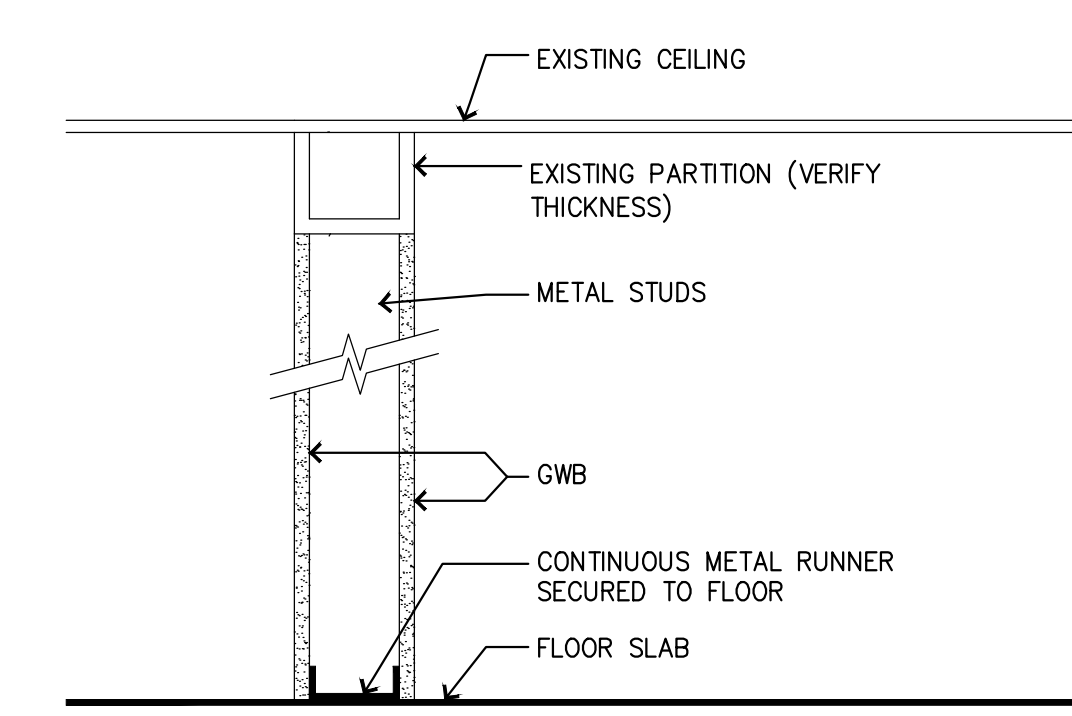
9 WALL DETAIL (BALCONY)
CONSTRUCT W/ 3 5/8" MTL. STUDS
EXTERIOR: UL U356 1 HR



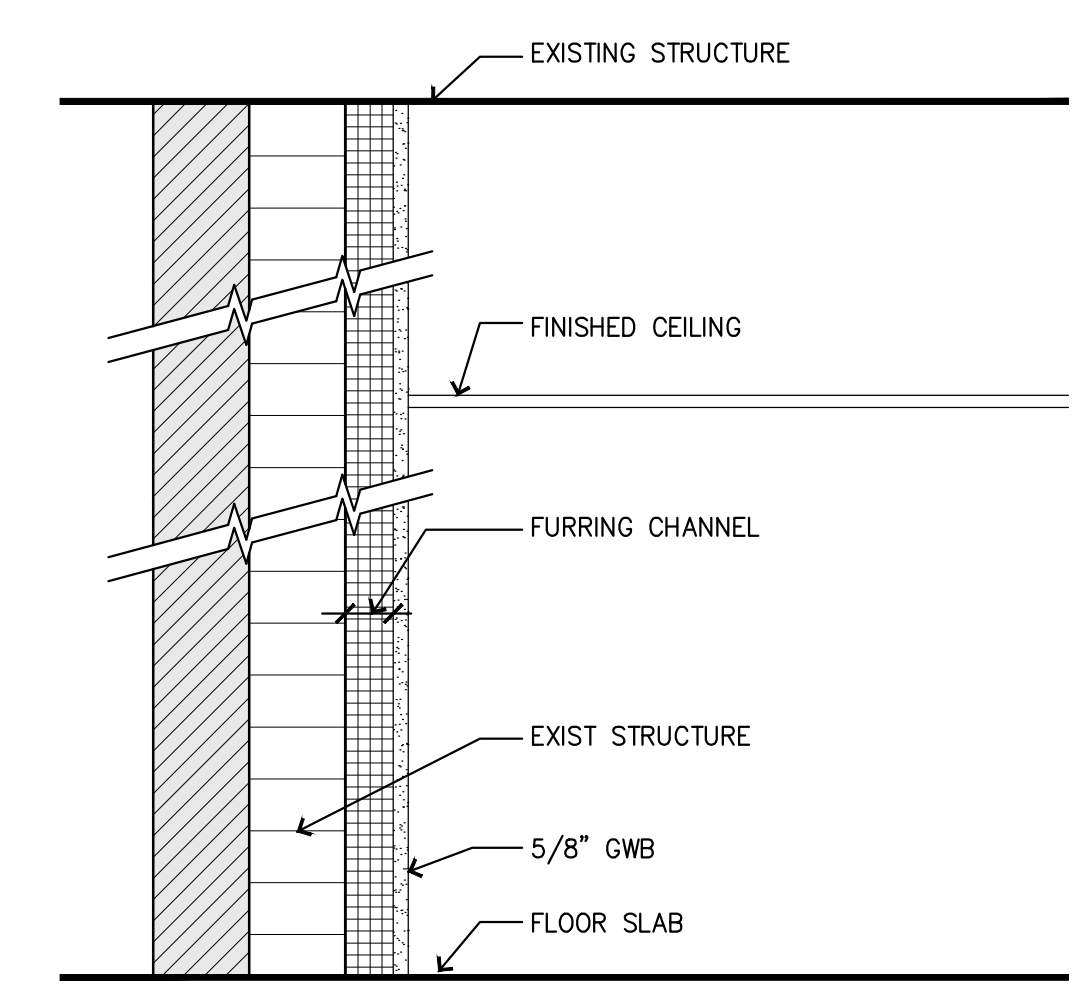
8 TYPICAL WOOD SIDING WALL DETAIL
CONSTRUCT W/ 3 5/8" MTL. STUDS
EXTERIOR: UL U356 1 HR



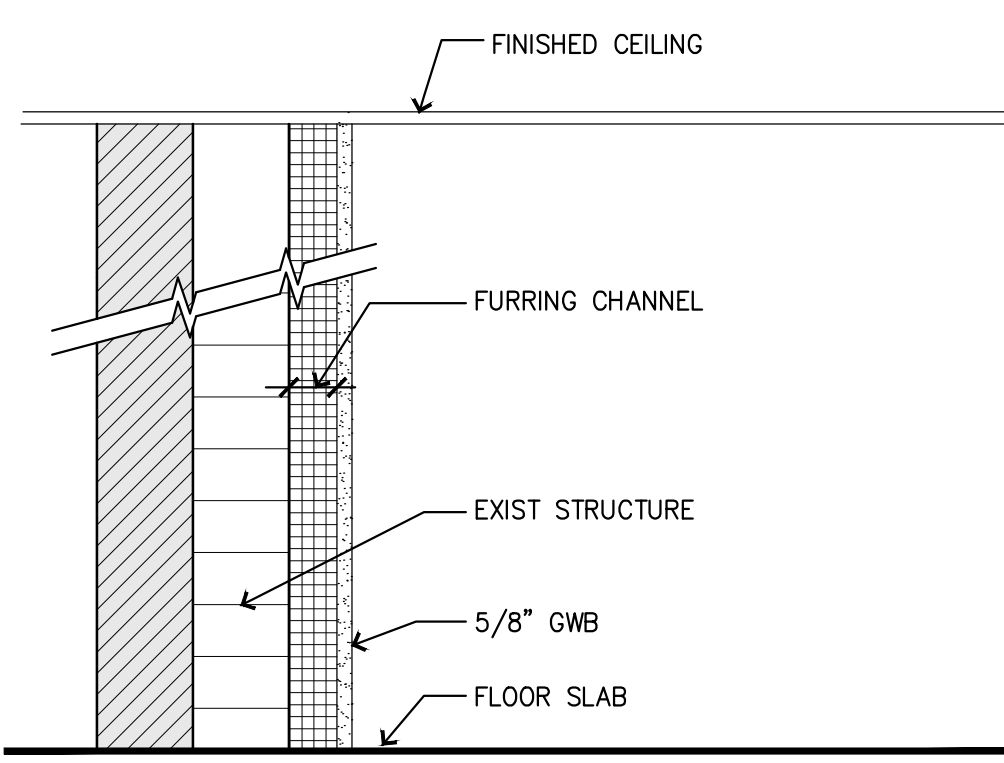
7 TYPICAL STUCCO WALL DETAIL
CONSTRUCT W/ 3 5/8" MTL. STUDS
EXTERIOR: UL U356 1 HR



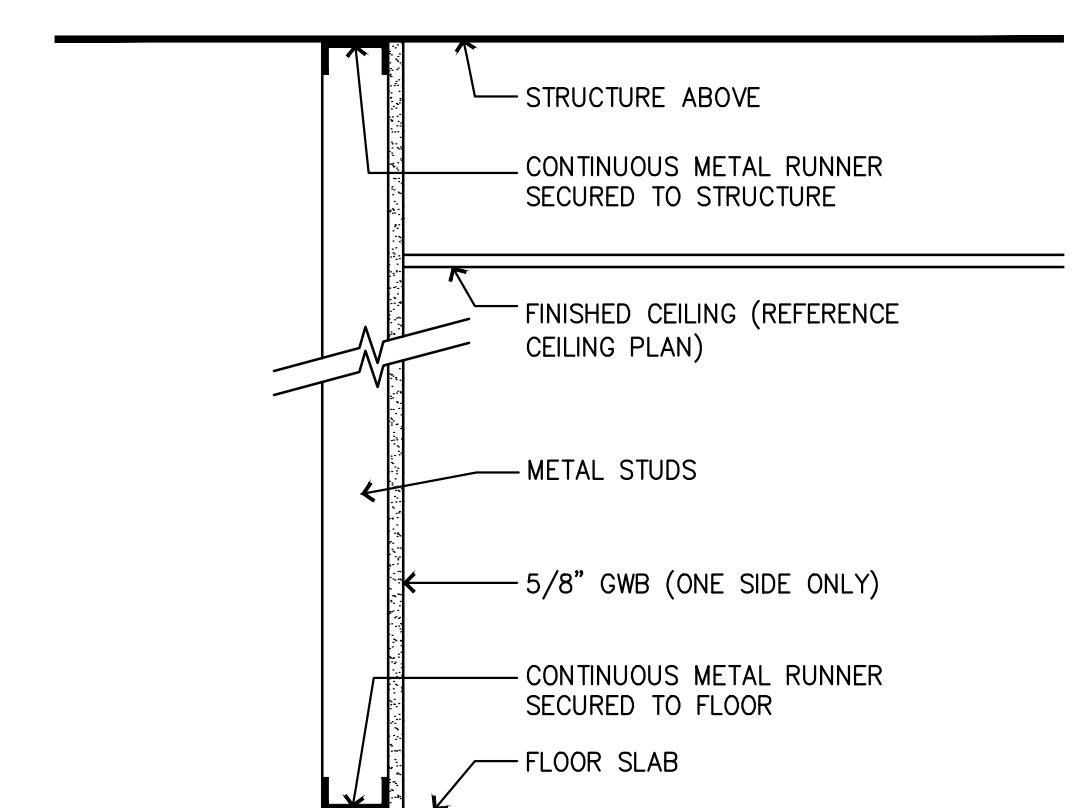
6 DOOR OPENING INFILL
CONSTRUCT W/ 3 5/8" MTL. STUDS



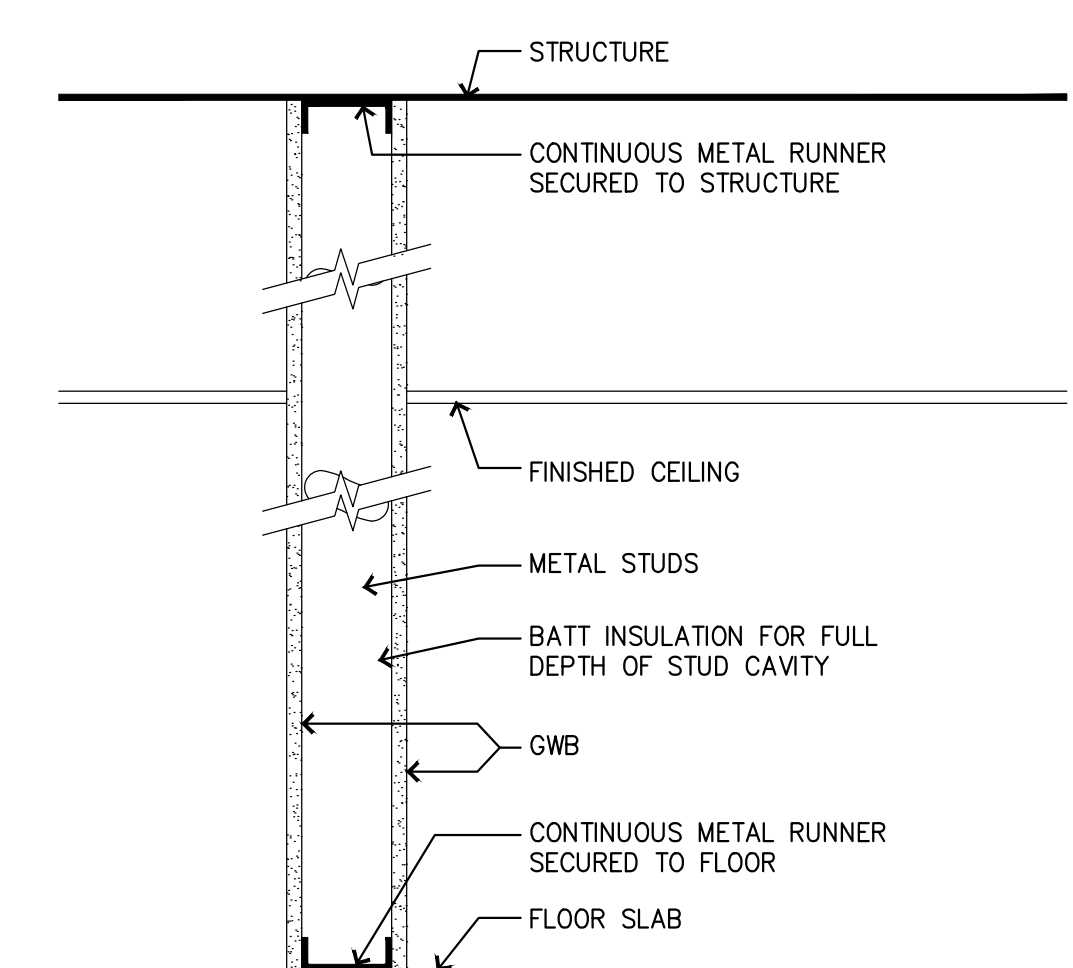
5 FULL HEIGHT PARTITION (FURRED)
AT EXISTING WALL: 1 HR PER IBC TABLE 721.4.1(1)



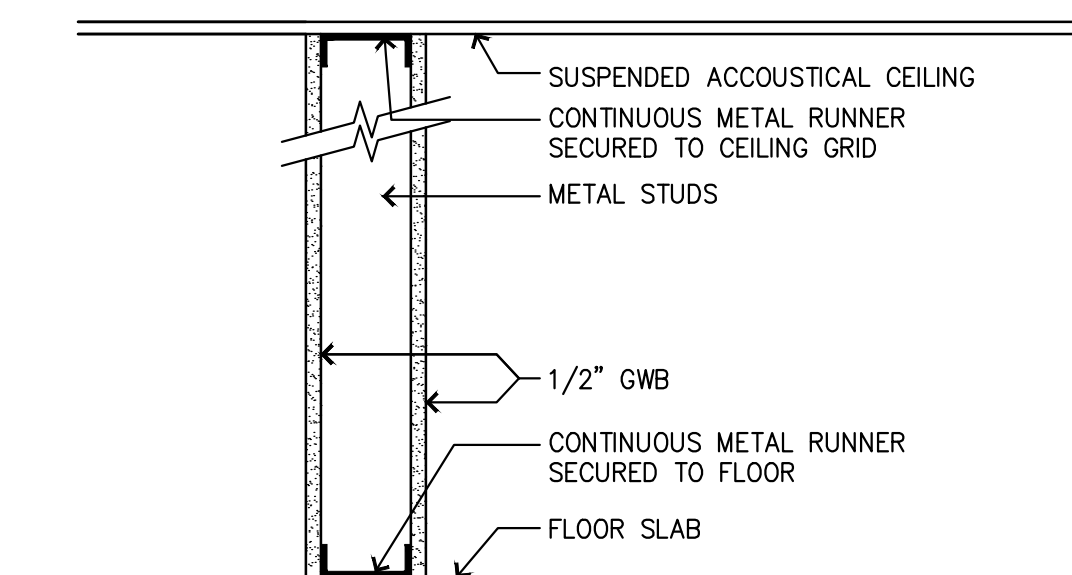
4 PARTITION (FURRED)
AT EXISTING WALL: 1 HR PER IBC TABLE 721.4.1(1)



3 FULL HEIGHT PARTITION - ONE SIDE
CONSTRUCT W/ 2 1/2" MTL. STUDS



2 FULL HEIGHT PARTITION (SMOKE/CORR.)
CONSTRUCT AS CORRIDOR PARTITION AS PER IBC 2012 SECTION 710

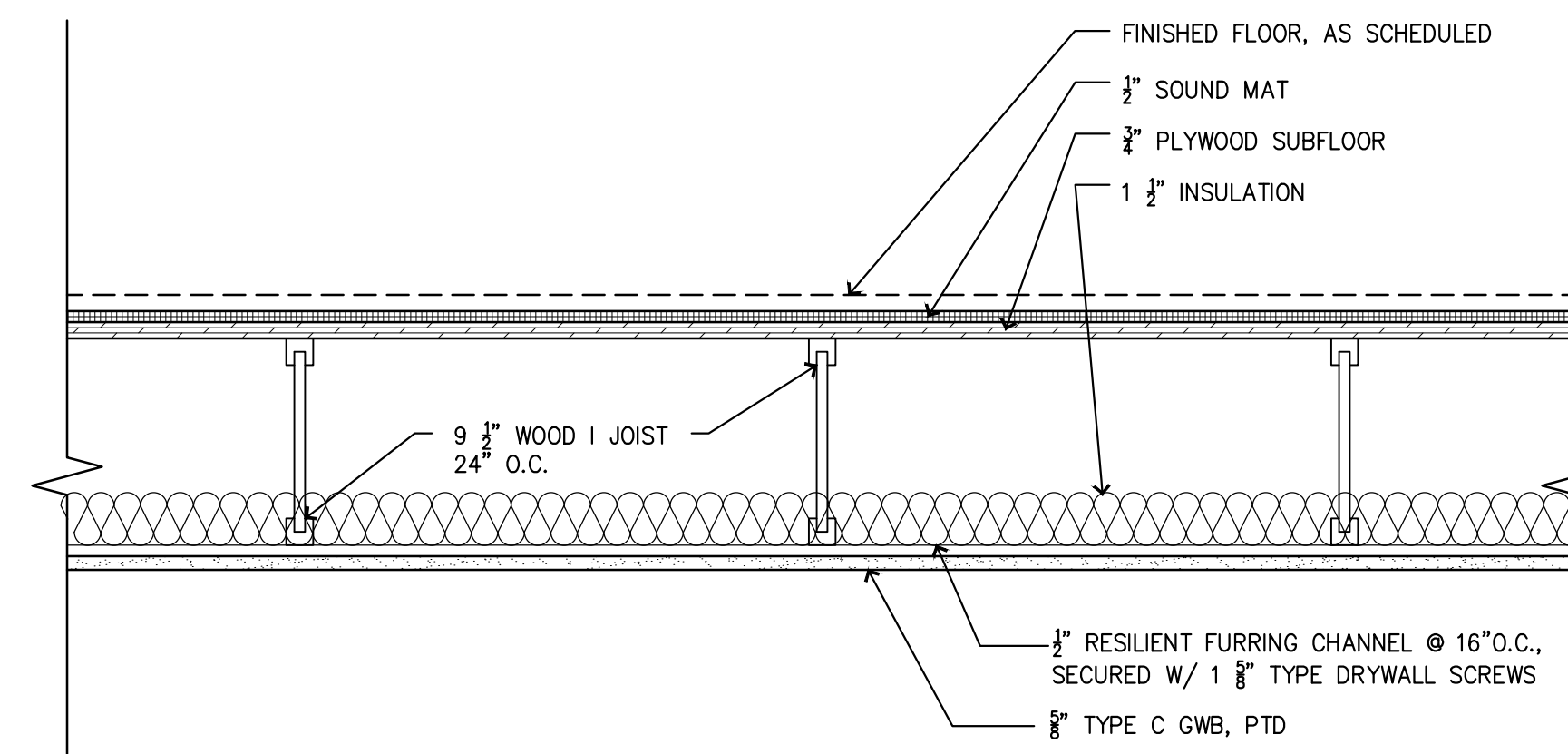


1 CEILING HT. PARTITION
CONSTRUCT W/ 2 1/2" MTL. STUDS

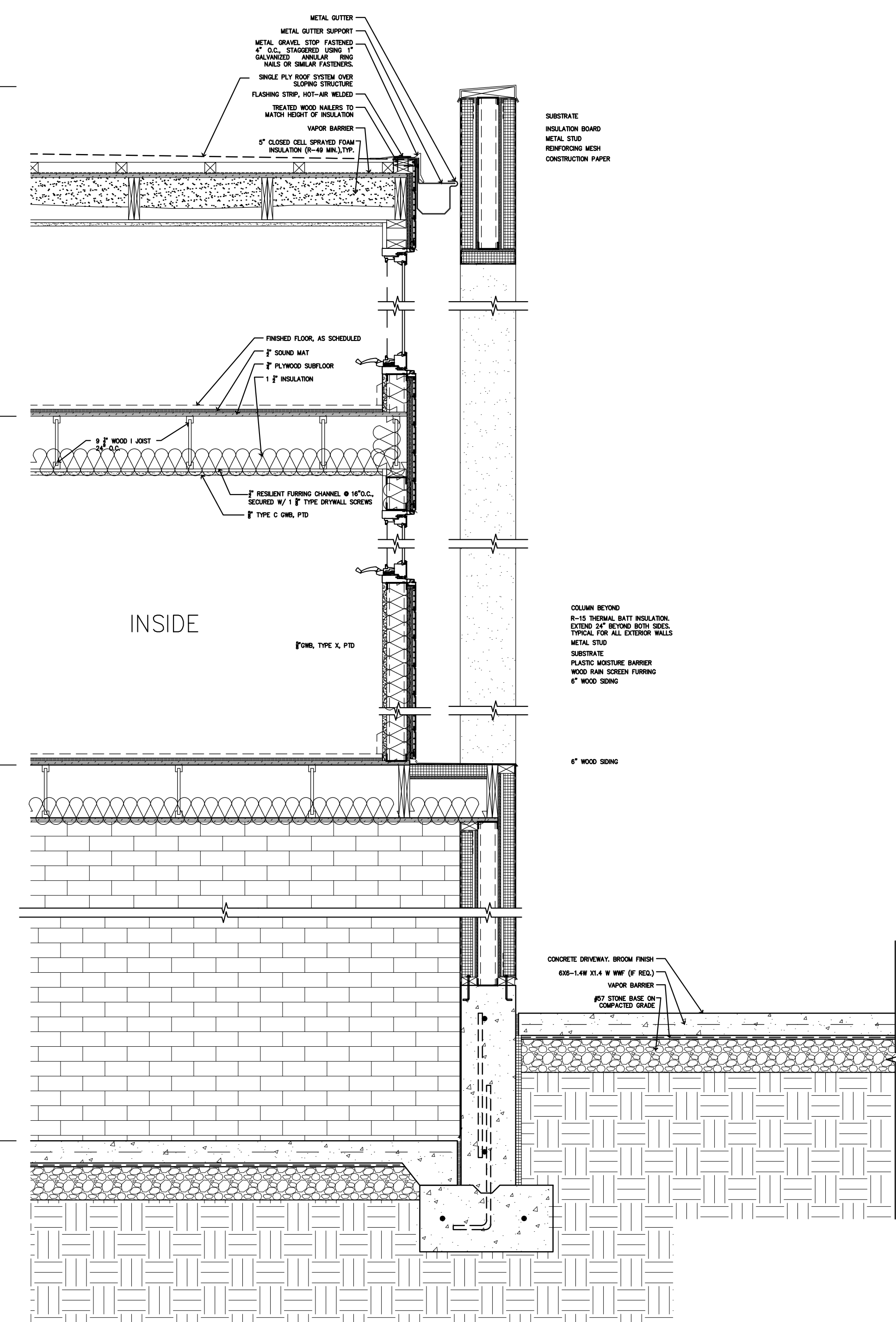
TYPICAL NOTES: PARTITION TYPES

UNLESS NOTED OTHERWISE PARTITIONS SHALL BE CONSTRUCTED AS FOLLOWS:

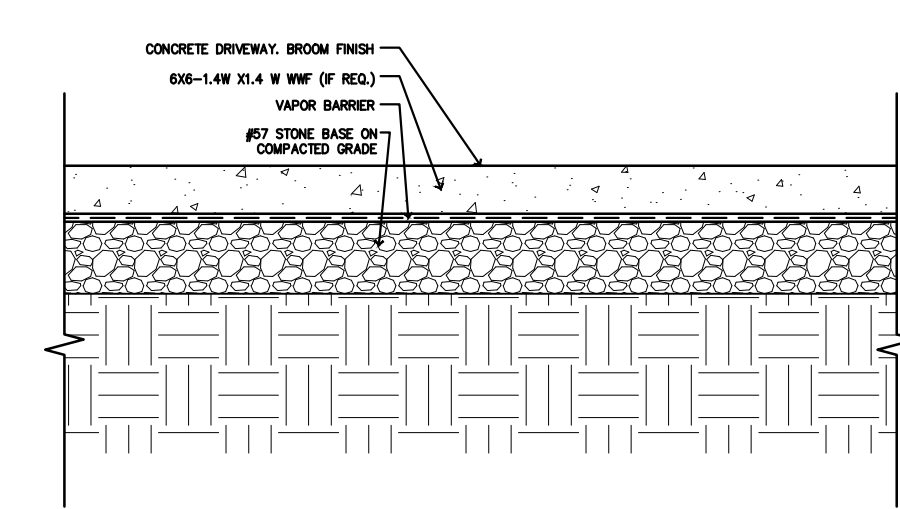
- 1) METAL STUDS = 3 5/8" (20 GA) @16" O.C.
- 2) METAL FURRING CHANNELS = 7/8" (20 GA) @16" O.C.
- 3) GYPSUM WALL BOARD (GWB) = 5/8" GWB
- 4) BATT, BLANKET, & SOUND INSULATION SHALL HAVE FLAME SPREAD RATING OF LESS THAN 25 (INCLUDING ANY VAPOR BARRIERS) AND A SMOKE-DEVELOPED INDEX OF LESS THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- 5) AT LOCATIONS SCHEDULED TO RECEIVE CERAMIC TILE, PROVIDE 1/2" CEMENTITIOUS BOARD IN LIEU OF GWB.
- 6) PROVIDE WATER RESISTANT GYPSUM BACKER BOARD AT ANY WALL WITH A FLUMBING FIXTURE
- 7) CONCEALED FIRE WALLS, VERTICAL FIRE SEPARATION ASSEMBLIES, FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE DESIGNATED ABOVE CEILINGS AND ON THE INSIDE OF ALL CEILING ASSEMBLIES BY SIGNAGE HAVING LETTERS NO SMALLER THAN ONE INCH IN HEIGHT. SUCH SIGNAGE SHALL INDICATE THE FIRE-RESISTANCE RATING OF THE ASSEMBLY AND THE TYPE OF ASSEMBLY AND BE PROVIDED AT HORIZONTAL INTERVALS OF NO MORE THAN EIGHT FEET.
- 8) ANCHOR ENDS OF PARTIAL HEIGHT WALLS WITH STEEL POST & HEAVY GAUGE STUDS.



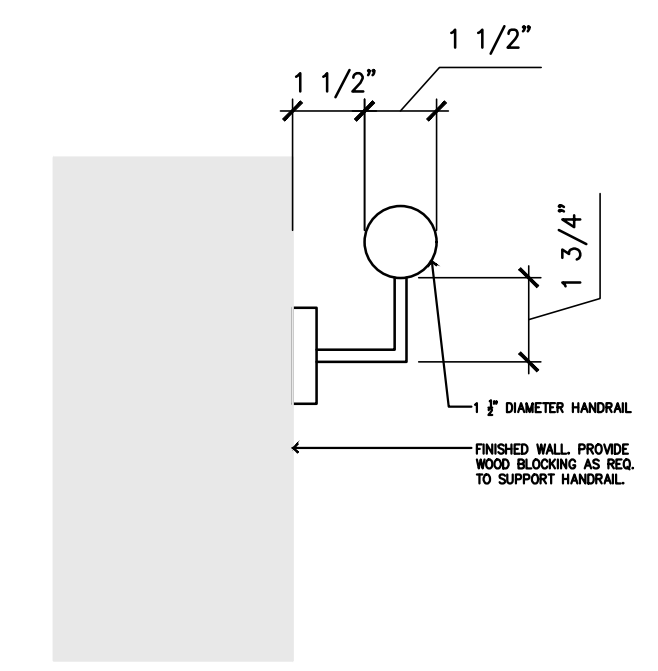
6 TYPICAL FLOOR/CEILING ASSEMBLY
SCALE: 1 1/2"=1'-0"



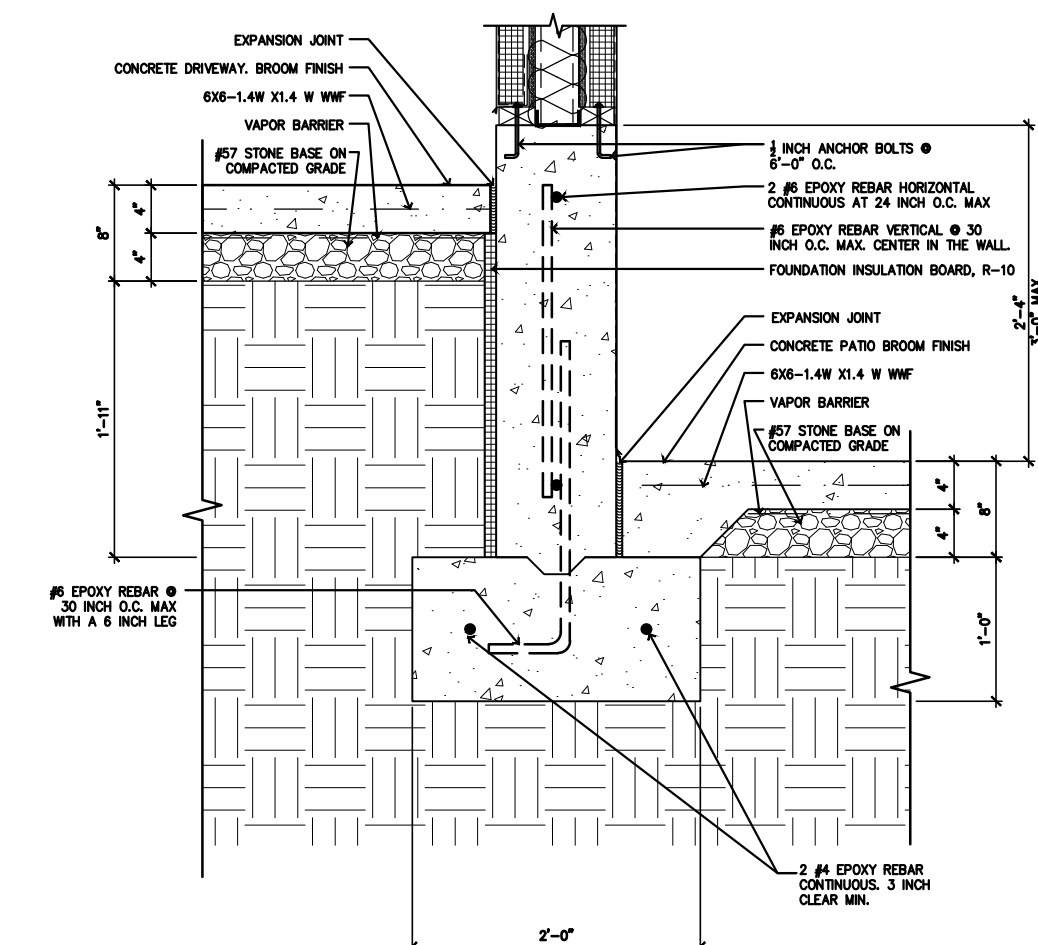
3 WALL SECTION
SCALE: 3/4"=1'-0"



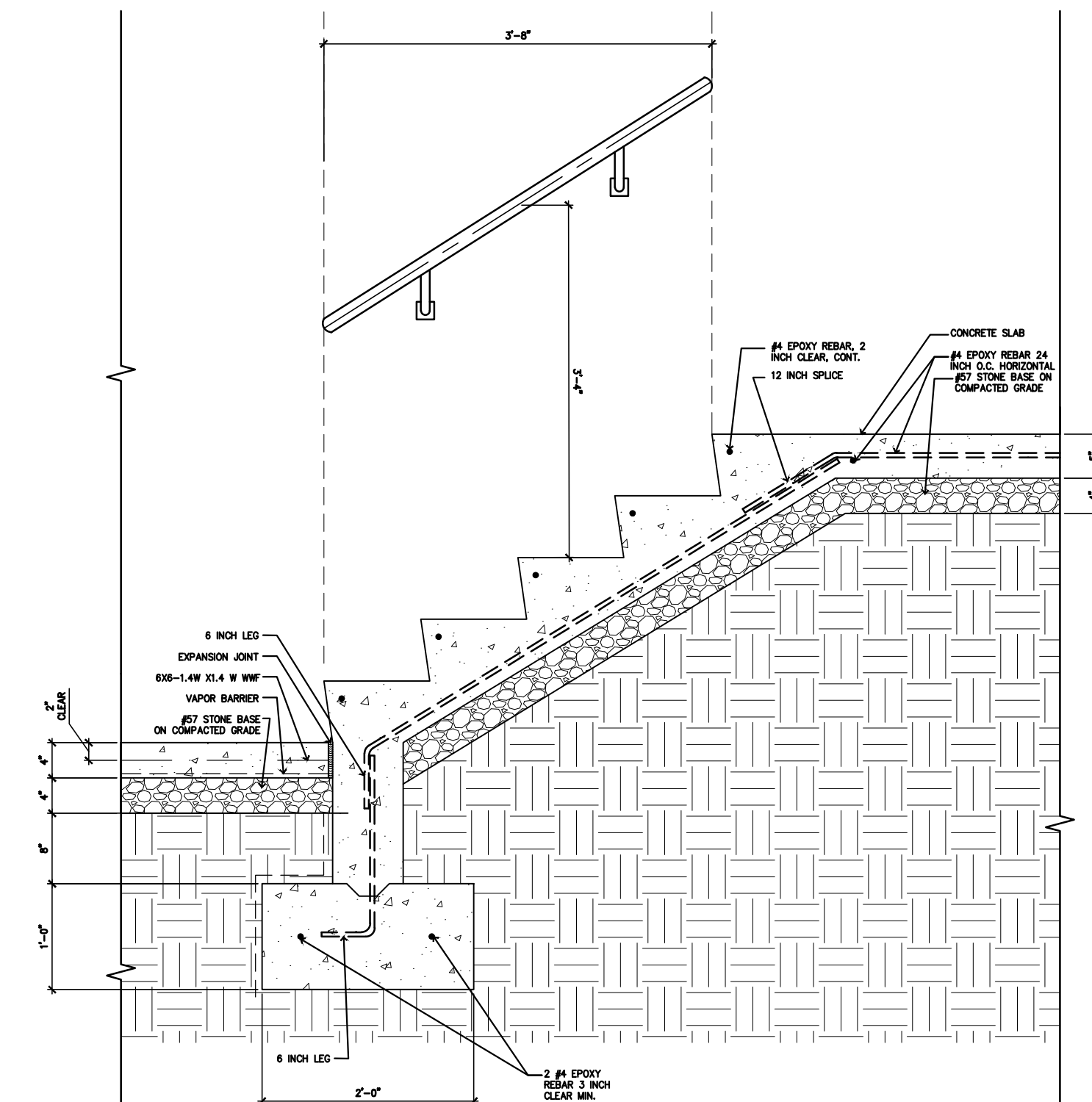
5 TYPICAL SLAB ON GRADE
SCALE: 3/4"=1'-0"



4 HANDRAIL DETAIL
SCALE: 3"=1'-0"



2 CONCRETE FOUNDATION WALL
SCALE: 3/4"=1'-0"



1 CONCRETE STAIR ON GRADE (BACK PATIO)
SCALE: 3/4"=1'-0"

Revisions		
No.	Description	Date
1	PERMIT SET	10/04/17

Project

Project Number
Drawing Information

INTERIOR DETAILS

Scale As Noted
Date 11/11/2015
Drawn By EA
Checked By KC

Drawing Number A14.2

Revisions

No.	Description	Date
	PERMIT SET	10/04/17

Project

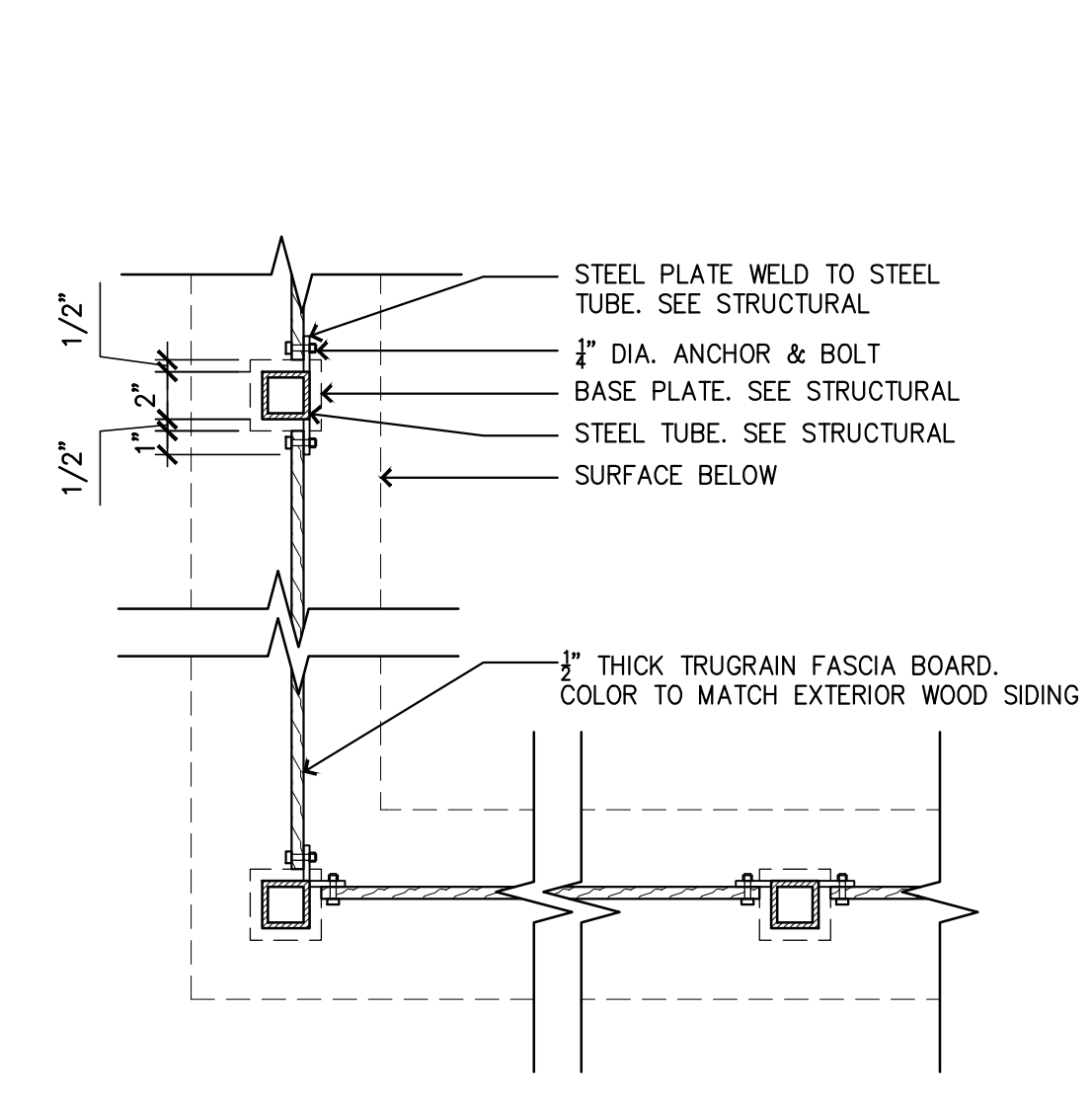
Project Number
Drawing Information

INTERIOR DETAILS

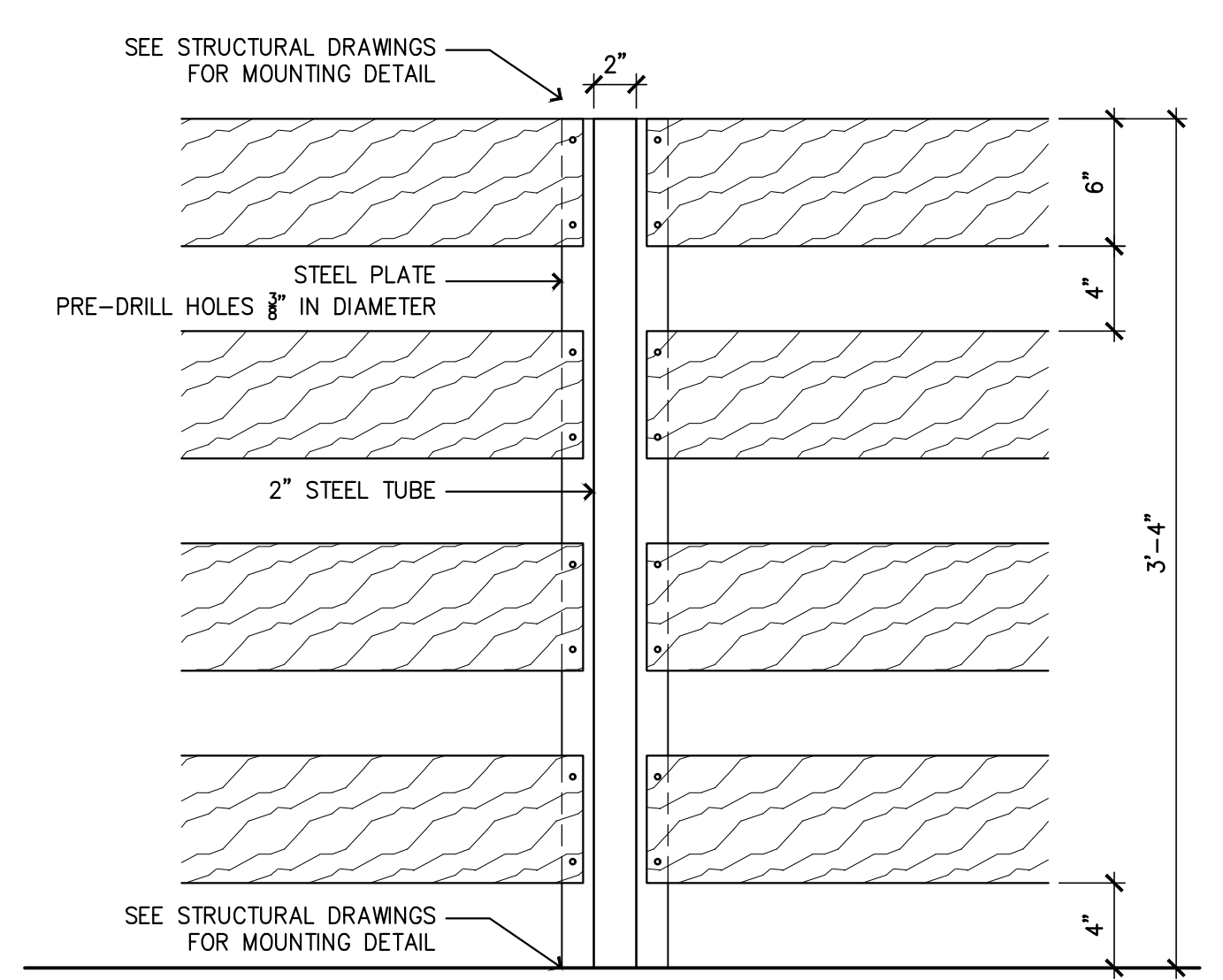
Scale _____ As Noted
Date _____ 11/11/2015
Drawn By _____ EA
Checked By _____ KC

Drawing Number

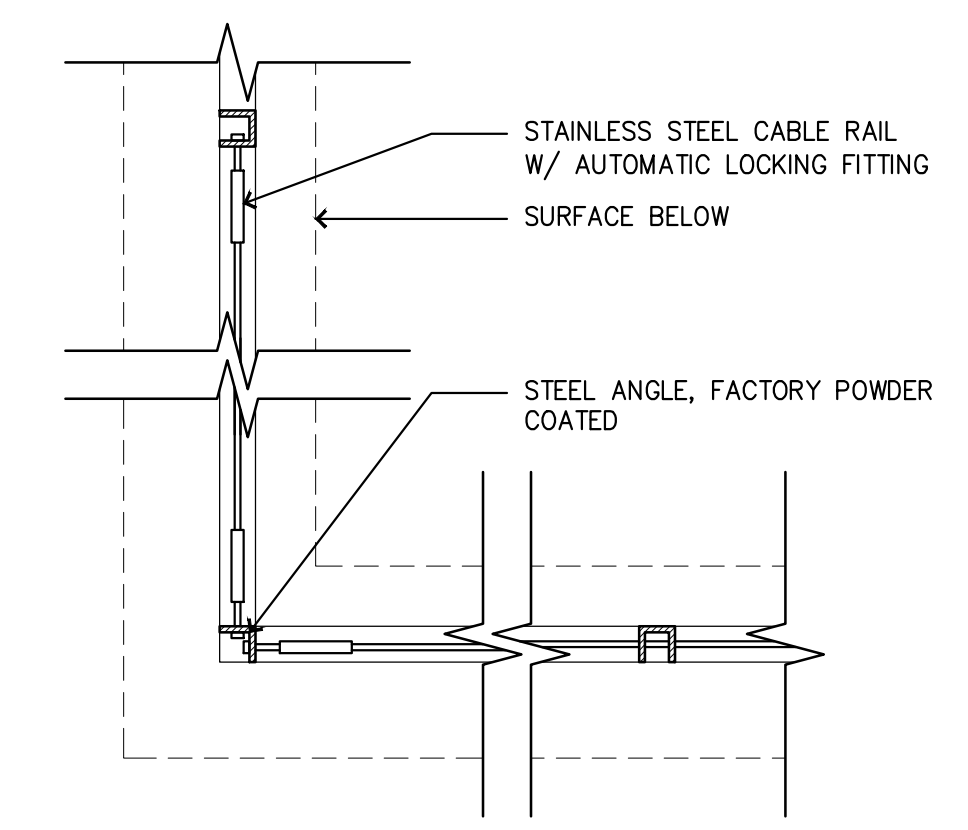
A14.3



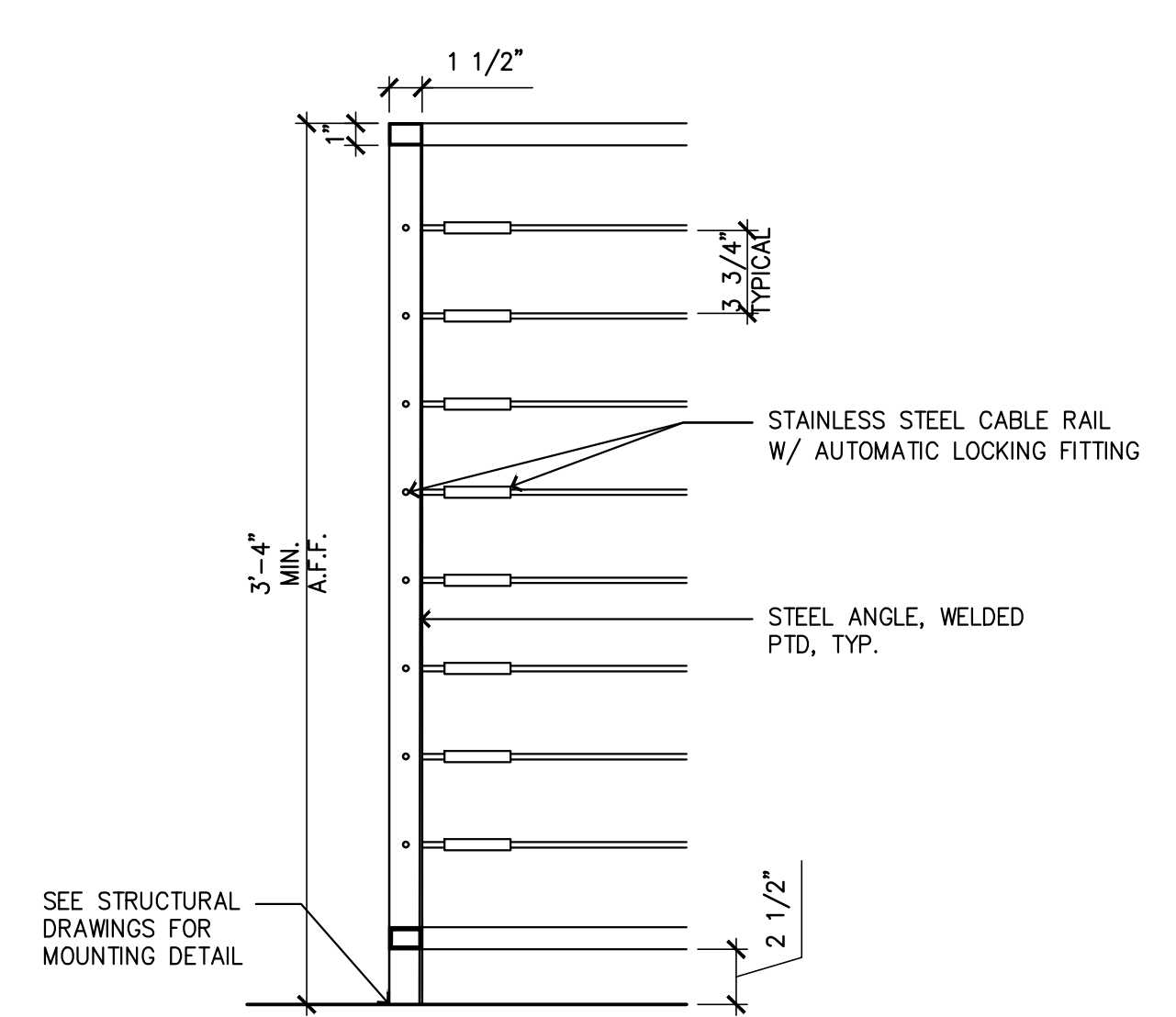
4 WOOD BOARD FENCE DETAIL
SCALE: 1 1/2"=1'-0"



3 WOOD BOARD FENCE DETAIL
SCALE: 1 1/2"=1'-0"



2 CABLE GUARDRAIL DETAIL
SCALE: 1 1/2"=1'-0"



1 CABLE GUARDRAIL DETAIL
SCALE: 1 1/2"=1'-0"