



January 30, 2018

Federation of State Medical Boards  
1300 Connecticut Avenue, NW Suite 500  
Washington, D.C. 20036  
Attn: Eric Fish  
[efish@fsmb.org](mailto:efish@fsmb.org)

RE: 2118 LeRoy Place, NW – Gross Floor Area Analysis

Dear Mr. Fish:

You have asked for a determination regarding the calculation of Gross Floor Area (“GFA”) for the building located on the property at 2118 LeRoy Place, NW (the “Building”)

As you know, our engagement with FSMB on this matter has included a Feasibility Study, which was undertaken for the purpose of providing information on required renovations to the building in order to satisfy requirements for potential office use by FSMB. This Study is preliminary in nature, as we have not determined the interior layout, type of finishes, and other such details.

As part of this Study, however, we have evaluated the amount of Gross Floor Area within the Building. That analysis is included on Page 12 of the Study (Study attached as Exhibit A). For the lower level Gross Floor Area amount, we have based our analysis on the amount calculated by CAS Engineering in a Topographical Survey/Lower Level GFA analysis performed by them (attached as Exhibit B).

The total amount of Gross Floor Area in the Building is as follows:


**Total Gross Floor Area - Existing Conditions**

Basement Level	2,703.90 sf (out of a total floor area of 3,258.20)
First Floor	3,042.56 sf
Second Floor	2,663.54 sf
Third Floor	2,415.03 sf

Total Gross Floor Area 10,825.03 sf

Please let us know if you have any questions.

Regards,

A handwritten signature in black ink, appearing to read "G. Bowie", written over a light gray rectangular background.

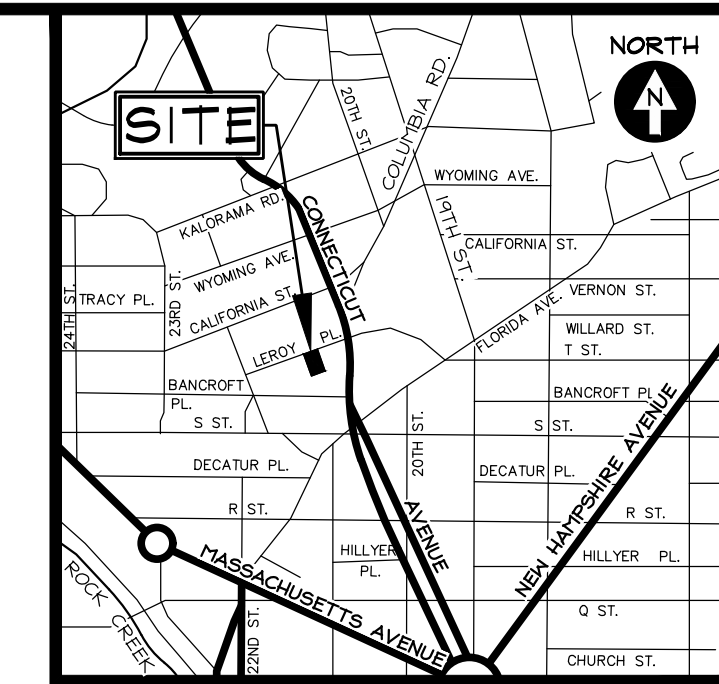
WINGATE HUGHES ARCHITECTS PLLC.  
By: Gavin W. Bowie, AIA, LEED AP  
Principal

cc: Gavin H. Daniels, AIA, IIDA



**GENERAL NOTES**

- 1) TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED DECEMBER, 2017.
- 2) BOUNDARY INFORMATION BASED ON AVAILABLE RECORDS.
- 3) ZONING: R-3 (SHERIDAN-KALORAMA HISTORIC DISTRICT)  
NOTE: SITE IS LOCATED IN THE SHERIDAN-KALORAMA HISTORIC DISTRICT AND MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS/REVIEW.
- 4) TOTAL LOT AREA: LOT 49 = 5,123.5 SQUARE FEET (0.118 ACRES)
- 5) PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL No. 110001001E.



**VICINITY MAP**  
ADC MAP 5526, GRID C-4  
SCALE: 1" = 2000'



**CAS ENGINEERING-DC, LLC**  
Experience you can build on.

CAS ENGINEERING-DC, LLC  
1001 Connecticut Avenue, NW  
Suite 401  
Washington, DC 20036  
(202) 393-7200 Phone  
www.cas-dc.com  
info@cas-dc.com  
CIVIL • SURVEYING • LAND PLANNING

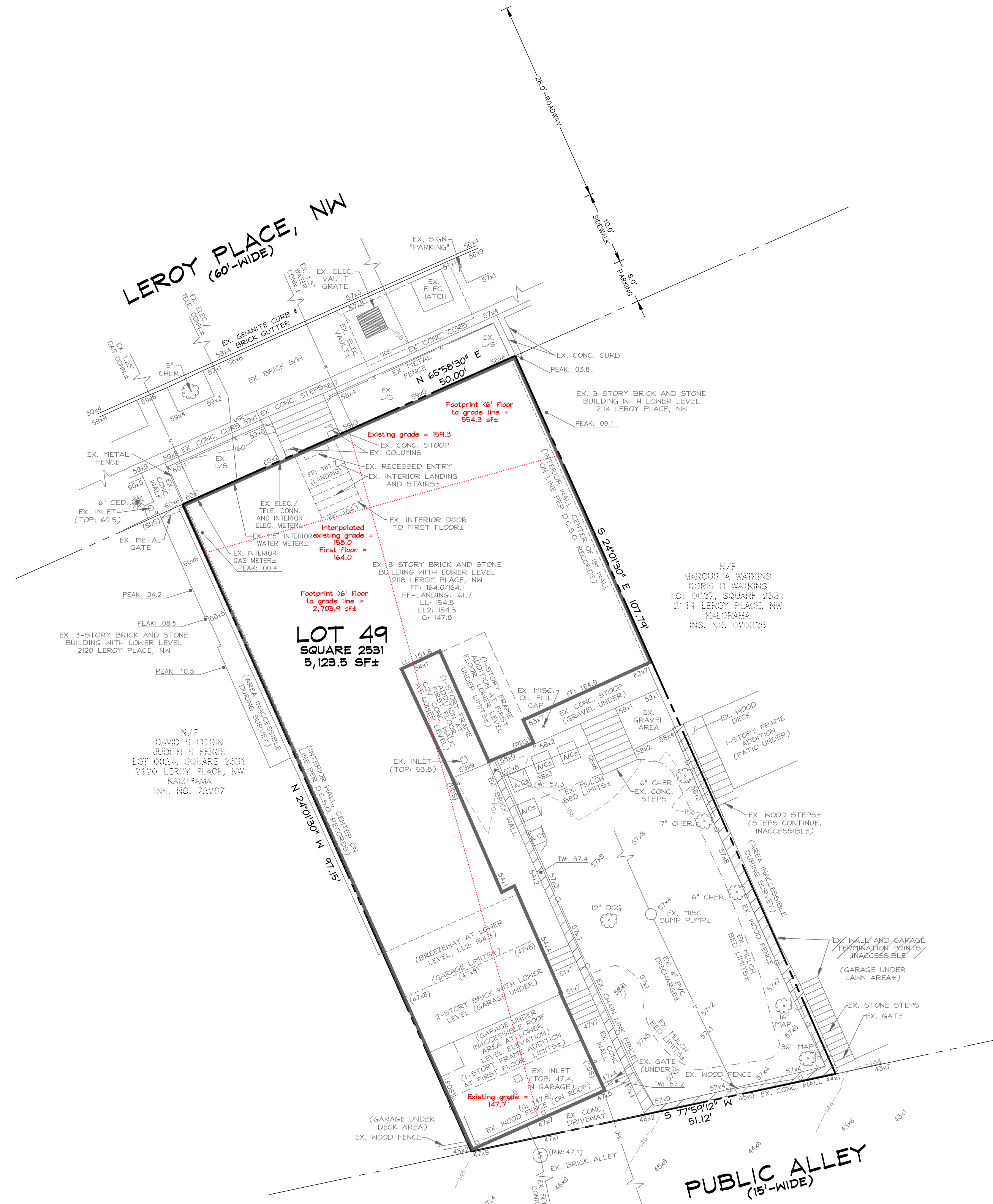
**OWNER**  
THE FEDERATION OF STATE MEDICAL  
BOARDS OF THE UNITED STATES INC  
400 FULLER WISER ROAD  
EULESS, TX 6039-3857

**ARCHITECT**  
WINGATE HUGHES ARCHITECTS, PLLC  
ATTN: TIMOTHY BANKS  
1910 VERMONT AVENUE, NW, SUITE 700  
WASHINGTON, DC  
(410) 459-3450 PHONE  
timothy@wingatehughes.com

LOT 0049, SQUARE 2531  
KALORAMA

**2118 LEROY PLACE, NW**

N.W. WASHINGTON,  
DISTRICT OF COLUMBIA



**LEGEND**

EXISTING FEATURES	
---	PROPERTY LINE
—S—S—	EX. SANITARY SEWER LINE
—W—W—	EX. WATER LINE
—G—G—	EX. GAS LINE
—UG—UG—	EX. UNDERGROUND ELECTRIC LINE
—OH—OH—	EX. OVERHEAD UTILITY LINE
---298---300---	EX. TWO- AND TEN-FOOT CONTOURS
□	EX. SPOT ELEVATION
○	EX. WOOD FENCE
○	EX. CHAIN LINK FENCE
+	EX. SIGN
○ (PDS)	EX. PIPED DOWNSPOUT
○ (SDS)	EX. SPILLED DOWNSPOUT
☼	EX. TREE
▨	EX. WALL

**UTILITY INFORMATION**

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

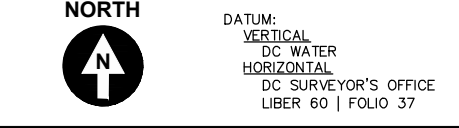
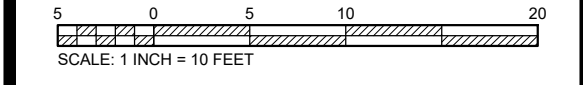
UTILITY	REQUEST DATE	BY	INFO RECEIVED	PLAN REVISED	BY
AT&T	12/15/2017	BDD	12/15/2017	NO FACILITIES	DCL
COMCAST	12/15/2017	BDD	PENDING	—	—
MO/WORLDCOM	12/15/2017	BDD	PENDING	—	—
PEPCO	12/15/2017	BDD	PENDING	—	—
VERIZON	12/15/2017	BDD	PENDING	—	—
WASH. GAS	12/15/2017	BDD	12/15/2017	12/27/2017	DCL
DC SEWER	12/15/2017	BDD	ON FILE	12/27/2017	DCL
DC WATER	12/15/2017	BDD	ON FILE	12/27/2017	DCL

**MISS UTILITY**  
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/DC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

BASE SHEET ISSUED 12.28.2017

REVISION DATE

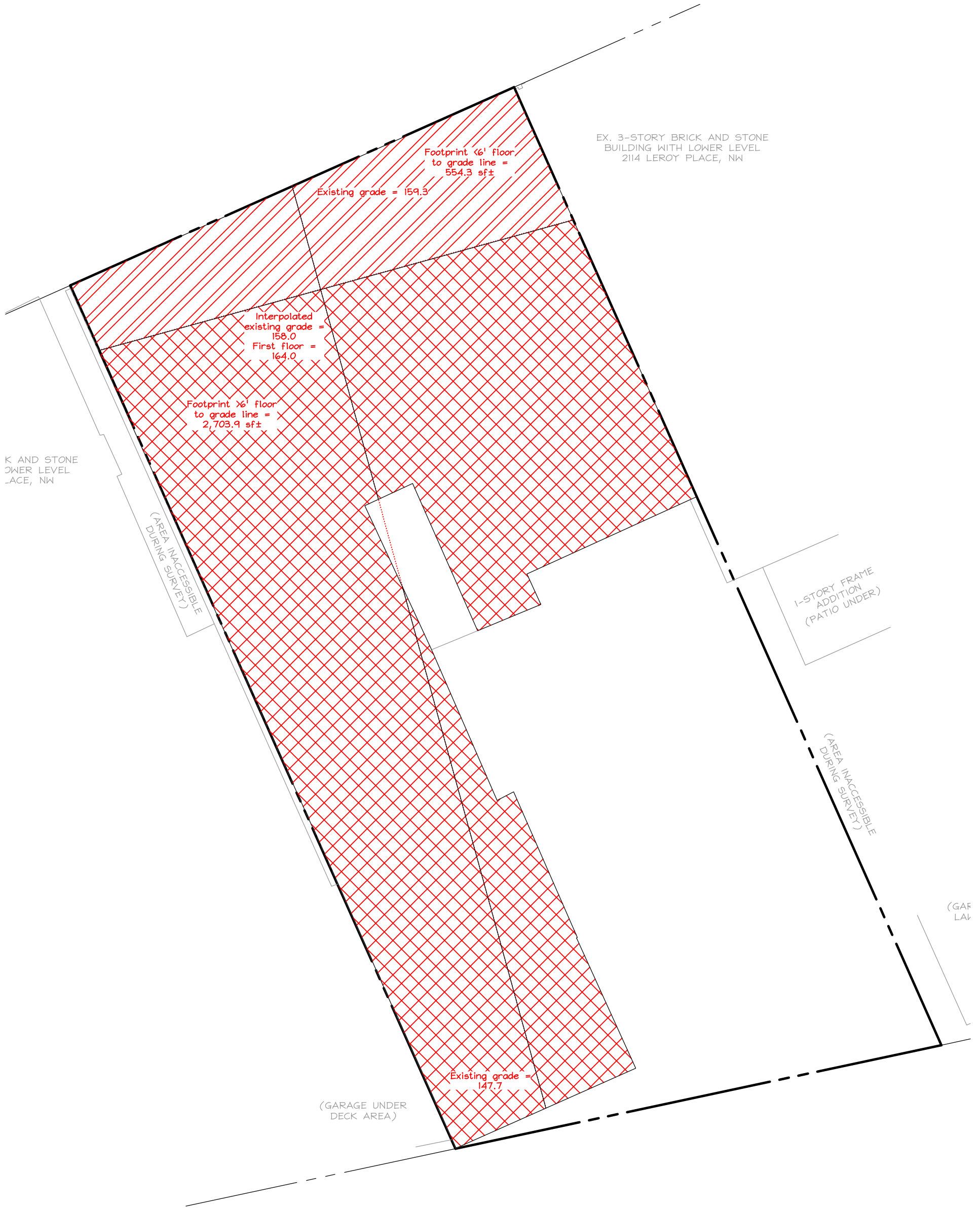
CAS PROJECT 17-762-DC  
DATE 12/2017  
DRAWN BY DCL  
CHECKED BY DCL  
APPROVAL DCL  
SCALE 1"=10'



SHEET TITLE

**EXISTING CONDITIONS PLAN**

**CIV100**



EX. 3-STORY BRICK AND STONE BUILDING WITH LOWER LEVEL 2114 LEROY PLACE, NW