

**STANDARD CONSTRUCTION NOTES**

**General-**

1. All construction, plumbing, electrical and mechanical will comply with the IRC One and two Family Dwelling Code and State, County and Municipal Codes.
2. Construction shall comply with all Covenants, Conditions and Restrictions recorded against the land.
3. General contractor and all subcontractors will review plans for accuracy and verify all dimensions and compliance with above codes (see #1) prior to the start of construction. Bids submitted will be according to such review.
4. Safety, care of adjacent properties during construction, and compliance with all applicable safety regulations is, and shall be, the contractors and subcontractors responsibility.
5. All trees to be protected from damage of construction process and machines unless approved for removal by owner.

**Concrete-**

1. Concrete shall be 5-7% air entrained with a minimum compressive strength of:
  - a) 2500 psi for basement walls and foundations not exposed to weather and for basement slabs and interior slabs on a grade.
  - b) 3000 psi for basement foundation and exterior walls and other vertical work exposed to weather.
  - c) 3500 psi for carport and garage floor slabs for porches and steps exposed to weather. [Table R402.2.]
2. All concrete form work to be adequately tied together and braced to form a true line, square corners and plumb walls.
3. All reinforcing bars shall conform to ASTM Spec. (A625 Deformed bars with minimum yield stress of 60,000 psi [Table R404.1.2.7.B.1]). Welded wire fabric to be 6x6, 10/10, conforming to ASTM spec. 105.
4. Formed footing to be poured on level (less the 1" in 10'-0" slope), undisturbed soil.
5. Install 3"x3"x0.224 plate washers between foundation sill plate and nut on all foundation bolts.
6. Crawl space venting minimum 1.0 sq.ft. for each 150 sq.ft. of foundation area.

**Metal-**

1. All flashing to be 24 ga. #1 metal. Gable stops and beam caps to be 22 ga. #1 metal.
2. All framing connections to be Simpson Company or approved equivalent.

**Framing-**

1. Exposed plywood to be exterior grade CGX. Nail 6" on edge 12" in field.
2. All dimension lumber to be Douglas Fir-Larch, 2x4 standard or better all other #2 or better unless noted otherwise.
3. All walls to be double plated, and plated joints will not be less than 48" apart. Top plate of interior partitions shall be full into exterior wall plate.
4. Provide operable egress windows at basement and every sleeping room with a minimum clear opening of 5.7 sq.ft. (Ground floor egress window 5 sq.ft.) Least operable height shall be not 24"; least operable width shall be not 20"; sill height shall not be more than 44" above the floor. (R310.1).
5. Level changes at entries to be minimum 1/2" maximum 1 1/2".
6. Exterior bearing wall headers as per framing plans.
7. Interior bearing wall headers to be 4x6 #2 or #1 unless noted.
8. Framing walls to be 2x6 (verify with plumbing contractor).
9. Provide blocking for backing. Shower rod, 84" height; Towel rod, 42" height; Curtain rod, each side of all windows.
10. All pre-wiring for telephone, TV, Stereo etc. to be coordinated with owner.
11. All trusses to be per manufacturers engineering specifications. Truss details to be provided upon framing inspection. Truss manufacturer to verify all spans and configurations prior to truss fabrication.
12. Trusses shall not bear on interior partitions unless so designed.
13. Insulation baffles to be CDX plywood (or approved equal), no felt paper allowed. Use scrap if available.

**Masonry-**

1. Stone or Brick selected by owner.
2. Fire damper required except for gas fireplace.
3. Provide an outside air inlet, at least 6 square inches. The inlet shall be closable (dampened) from the building interior. Duct shall be non-combustible and continuous from the interior to the exterior of the building. The inlet shall be located near, or on the floor within 24 inches of the fireplace or appliance. [R102.6]

**Thermal Protection-**

- Insulation required as follows:
- Exterior Walls; R-2
  - Floors; R-30
  - Ceiling; R-30
  - 2x10 or 2x12 Rafter vaulted ceiling for a maximum of 50% of the heated floor space area shall be allowed with R-30 insulation.
  - Foundation Walls; R-15
  - Forced Air Ducts; R-8
  - Water Heater; R-11 wrap
  - Slab on Grade; R-15
1. 25x millimeter black polyethylene (reinforced if under slab) ground cover required at foundation.
  2. Vapor barriers at exterior walls (one dry cup rating or less).
  3. Doors and windows to be weather-stripped.
  4. Windows shall have a maximum U-0.35. Skylights: Maximum U-0.60
  5. Exterior doors shall have a maximum U-0.20. Exterior doors with >25 sq.ft. glazing shall have a maximum U-0.40 (double pane with low-e coating or triple pane glazing shall be deemed to comply with the U-0.40 requirement).

**Plumbing-**

1. Fixtures to be identified by owner. Color to be white unless specified.
2. Plumbing waste lines to be located as follows: The center line of water closet waste line to be 12" from face of wall behind; tub waste lines to be centered in wall behind controls and 15" face of side wall.
3. All nailboard joints, cut edges and pipe openings at tub and shower enclosures to be protected with a separate coat of tile adhesive used as sealer. Prior to application of the finish material, all openings around pipes, fixtures, etc. to be caulked with approved waterproof non-hardening caulking compound.
4. The maximum amount of water used by new plumbing fixtures: a) toilets: 1.6 gal. per flush; b) shower heads: 2.5 GPM; c) interior faucets: 2.5 GPM.
5. Showers shall be equipped with control valves of the pressure balance/thermostatic mixing or the combination pressure balance/thermostatic mixing valve type with high limit stops in accordance with ASME A112.18.1. [P-418]
6. Glass tub and shower doors to be safety glazed to comply with CPSC 16-CFR, Part 1201.
7. Plumbing contractor to install plumbing to minimize noise from use and protect structural support members.
8. Water heaters to be provided with pressure relief valves with provision to drain to exterior or approved drain.
9. Water heaters shall be anchored to resist horizontal movement. [P-508.2]
10. Storm water drains (within 5' of foundation wall) shall be of material as specified for sanitary drainage work. Storm water sewers 5' and beyond foundation) shall be of an approved material as per plumbing contractor.

**Finish-**

1. All finishes to be identified by owner, including cabinets, doors, and finish trim, etc.
2. Flash all exterior doors, windows, and horizontal wood trim as required.
3. Counter tops to be self edged, and covered (or as per owner)
4. All open flames and glow elements to be minimum 18" above garage floor.
5. The garage shall be completely separated from the residence and its attic area by means of type "X" board or equivalent applied to the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by type "X" board or equivalent. [R-302.6]
6. Skylights shall be of an approved kit design, or provide construction plans and details on site to be approved by the inspector before installation begins. All minimum glazing and curb requirements of R-302.6 shall be met.
7. Provide a minimum of 30" wide-space and 21" clear in front of all water closets. [Figure R507.1]
8. Minimum hallway width 36", finish wall to finish wall. [R-311]
9. Provide an approved smoke detector on all floor levels and at all sleeping areas. All detectors in "new construction" shall receive their primary source of power from the permanent built-in wiring with battery back up in case power is interrupted. Smoke detectors shall not be located between sleeping areas and any cold air return. Coordinate location with field inspector. [R-314]
10. Recessed light fixtures installed in insulated cavities shall be labeled as suitable for being installed in direct contact with insulation, i.e. IC rated.



Board of Zoning Adjustment  
 District of Columbia  
 CASE NO. 1969-0000

**THE MERINO**

TITLE: ARTIST'S RENDERING & STANDARD CONSTRUCTION NOTES  
 DATE: 10/18/17  
 SCALE: NOTED  
 DRAWN BY: AZ  
 CHECKED BY: BT

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REVISIONS:  
 REVISION NO. COS-323

PROJECT:  
**30-453**  
 SHEET 1 OF 1

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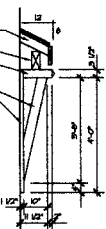
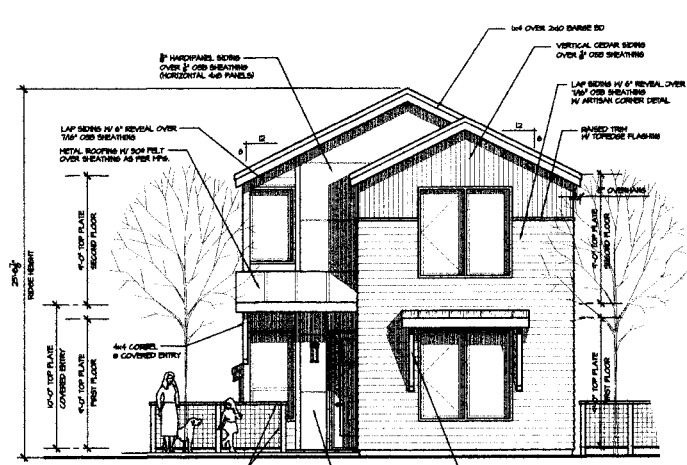
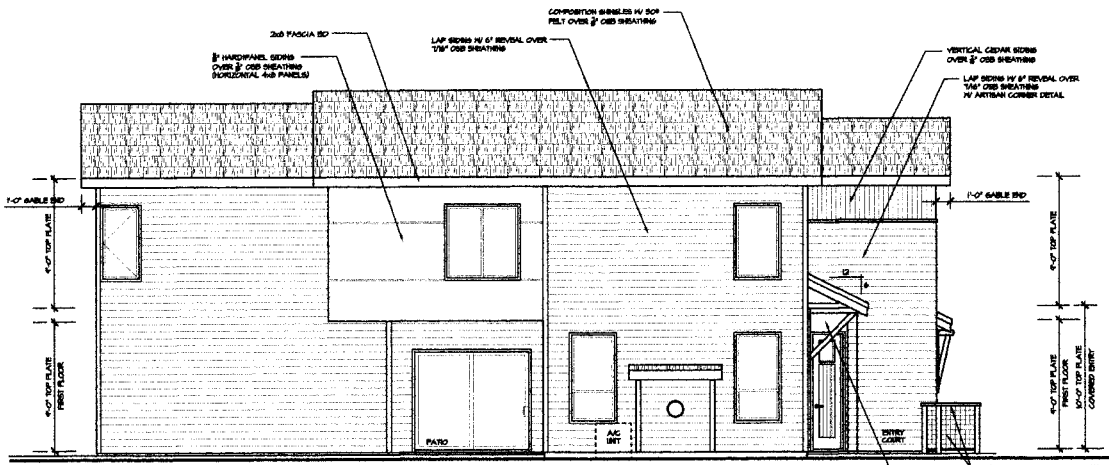
THE MERINO

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DATE 10/18/11  
SCALE NOTED  
DRAWN GSK/BTK  
BY T.T.

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REVISIONS  
REVISION NO. 005-325  
PROJECT 30-953  
SHEET 2 OF 4

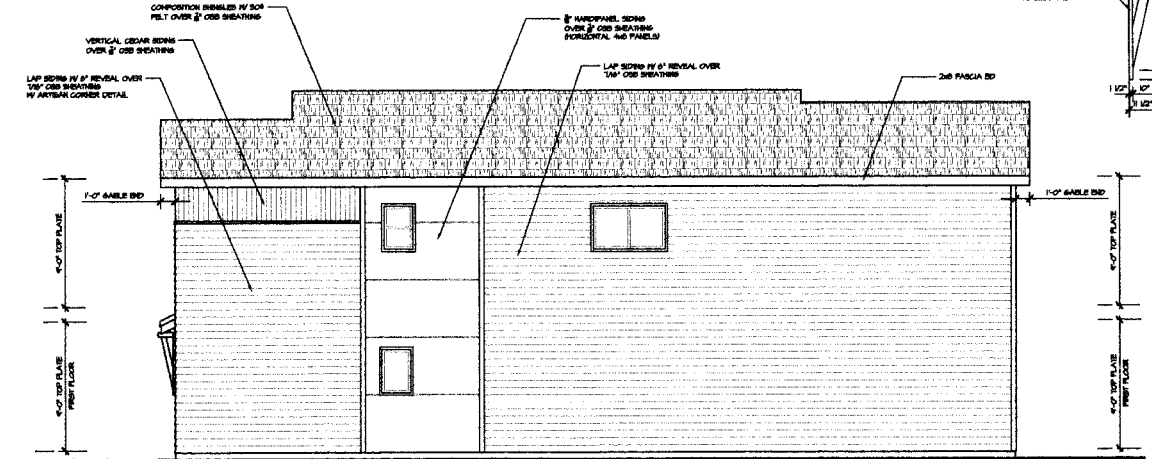


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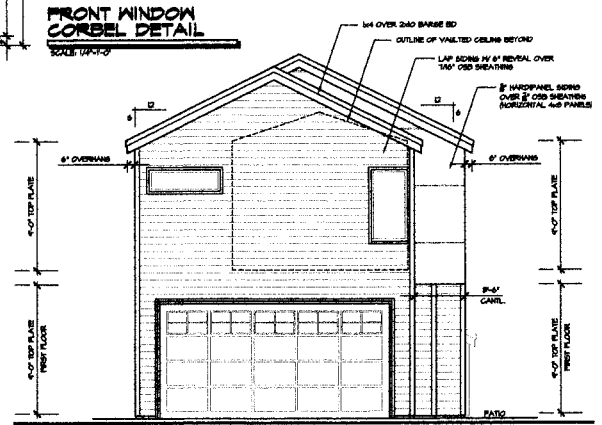
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RIGHT ELEVATION

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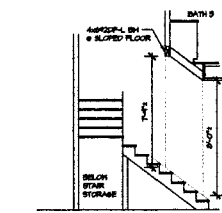
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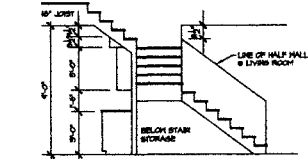
ASSUMED DESIGN LOADS:  
LIVE LOAD @ FLOOR = 40 PSF  
DEAD LOAD @ FLOOR = 10 PSF  
LIVE/ROOF LOAD @ ROOF = 20 PSF  
DEAD LOAD @ ROOF = 15 PSF  
SOIL BEARING PRESSURE = 1500 PSF

NOTES:  
OWNER & BUILDER/ CONTRACTORS TO REVIEW PLAN FOR COMPLETENESS AND ACCURACY PRIOR TO CONSTRUCTION. NOTIFY ASSOCIATED DESIGNS, INC. OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.  
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**LEGEND:**  
 DIMENSIONS LISTED AS FOLLOWS:  
 (S) SLOPE 1/4" IN 12"  
 (R) RISE 1/4" IN 12"  
 (T) TOTAL RISE 1/4" IN 12"  
 (L) LENGTH 1/4" IN 12"  
 (W) WIDTH 1/4" IN 12"  
 (H) HEIGHT 1/4" IN 12"  
 (D) DIAGONAL 1/4" IN 12"  
 (A) AREA 1/4" IN 12"  
 (V) VOLUME 1/4" IN 12"  
 (S) SLOPE 1/4" IN 12"  
 (R) RISE 1/4" IN 12"  
 (T) TOTAL RISE 1/4" IN 12"  
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 (H) HEIGHT 1/4" IN 12"  
 (D) DIAGONAL 1/4" IN 12"  
 (A) AREA 1/4" IN 12"  
 (V) VOLUME 1/4" IN 12"



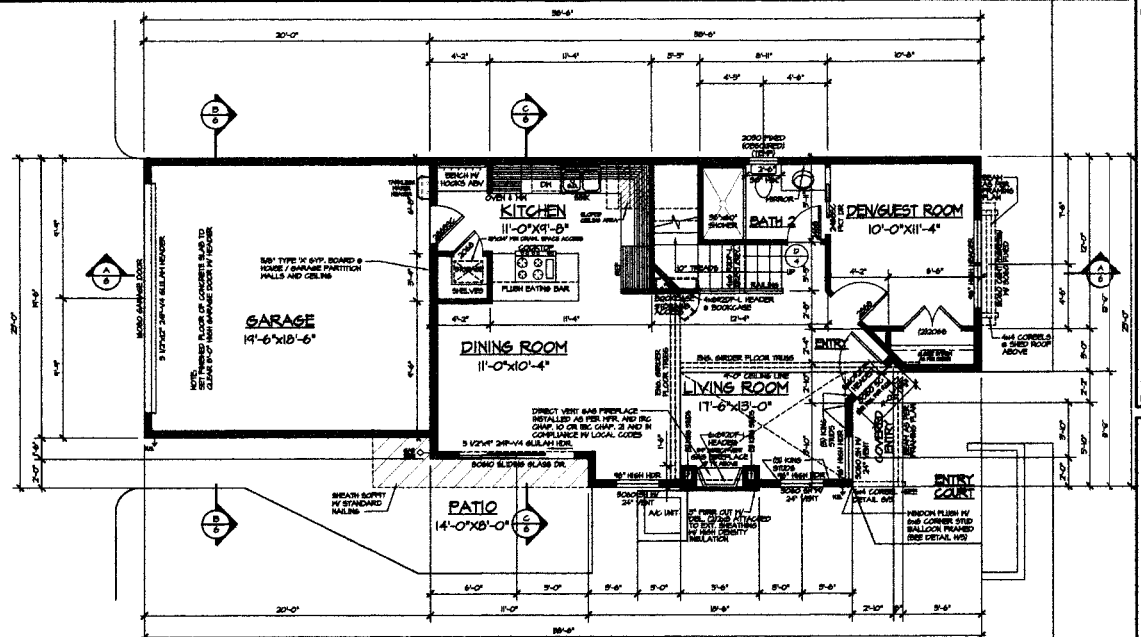
**STAIR @ 2nd FLOOR BATH**  
 SCALE: 1/4"=1'-0"



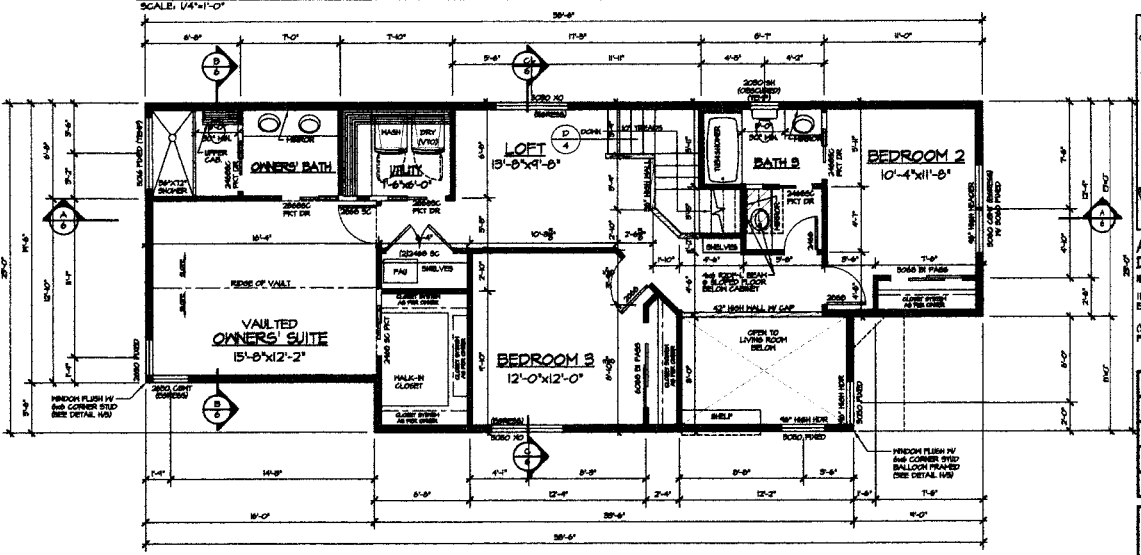
**STAIR @ KITCHEN WALL**  
 SCALE: 1/4"=1'-0"

SQUARE FOOTAGE:	
FIRST FLOOR	795 SQ. FT.
SECOND FLOOR	1074 SQ. FT.
LIVING AREA	1864 SQ. FT.
GARAGE	390 SQ. FT.
TOTAL	2254 SQ. FT.

- NOTES:**
- EXTERIOR WALL HEADERS TO BE 4x6 @ 2 DF-L W/ 2" RIGID INSULATION UNLESS NOTED OTHERWISE.
  - INTERIOR BEARING WALL HEADERS TO BE 4x6 UNLESS NOTED OTHERWISE.
  - SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) UNLESS NOTED OTHERWISE.
  - COORDINATE PROVIDER FOR TV, STEREO, TELEPHONE AND SECURITY SYSTEM WITH OWNER.
  - MECHANICAL SYSTEM TO BE DESIGNED BY MECHANICAL CONTRACTOR TO MEET OWNER'S NEEDS AND COMPLY WITH LOCAL CODES.
  - CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
  - TYPICAL ANGLE IS 45° UNLESS NOTED OTHERWISE.
  - ALL WALLS TO BE IN COMPLIANCE W/ IRC TABLE R602.3(1) OR IRC TABLE 2504.4.1.
  - LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.



**FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**1000**

**THE MERINO**

TITLE: FIRST FLOOR & SECOND FLOOR PLANS  
 DATE: 10/18/11  
 SCALE: NOTED  
 DRAWN BY: JKA  
 CHECKED BY: JKA

**Associated DESIGNS**

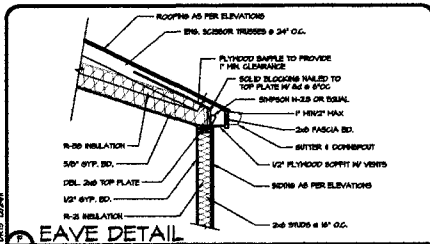
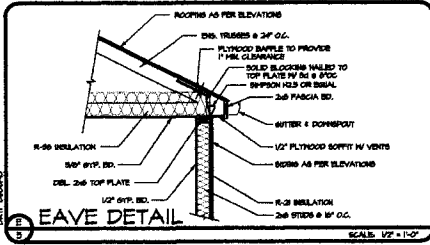
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REVISIONS:

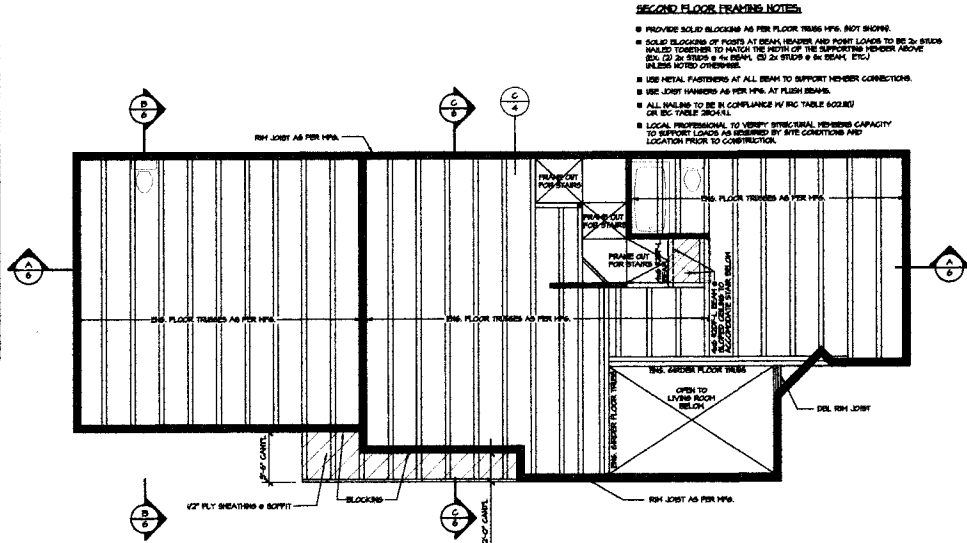
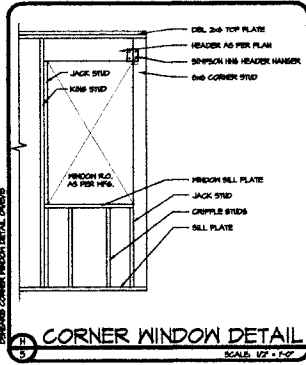
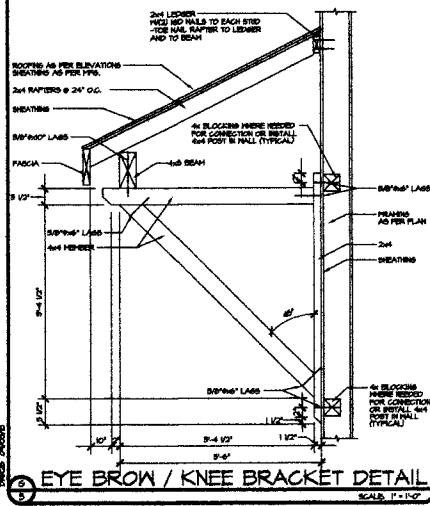

PROJECT: **30-453**

SHEET **3** OF **7**

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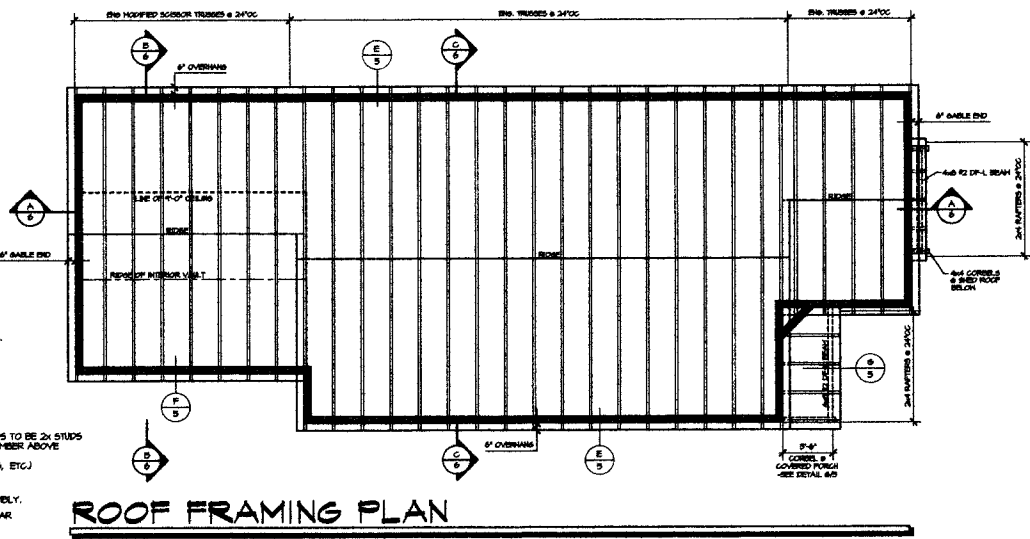


- NOTES:**
- # BRACE IS PLACED BETWEEN STUDS EITHER OPTION 2-PLACE 4x BLOCCING FOR CONNECTION
  - BRACE MAY BE CONNECTED TO HEADERS, BEAMS, RM JOISTS, TOP PLATE, ETC.
  - LASS MAY BE LONGER FOR THESE CONNECTIONS AS NEEDED.
- INSTALLATION SEQUENCE:**
1. COMPLETE KNEE BRACE ASSEMBLY
  2. CONNECT KNEE BRACE TO WALL
  3. INSTALL BEAM
  4. INSTALL LEADER
  5. INSTALL RAINERS



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4"=1'-0"



**ROOF FRAMING PLAN**

SCALE: 1/4"=1'-0"

- ROOF VENTING:**
- PROVIDE ONE (1) SQ. FT. VENTING FOR EACH 150 SQ. FT. ATTIC AREA. USE CONTINUOUS RIDGE VENTS AND SOFFIT VENTS AS REQUIRED. (5'-0" JACK VENTS MAY BE USED IN PLACE OF RIDGE VENTS).
- NOTES:**
- # USE METAL FASTENERS AT ALL BEAM TO SUPPORT MEMBERS.
  - # TYPICAL ROOF PITCH IS 8" IN 12" (BOTTOM CHORD OF SCISSOR TRUSS TO BE 4" IN 12" UNLESS NOTED OTHERWISE).
  - # SOLID BLOCCING OR POSTS AT BEAM HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) (EX: (2) 2x STUDS @ 2-PLY TRUSS, (3) 2x STUDS @ 3-PLY TRUSS, ETC.)
  - # SEE FLOOR PLAN FOR HEADER SIZES.
  - # TRUSS MFG. TO VERIFY ALL DIMENSIONS PRIOR TO TRUSS ASSEMBLY.
  - # PROVIDE 22"x20" ATTIC ACCESS TO ANY ATTIC AREA WITH CLEAR HEIGHT GREATER THAN 30".
  - # ALL NAILING TO BE IN COMPLIANCE HV IRC TABLE 602.2(1) OR IBC TABLE 230-4.1.
  - # LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

- SECOND FLOOR FRAMING NOTES:**
- # PROVIDE SOLID BLOCCING AS PER FLOOR TRUSS MFG. NOT SHOWN.
  - # SOLID BLOCCING OF POSTS AT BEAM HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) UNLESS NOTED OTHERWISE.
  - # USE METAL FASTENERS AT ALL BEAM TO SUPPORT MEMBER CONNECTIONS.
  - # USE JOIST HANGERS AS PER 146. AT FLUSH BEAMS.
  - # ALL NAILING TO BE IN COMPLIANCE HV IRC TABLE 602.2(1) OR IBC TABLE 230-4.1.
  - # LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

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MERINO

TITLE: ROOF FRAMING PLAN & DETAILS  
 DRAWN BY: J.A.  
 CHECK BY: J.A.  
 DATE: 10/18/17  
 SCALE: NOTED

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REVISIONS:


NUMBER OF:  
 000-320

PROJECT:  
**30-453**

SHEET  
**5** OF