

ABBREVIATIONS:

Table of abbreviations for building components, materials, and construction details. Includes categories like AIR CONDITIONING, ACoustical, ADJUSTABLE, ALUMINUM, APPROXIMATE, ARCHITECT, ASPHALT, AUTO, BOARD, BUILDING, BLOCKING, BEAM, BASEMENT, CONTROL JOINT, CENTER LINE, CEILING, CLOSET, CLEARANCE, CENTER, CERAMIC MOSAIC TILE, CONCRETE MASONRY UNIT, COLUMN, CONCRETE, CONSTRUCTION, CONTINUOUS, CONTRACTOR, COORDINATION, CORRIDOR, CARPET, CERAMIC TILE, CENTER, COUNTER, CUBIC FOOT, DETAIL, DEMOLISH, DEMOLITION, DIAMETER, DIAGONAL, DIMENSION, DISPENSER, DOWN, DOOR, DOWNSPOUT, DRAWING(S), EAST, EACH, EXTERIOR INSULATION & FINISH SYSTEM, EXPANSION JOINT, ELEVATION, ELECTRIC, ELECTRICAL, ELEVATOR, EQUAL, EQUIPMENT, EXISTING TO REMAIN, EXHAUST, EXISTING, EXPAND (D), EXPANSION, EXPOSED, EXTERIOR, FLOOR DRAIN, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FIRE HOSE CABINET, FINISH(ED), FIXTURE, FLOOR, FLEXIBLE, FLUORESCENT, FEET, GALVANIZED, GENERAL CONTRACTOR, GLASS, GLAZING, GRADE, GYPSUM WALLBOARD, HEIGHT, HIGH, HOSE BEBB, HEAVY DUTY, HARDWARE, HOLLOW METAL, HORIZONTAL, HIGH POINT, HEIGHT, HEATING, VENTILATING & AIR CONDITIONING, INSIDE DIAMETER, INCLUDE(ING) (D), INFORMATION, INSULATION, INTERIOR, JANITOR, JOINT, KNOCKOUT, LONG, LENGTH, LABEL, LAMINATE, LAVATORY, LEFT HAND, LIGHT, LOW POINT, MASONRY, MATERIAL, MAXIMUM, MECHANICAL, ELECTRICAL & PLUMBING, MANUFACTURE(ER), MINIMUM, MISCELLANEOUS, MASONRY OPENING, MASOTITE SOLID FILL, MOUNTED, METAL, NORTH, NOT IN CONTRACT, NUMBER, NOMINAL, NOISE REDUCTION, COEFFICIENT, NOT TO SCALE.

MATERIALS:

Table of materials with corresponding hatching patterns. Includes CONCRETE, CONCRETE MASONRY UNIT, BRICK, WOOD FRAMING / ROUGH, WATERPROOF MEMBRANE / ROOFING MEMBRANE / THROUGH WALL FLASHING, RIGID INSULATION, GYPSUM BOARD, PLYWOOD, FINISHED WOOD, ACOUSTICAL TILE, GLASS, SAND / MORTAR / PLASTER, STEEL / FERROUS METAL.

SYMBOLS:

Table of symbols for local labels, reference symbols, level targets, schedule tags, and general symbols. Includes symbols for room names, areas, occupant labels, details, building/wall sections, exterior and interior elevations, match lines, floor and slab level targets, spot elevation targets, key notes, partition tags, door tags, ceiling tags, window tags, fixture and appliance tags, finish tags, revision tags, column grid buffs, center lines, and property lines.

ZONING & BUILDING CODE DATA:

BUILDING DATA: PROJECT NAME: 1121 MORSE; PROJECT ADDRESS: 1121 MORSE STREET NE WASHINGTON, DC 20002. PROJECT SCOPE: EXIST 2 STORY + CELLAR SFD TO BE CONVERTED INTO 3 STORY + CELLAR MULTI-FAMILY BUILDING YIELDING 3 DWELLING UNITS WITH NEW REAR AND THIRD STORY ADDITION. ALL NEW MECHANICAL, ELECTRICAL, PLUMBING TO BE PROVIDED. APPLICABLE BUILDING CODES: 2016 DC ZONING REGULATIONS (DCMR 11); 2013 DC CONSTRUCTION CODES SUPPLEMENT (DCMR 12) WHICH AMENDS THE FOLLOWING: 2012 ICC INTERNATIONAL BUILDING CODE (DCMR 12A); 2012 ICC INTERNATIONAL RESIDENTIAL CODE (DCMR 12B); 2005 NFPA NATIONAL ELECTRIC CODE (DCMR 12C); 2012 ICC INTERNATIONAL FUEL CODE (DCMR 12D); 2012 ICC INTERNATIONAL MECHANICAL CODE (DCMR 12E); 2012 ICC INTERNATIONAL PLUMBING CODE (DCMR 12F); 2012 ICC INTERNATIONAL PROPERTY MAINTENANCE CODE (DCMR 12G); 2012 ICC INTERNATIONAL FIRE CODE (DCMR 12H); 2012 ICC INTERNATIONAL ENERGY CONSERVATION CODE (DCMR 12I); 2012 ICC INTERNATIONAL EXISTING BUILDING CODE (DCMR 12J); 105/ANSI A117.1 - 2003.

ZONING DATA: SQUARE NO.: 4070; LOT NO.: 0138; ZONING DISTRICT: R-4; ZONING OVERLAY: NONE; HISTORIC AREA/SITE: NONE; SITE AREA: 2795 SF PER DC RECORD. Table with columns: REGULATION (ZBI), EXISTING, ALLOWED/REQUIRED, PROVIDED. Rows include BUILDING HEIGHT (2 STORES 26'-6" vs 3 STORES 40'-0"), FLOOR AREA RATIO, LOT OCCUPANCY (25X 700 SF vs 60X 1877 SF vs 59X 1849 SF), REAR YARD (98'-0" vs 20'-0" MINIMUM vs 46'-2"), SIDE YARD, OFF-STREET PARKING (1 PARKING SPACES vs 1 PER TWO DWELLING UNITS vs 2 PARKING SPACES).

IBC CHAPTER 3 - USE & OCCUPANCY:

IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

Table for IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS. Includes rows for HEIGHT (R-2 RESIDENTIAL), AREA (IBC TABLE 503, IBC SECTION 506), and table for ALLOWED vs PROVIDED areas for R-2 residential.

IBC CHAPTER 6 - TYPES OF CONSTRUCTION:

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION:

Table for IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION. Includes rows for BUILDING ELEMENT, CONDITION, LOCAL, RATING REQUIRED, RATING PROVIDED. Rows include STRUCTURAL FRAME, BEARING WALLS (EXTERIOR PARTY WALL, EXTERIOR FACE ON PROP LINE), NONBEARING EXTERIOR WALLS & PARTITIONS, NONBEARING INTERIOR WALLS & PARTITIONS, FLOOR CONSTRUCTION, ROOF CONSTRUCTION, FIRE BARRIERS, SEPARATION AND/OR PROTECTION REQUIRED, and FIRE PARTITIONS.

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION (CONTINUED):

Table for IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION (CONTINUED). Includes rows for BUILDING ELEMENT & ASSEMBLY LOCATION, ASSEMBLY RATING REQUIRED, ELEMENT RATING REQUIRED. Rows include FIRE BARRIERS RATED >1HR, SHIFTS, EXIT ENCLOSURES & EXIT PASSAGEWAYS RATED 1HR, OTHER FIRE BARRIERS RATED 1HR, CORRIDOR WALLS, OTHER FIRE PARTITIONS, EXTERIOR WALLS, FIRE PARTITIONS, EXTERIOR WALLS.

IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:

- 1. AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903) NFPA 13R SPRINKLER PROVIDED.
2. STANDPIPE SYSTEM: (IBC SECTION 905) NONE REQUIRED.
3. FIRE ALARM & DETECTION SYSTEM: (IBC SECTION 907) MULTI-STATION ALARM PROVIDED.
4. OTHER PROTECTION PROVISIONS: CARBON MONOXIDE DETECTORS PROVIDED.

IBC CHAPTER 10 - MEANS OF EGRESS:

Table for IBC CHAPTER 10 - MEANS OF EGRESS. Includes rows for OCCUPANT LOAD (IBC SECTION 1004, IBC TABLE 1004.1.1), EGRESS WIDTH (IBC SECTION 1005, IBC TABLE 1005.1), and table for STAIRWAYS, OTHER EGRESS COMPONENTS, CORRIDORS.

IBC CHAPTER 11 - ACCESSIBILITY:

IBC CHAPTER 13 - ENERGY EFFICIENCY:

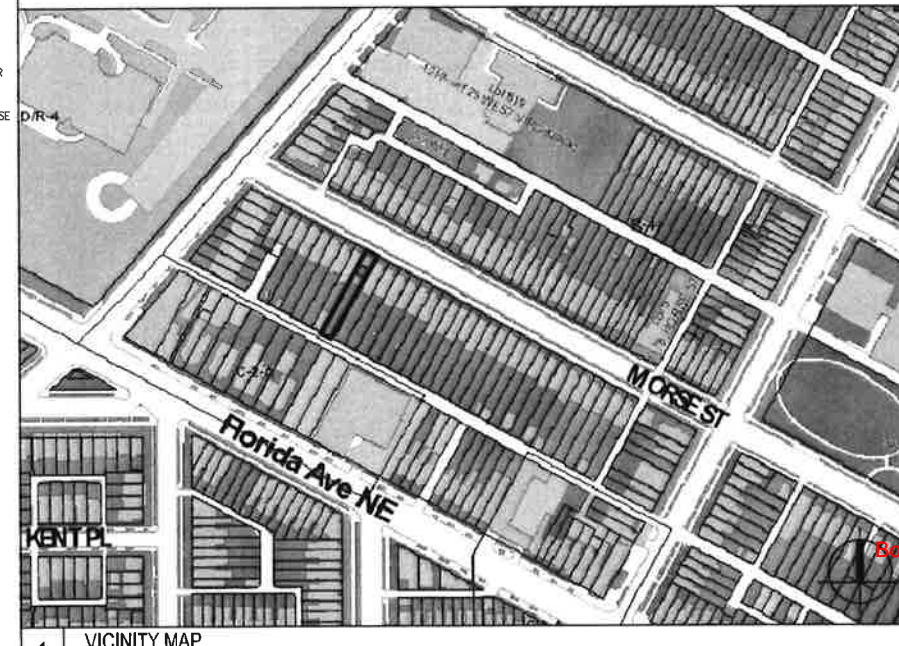
- 1. THERMAL ENVELOPE INSULATION (DCMR 12I TABLE EC-402.1.1): GLAZING (U=0.35, U=0.60), SKYLIGHTS (R=49, R=18), ROOFS (R=18, R=18), FRAME WALLS (R=5 CONTINUOUS, R=10 FRAMING CAVITY), THERMAL MASS WALLS (R=5 CONTINUOUS, R=10 FRAMING CAVITY), FLOORS OVER UNHEATED SPACE (R=19), BASEMENT & CRAWL SPACE WALLS (R=10 CONTINUOUS, R=13 FRAMING CAVITY), SLAB PERIMETER (R=10 FOR DEPTH 2'-0").
2. AIR INFILTRATION (DCMR 12I SECTIONS EC-402.4.4 & EC-403.2.2): A. WINDOWS, SKYLIGHTS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION. B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES. C. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY 2006 IECC CHAPTER 5 GOVERNING COMMERCIAL ENERGY EFFICIENCY:

- 1. BLDG ENVELOPE REQ - OPAQUE ASSEMBLIES (IECC TABLE 502.2(1)): MASS WALLS ABOVE GRADE (R=5.7 CI (CONT INSULATION)), FRAMED FLOORS (R=18), OPAQUE DOORS (SWINGING) (U=0.70).
2. BLDG ENVELOPE REQ - FENESTRATION (IECC TABLE 502.3): NON-METAL FRAMING (U=0.40), STOREFRONT METAL FRAMING (U=0.50), ENTRANCE DOOR METAL FRAMING (U=0.85), OTHER METAL FRAMING (U=0.55).
3. AIR LEAKAGE (IECC SECTION 502.4): A. WINDOWS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION. B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES. C. CURTAIN WALL & STOREFRONT GLAZING NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION. D. COMMERCIAL GLAZED SWINGING ENTRY DOORS & REVOLVING DOORS NOT TO EXCEED 1.0 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES. E. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

GENERAL NOTES:

- 1. SEE THIS DRAWING FOR GENERAL NOTES, ABBREVIATIONS, GRAPHIC SYMBOLS AND MATERIAL DESIGNATIONS.
2. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS AND/OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ACCURACY OF DIMENSIONS. DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
3. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWINGS AND THE PROJECT MANUAL, NOTIFY THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
4. ADDITIONAL PLAN INFORMATION IS SHOWN ON LARGE SCALE PLANS. FOR AREAS INDICATED, LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER PLANS.
5. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZES OF CONCRETE PADS, DRAINS, FLOOR OPENINGS, ETC. COORDINATE WITH STRUCTURAL.
6. G.C. TO COORDINATE PURCHASED MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
7. LOCATIONS OF ACCESS PANELS MUST BE APPROVED BY THE ARCHITECT. ACCESS PANELS LOCATED IN WALLS OR CEILINGS MUST BE FINISHED TO MATCH THE ADJACENT SURFACES.
8. THE CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINETS AS REQUIRED TO MEET APPLICABLE CODES.
9. INTERIOR PLAN DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
10. MAINTAIN A CONTINUOUS AIR BARRIER AT THE INSIDE FACE OF THE EXTERIOR WALL. THIS REQUIRES SEALING AND TAPING ALL JOINTS IN THE INSULATION AND PROVIDING SEALANT AT ALL JOINTS.
11. FLOOR TO CEILING DIMENSIONS ARE FROM TOP OF SUBFLOOR TO CEILING.
12. INTERIOR FINISHES SHALL COMPLY WITH IBC CHAPTER 8.
13. DWG-APD HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR OTHER HAZARDOUS MATERIAL IS PRESENT IN THE EXISTING WORK. DWG-APD ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR OTHER HAZARDOUS MATERIAL. NO WARRANTY OR REPRESENTATION, EITHER EXPRESSED OR IMPLIED, IS MADE BY THESE DRAWINGS AS TO THE SAFETY OR SUITABILITY OF REMOVING HAZARDOUS MATERIALS INCLUDING ASBESTOS. IF MATERIAL SUSPECTED OF BEING HAZARDOUS IS ENCOUNTERED DURING THE COURSE OF THE WORK, THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY.



SITE LOCATION

1121 MORSE
1121 MORSE STREET NE
WASHINGTON, DC 20002
SQUARE 4070 LOT: 0138 ZONE: RF-1

DESIGNER

workshop | t10

1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

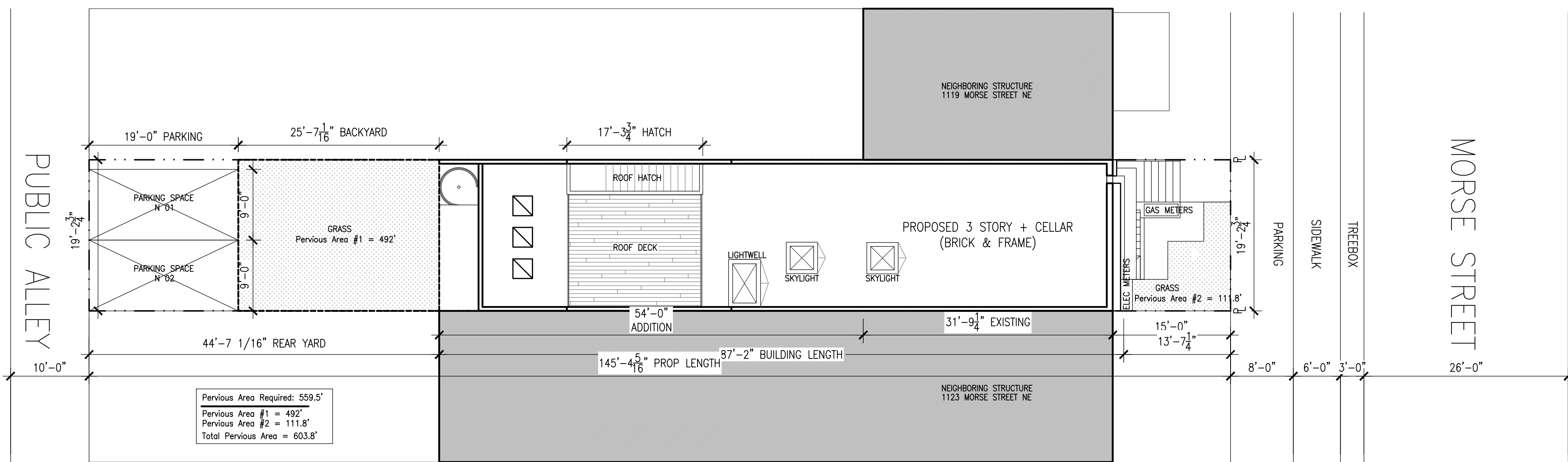
OWNER

PROJECT TEAM

Table with columns: DATE, SCALE, DRAWN, CHECKED, COMPILED BY. Includes a legend for symbols used in the drawing.

NOT FOR CONSTRUCTION

GENERAL INFORMATION
District of Columbia
CASE NO. 19635
EXHIBIT 0015



Pervious Area Required: 559.5'
Pervious Area #1 = 492'
Pervious Area #2 = 111.8'
Total Pervious Area = 603.8'

SITE LOCATION

1121 MORSE
1121 MORSE STREET NE
WASHINGTON, DC 20002
SQUARE: 4070 LOT: 0138 ZONE: RF-1

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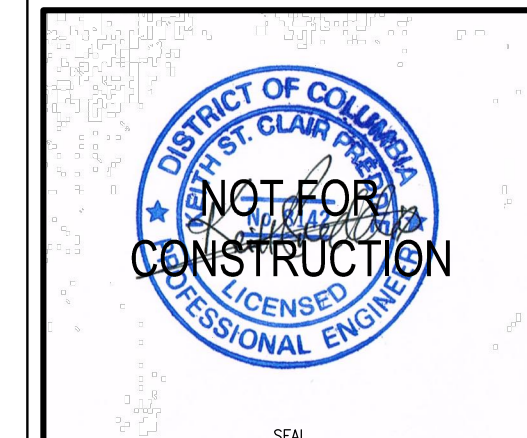
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ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

NOTES

REVISIONS

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SCALE: 1/8" = 1'-0"
DRAWN: ---
CHECKED: ---
COMMISSION NO.: 17-106



DRAWING TITLE

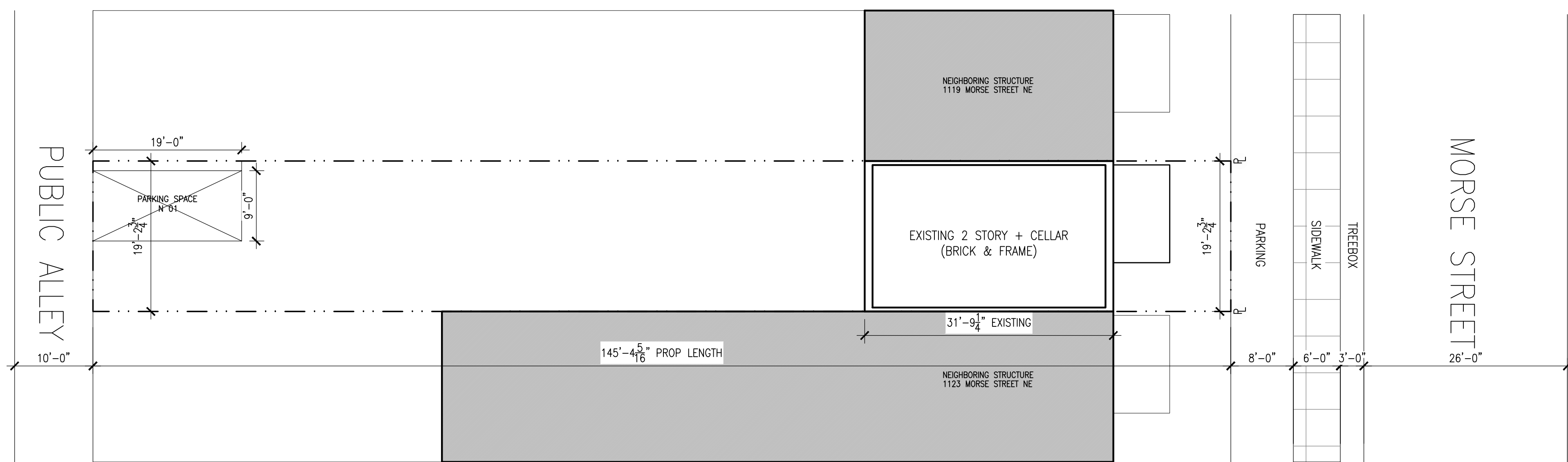
SITE PLAN

SHEET NO.

A 051

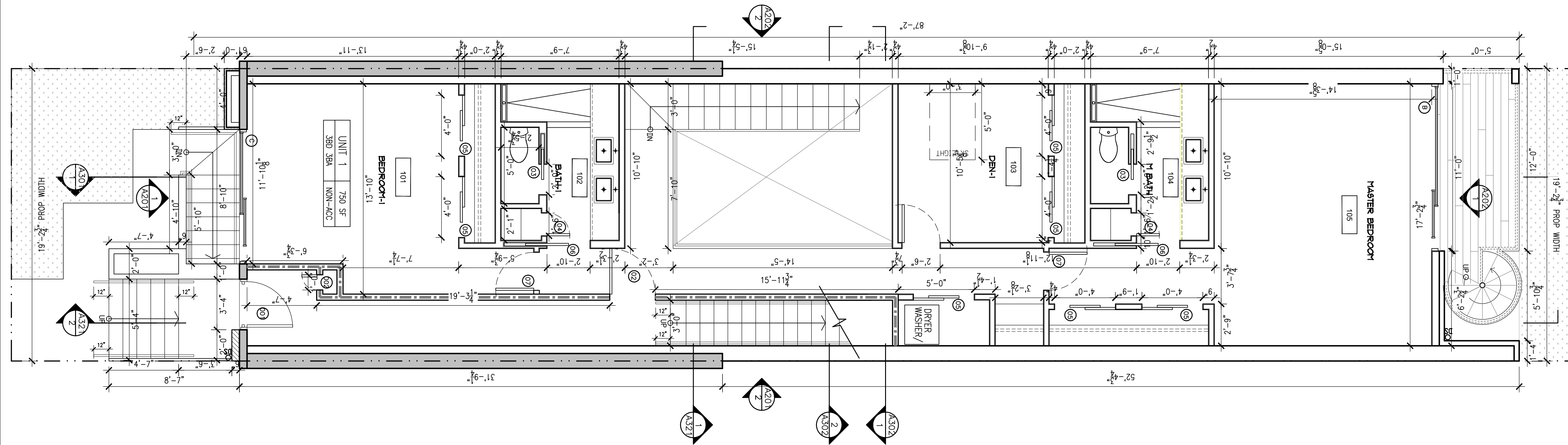
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SITE PLAN
SCALE: 1" = 10'-0"

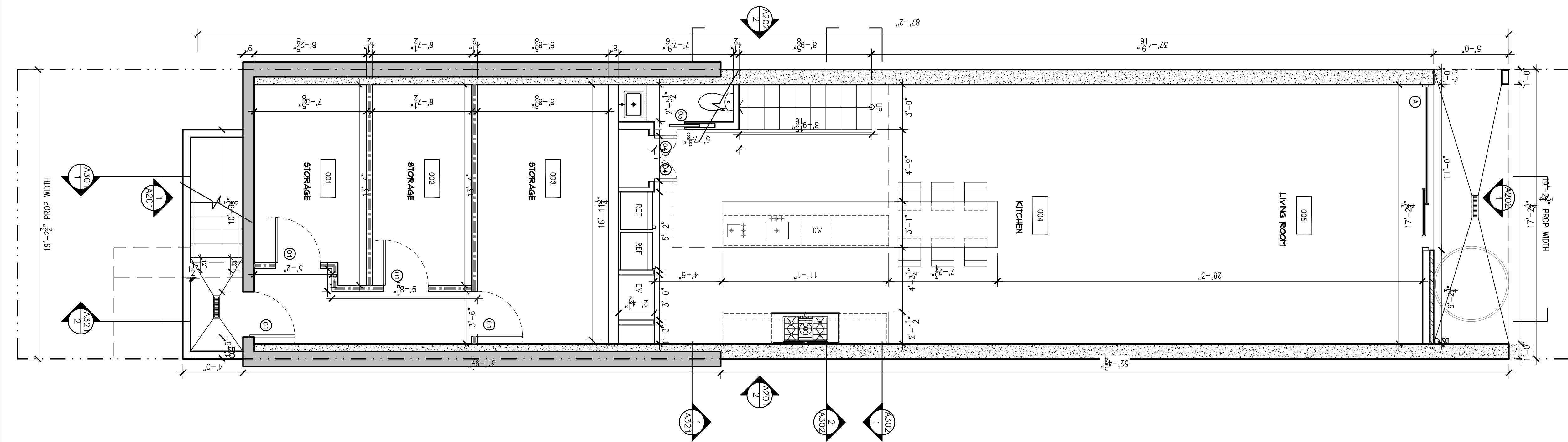


1

SITE PLAN
SCALE: 1" = 10'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"

SITE LOCATION

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SCALE	1/4" = 1'-0"
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COMMISSION NO.	17-106

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DRAWING TITLE

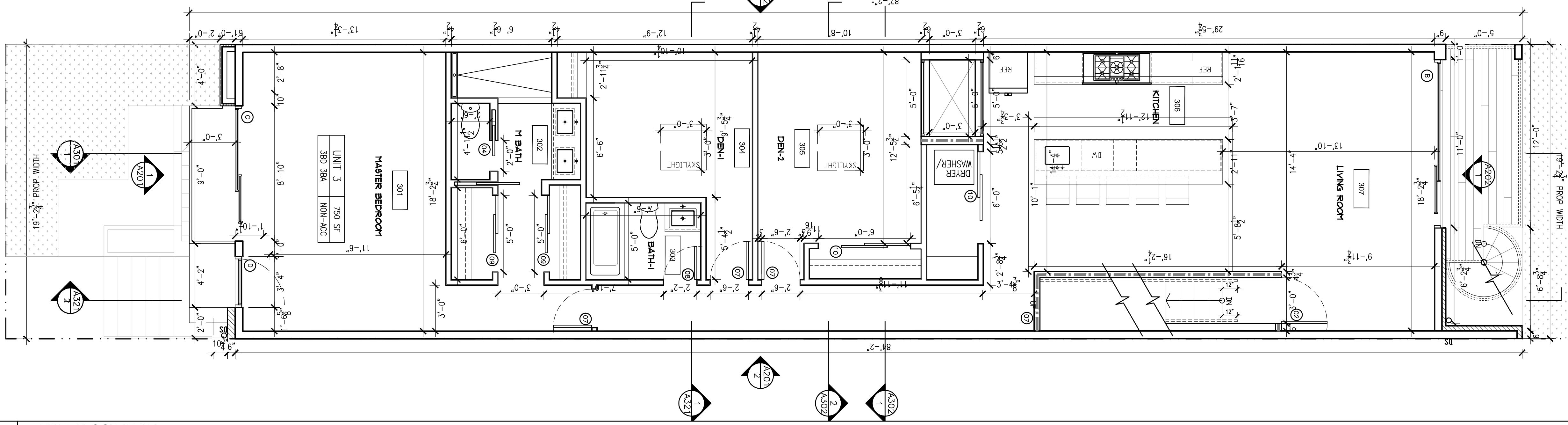
PLANS

SHEET NO.

A 101

2 THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



GRAPHIC KEY:

- FULL HT MASONRY
FULL HT CMU WALL
FULL HT CONC WALL
EXIST FULL HT WALL
NEW FULL HT WALL
NEW FIRE RATED WALL
CONSTRUCTION ABOVE
BEAM ABOVE

PLAN NOTES:

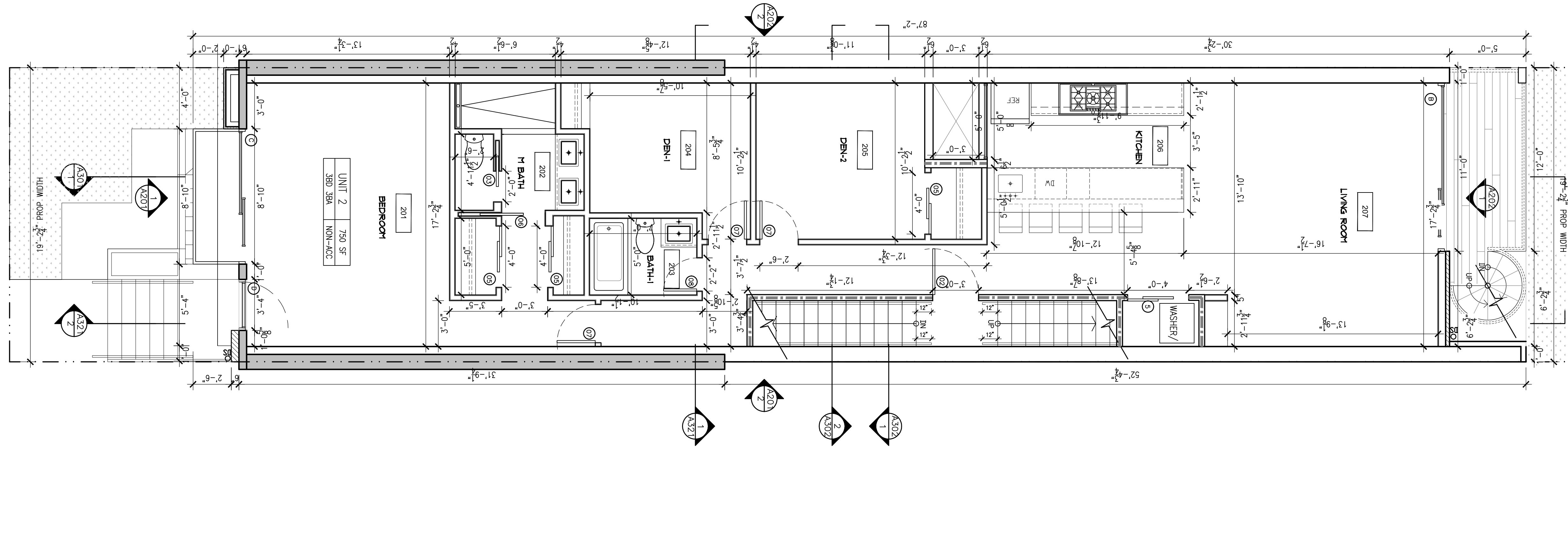
- 1. SEE SHEET SERIES A150 FOR REFLECTED CEILING PLANS.
2. SHAFT PARTITIONS ARE "P-" AND OTHER PARTITIONS ARE "P1" UNO - SEE SHEET A701 FOR ASSEMBLY TYPES.
3. DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP - OTHER DOORS TO BE CENTERED IN SPACES UNO.
4. DOORS TO BE EQUIPPED WITH FUNCTION ASSOCIATED HARDWARE - SEE SHEET A702 FOR DOOR SCHEDULE.
5. SEE SHEET A704 FOR FINISH SCHEDULE & LEGENDS.

PLAN KEYNOTES:

- 1 SPECIFIC KEYNOTE
2 SPECIFIC KEYNOTE

1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SITE LOCATION

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NOTES

Table with 2 columns: Description, Date. Includes revision notes.

REVISIONS

Table with 2 columns: Description, Date.

DATE: 6/7/2017

SCALE: 1/4" = 1'-0"

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CHECKED: ---

COMMISSION NO.: 17-106

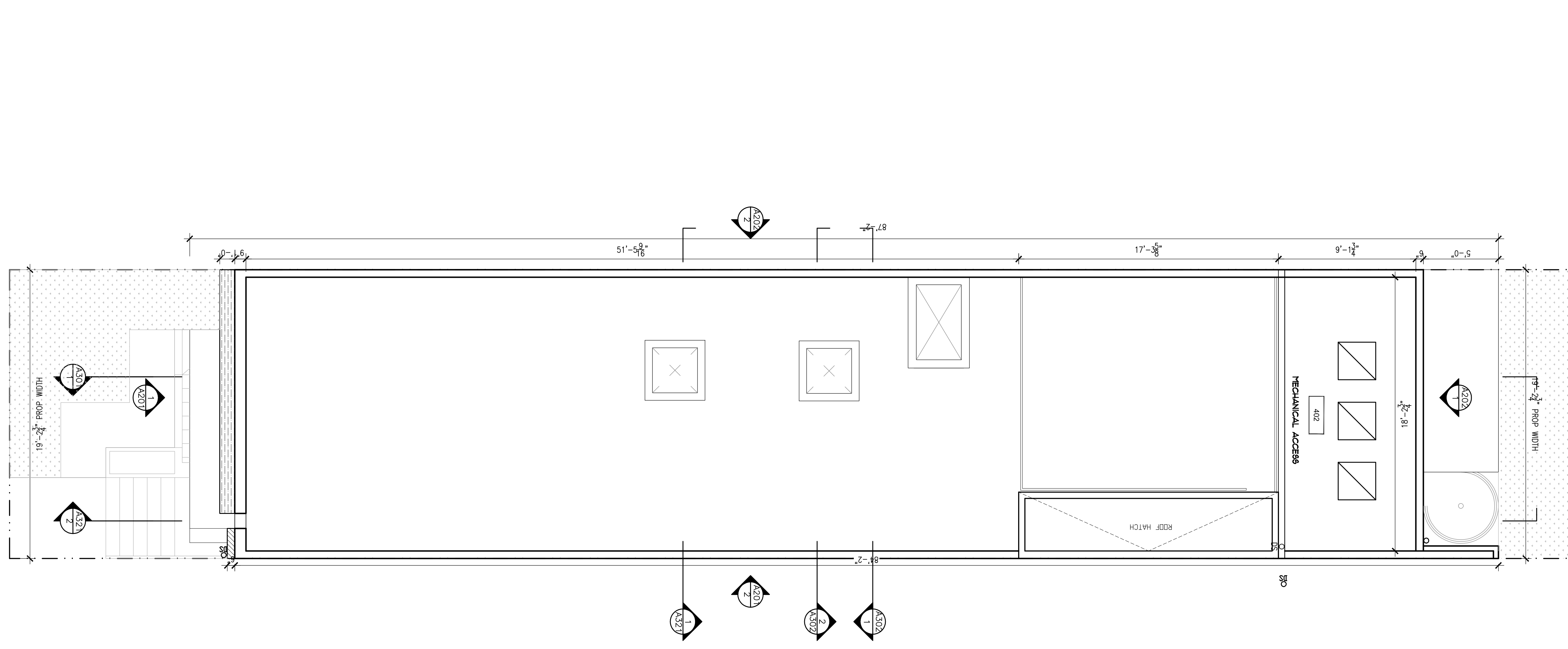
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PLANS

SHEET NO.

A 102



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC KEY:

- FULL HT MASONRY
- FULL HT CMU WALL
- FULL HT CONC WALL
- EXIST FULL HT WALL
- NEW FULL HT WALL
- NEW FIRE RATED WALL
- CONSTRUCTION ABOVE
- BEAM ABOVE

PLAN NOTES:

1. SEE SHEET SERIES A150 FOR REFLECTED CEILING PLANS.
2. SHAFT PARTITIONS ARE "P..." AND OTHER PARTITIONS ARE "P1" UNO - SEE SHEET A701 FOR ASSEMBLY TYPES.
3. DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP - OTHER DOORS TO BE CENTERED IN SPACES UNO.
4. DOORS TO BE EQUIPPED WITH FUNCTION ASSOCIATED HARDWARE - SEE SHEET A702 FOR DOOR SCHEDULE.
5. SEE SHEET A704 FOR FINISH SCHEDULE & LEGENDS.

PLAN KEYNOTES:

- 1 SPECIFIC KEYNOTE
- 2 SPECIFIC KEYNOTE

SITE LOCATION

1121 MORSE
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NOTES

REVISIONS

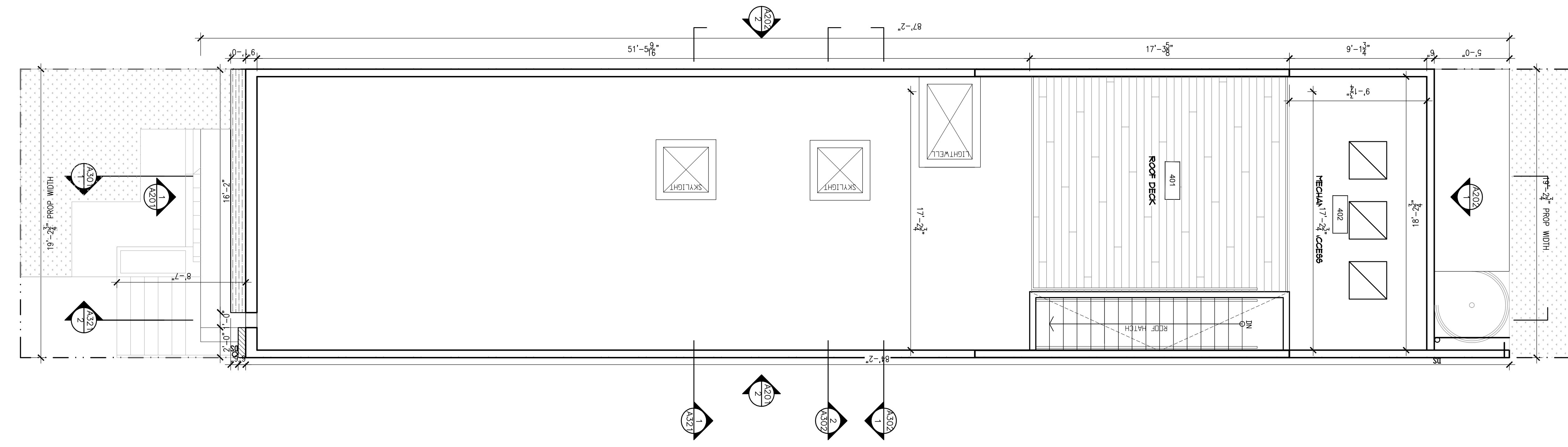
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CHECKED:
COMMISSION NO.: 17-106

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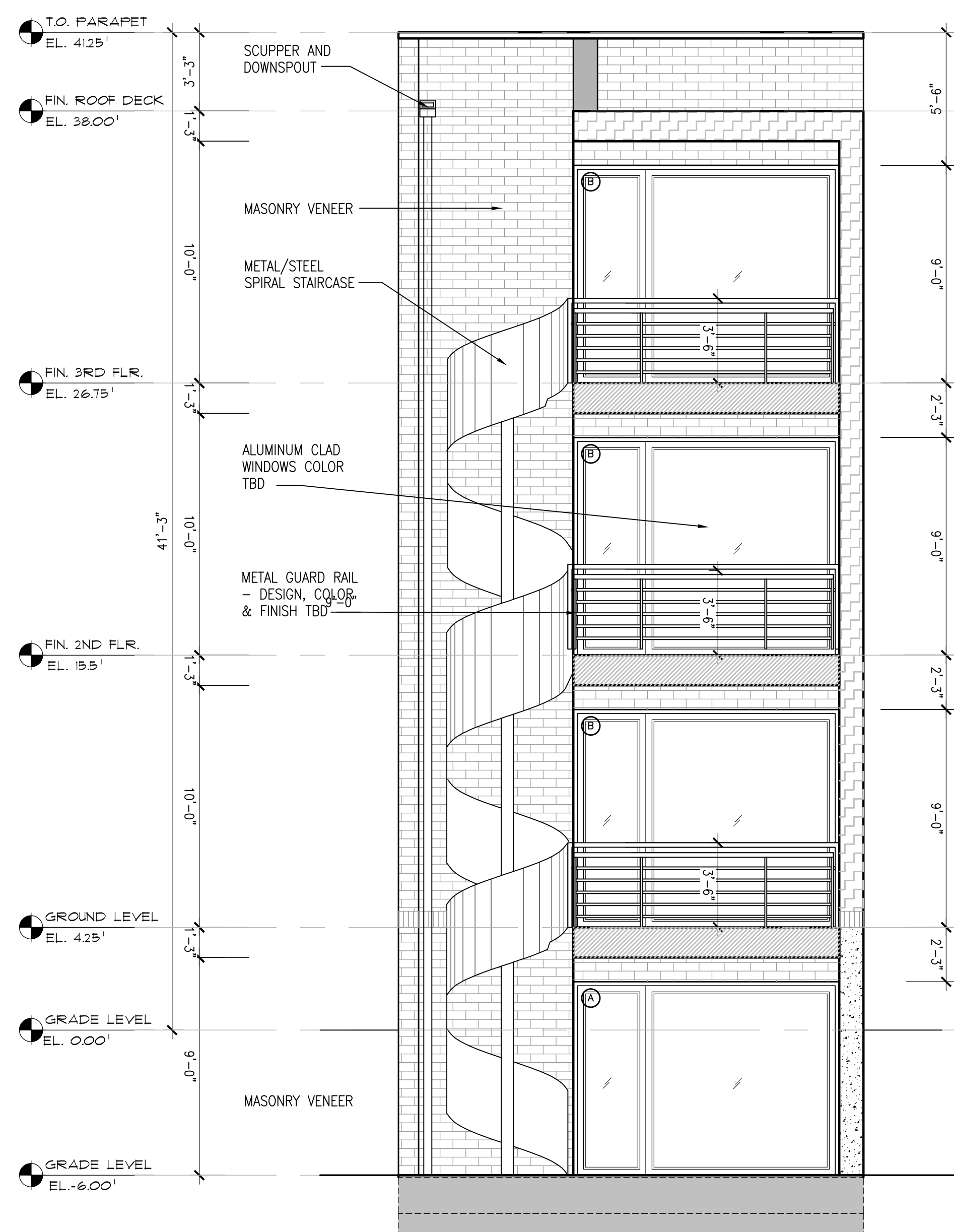
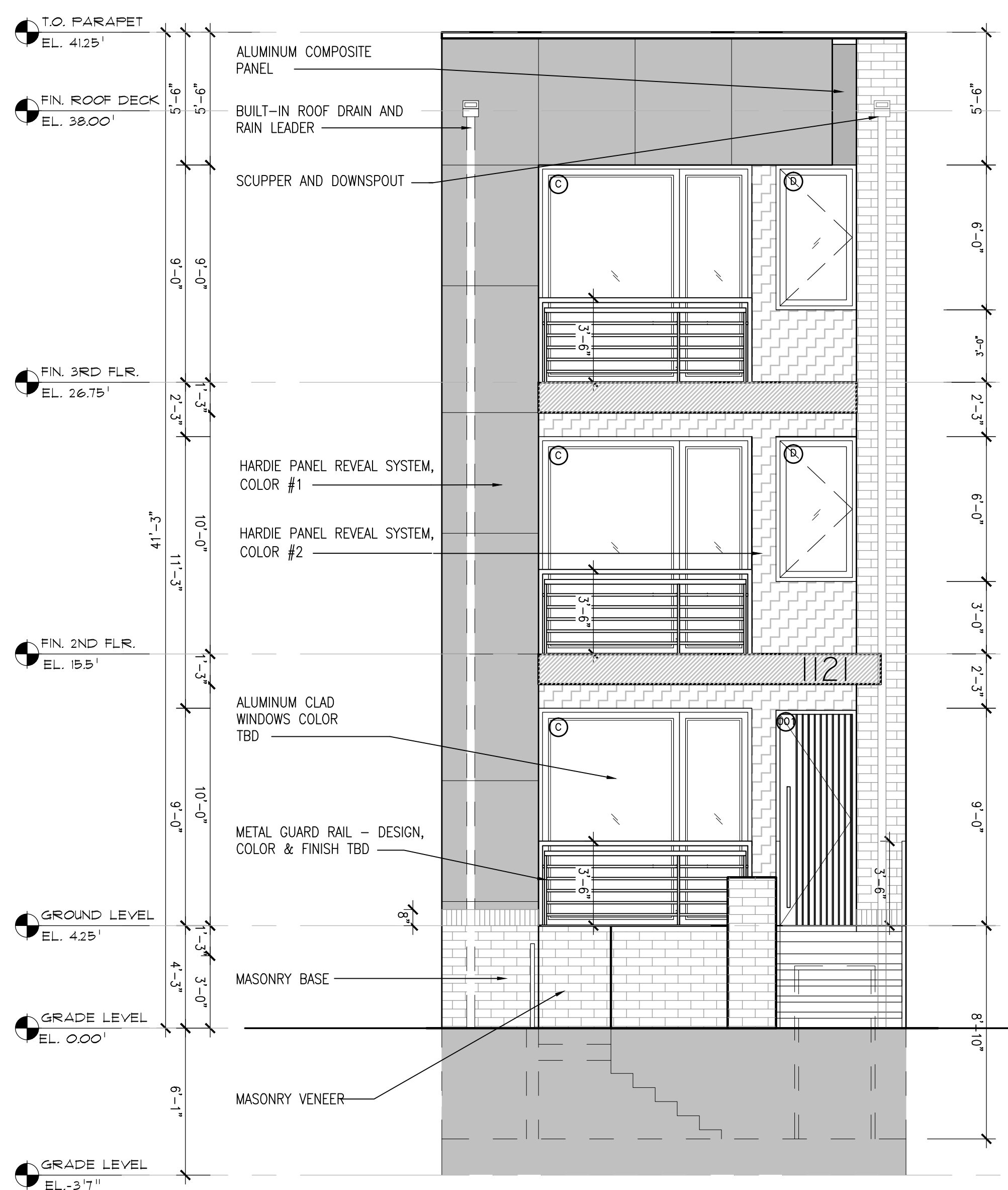
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PLANS

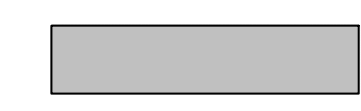
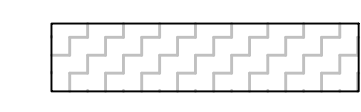


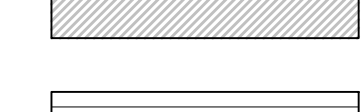
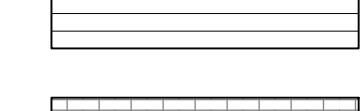
SHEET NO. A 103



1 PENTHOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"



CLADDING LEGEND:

-  - DENOTES CLADDING TYPE-1: HARDIPANEL COLOR-1 TBD
-  - DENOTES CLADDING TYPE-2: HARDIPANEL COLOR-2 TBD
-  - DENOTES CLADDING TYPE-3: ALUMINUM COMPOSITE METAL PANEL NO.1 (BASIS OF DESIGN: ALUCOBOND)
-  - DENOTES CLADDING TYPE-4: CEDAR TRIM (BASIS OF DESIGN:)
-  - DENOTES CLADDING TYPE-5: HARDIEPLANK LAP SIDING COLOR-TBD
-  - DENOTES CLADDING TYPE-6: MASONRY VENEER (BASIS OF DESIGN LISTED IN ASSEMBLY P9)

CLADDING NOTES:

1. ALL CLADDING TYPES SHALL BE MOCKED UP PRIOR TO RELEASE FOR PROCUREMENT. A MINIMUM OF 80 SQ. FT. OF EACH CLADDING TYPE REQUIRED.
2. CLADDING MOCK UP SHALL INCLUDE ALL FRY REGLET TRIM COMPONENTS SELECTED BY ARCHITECT. SEE A600 SERIES DETAILS FOR SCOPE.
3. PARAPET COPING SHALL BE CONTINUOUSLY WELDED IN FIELD.
4. COMPLETE EXTERIOR CLADDING SHOP DRAWINGS REQUIRED TO CONFIRM JOINT ALIGNMENT W/DESIGN INTENT.

SITE LOCATION

1121 MORSE
1121 MORSE STREET NE
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SQUARE-4070 LOT-0138 ZONE-RF-1

DESIGNER

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NOTES

REVISIONS

DC3A: Structural	03/06/2015
DC3A: Zoning	03/06/2015

DATE	7/12/2017
SCALE	1/4" = 1'-0"
DRAWN	
CHECKED	
COMMISSION NO.	17-106

NOT FOR CONSTRUCTION

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A 201

1 EXTERIOR ELEVATION: FRONT FACADE
SCALE: 1/4" = 1'-0"

2 EXTERIOR ELEVATION: REAR FACADE
SCALE: 1/4" = 1'-0"

CLADDING LEGEND:

- DENOTES CLADDING TYPE-1: HARDIPANEL
COLOR-1 TBD
- DENOTES CLADDING TYPE-2: HARDIPANEL
COLOR-2 TBD
- DENOTES CLADDING TYPE-3: ALUMINUM
COMPOSITE METAL PANEL NO.1
(BASIS OF DESIGN: ALUCOBOND)
- DENOTES CLADDING TYPE-4: CEDAR TRIM
(BASIS OF DESIGN:)
- DENOTES CLADDING TYPE-5: HARDIEPLANK
LAP SIDING COLOR-TBD
- DENOTES CLADDING TYPE-6: MASONRY
VENEER (BASIS OF DESIGN LISTED IN
ASSEMBLY P9)

CLADDING NOTES:

1. ALL CLADDING TYPES SHALL BE MOCKED UP PRIOR TO RELEASE FOR PROCUREMENT. A MINIMUM OF 80 SQ. FT. OF EACH CLADDING TYPE REQUIRED.
2. CLADDING MOCK UP SHALL INCLUDE ALL FRY REGLET TRIM COMPONENTS SELECTED BY ARCHITECT. SEE A600 SERIES DETAILS FOR SCOPE.
3. PARAPET COPING SHALL BE CONTINUOUSLY WELDED IN FIELD.
4. COMPLETE EXTERIOR CLADDING SHOP DRAWINGS REQUIRED TO CONFIRM JOINT ALIGNMENT W/DESIGN INTENT.

SITE LOCATION

1121 MORSE
1121 MORSE STREET NE
WASHINGTON, DC 20002
SQUARE 4070 LOT 0108 ZONE: RF-1

DESIGNER

workshop | t10

1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

OWNER

PROJECT TEAM

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

NOTES

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REVISIONS

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DATE

7/12/2017

SCALE

1/4" = 1'-0"

DRAWN

CHECKED

COMMISSION NO.

17-106

NOT FOR
CONSTRUCTION

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A 202



EXTERIOR ELEVATION: LEFTSIDE FACADE

SCALE: 1/4" = 1'-0"

CLADDING LEGEND:

- DENOTES CLADDING TYPE-1: HARDIPANEL COLOR-1 TBD

- DENOTES CLADDING TYPE-2: HARDIPANEL COLOR-2 TBD

- DENOTES CLADDING TYPE-3: ALUMINUM COMPOSITE METAL PANEL NO.1 (BASIS OF DESIGN: ALUCOBOND)

- DENOTES CLADDING TYPE-4: CEDAR TRIM (BASIS OF DESIGN:)

- DENOTES CLADDING TYPE-5: HARDIEPLANK LAP SIDING COLOR-TBD

- DENOTES CLADDING TYPE-6: MASONRY VENEER (BASIS OF DESIGN LISTED IN ASSEMBLY P9)

CLADDING NOTES:

1. ALL CLADDING TYPES SHALL BE MOCKED UP PRIOR TO RELEASE FOR PROCUREMENT. A MINIMUM OF 80 SQ. FT. OF EACH CLADDING TYPE REQUIRED.
2. CLADDING MOCK UP SHALL INCLUDE ALL FRY REGLET TRIM COMPONENTS SELECTED BY ARCHITECT. SEE A600 SERIES DETAILS FOR SCOPE.
3. PARAPET COPING SHALL BE CONTINUOUSLY WELDED IN FIELD.
4. COMPLETE EXTERIOR CLADDING SHOP DRAWINGS REQUIRED TO CONFIRM JOINT ALIGNMENT W/DESIGN INTENT.



SITE LOCATION

1121 MORSE
1121 MORSE STREET NE
WASHINGTON, DC 20002
SQUARE 4070 LOT 0188 ZONE RF-1

DESIGNER

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NOTES

REVISIONS

DATE	7/12/2017
SCALE	1/4" = 1'-0"
DRAWN	---
CHECKED	---
COMMISSION NO.	17-106

NOT FOR
CONSTRUCTION

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A 203