

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

Board of Zoning Adjustment
District of Columbia
3800 Reservoir Road, NW
Washington, DC 20007

GENERAL NOTES:

A. DO NOT SCALE DRAWINGS.
B. CHECK ALL DIMENSIONS AT THE SITE BEFORE FABRICATING AND INSTALLATION.
C. WHERE DIMENSIONS ARE NOT AVAILABLE BEYOND FABRICATION COMMENCEMENT, THE DIMENSIONS OF ALL SHOP FABRICATED ITEMS AT THE SITE BEFORE SHOP DRAWING AND FABRICATION ARE COMMENCED.
D. VERIFY THE DIMENSIONS OF ALL SHOP FABRICATED ITEMS AT THE SITE BEFORE SHOP DRAWING AND FABRICATION ARE COMMENCED.
E. IN AREA WHERE EQUIPMENT SHALL BE INSTALLED, CHECK DIMENSIONS COMPATIBLE WITH EQUIPMENT TO BE INSTALLED.
F. THE CONTRACTOR SHALL VERIFY REQUIREMENTS FOR ALL EQUIPMENT INDICATED ON THE DRAWINGS WHETHER SUPPLIED BY THE TENDANT, OWNER OR CONTRACTOR.
G. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, AND ALL CONSTRUCTION SHALL BE OF FIRST CLASS WORKMANSHIP.
H. CONSTRUCTION SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REPAIR CONSTRUCTION SHALL BE RESPONSIBLE FOR REPAIR AND RECONSTRUCTION OF ALL ADJACENT AREAS.
I. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF WASHINGTON'S GREEN BUILDING ACT OF 2006.

MATERIAL SYMBOLS

GLASS	[Symbol]
ALUMINUM	[Symbol]
STEEL	[Symbol]
CERAMIC TILE	[Symbol]
BRICK	[Symbol]
CONCRETE	[Symbol]
WOOD	[Symbol]
PLASTER	[Symbol]
STUCCO	[Symbol]
ROOFING	[Symbol]
INSULATION	[Symbol]

GRAPHIC SYMBOLS

BRICK	[Symbol]
CONCRETE	[Symbol]
WOOD	[Symbol]
PLASTER	[Symbol]
STUCCO	[Symbol]
ROOFING	[Symbol]
INSULATION	[Symbol]

PLAN, SECTION, DETAIL # ELEVATION, DETAIL

ELEVATION MARK	[Symbol]
SECTION MARK	[Symbol]
DETAIL MARK	[Symbol]
PROPERTY LINE	[Symbol]
EXISTING FENCE	[Symbol]
LIMIT OF DISTURBANCE	[Symbol]
TOPOGRAPHIC CONTOUR	[Symbol]
BUILDING OUTLINE	[Symbol]
SILT FENCE FOR SEDIMENT CONTROL	[Symbol]
FLOOR ELEVATION	[Symbol]
SPOT ELEVATION	[Symbol]

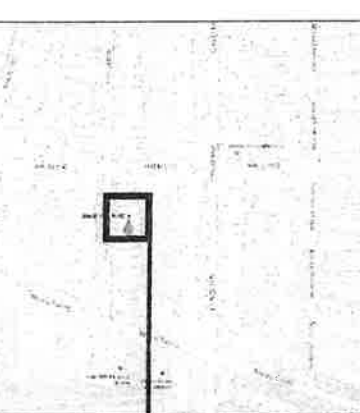
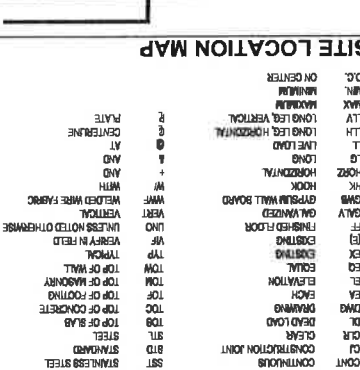
DRAWING LIST

- 1001 SHEET A - ERECTION PLAN
- 1002 SHEET B - ERECTION PLAN
- 1003 SHEET C - ERECTION PLAN
- 1004 SHEET D - ERECTION PLAN
- 1005 SHEET E - ERECTION PLAN

- APPLICABLE CODES**
- 2012 INTERNATIONAL BUILDING CODE
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL FIRE PREVENTION CODE
 - 2012 INTERNATIONAL FUEL GAS CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL PLUMBING CODE
 - 2011 NATIONAL ELECTRICAL CODE
 - 2011 NATIONAL FIRE PREVENTION CODE
 - 2011 INTERNATIONAL RESIDENTIAL CODE
 - DC LAW 18-96 DC ENVIRONMENTAL POLICY ACT OF 1989
 - 2012 INTERNATIONAL ZONING ORDINANCE
 - DCAR TITLE 11 - ZONING REGULATIONS
 - DCAR 12 BUILDING CODE SUPPLEMENT (2011)
 - DCAR 13 ELECTRICAL AND MECHANICAL
 - DCAR 14 MECHANICAL AND MECHANICAL
 - DCAR 15 ELECTRICAL AND MECHANICAL

ABBREVIATIONS

OP	OPPOSITE
RF	FOUND PER SQUARE FOOT
RE	REINFORCED
SM	SMALL
SO	SOIL ON GRADE
CON	CONCRETE
ST	STEEL
STR	STRONG
DR	DRAWING
TO	TOP OF
CR	CERAMIC TILE
ST	STUCCO
PL	PLASTER
FR	FINISHED FLOOR
GA	GALVANIZED
OM	OVER MOUNTED
HW	HEAVY WOOD
ME	MECHANICAL
EL	ELECTRICAL
PL	PLATE
DE	DEVELOPER
HT	HORIZONTAL
LN	LONG
LV	LIVE LOAD
VE	VERTICAL
SL	SLOPE
TR	TRUSS
WF	WELDED WEB FABRIC
UN	UNFINISHED
UT	UPPER
VE	VERTICAL
LS	LONG
HT	HORIZONTAL
LT	LIVE LOAD
LS	LONG
VE	VERTICAL
DE	DEVELOPER
HT	HORIZONTAL
LT	LIVE LOAD
LS	LONG
VE	VERTICAL
DE	DEVELOPER
HT	HORIZONTAL
LT	LIVE LOAD
LS	LONG
VE	VERTICAL



SITE PLAN LEGEND

[Symbol]	EXISTING BUILDING FOOTPRINT
[Symbol]	AREA OF CUT
[Symbol]	EXISTING FENCE
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	TOPOGRAPHIC CONTOUR
[Symbol]	FURNISH SYMBOL
[Symbol]	WIND COMPASS SYMBOL
[Symbol]	DOOR SYMBOL
[Symbol]	SECTION MARK
[Symbol]	DETAIL MARK
[Symbol]	ELEVATION MARK
[Symbol]	NORTH SYMBOL

PROJECT DATA AND CODE ANALYSIS

BUILDING ADDRESS:	3616 11TH ST NW
BUILDING OWNER:	GRAHAM P. SMITH
SQUARE:	202
USE GROUP:	R3 RESIDENTIAL
CONSTRUCTION TYPE:	2.5
BLDG. SUPPRESSED:	YES (FPA 10)
ALTERATIONS AND ADDITION TO (E) MASONRY AND WOOD PLAT W/ THIRD FLOOR ADDITION, NEW DECK & POOL AND NEW ROOF DECK.	
DESCRIPTION:	
NUMBER OF STORIES:	3-1 CEMENT
ALTERNATIONS AND ADDITION TO (E) MASONRY AND WOOD PLAT W/ THIRD FLOOR ADDITION, NEW DECK & POOL AND NEW ROOF DECK.	
ALTERATIONS AND ADDITION TO (E) MASONRY AND WOOD PLAT W/ THIRD FLOOR ADDITION, NEW DECK & POOL AND NEW ROOF DECK.	
ALTERATIONS AND ADDITION TO (E) MASONRY AND WOOD PLAT W/ THIRD FLOOR ADDITION, NEW DECK & POOL AND NEW ROOF DECK.	

PROJECT LIST

EXISTING FIRST FLOOR=	821 SF
EXISTING SECOND FLOOR=	821 SF
EXISTING TOTAL GROSS SF=	1,642 SF
PROPOSED FIRST FLOOR=	821 SF
PROPOSED SECOND FLOOR=	821 SF
PROPOSED TOTAL GROSS SF=	1,642 SF
PROPOSED CELLAR=	2,733 SF
PROPOSED CELLAR=	815 SF

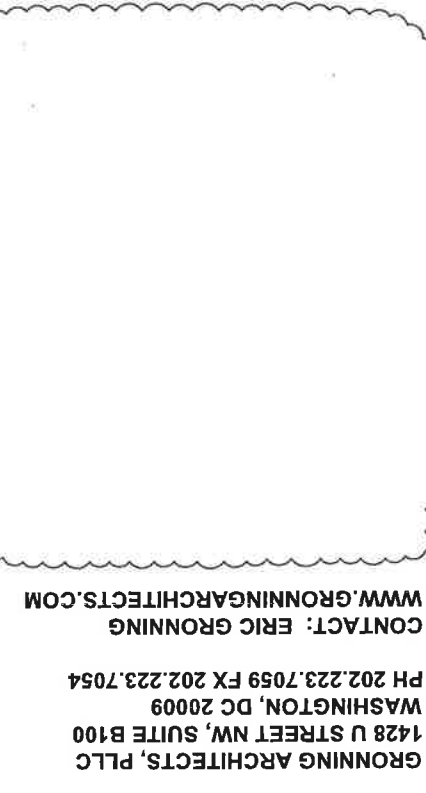
OWNER

GRAHAM P. SMITH
3616 11TH ST, NW
WASHINGTON, DC 20010

ARCHITECT

GRONNING ARCHITECTS, PLLC
1428 U STREET NW, SUITE B100
WASHINGTON, DC 20009
PH 202.223.7059 FX 202.223.7054
WWW.GRONNINGARCHITECTS.COM

CONTACT: ERIC GRONNING



A001

GRONNING ARCHITECTS

REVISIONS

NO.	DATE	DESCRIPTION
1	03/28/16	REVISION 1
2	06/08/16	REVISION 2
3	12/21/16	REVISION 3

SITE PLAN, TITLE SHEET AND PROJECT INFORMATION

Project Number: 16-024

Date: 03/28/16

Scale: 1/8" = 1'-0"

Author: ERM

Checker: ERM

Drawn: ERM

Reviewed: ERM

Approved: ERM

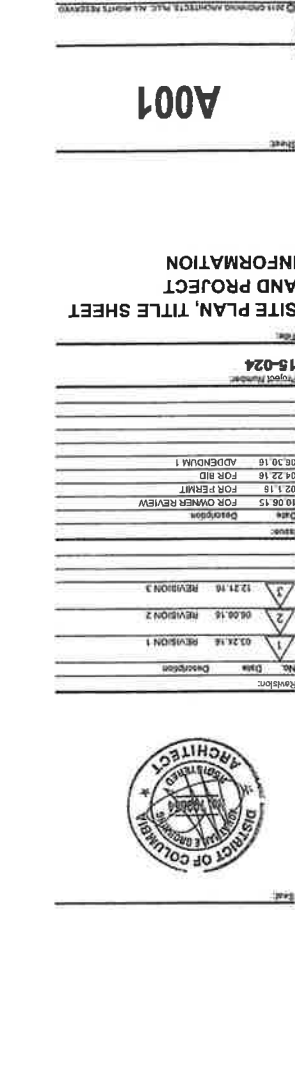
DCAR TITLE 11 - ZONING REGULATIONS

DCAR 12 BUILDING CODE SUPPLEMENT (2011)

DCAR 13 ELECTRICAL AND MECHANICAL

DCAR 14 MECHANICAL AND MECHANICAL

DCAR 15 ELECTRICAL AND MECHANICAL





Author:	DCM
Checker:	DCM
Reviewed:	DCM
Scale:	As Shown
Date:	02/14/18
Revision:	
1	FOR OWNER REVIEW
2	FOR PERMIT

SEDIMENT AND EROSION CONTROL PLAN

A002

THIS DOCUMENT CONTAINS ALL RIGHTS RESERVED

SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND DESTRUCTION. ALL MEASURES SHALL BE REPAIRED IMMEDIATELY IF DAMAGED OR OBTUSE. ALL MEASURES SHALL BE REPAIRED BY THE CONTRACTOR AND APPROVED EQUAL.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND DESTRUCTION. ALL MEASURES SHALL BE REPAIRED IMMEDIATELY IF DAMAGED OR OBTUSE. ALL MEASURES SHALL BE REPAIRED BY THE CONTRACTOR AND APPROVED EQUAL.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND DESTRUCTION. ALL MEASURES SHALL BE REPAIRED IMMEDIATELY IF DAMAGED OR OBTUSE. ALL MEASURES SHALL BE REPAIRED BY THE CONTRACTOR AND APPROVED EQUAL.

SEQUENCE OF CONSTRUCTION

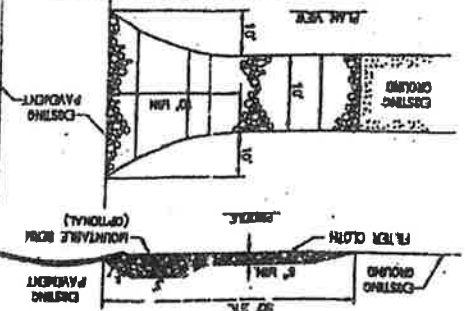
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOW, REMOVE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL 3/4" FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE COVERED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATION STABILIZATION MEASURES TO ACHIEVE ADVERTISED DESIGN AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED ONLY BY THE CONTRACTOR AND ANY DAMAGE TO CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF EACH DAY.
6. ALL 3/4" FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERMANENTLY STABILIZED WITH NORMAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTROLLING PURPOSE HAS BEEN PERMANENTLY STABILIZED.

4 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)



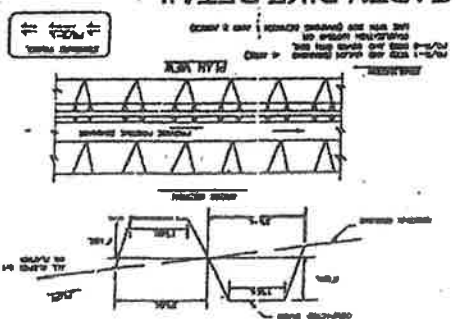
- ### PLAN NUMBER
1. REMOVE 3/4" FENCE TO BE FASTENED SECURELY TO WOODEN POSTS WITH WIRE TIES OR STAPLES.
 2. FIT CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND BOTTOM.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN, EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS OTHER T OR U TYPE OR 2"
STEEL OTHER T OR U TYPE OR 2"
HARDWOOD
FENCE
WOODEN WIRE FENCE 14 1/2 GAGE 6" MAX
FILTER CLOTH
FILTER X LEAFY TOOK STABILIZATION
MATERIAL OR APPROVED EQUAL
PERFORATED UNIT
GENERAL DIMENSIONS, OR APPROVED EQUAL

1 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)



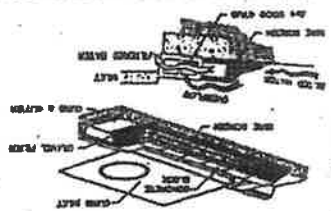
- ### CONSTRUCTION BARRIERS SPECIFICATION
1. STONE SIZE - USE 2" STONES OR EQUIVALENT OF RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT MORE THAN 20 FEET WIDE).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL PORTS OF MARCH OR CROSS COULDS.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SLOPE THAT IS APPLICABLE TO CONSTRUCTION ENTRANCE.
 6. SURFACE WIDTH - ALL SURFACE WIDTHS SHALL BE APPLICABLE TO PORTABLE FROM WITH 2:1 SLOPES WITH REPAIRS.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT COLLAPSE OR FLICING OF STONE OR PUBLIC INTERFERENCE. THE KEY REQUIRE PEOPLE TO CROSSING WITH AUTHORITY STONE AS CONSIDERED DANGEROUS TO REPAIR AND/OR CLEANUP OF ANY WEATHERS RIGHTS-OF-WAY MUST BE MAINTAINED IMMEDIATELY.
 8. WASHING - WEEDS SHALL BE CLEARED TO REVEAL A SEDIMENT POND TO ENTRANCE AND PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS AND HAS APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

3 EARTH DIKE DETAIL (NOT TO SCALE)



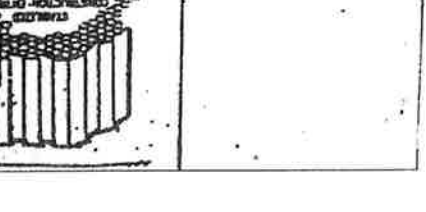
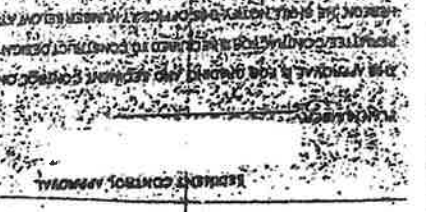
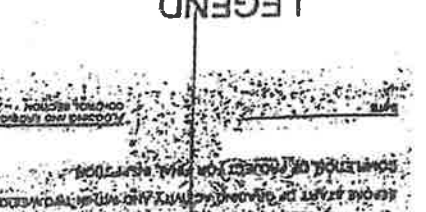
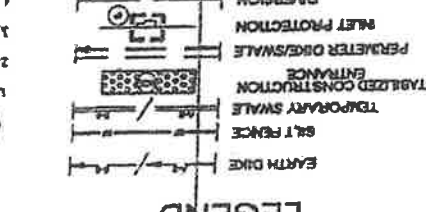
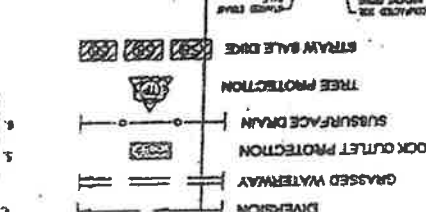
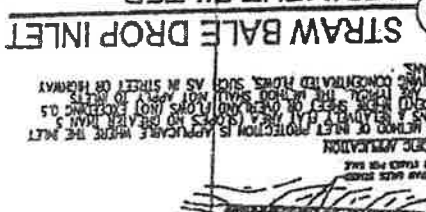
- ### Construction Specifications
1. All perimeter dikes/groves shall have an uninterrupted positive grade to an outlet spot elevations may be necessary for grades less than 1%.
 2. Runoff diverted from a disturbed area shall be conveyed to an undisturbed area at a non-erosive velocity.
 3. Runoff diverted from an undisturbed area shall infiltrate into an undisturbed area or be captured or piped to line, grade, and standard.
 4. The sample shall be excavated or piped to line, grade, and standard.
 5. Fill shall be compacted by earth moving equipment.
 6. Stabilization with seed and mulch or as specified of the area upon removal.
 7. Inspection and required maintenance shall be provided after each rain event.
- Note: The maximum drainage area for this practice is 2 acres.
U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

2 CURB INLET SEDIMENT FILTER (NOT TO SCALE)

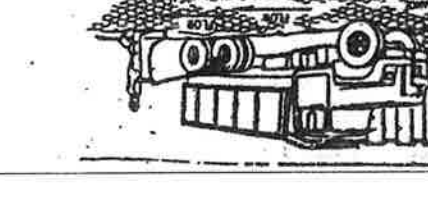
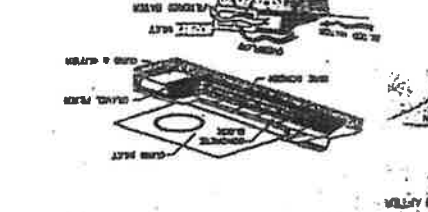
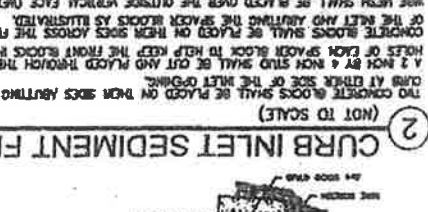
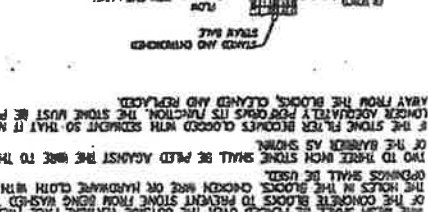
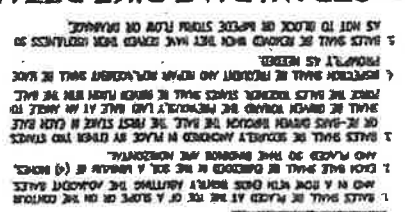


1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEM SIDES BATTING THE CURB AT OTHER SIDE OF THE INLET OPENING.
2. A 1/2" SAND SHALL BE CUT AND PLACED THROUGH THE CURB HOLES OF EACH SAND BLOCK TO HELP KEEP THE FRONT BLOCK IN PLACE.
3. A 1/2" SAND SHALL BE PLACED ON THEM SIDES BATTING THE FRONT OF THE INLET AND PLACING THE SAND BLOCKS AS INDICATED.
4. MORE LEAFY SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (FACING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM WASHED THROUGH THE HOLES IN THE BLOCKS. CHECK FOR HARDWARE CLOTH WITH 1/2" HOLE SPACING SHALL BE USED.
5. TWO TO THREE MORE STONE SHALL BE PLACED AGAINST THE WIRE TO THE TOP OF THE SAND.
6. IF THE STONE FILTER BLOCKS CLOSD WITH SEDIMENT SO THAT IT MAY AVOID FROM THE BLOCKS, CLEANED AND REPLACED.

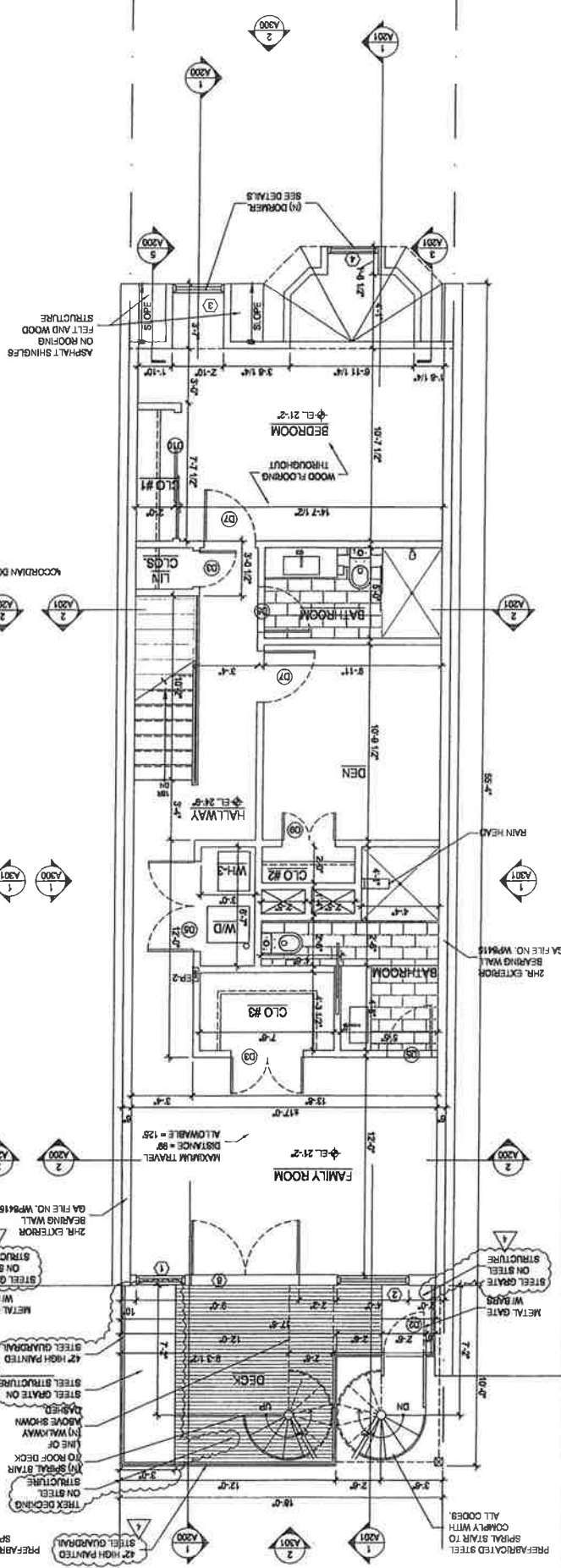
5 SEDIMENT FILTER (NOT TO SCALE)



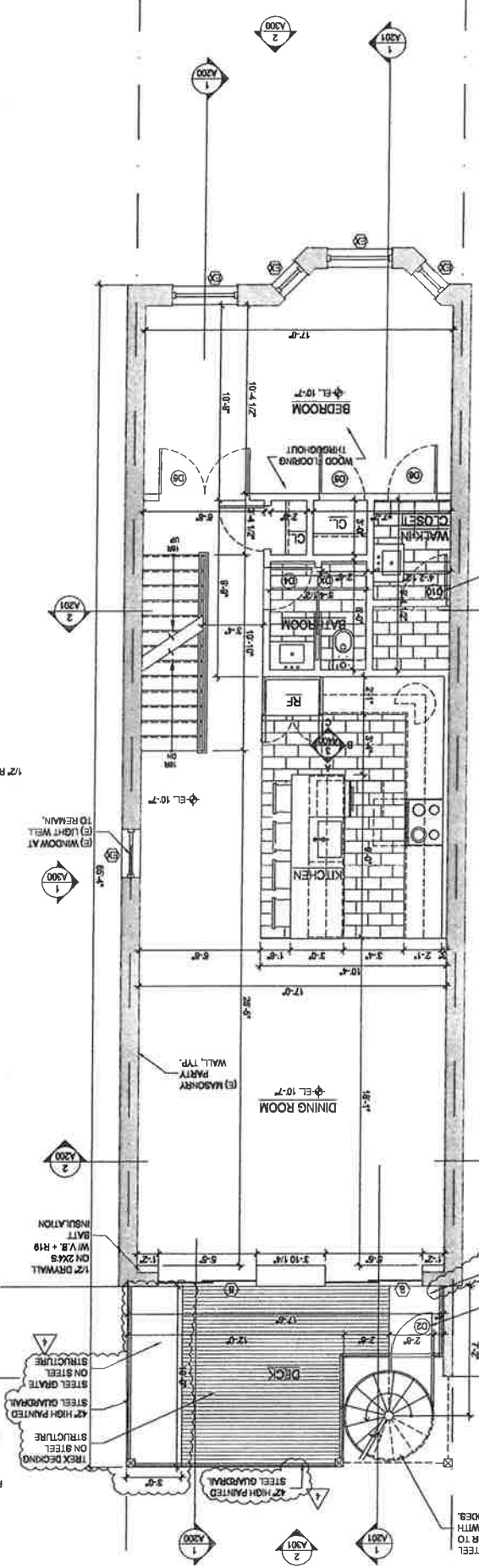
6 STRAW BALE DIKE DETAIL (NOT TO SCALE)



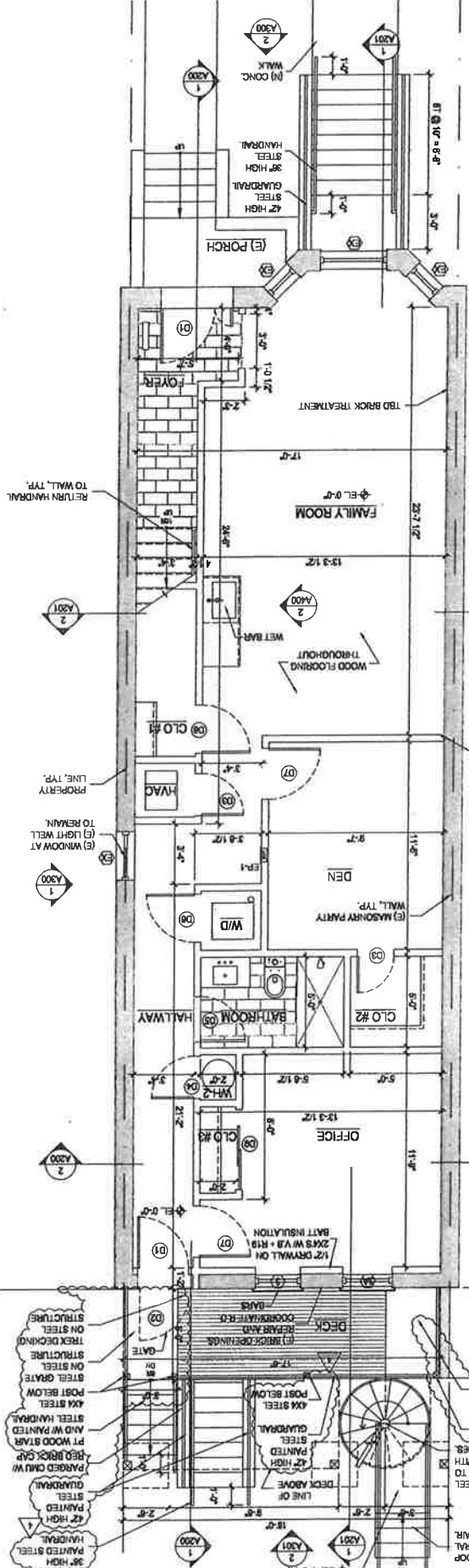
4 THIRD FLOOR/ROOF PLAN



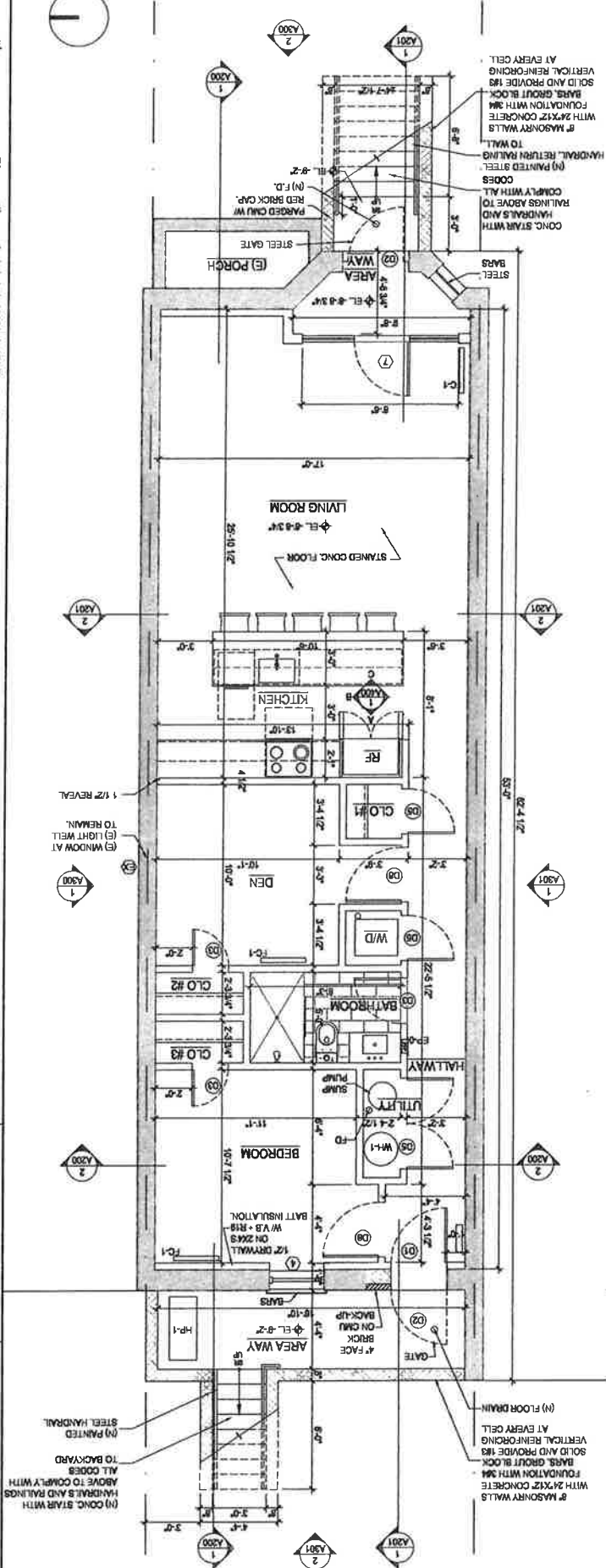
3 SECOND FLOOR PLAN



2 FIRST FLOOR PLAN



1 CELLAR PLAN



NOTE: ALL DECK MATERIALS WITHIN 3 FEET OF PROPERTY LINE ARE NON COMBUSTIBLE

A100 | SCALE: 1/4"=1'-0"

A100 | SCALE: 1/4"=1'-0"

A100 | SCALE: 1/4"=1'-0"

A100 | SCALE: 1/4"=1'-0"

A100

PLANS
PROPOSED FLOOR

NO.	DATE	DESCRIPTION
1	03.21.18	REVISION 1
2	06.06.18	REVISION 2
3	12.24.18	REVISION 3
4	01.25.17	REVISION 4

DATE: 01.25.17
 DESIGNER: [Name]
 CHECKER: [Name]
 PROJECT NUMBER: 15-024
 FOR OWNER REVIEW: 10.06.15
 FOR PERMIT: 02.1.16
 FOR BID: 04.22.16
 APPROVED: 06.20.16



3616 11th St.
Washington, DC 20010

GRONNING
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 WWW.GRONNINGARCHITECTS.COM
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 1.202.223.1029

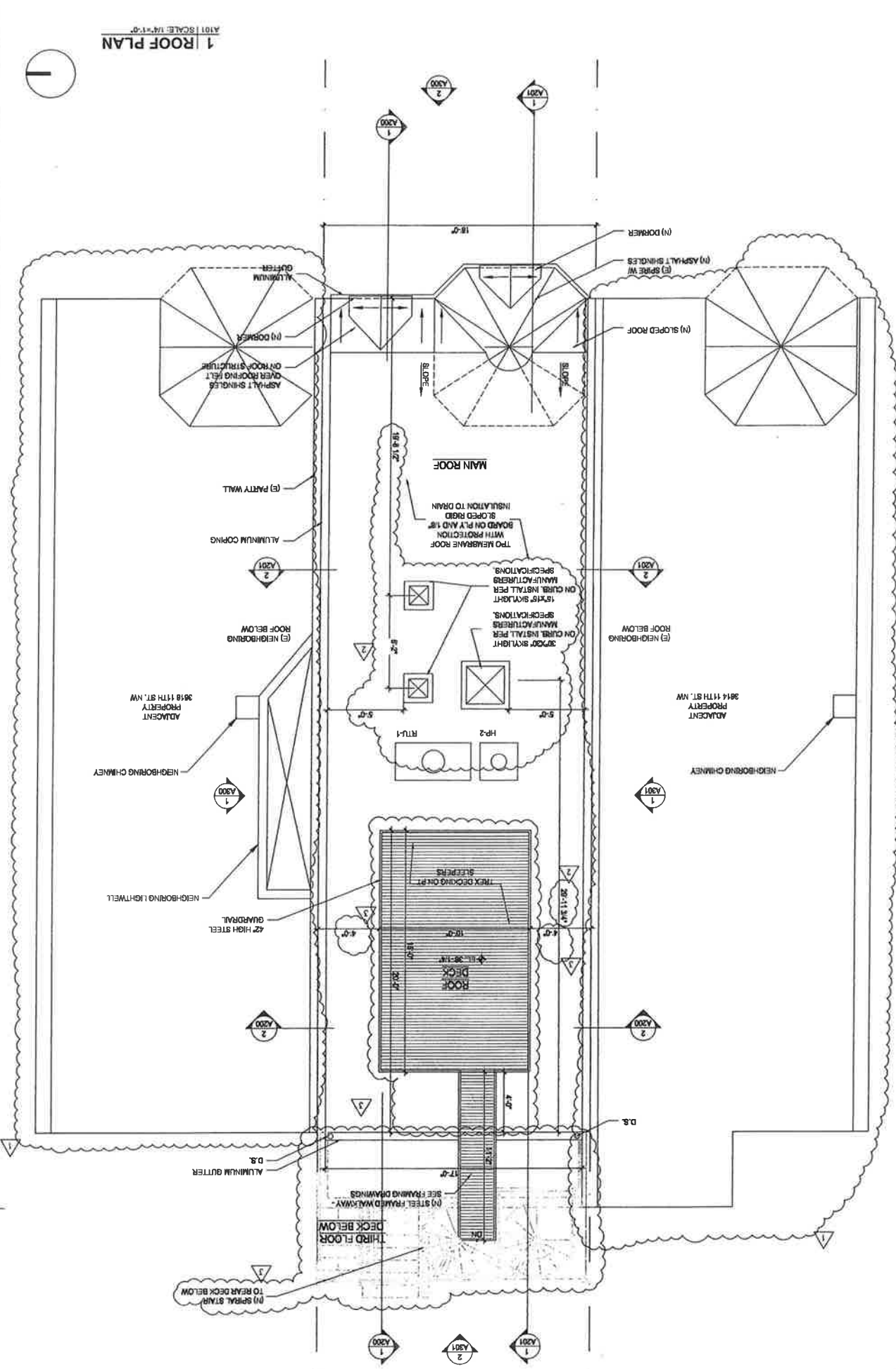


No.	Date	Description
1	03.24.16	REVISION 1
2	06.06.16	REVISION 2
3	12.21.16	REVISION 3

Name: _____
 Title: _____
 10.06.15 FOR OWNER REVIEW
 02.11.16 FOR PERMIT
 04.22.16 FOR BID
 08.30.16 ADDENDUM 1

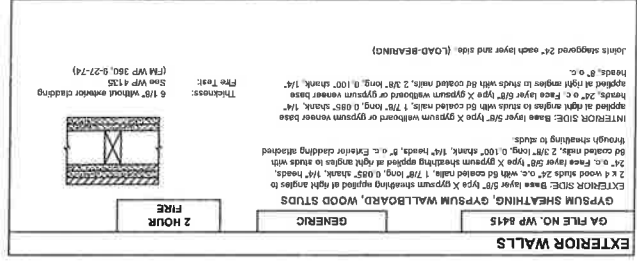
Project Number: 15-024

PROPOSED FLOOR TYPES AND WALL TYPES AND ROOF PLAN

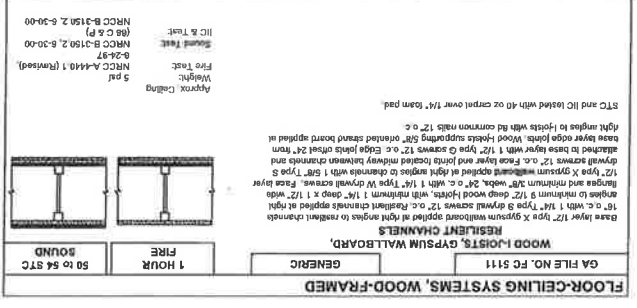


1 ROOF PLAN
SCALE: 1/8"=1'-0"

2 WALL DETAILS
SCALE: N.T.S.

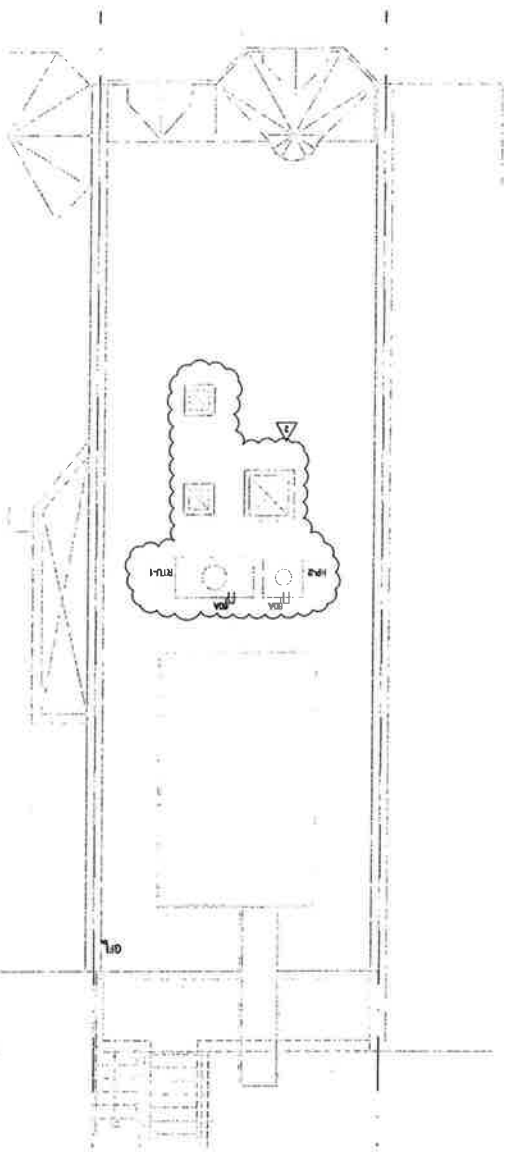


2 FLOOR/CEILING DETAIL
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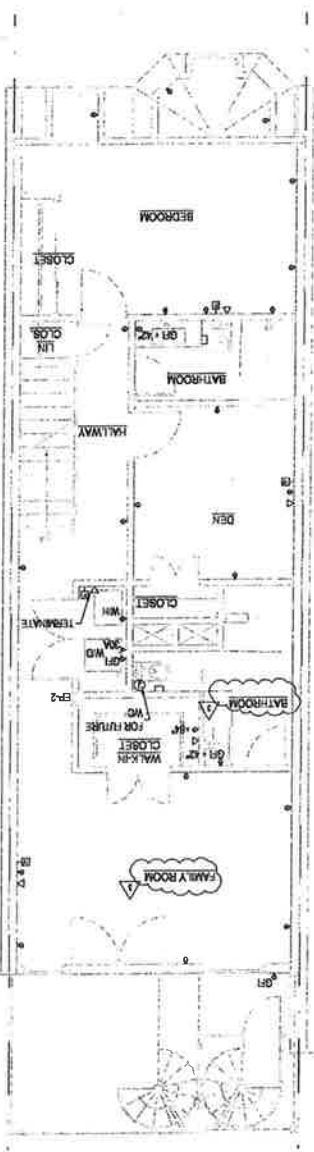


- FINISH NOTES:**
1. ALL PARTITIONS ARE 1/2" DRYWALL BOTH SIDES ON 2X4 FRAMING.
 2. PROVIDE #1 SILL PLATE @ ALL BASEMENT WALLS.
 3. PROVIDE VAPOR BARRIER @ ALL EXTERIOR WALLS.
 4. PROVIDE INSULATION R-VALUES PER CODE.
 5. STAIRS ARE PRE-FABRICATED W/ OAK TREADS.
 6. STAIR HANDRAILS ARE 2" OAK W/ CLEAR SEALER U.N.O.
 7. PROVIDE DUNROCK BEHIND ALL THE WALLS.
 8. PROVIDE CEMENT BOARD AND LIQUID WATER PROOFING MEMBRANE UNDER ALL THE FLOORS.
 9. PROVIDE GREEN BOARD WATER RESISTANT DRYWALL AT ALL WET AREAS BATHROOM, LAUNDRY ROOMS AND KITCHENS.
 10. WINDOW OPENINGS TO HAVE 3 SIDES GYRWALL ALL SILLS TO BE PAINT GRADE PLY W/ 1/2" OVERLAP.
 11. ALL INTERIOR STAIR GUARDRAILS ARE 3/4" HIGH PAINTED STEEL W/ 3/16" STAINLESS CABLES.
 12. ENLARGE OR REDUCE (E) BRICK OPENINGS TO ACCOMMODATE NEW WINDOWS AND DOORS AT REAR FACADE.
 13. PROVIDE CEMENT BACKER BOARD BEHIND ALL THE WALLS.

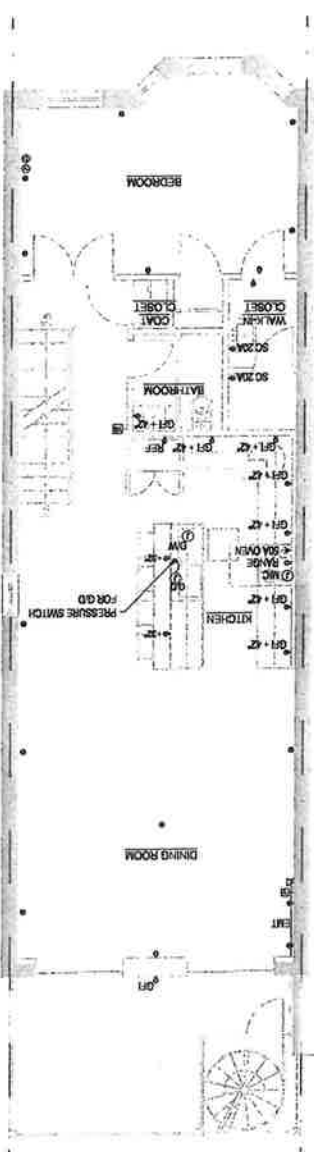
5 ROOF FLOOR POWER PLAN



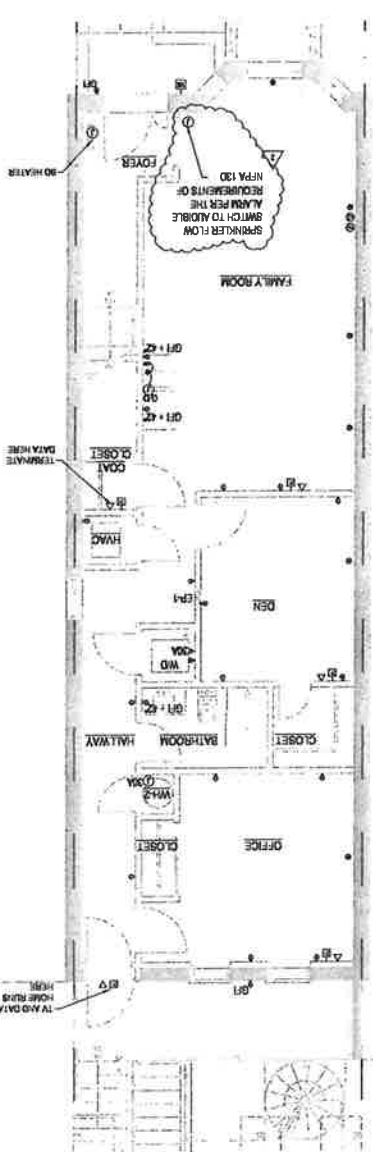
4 THIRD FLOOR POWER PLAN



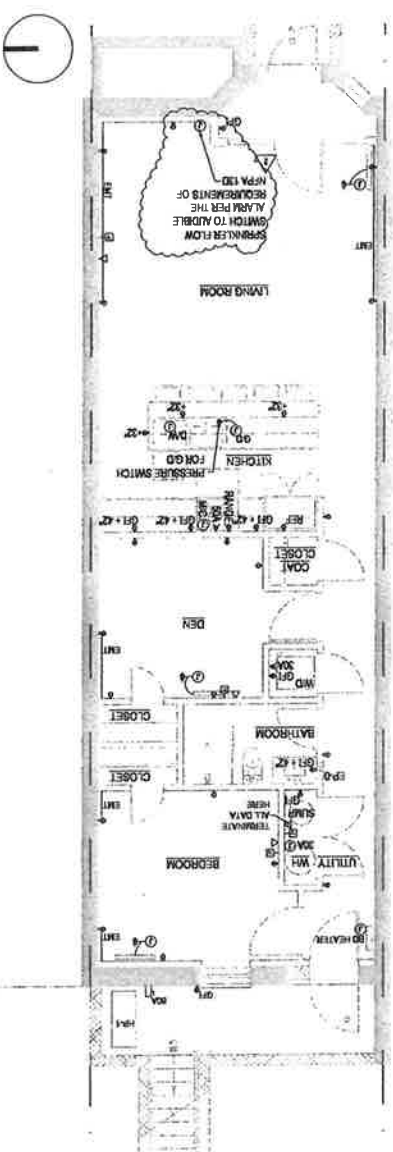
3 SECOND FLOOR POWER PLAN



2 FIRST FLOOR POWER PLAN



1 CELLAR POWER PLAN



POWER/RCP NOTES
1. ALL OUTLETS AND LIGHTING ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
2. NEW AND RELOCATED SMOKE DETECTORS SHALL BE INSTALLED PER CODE AND INTERCONNECTED.

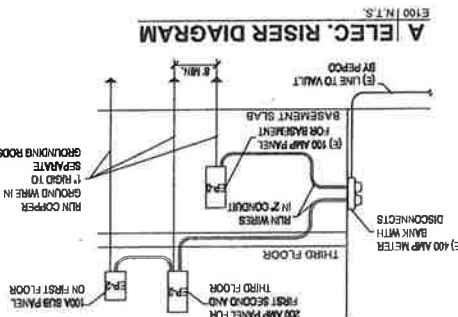


Table for EP-2 (Second Floor) showing room layouts, panel locations, and electrical load calculations.

Table for EP-1 (First Floor Sub Panel) showing room layouts, panel locations, and electrical load calculations.

Table for EP-0 (Cellar) showing room layouts, panel locations, and electrical load calculations.

Architectural title block containing project information, revision table, and company logo for Gronning.

A140

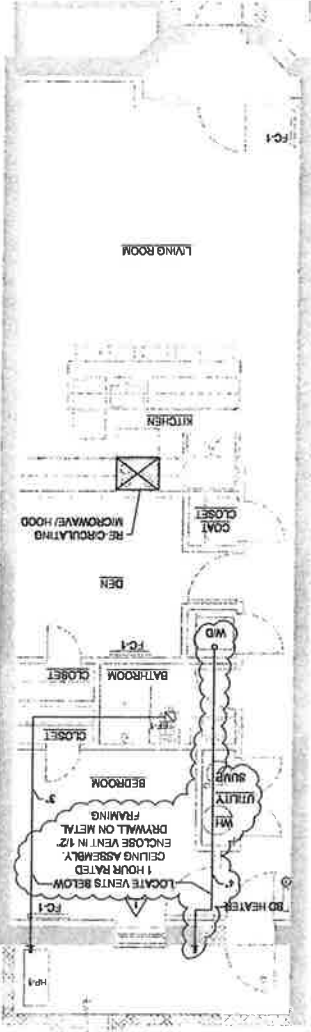
MECHANICAL PLANS & NOTES

Project Number: 15-024
 Date: 02.21.18
 Design: [Blank]
 Review: [Blank]
 Scale: 1/8" = 1'-0"

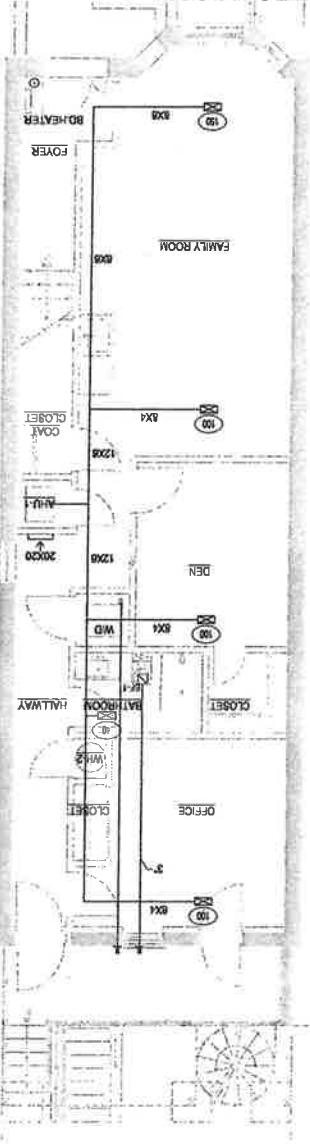


3616 11th St.
 Washington, DC 20018

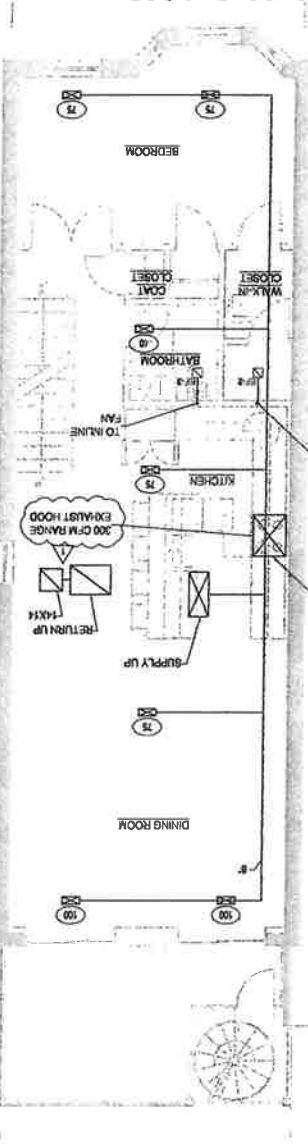
1 CELLAR MECHANICAL PLAN SCALE: 3/16" = 1'-0"



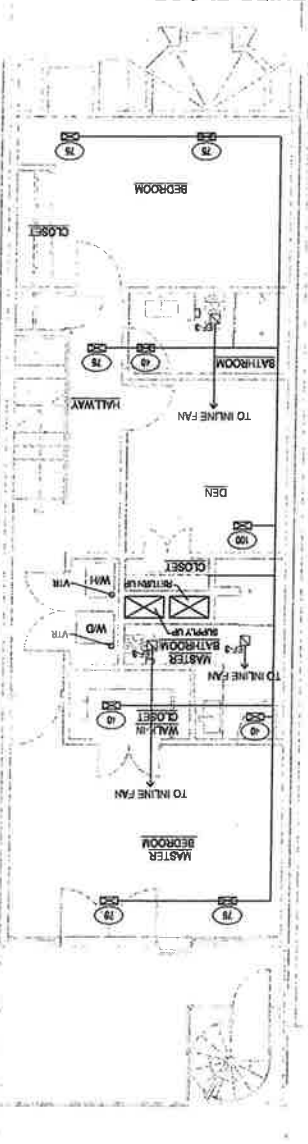
2 FIRST FLOOR MECHANICAL PLAN SCALE: 3/16" = 1'-0"



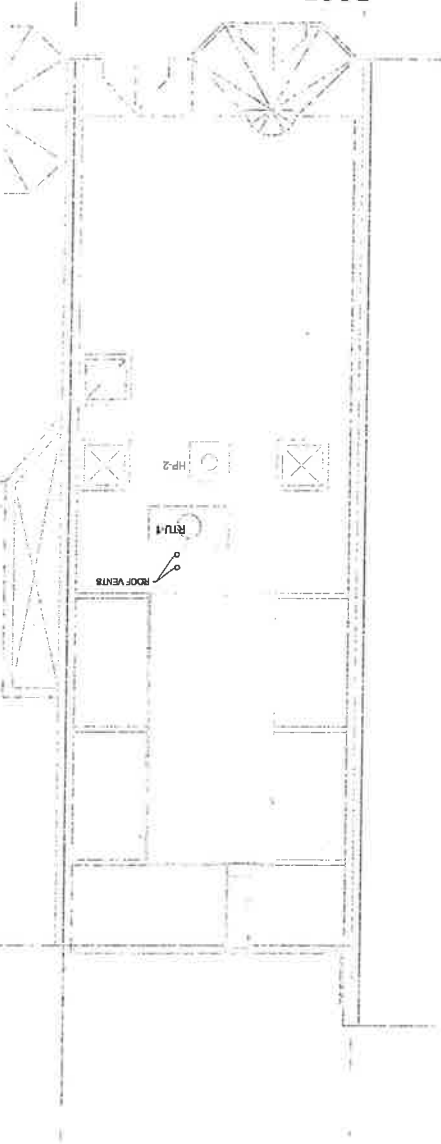
3 SECOND FLOOR MECHANICAL PLAN SCALE: 3/16" = 1'-0"



4 THIRD FLOOR MECHANICAL PLAN SCALE: 3/16" = 1'-0"



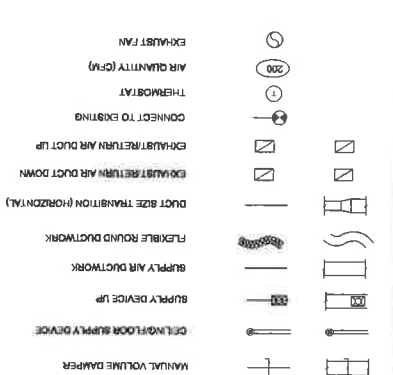
5 ROOF MECHANICAL PLAN SCALE: 3/16" = 1'-0"



MECHANICAL NOTES:

- THE SETTING OF THESE DIMENSIONS IS TO PROVIDE COMPLETE AND PROPERLY SIZED EQUIPMENT AND INSTALLATION.
- ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.
- THESE DIMENSIONS ARE MECHANICAL AND SHALL NOT BE SCALE.
- THE MECHANICAL CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF THE MECHANICAL EQUIPMENT ON THE PLANS AND MAKE NECESSARY ADJUSTMENTS TO THE WORK OR OTHER TRADES WORK ON THE PLANS MAY BE MADE TO AVOID COLLISIONS OR INTERFERENCE WITH THE MECHANICAL EQUIPMENT.
- THE MECHANICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE MECHANICAL EQUIPMENT ON THE PLANS AND MAKE NECESSARY ADJUSTMENTS TO THE WORK OR OTHER TRADES WORK ON THE PLANS MAY BE MADE TO AVOID COLLISIONS OR INTERFERENCE WITH THE MECHANICAL EQUIPMENT.
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- THE MECHANICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE MECHANICAL EQUIPMENT ON THE PLANS AND MAKE NECESSARY ADJUSTMENTS TO THE WORK OR OTHER TRADES WORK ON THE PLANS MAY BE MADE TO AVOID COLLISIONS OR INTERFERENCE WITH THE MECHANICAL EQUIPMENT.

SYMBOL LEGEND:



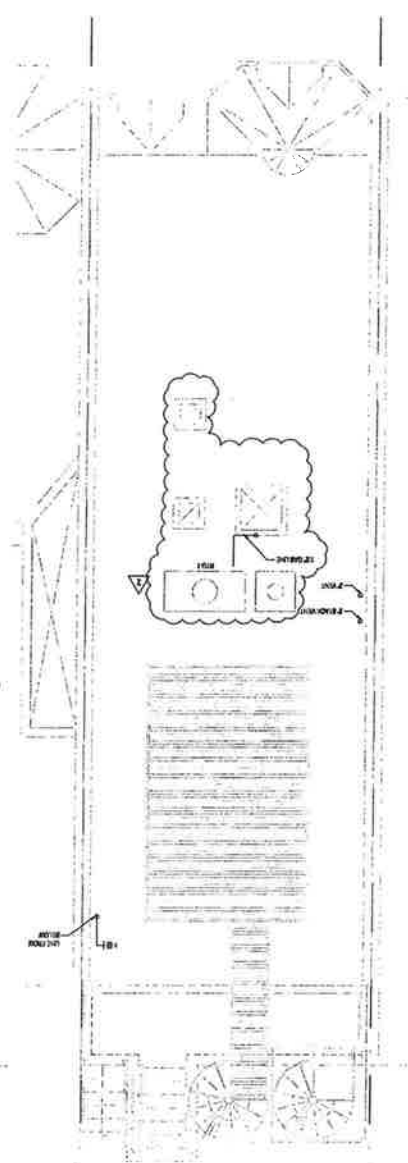
SPLIT SYSTEM HEAT PUMP UNIT

UNIT NO.	RTU-1
AIR FLOW (COINTEGRATED)	1400 CFM
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0

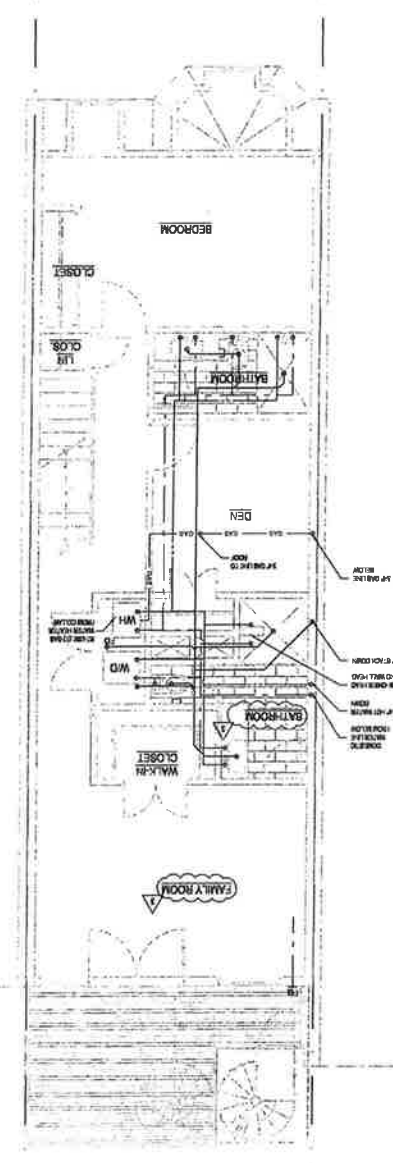
NECESSARY LEGEND:

UNIT NO.	RTU-1
AIR FLOW (COINTEGRATED)	1400 CFM
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0
A.C.M.	0
F.A.C.T. (P.N.M.)	1.0
E.P. (P.N.M.)	1.0

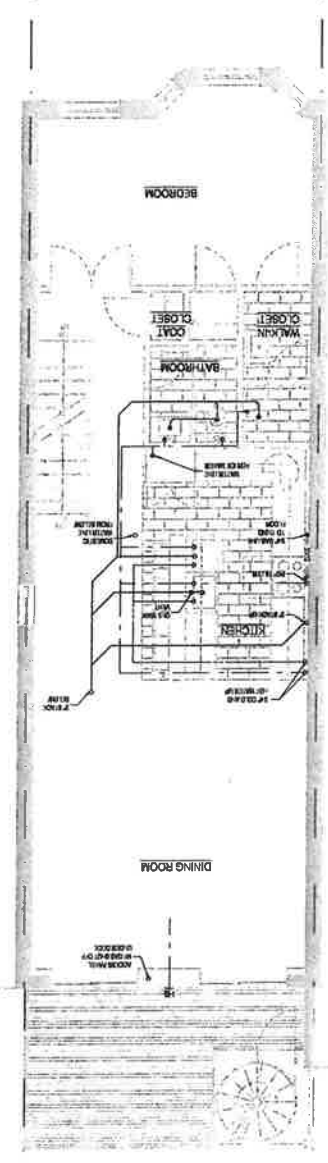
5 ROOF PLUMBING PLAN
A150 | SCALE: 3/16"=1'-0"



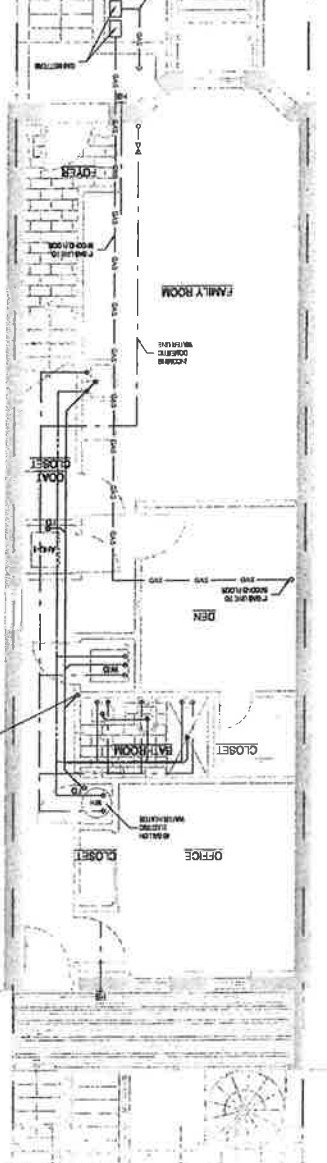
4 THIRD FLOOR PLUMBING PLAN
A150 | SCALE: 3/16"=1'-0"



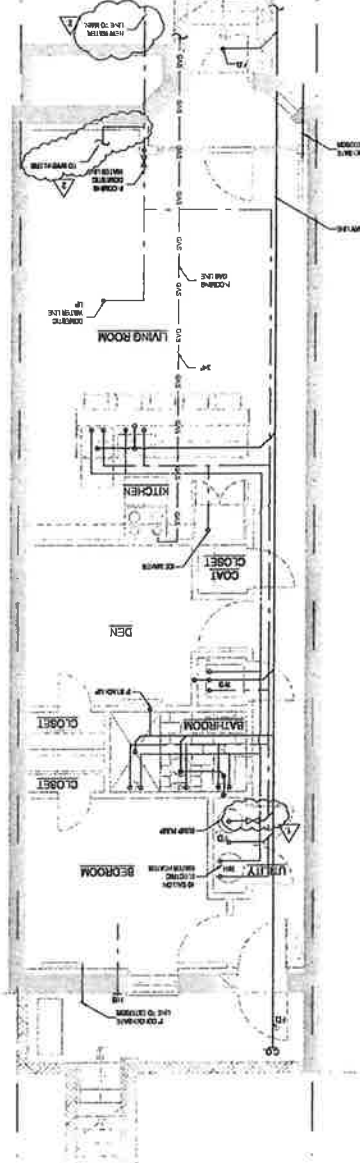
3 SECOND FLOOR PLUMBING PLAN
A150 | SCALE: 3/16"=1'-0"



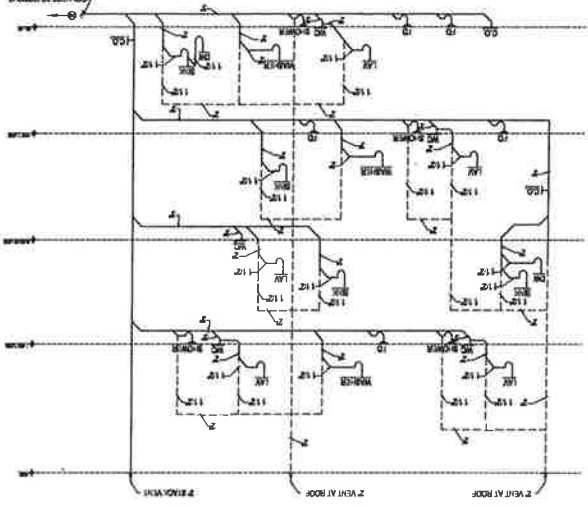
2 FIRST FLOOR PLUMBING PLAN
A150 | SCALE: 3/16"=1'-0"



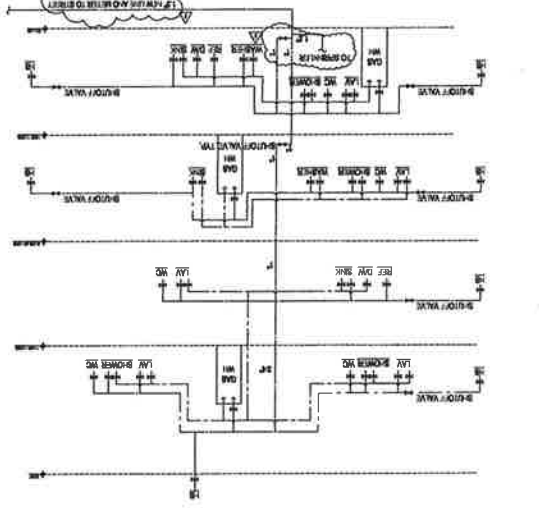
1 CELLAR PLUMBING PLAN
A150 | SCALE: 3/16"=1'-0"



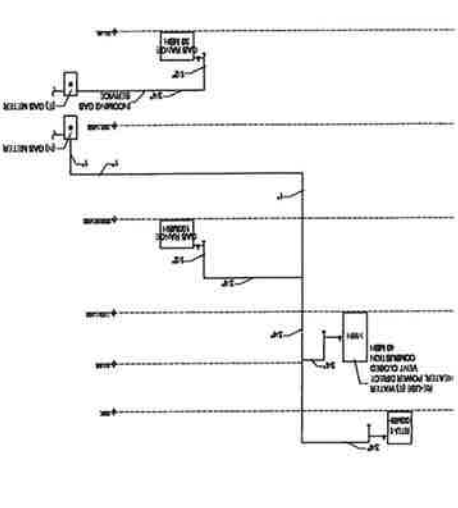
8 SANITARY RISER DIAGRAM
A150 | SCALE: NTS



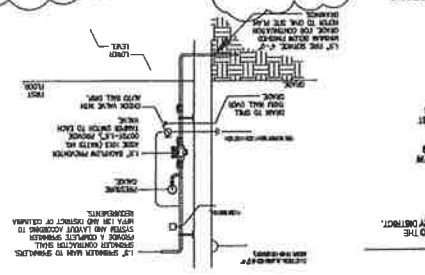
7 PLUMBING RISER DIAGRAM
A150 | SCALE: NTS



6 GAS RISER DIAGRAM
A150 | SCALE: NTS



7 SPRINKLER RISER DIAGRAM
A150 | SCALE: NTS



GAS NOTES:

- ALL WORK IS TO BE PERFORMED BY A LICENSED PLUMBER. PLUMBERS TO OBTAIN PERMITS FOR ALL GAS WORK. PLUMBERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR GAS WORK.
- TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 54, GAS PIPING FOR BUILDINGS AND OTHER STRUCTURES.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.1.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.2.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.3.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.4.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.5.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.6.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.7.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.8.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.9.
- TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPE FITTERS (IAPF) 904.1.1.10.

NATURAL GAS CALCULATIONS

PERMITS: PERMITS SHALL BE OBTAINED FROM THE LOCAL GAS UTILITY COMPANY AND THE LOCAL BUILDING DEPARTMENT.

PLUMBING NOTES:

- CONDUCT WATER, GAS AND VENT PIPING SHALL COMPLY TO THE FOLLOWING:
- PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
- FIELD VERIFY THE SIZE AND LOCATION OF EXISTING GAS PIPING. WATER, GAS AND VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- FIELD VERIFY THE SIZE AND LOCATION OF EXISTING GAS PIPING. WATER, GAS AND VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- FIELD VERIFY THE SIZE AND LOCATION OF EXISTING GAS PIPING. WATER, GAS AND VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
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- FIELD VERIFY THE SIZE AND LOCATION OF EXISTING GAS PIPING. WATER, GAS AND VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

SYMBOL LEGEND:

- Gas Line
- Valve
- Vent Pipe (V)
- Sanitary Drainage Pipe (S)
- Existing
- Domestic Hot Water Pipe (HW)
- Domestic Cold Water Pipe (CW)
- Connect to Existing Pipe
- Clearcut Pipe (C)
- Cap on End of Pipe

A150

PLUMBING PLANS & NOTES

Project Number: 15-024

Date: 05.20.16

Revision:

NO.	DATE	DESCRIPTION
1	03.24.16	REVISION 1
2	06.06.16	REVISION 2
3	12.21.16	REVISION 3

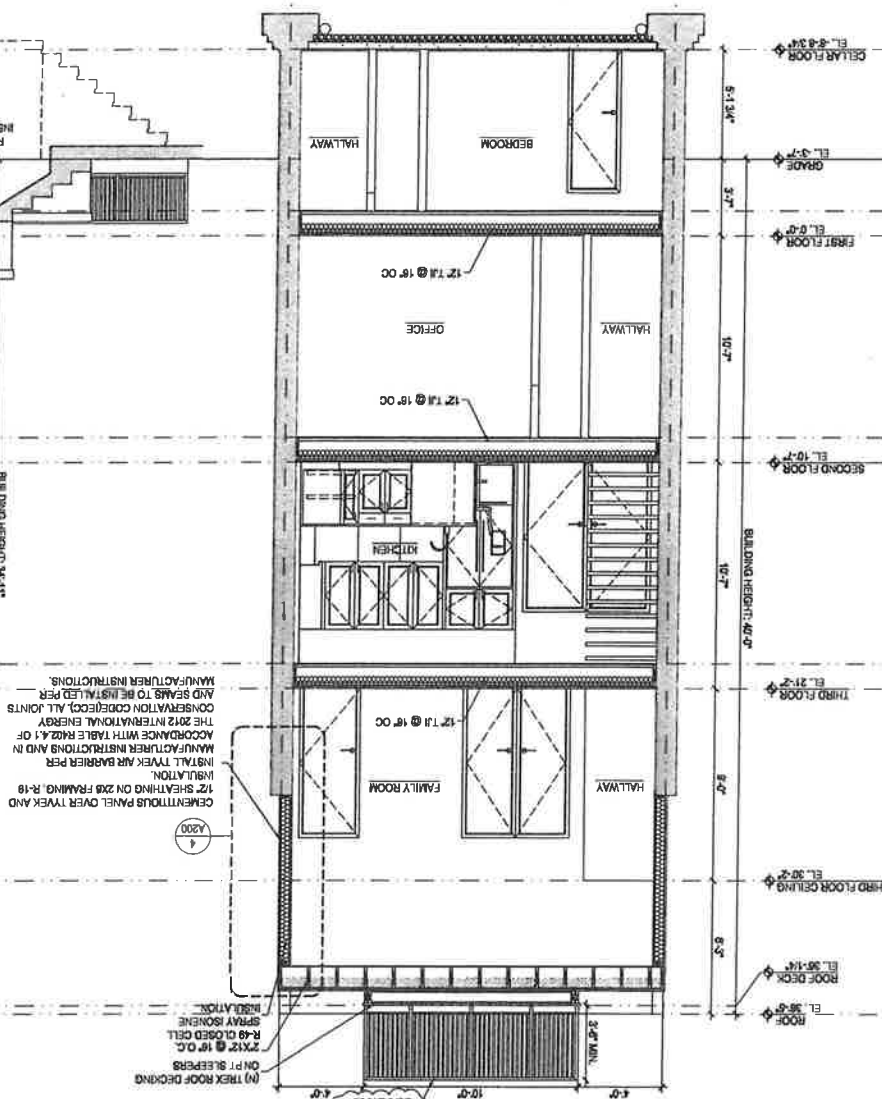


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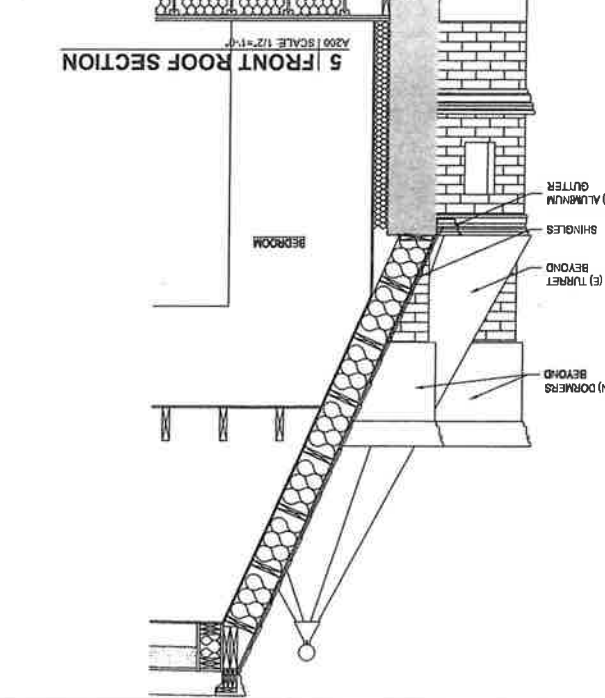
GRONNING ARCHITECTS, P.C.
1728 U STREET, NW SUITE 8100
WASHINGTON, DC 20008
202.331.7829
WWW.GRONNINGARCHITECTS.COM

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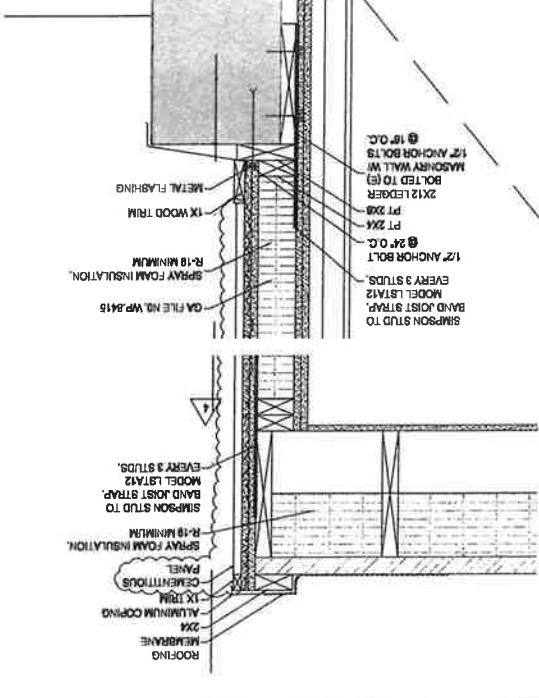
2 CROSS SECTION
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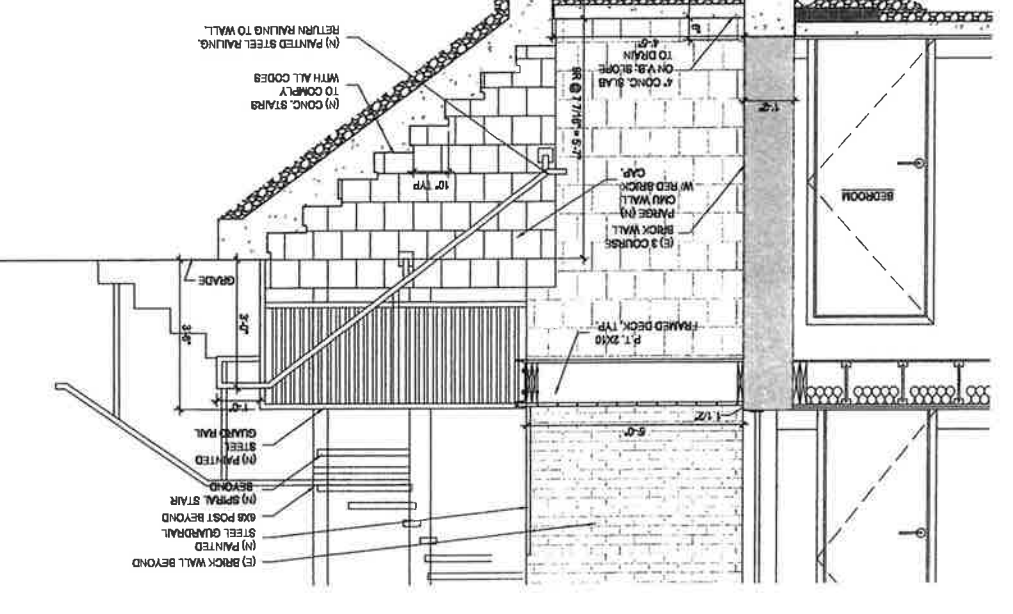
5 FRONT ROOF SECTION
A200 | SCALE: 1/2"=1'-0"



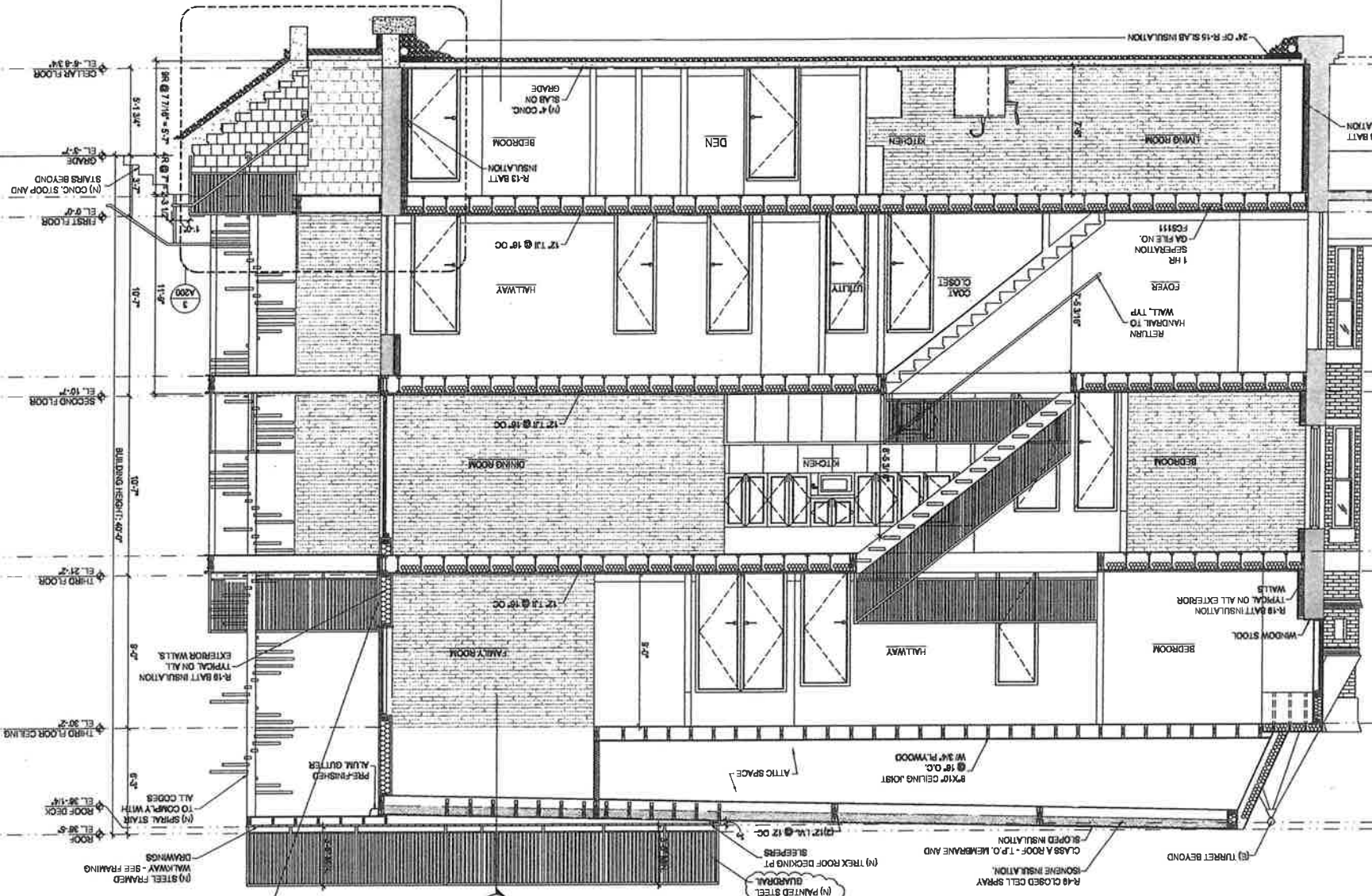
4 TYPICAL SECTION DETAIL
A200 | SCALE: 1/2"=1'-0"



3 REAR STAIR SECTION
A200 | SCALE: 1/2"=1'-0"



1 LONG SECTION
A200 | SCALE: 1/4"=1'-0"



A200

SECTIONS

Project Number: 15-024

NO.	DATE	DESCRIPTION
1	02.15.18	FOR OWNER REVIEW
2	06.08.18	REVISION 2
3	12.21.18	REVISION 3
4	01.25.19	REVISION 4

Architect: GRONNING ARCHITECTS, P.C. ALL RIGHTS RESERVED.



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COMPONENT	REQUIREMENTS
(N) WINDOWS	U-FACTOR .35 MAX
CEILING	R-19 MIN
WOOD-FRAME WALL	R-19 MIN
FLOOR	R-19 MIN
BASEMENT WALL	R-10 OR R-13 MIN, DEPENDING ON WALL ASSEMBLY
SLAB	R-10 MIN, 2" DEPTH

AIR BARRIER AND INSULATION INSTALLATION REQUIREMENTS:

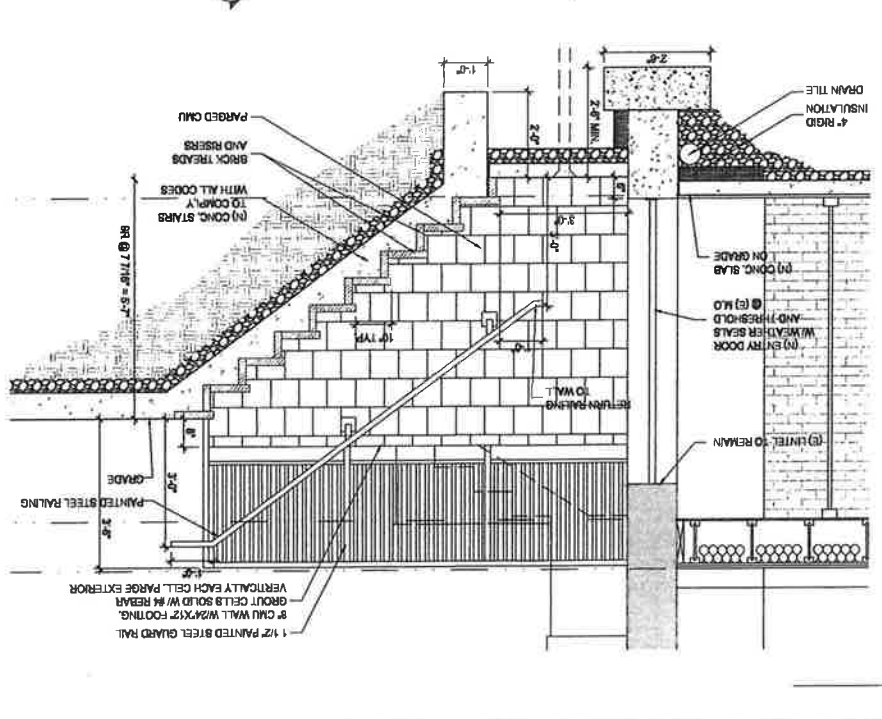
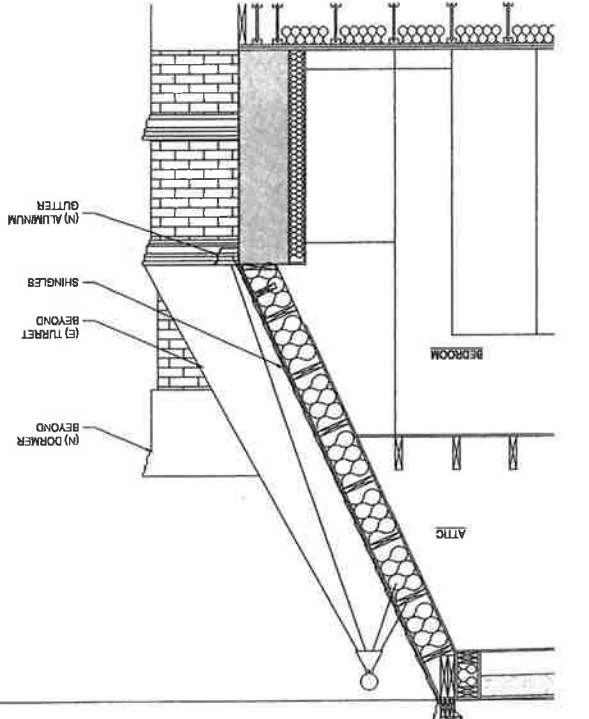
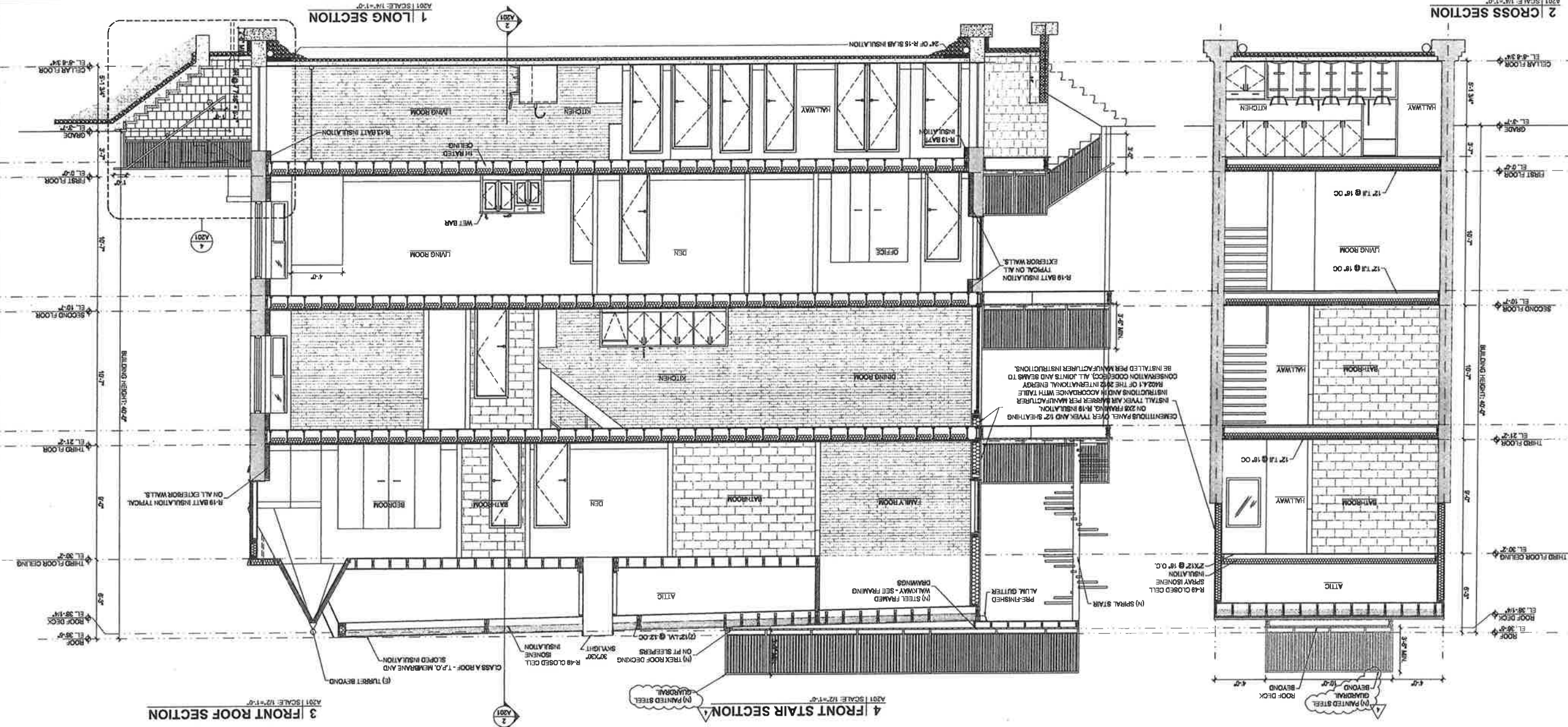
INSULATION TABLE

ARCHITECTURAL NOTES:

- EXTERIOR AIR BARRIER IS 1/2" DRYWALL INSTALLED AT INTERIOR FACE OF ALL EXTERIOR SURFACE AND ALL JOINTS AND CORNERS TO BE TAPED AND SPACKLED PER SECTION 402.4.1.2.1(7)

INSTALL ALL INSULATION PER MANUFACTURER INSTRUCTIONS AND IN ACCORDANCE WITH TABLE R402.4.1 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

FLOOR INSULATION INSTALLED WITH SUBSTANTIAL CONTACT WITH UNDERSIDE OF FLOOR.



A201

SECTIONS

Project Number: 15-024

Scale: 1/8" = 1'-0"

DATE: 08.22.18 FOR BID

DATE: 02.18 FOR PERMIT

DATE: 10.08.15 FOR OWNER REVIEW

NO. DATE DESCRIPTION

REVISION 1 03.24.16 REVISION 1

REVISION 2 06.08.16 REVISION 2

REVISION 3 12.21.16 REVISION 3

REVISION 4 01.25.17 REVISION 4

DRG: [Signature]

ARCHITECT: [Signature]

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A300

**BUILDING ELEVATIONS/
DOOR AND WINDOW
SCHEDULE**

Project Number: 15-024

DATE: 08.10.18 APPENDIX 1
08.22.18 FOR BID
02.18 FOR PERMIT
10.08.15 FOR OWNER REVIEW

REVISIONS:

NO.	DATE	DESCRIPTION
1	02.18.18	REVISION 1
2	08.08.18	REVISION 2
3	12.21.18	REVISION 3
4	01.25.17	REVISION 4

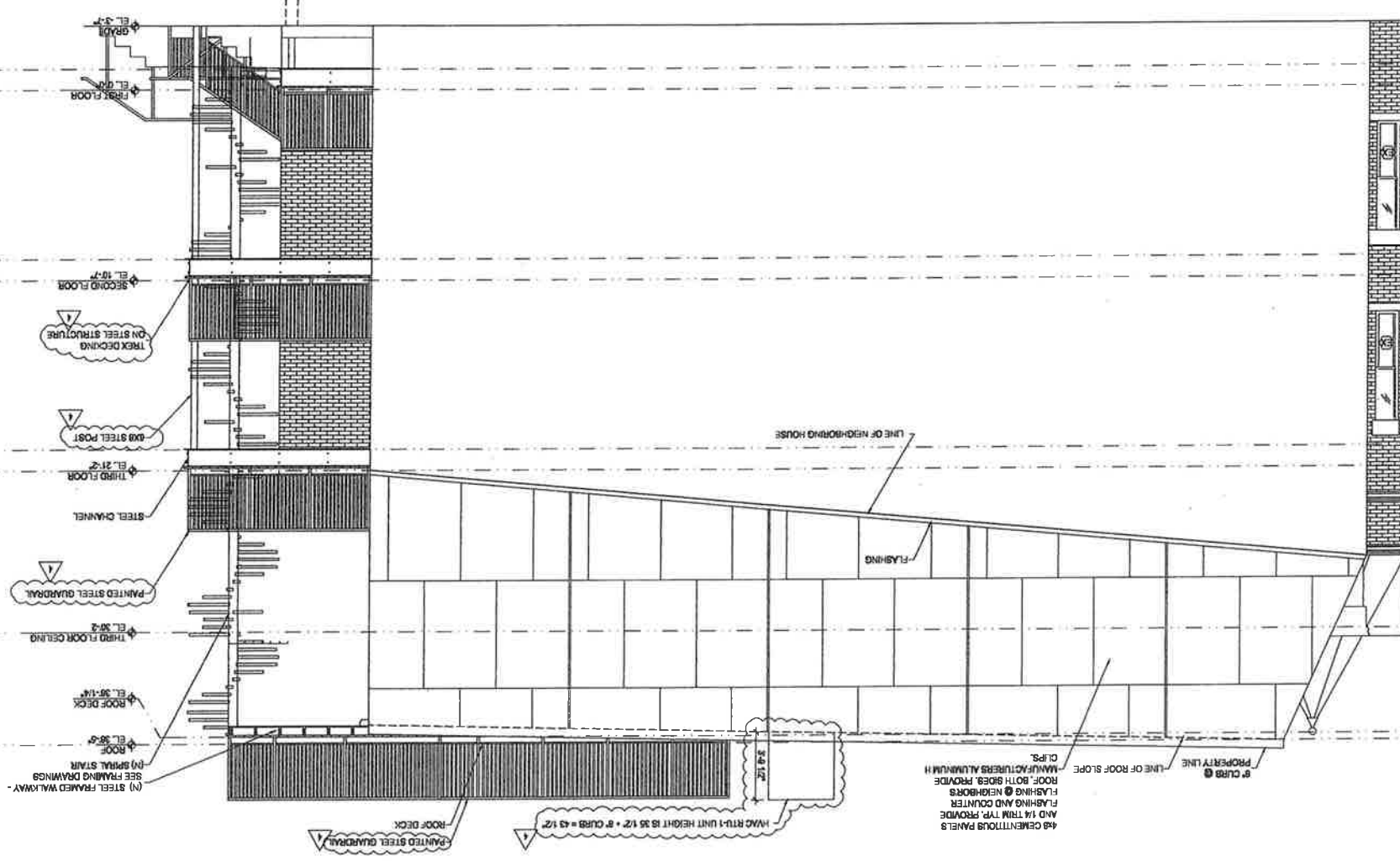


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1-202-333-3888
WASHINGTON, DC 20005

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1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



WINDOW SCHEDULE

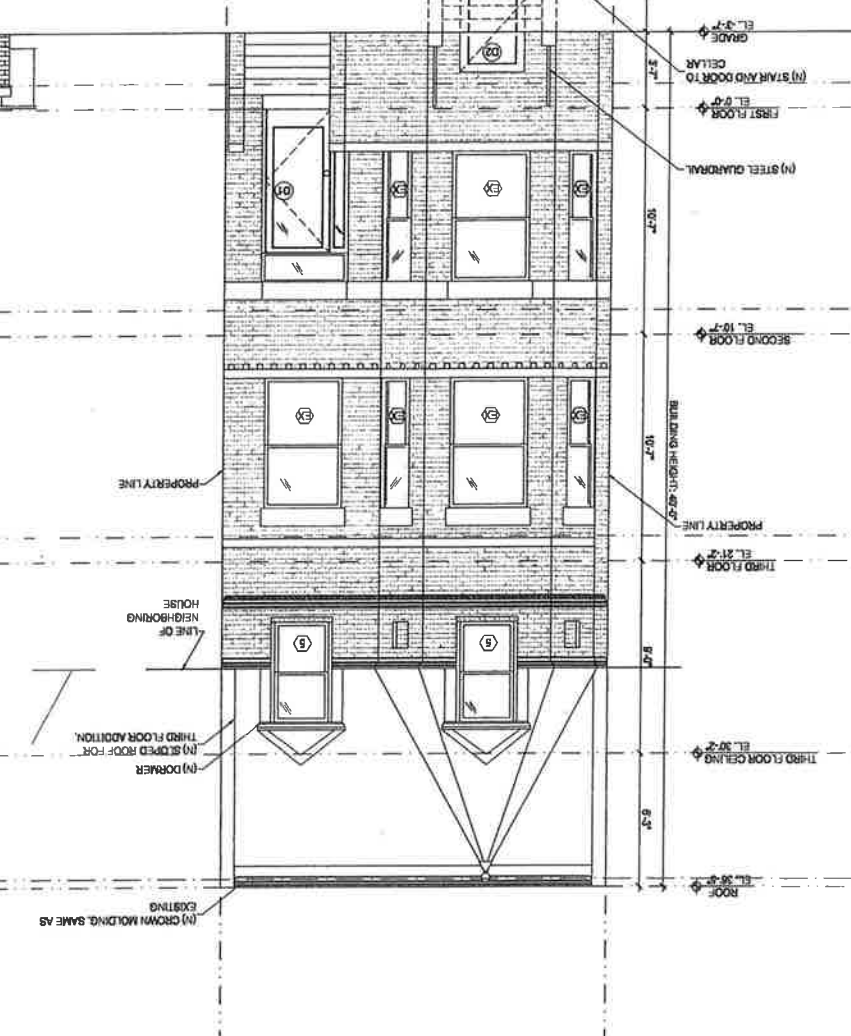
NO.	TYPE	QTY	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	U FACTOR	REMARKS
1	FIXED	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
2	FIXED DOOR	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
3	DOUBLE HUNG	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
4	DOUBLE HUNG	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
5	DOUBLE HUNG	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
6	DOUBLE HUNG	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
7	FIXED	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL
8	FIXED	1	4'-2"	2'-2"	1/2"	ALUM. WOOD	—	35	REMOVABLE GLASS PANEL

COORDINATE ALL ROUGH OPENING W/ PLAN AND FRAMING

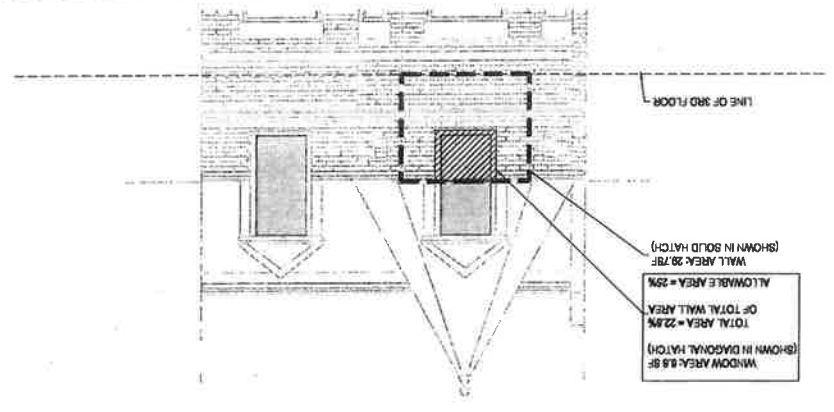
EXTERIOR DOOR SCHEDULE

DOOR TAG	TYPE	QTY	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	FRAME TYPE	HEAD	JAMB	THRESHOLD	HARDWARE SET	REMARKS
D01	WOOD	4	3'-0"	7'-0"	1/2"	SAFETY GLASS	—	WOOD	—	—	—	—	—
D02	METAL	5	3'-0"	7'-0"	1/2"	METAL	—	METAL	—	—	—	—	—
D03	WOOD	7	2'-0"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D04	WOOD	1	2'-0"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D05	WOOD	5	2'-0"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D06	WOOD	4	2'-0"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D07	WOOD	5	2'-10"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D08	WOOD	3	3'-0"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D09	WOOD	1	5'-5"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—
D10	WOOD	1	8'-11 1/2"	7'-0"	1/2"	WOOD	—	WOOD	—	—	—	—	—

2 EAST ELEVATION
SCALE: 1/4"=1'-0"



3 BAY WINDOW AREA DIAGRAM
SCALE: 1/4"=1'-0"

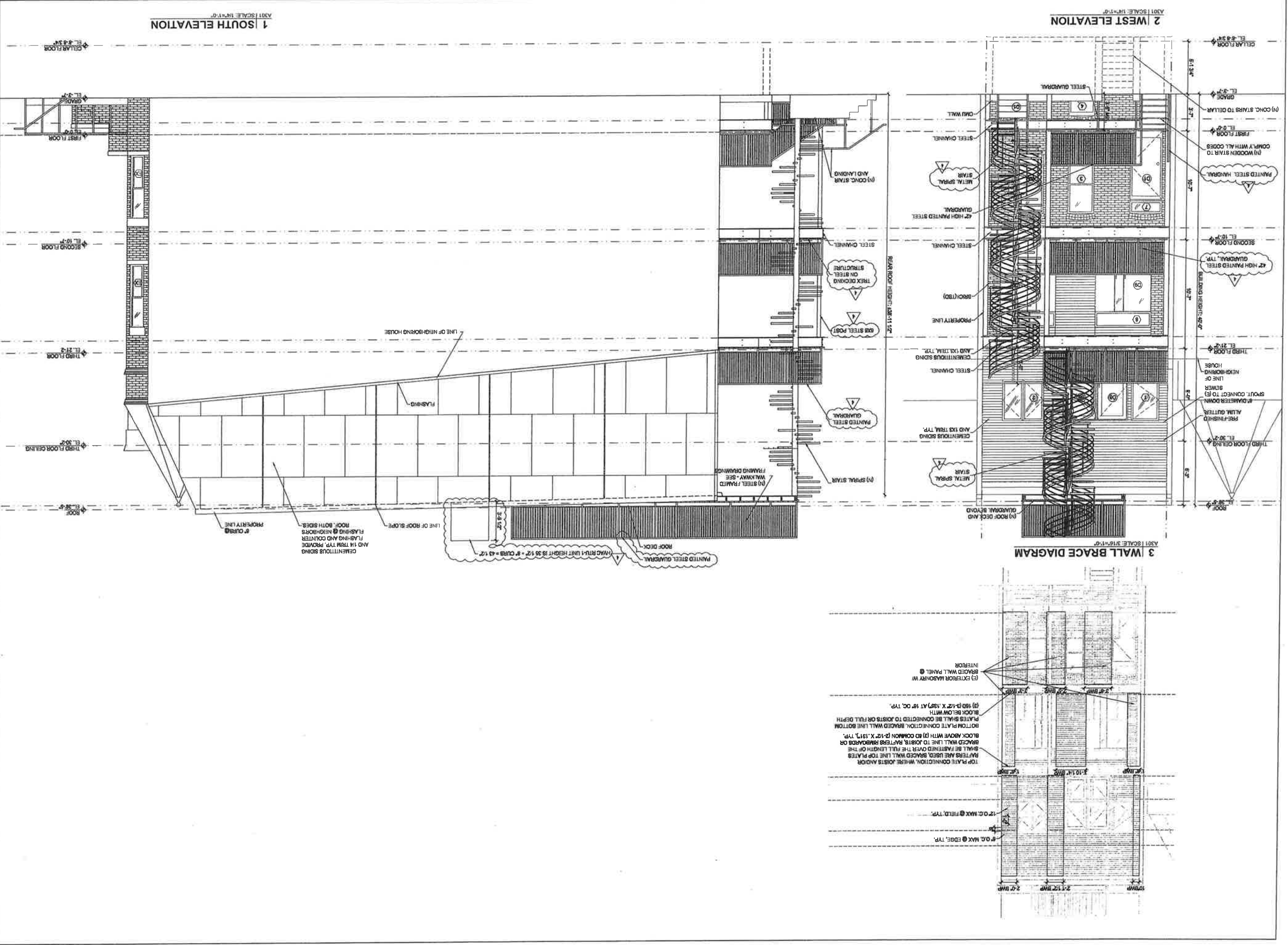


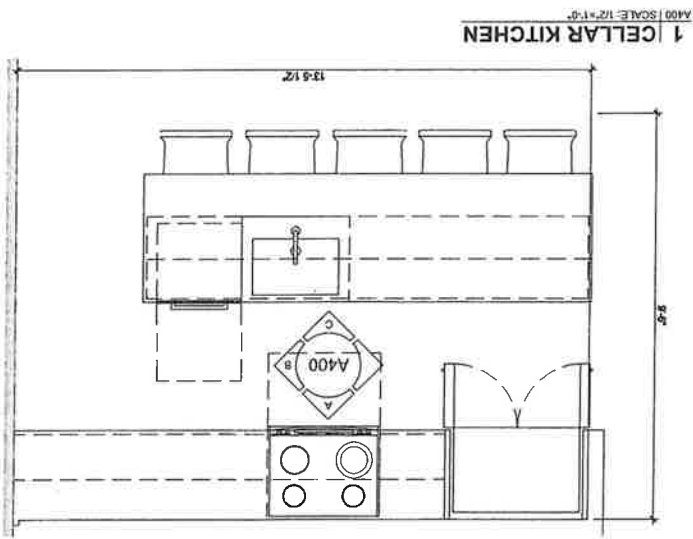


Revision	No.	Date	Description
1	03.24.15	REVISION 1	
2	06.08.15	REVISION 2	
3	12.21.15	REVISION 3	
4	01.25.17	REVISION 4	
Name: _____			
Title: _____			
Drawn: _____			
Checked: _____			
Date: _____			
Project Number: 15-024			
Task: _____			

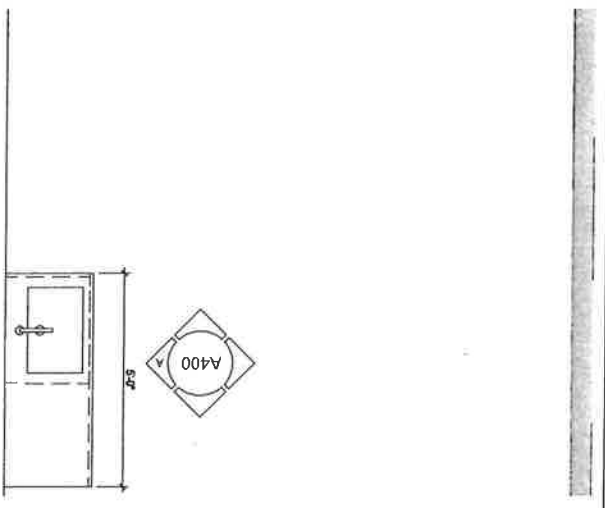
BUILDING ELEVATIONS

A301

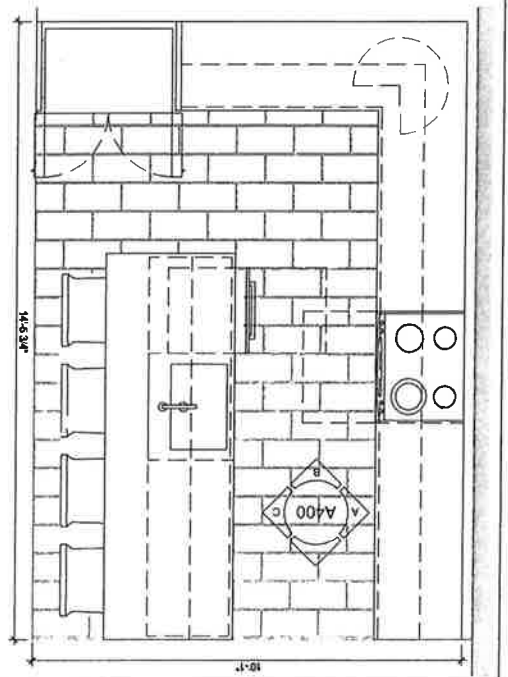




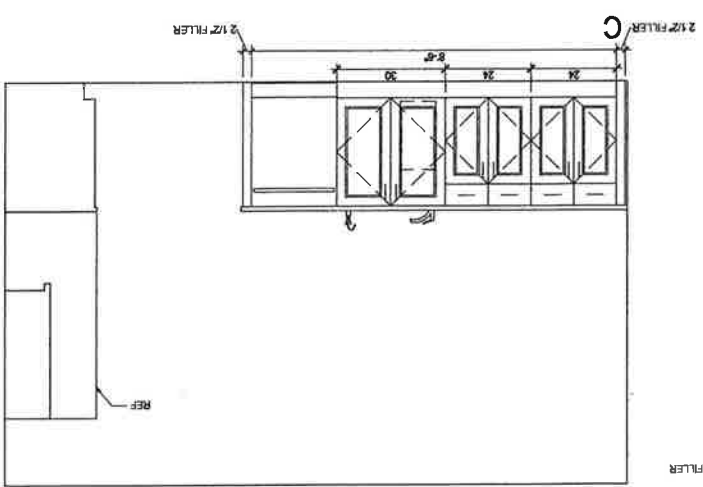
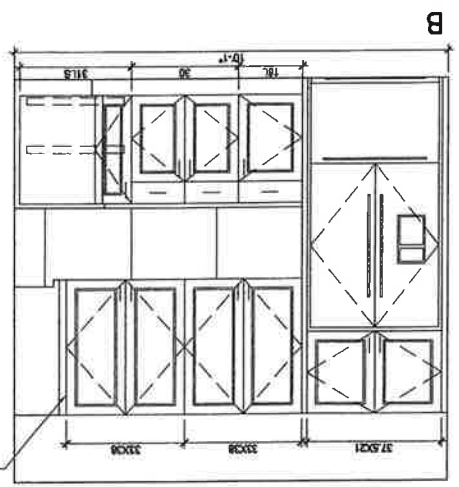
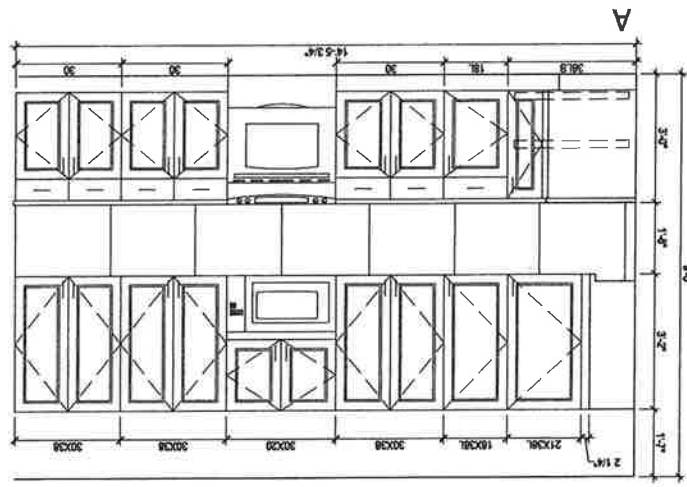
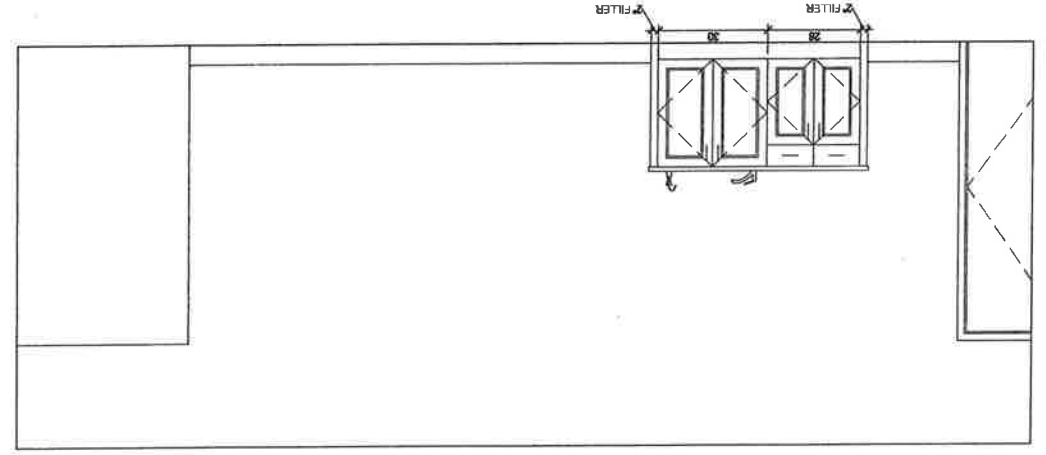
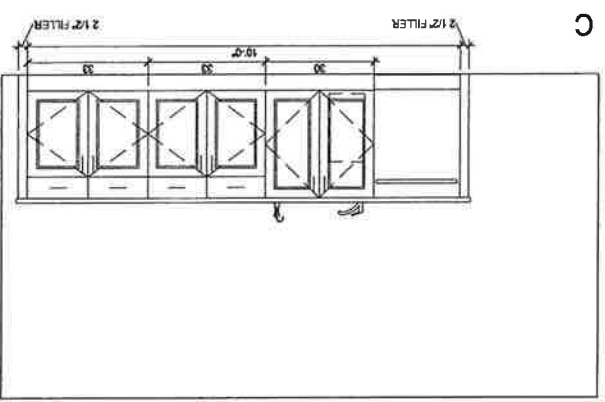
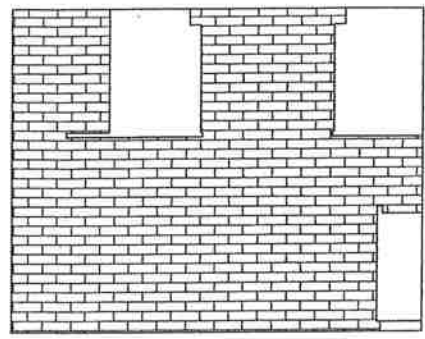
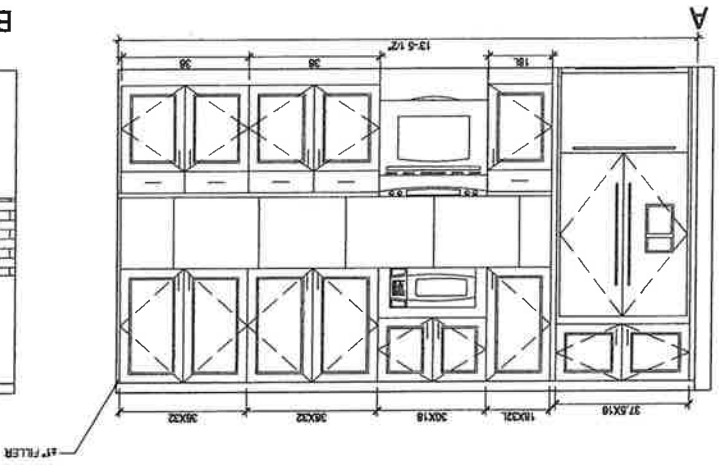
1 CELLAR KITCHEN
A400 | SCALE: 1/2"=1'-0"



2 FIRST FLOOR WET BAR
A400 | SCALE: 1/2"=1'-0"



3 SECOND FLOOR KITCHEN
A400 | SCALE: 1/2"=1'-0"



- DRAWING LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
 - NEW GWB PARTITION U.N.O.
 - NEW FACE BRICK
 - NEW CMU WALL
 - NEW 1 HOUR RATED WALL

- ARCHITECTURAL NOTES:**
1. ALL WORK SHALL BE DONE BY A CONTRACTOR LICENSED IN THE STATE OF MARYLAND AND ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND NATIONAL CODES.
 2. UNLESS NOTED OTHERWISE, ALL 4 1/2" DIMENSIONED PARTITIONS SHALL BE 1/2" GWB (EACH SIDE) ON 2 1/2" DIMENSIONED PARTITIONS SHALL BE 1/2" GWB (EACH SIDE) ON 2 1/2" METAL FRAMING.
 3. ALL PAINTED SURFACES TO RECEIVE (1) COAT PRIMER AND (2) COATS OF OWNERSPECIFIED LATEX PAINT.
 4. DO NOT SCALE ANY DRAWINGS. CONTRACTOR SHALL REPORT ANY ERRORS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT'S OFFICE IMMEDIATELY.
 5. SEE FRAMING PLANS (F100) FOR NEW FRAMING.

3616 11th St. NW
Washington, DC 20010

Project:

3616 11th St.
Washington, DC 20010
WWW.GRONNINGARCHITECTS.COM

Revision:

NO.	DATE	DESCRIPTION
1	03.24.18	REVISION 1
2	08.04.18	REVISION 2
3	12.21.18	REVISION 3

Issue:

Date:

10.06.19 FOR OWNER REVIEW

02.18 FOR PERMIT

04.22.18 FOR BID

05.30.18 ADDENDUM 1

Project Number:

15-024

KITCHEN ELEVATIONS

A400

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GENERAL NOTES:

THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH CONDITIONS RELATING TO CONSTRUCTION AND WORKING ON THE PROJECT UNDER THE CONTRACT. THE CONTRACTOR SHALL THROUGHLY EXAMINE AND BE FAMILIAR WITH THE CONTRACT, DRAWINGS, SPECIFICATIONS AND ALL PERTINENT DOCUMENTS.

MATERIAL SYMBOLS

Table of material symbols including Earth, Brick, Concrete, Ceramic Tile, Steel, Aluminum, Glass, and various insulation types.

GRAPHIC SYMBOLS

Table of graphic symbols including North Arrow, Section Mark, Elevation Mark, and Wall Type Symbol.

PLAN, SECTION, DETAIL

Table of symbols for Plan, Section, and Detail, including symbols for Section Mark, Elevation Mark, and Section Mark.

DRAWING LIST

Table listing drawing items such as A001 SITE PLAN SOIL EROSION PLAN, A002 SOIL EROSION AND SEDIMENT CONTROL PLAN, and A003 SOIL EROSION AND SEDIMENT CONTROL DETAIL.

APPLICABLE CODES

Table of applicable codes including 2012 INTERNATIONAL ENERGY CONSERVATION CODE, 2012 INTERNATIONAL PLUMBING CODE, and 2012 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE.

ABBREVIATIONS

Table of abbreviations for materials and construction terms, such as AAC, ABC, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

PROJECT DATA AND CODE ANALYSIS

Table providing project data and code analysis, including building address, owner, use group, and lot information.

PROJECT LIST

Table listing project items such as Proposed First Floor, Proposed Second Floor, and Proposed Cellar, with associated square footages.

OWNER

GRAHAM P. SMITH
WASHINGTON, DC 20010

ARCHITECT

GRONNING ARCHITECTS, PLLC
1428 U STREET NW, SUITE B100
WASHINGTON, DC 20009
PH 202.223.7059 FX 202.223.7054
WWW.GRONNINGARCHITECTS.COM

PROJECT NARRATIVE

- 1. OBTAIN ALL REQUIRED PERMITS.
2. PLACE ALL SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
3. INSTALL SILT FENCE AS PER DRAWING.
4. DISTURBED AREAS SHALL BE RESTORED FOR MORE THAN 7 CALIBER DAYS, PROVIDE AND MAINTAIN NECESSARY VEGETATION THROUGHOUT CONSTRUCTION TO AVOID ACQUATE EROSION AND SEDIMENT CONTROL.

CUT TABLE

Table showing excavation volumes and areas of disturbance for different areas like Cellar Slab, Front Areaway, and Rear Areaway.

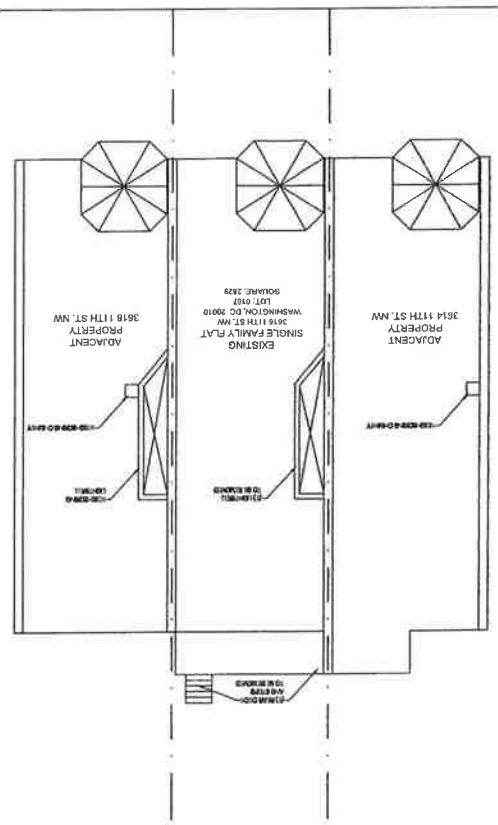
SITE PLAN LEGEND

Table defining symbols for site plan elements such as Property Line, Existing Fence, and Building Outline.

SOIL EROSION NOTES

1. DRAIN CONTROL:
A) Maintain - Use techniques for erosion on stabilization with mulch, straw, blankets or wood chippings.
B) Erosion Control - Use blankets for temporary vegetation cover.
C) Erosion Control - Use mulch and straw for erosion control.

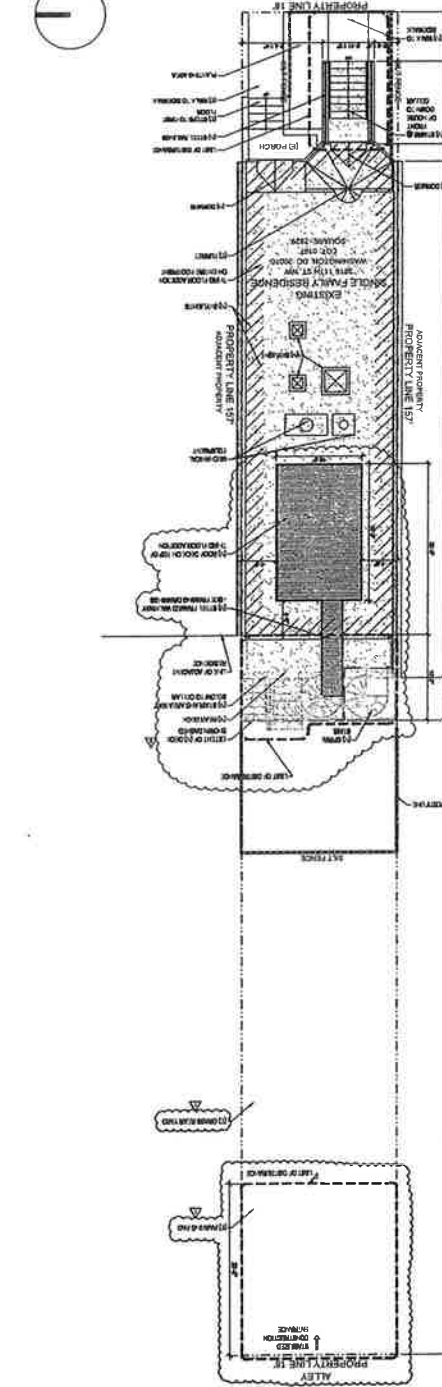
2 | EXISTING SITE PLAN



SOIL EROSION PLAN



1 | SOIL EROSION PLAN



C100

SOIL EROSION AND SEDIMENT CONTROL PLAN

Table with project information including Project Number (15-024), Date (02.18), and various revision dates.



3616 11th St. NW
Washington, DC 20010

GRONNING



NO.	DATE	DESCRIPTION
1	03.21.16	REVISION 1
2	06.05.16	REVISION 2
3	12.21.16	REVISION 3
4	02.23.16	FOR PERMIT
5	02.23.16	FOR PERMIT
6	02.23.16	FOR PERMIT
7	02.23.16	FOR PERMIT
8	02.23.16	FOR PERMIT
9	02.23.16	FOR PERMIT
10	02.23.16	FOR PERMIT
11	02.23.16	FOR PERMIT
12	02.23.16	FOR PERMIT
13	02.23.16	FOR PERMIT
14	02.23.16	FOR PERMIT
15	02.23.16	FOR PERMIT
16	02.23.16	FOR PERMIT
17	02.23.16	FOR PERMIT
18	02.23.16	FOR PERMIT
19	02.23.16	FOR PERMIT
20	02.23.16	FOR PERMIT

SOIL EROSION AND SEDIMENT CONTROL DETAILS

SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND CONSTRUCTION AS PER STANDARD SPECIFICATIONS WITHIN SEVEN DAYS OF COMMENCEMENT.
2. ALL AREAS TO BE EXPOSED FROM THE SITE.
3. ALL TIE-INS / OR STREET SHALL BE SHIRT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE REPORTED DAILY BY THE CONTRACTOR AND DETAILED DEVICES OR WEAPONS WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN RISK AND EXPENSE.
5. ALL WEAPONS LEAVING THE SITE SHALL BE WASHED THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE EXITING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PLANTED SHALL BE SEEDS OR SOOBS AS PER DO NOT SHOW TO BE PLANTED WITHIN SEVEN DAYS OF COMPLETION.
9. ALL STOCKPILING, REPAIRS, OR LOCATIONS OF SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
10. AFTER PAVE OR CONCRETE THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOO, PLANTS, PROPOSED OR MULCH, ETC.
11. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE O.C. EROSION AND SEDIMENT CONTROL INSPECTION APPROVAL, ALL REPORTED SITUATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DISTURBED AREAS SHALL BE REPAIR/REPLY STABILIZED.

SEQUENCE OF CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN OBTAINING PERMIT TEMPORARY STABILIZATION ENTRANCE.
2. PROVIDE TEMPORARY STABILIZATION ENTRANCE WHERE SHOWN, PROVIDE WATER SOURCE AND HOSE TO CLEAN THE EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AND/OR PERMITS OF SITE.
4. AN OBTAINED AREA WILL BE OBTAINED FOR WORK THAT 7 CALENDAR DAYS, INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATION STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE REPORTED DAILY BY THE CONTRACTOR AND ANY DAMAGED SITUATION OR EROSION CONTROL DEVICES OR WEAPONS WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERMANENTLY STABILIZED WITH APPROVED STABILIZATION.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTROLLING PURPOSE HAS BEEN PERMANENTLY STABILIZED.

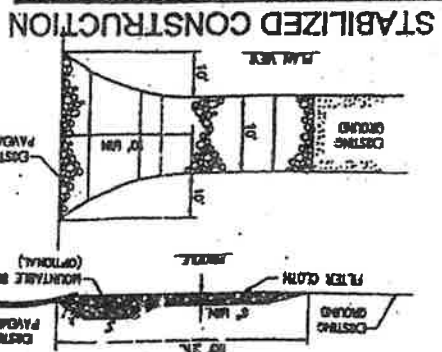
STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)



1. WORK AREA FENCE TO BE FASTENED TO STEEL POSTS WITH WIRE NETS OR STAPLES.
2. FILTER CLOTH TO BE FASTENED TO FILTER CLOTH ADJACENT TO HOLES WITH THIS SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND TIED.
4. WASHWATER SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN BUCKETS OVERFLOW IN THE SILT FENCE.

PLAN NUMBER

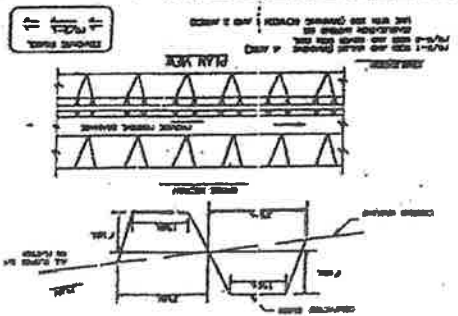
THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITS/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURE SHOWN HEREON. HE SHALL NOTIFY THIS OFFICE AT (202)637-4360 AT LEAST 24 HOURS BEFORE START OF GRADING ACTIVITY AND WITHIN TWO WEEKS AFTER COMPLETION OF PROJECT FOR FINAL INSPECTION.



ENTRANCE (NOT TO SCALE)

1. STONE SIZE - USE 2" STONE, OR EQUIVALENT OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE 25 FEET IS PERMITTED).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TEN (10) FEET MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL PORTS OF ACCESS OR CROSSINGS.
5. FILTER CLOTH - WILL BE PLACED OVER THE DRIVE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH SHALL BE PLACED ACROSS THE DRIVEWAY. IF PERMITS IS APPLICABLE, DRIVEWAY SHALL BE 24" WIDER THAN THE DRIVEWAY.
6. MAINTENANCE - THE DRIVEWAY SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OF STONE OR OTHER PUBLIC HAZARD OF DRIVE. THIS MAY INCLUDE PERIODIC TOP DRESSING WITH APPROVED STABILIZATION ENTRANCE AND REPAIRS TO PRESERVE THE PRESSURE OF ANY DEVICES.
7. RIGHT-OF-WAY - ALL SURFACE WATER FLOWING OR DRAINING TOWARD CONSTRUCTION ENTRANCE SHALL BE REMOVED IMMEDIATELY.
8. WASHING - VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO EXITING DRIVEWAY INTO RIGHT-OF-WAY. WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH PERMITS INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH WASH.

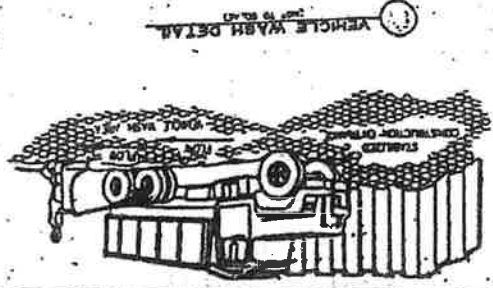
EARTH DIKE DETAIL (NOT TO SCALE)



1. All perimeter dikes/walls shall have an undisturbed positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet into an undisturbed stabilized area of a non-erosive velocity.
4. The single dike shall be topped to meet the criteria specified in the cross-section as required to meet the criteria specified in the standard.
5. Fill shall be compacted by earth moving equipment.
6. Stabilization with seed and mulch or as specified of the area disturbed by the dike and slope shall be completed within 7 days upon removal.
7. Inspection and required maintenance shall be provided after each rain event.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

Note: The maximum drainage area for this practice is 2 acres.



VEHICLE WASH DETAIL

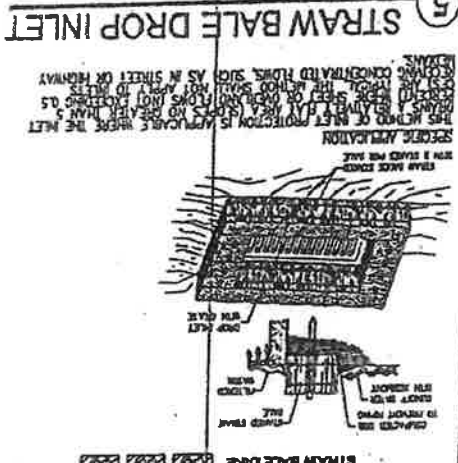
CURB INLET SEDIMENT FILTER (NOT TO SCALE)

1. TWO CONCRETE BLOCKS SHALL BE PLACED ON BEHIND SIDES ALTIMATING THE CURB AS OTHER SIDE OF THE INLET OPENING.
2. A 1/2" HOLES BY 4" HOLES SHALL BE CUT AND PLACED THROUGH THE DUNE HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCK IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON BEHIND SIDES ALTIMATING THE FRONT AND REAR SIDES OF THE INLET OPENING AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBS) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM WASHED THROUGH.
5. TWO TO THREE MORE STONE SHALL BE PLACED AGAINST THE WIRE TO THE TOP OF THE BARRIER AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PLACED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

STRAW BALE DIKE DETAIL (NOT TO SCALE)

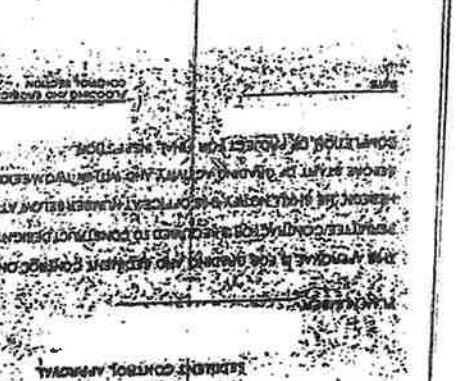
1. BALE SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTAINMENT AREA.
2. AND IN A ROW WITH EACH OTHER ALTIMATING THE ADJACENT BALE.
3. EACH BALE SHALL BE PLACED IN THE ROW A MINIMUM OF (6) INCHES AND PLACED SO THAT BALE ARE INTERLOCKED.
4. BALE SHALL BE PLACED OVER THE BALE. THE FIRST STAKE IN EACH ROW SHALL BE PLACED OVER THE BALE. THE FIRST STAKE IN EACH ROW SHALL BE PLACED OVER THE BALE. THE FIRST STAKE IN EACH ROW SHALL BE PLACED OVER THE BALE.
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SEDIMENT FILTER (NOT TO SCALE)



1. EARTH DIKE
2. SILT FENCE
3. TEMPORARY SWALE
4. STABILIZED CONSTRUCTION
5. PERMITS OR SWALE
6. INLET PROTECTION
7. DIVERSION
8. GRASSED WATERWAY
9. ROCK OUTFLET PROTECTION
10. SUSSEFACE DRAIN
11. TREE PROTECTION
12. STRAW BALE DIKE

LEGEND



SPECIFICATIONS

- 1. This project has been designed in compliance with the 2004 DCMA 12 Building Code Regulations and all local...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

- 14. For concrete as required under items of MASONRY...
15. Concrete fill at the bottom and the base and...
16. The contractor shall be responsible for the safety and construction procedures...

- 1. All concrete reinforcement materials shall be new, free...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

- 1. All concrete reinforcement materials shall be new, free...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

MASONRY

- 1. All concrete reinforcement materials shall be new, free...
2. The contractor shall be responsible for the safety and construction procedures...
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3. The contractor shall be responsible for the safety and construction procedures...

STRUCTURAL STEEL

- 1. Steel shall be of American manufacture, new and free...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

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3. The contractor shall be responsible for the safety and construction procedures...



ANALYSIS OF ADJOINING PROPERTY FOR SNOW LOAD IMPACT...
CALCULATIONS AND ANALYSIS FOR MINIMUM SNOW DRAFT LOAD...
CONTRACTOR TO VERIFY AND INSURE THE ADEQUACY OF EXISTING...

SNOW DRAFT NOTES

- 1. CONTRACTOR TO VERIFY AND INSURE THE ADEQUACY OF EXISTING...
2. PLEASE REFER TO PAGE 42 AND 43 OF STRUCTURAL DESIGN...
3. THE ADEQUACY OF ADJOINING BUILDING HAS BEEN PROVIDED...

- 1. The contractor shall be responsible for the safety and construction procedures...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

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2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

FRAMING NOTES

- 1. ALL FRAMING TO COMPLY WITH THE INTERNATIONAL LIGHT FRAME...
2. THE ADEQUACY OF ADJOINING BUILDING HAS BEEN PROVIDED...

- 1. The contractor shall be responsible for the safety and construction procedures...
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2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

GRONNING

1429 W STREET, NW SUITE 8100 WASHINGTON, DC 20010
3616 11th St. NW
3616 11th St. NW
WASHINGTON, DC 20010

1. The contractor shall be responsible for the safety and construction procedures...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

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2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...

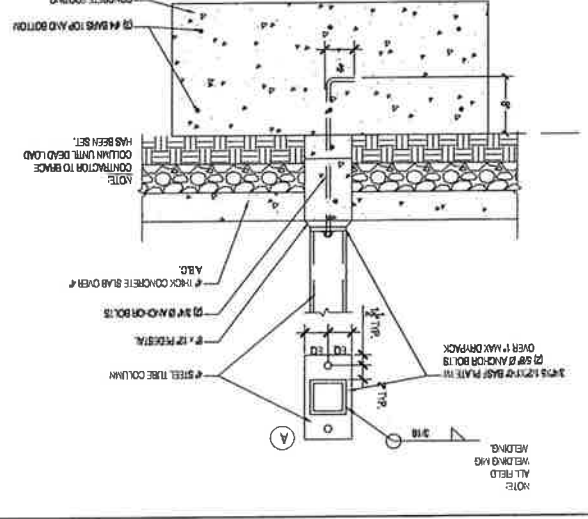
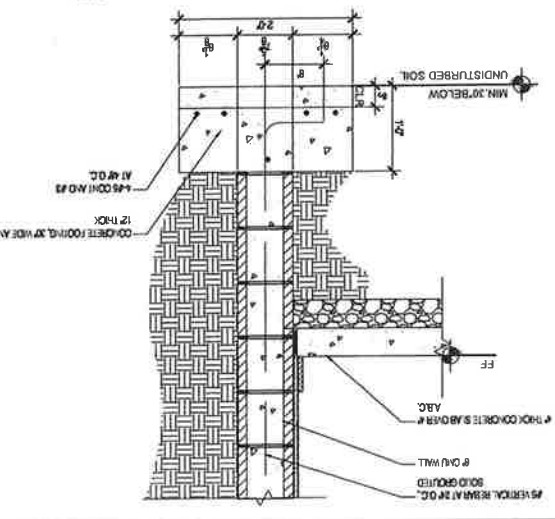
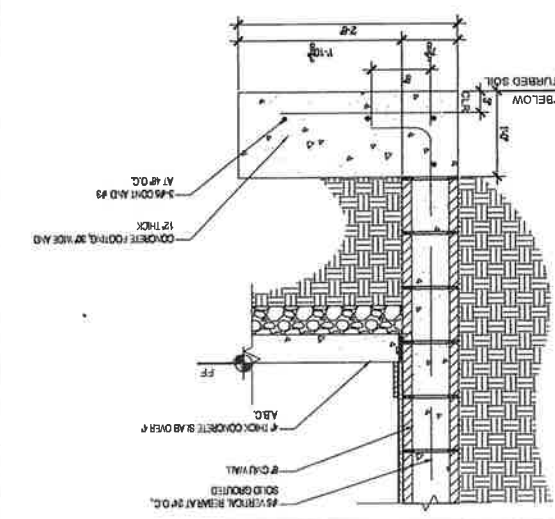
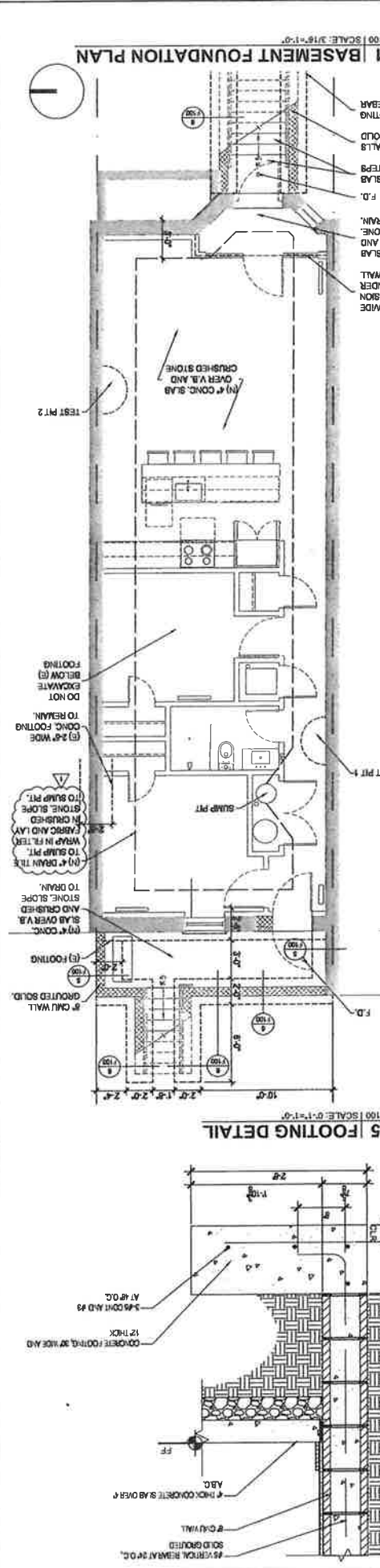
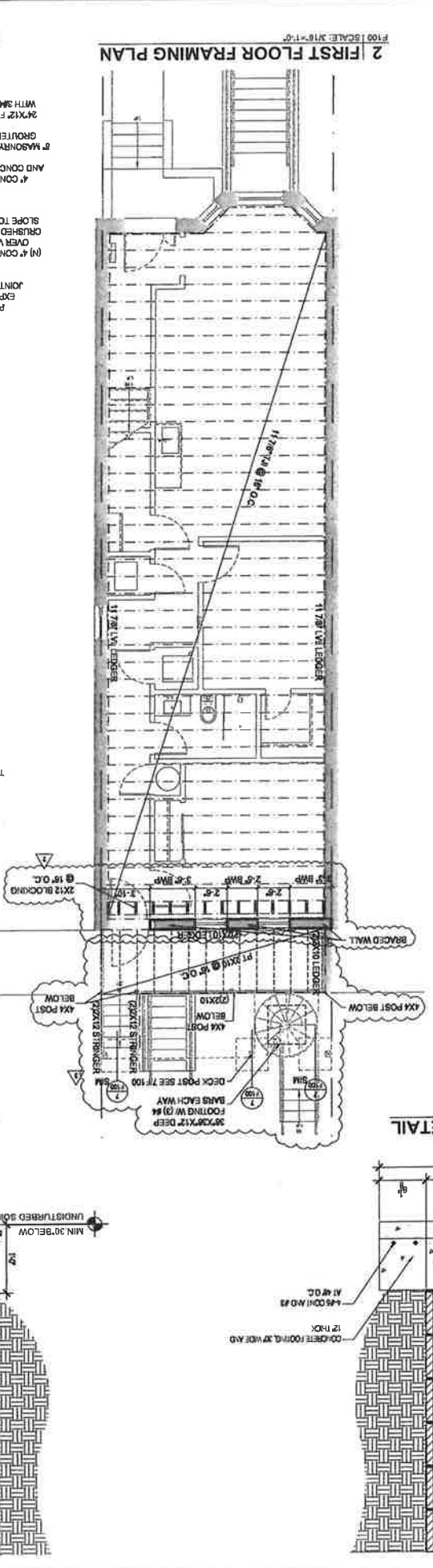
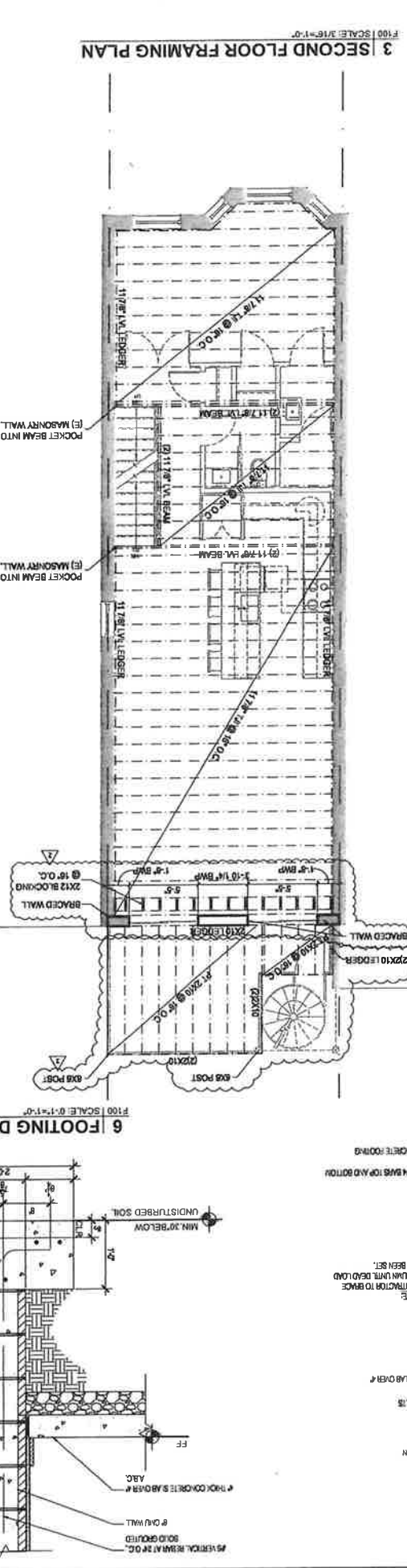
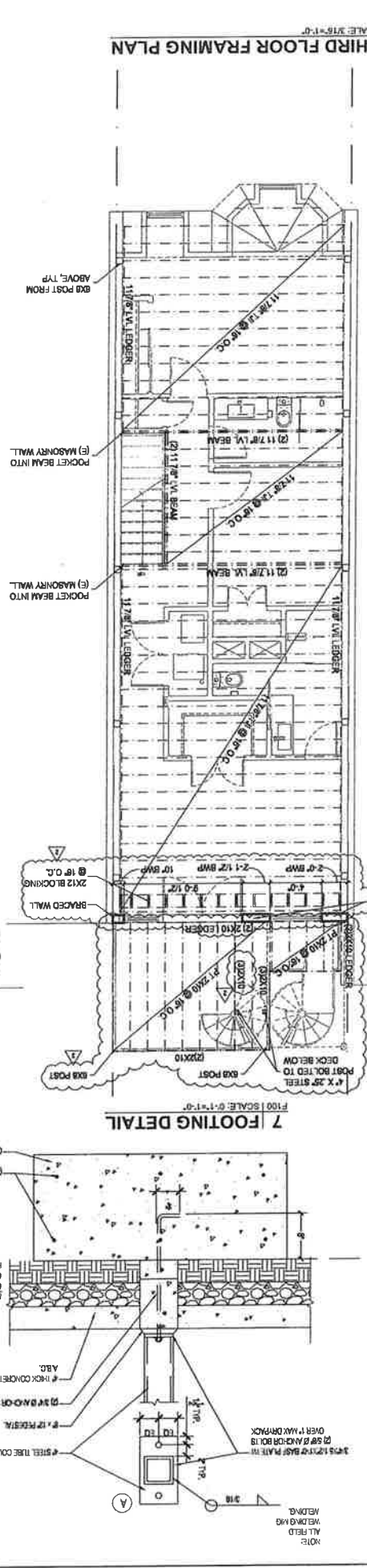
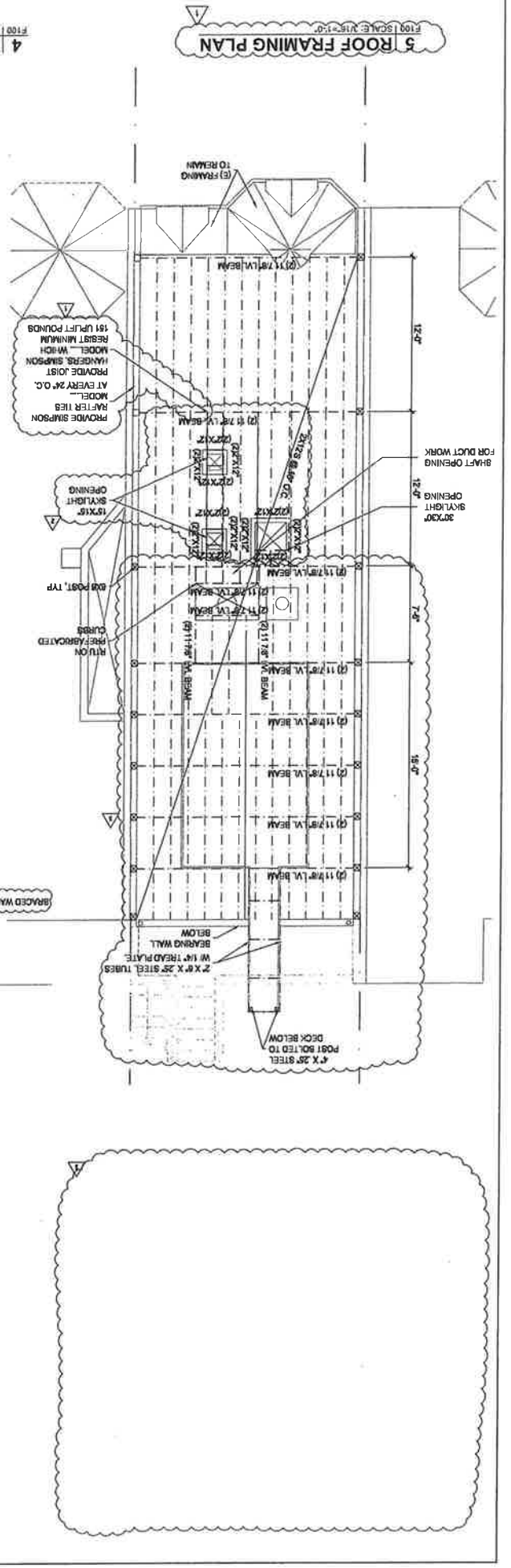
1. The contractor shall be responsible for the safety and construction procedures...
2. The contractor shall be responsible for the safety and construction procedures...
3. The contractor shall be responsible for the safety and construction procedures...



Table with columns for Design Soil Bearing Pressure (psf), Required Bearing Pressure (psf), and Total Load at Foundation (lb). Includes rows for Existing 2nd Party Wall and Existing 1st Party Wall.

STRUCTURAL NOTES, CALCULATIONS AND SPECIFICATIONS

1. STRUCTURAL LOAD CALCULATIONS
2. TEST PIT 1
3. TEST PIT 2



F100

FOUNDATION & FRAMING PLANS

Project Number: **15-024**

DATE: 08/20/18

DESIGNER: [Name]

REVISIONS:

NO.	DATE	DESCRIPTION
1	03/24/18	REVISION 1
2	06/01/18	REVISION 2
3	12/21/18	REVISION 3

3616 11th St. NW
Washington, DC 20018

GRONNING

1428 U STREET, NW SUITE 8100
WASHINGTON, DC 20009
WWW.GRONNINGARCHITECTS.COM
TEL: 202.223.7059

DRAWN BY: [Name]

CHECKED BY: [Name]

DATE: 08/20/18





NO.	DATE	DESCRIPTION
01	01.24.18	REVISION 1
02	05.08.18	REVISION 2
03	12.21.18	REVISION 3

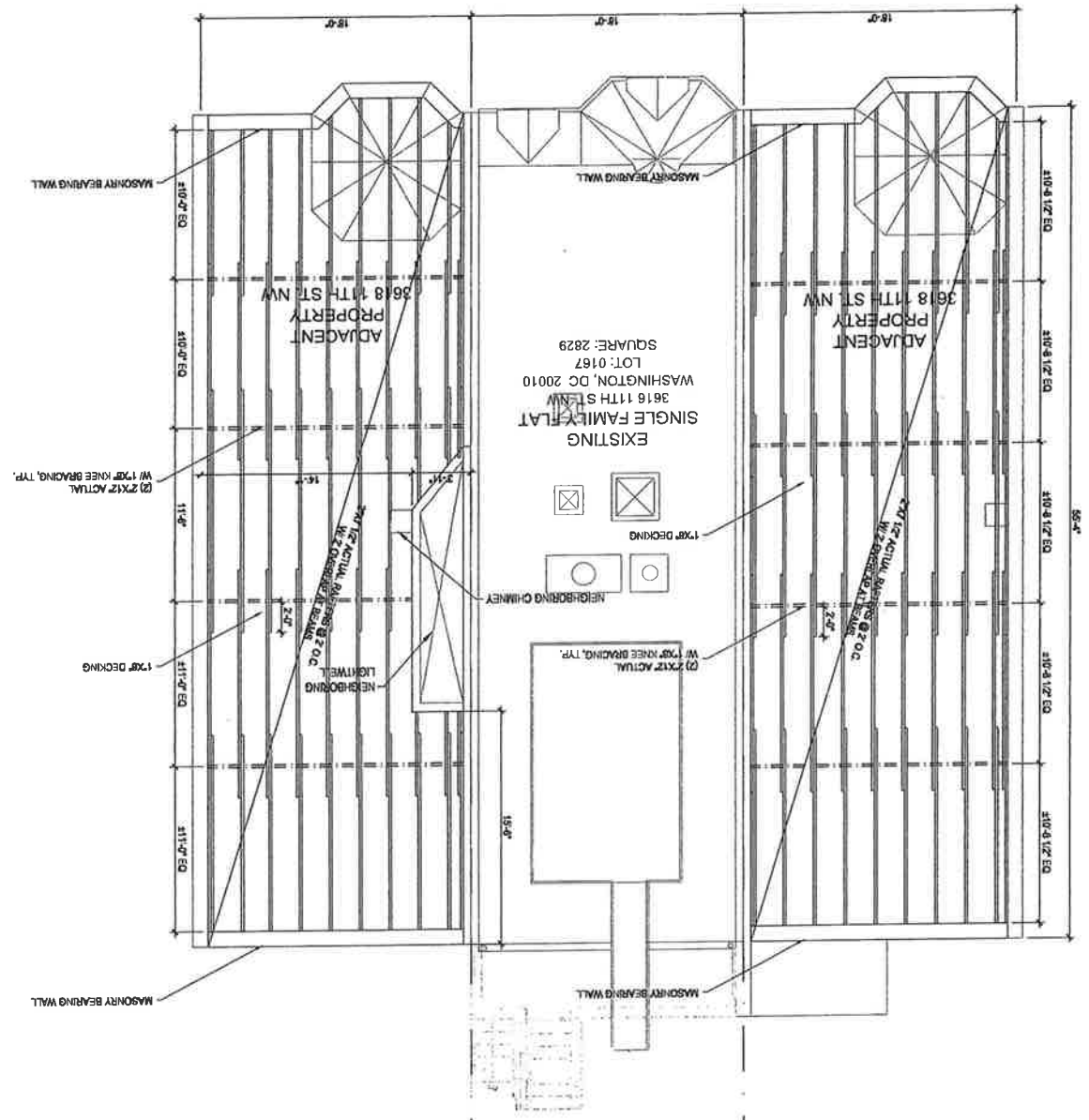
NO.	DATE	DESCRIPTION
10	08.13	FOR OWNER REVIEW
11	02.18	FOR PERMIT
12	02.18	FOR BID
13	08.23.18	ADDENDUM 1

NEIGHBORING ROOF
STRUCTURE W/ LOAD
CALCULATIONS

F200

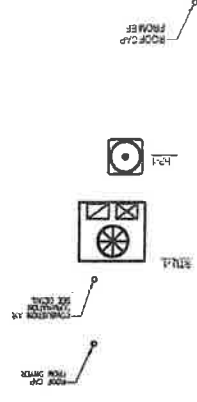
1 NEIGHBORING ROOF FRAMING PLAN

F200 | SCALE: 3/16"=1'-0"

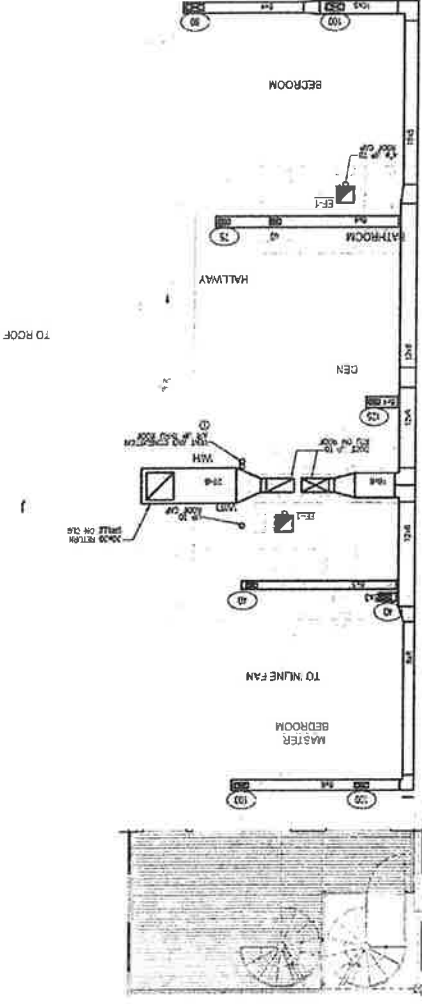




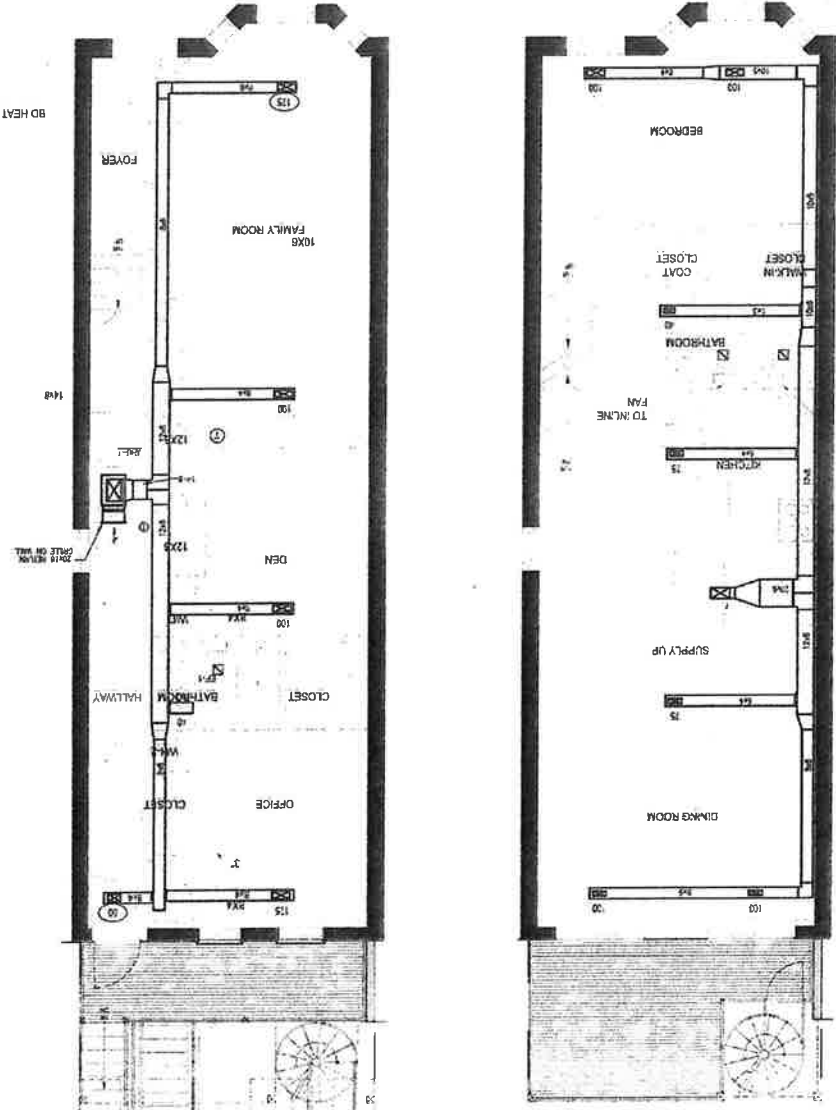
5 ROOF MECHANICAL PLAN
A002 SCALE: 3/16"=1'-0"



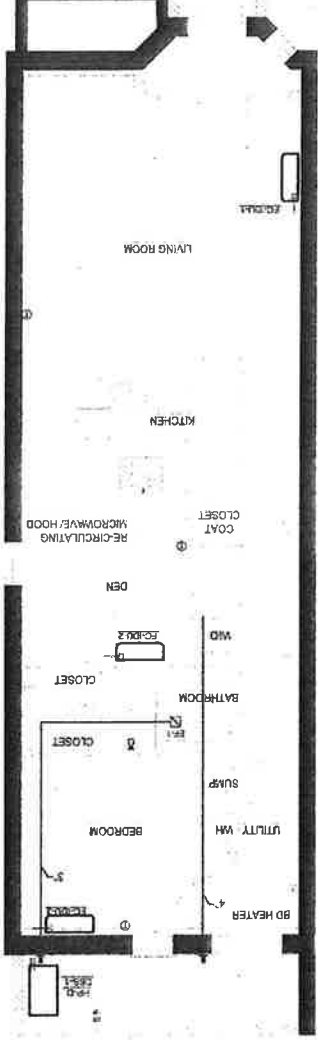
4 THIRD FLOOR MECHANICAL PLAN
A002 SCALE: 3/16"=1'-0"



3 SECOND FLOOR MECHANICAL PLAN
A002 SCALE: 3/16"=1'-0"



2 FIRST FLOOR MECHANICAL PLAN
A002 SCALE: 3/16"=1'-0"



1 CELLAR MECHANICAL PLAN
A002 SCALE: 3/16"=1'-0"



STANDARD & CODES COMPLIANCE
ASTM C1393, Standard Specification for Factory Produced, Oriented Strand Fiber Reinforced Thermoplastic Insulation for Pipes and Tanks, Type III, with 100% Glass Reinforcement, 3.5% Pre-Compression, and 22% Post-Compression.
ASTM C795, Thermal Insulation for Use in Contact with Autoclave Sterilization Steam.
ASTM C1196, Flexible Low Temperature Joint Sealers for Thermal Insulation, Type I, UL Class II, Spec. MIL-STD-1316, Halon Materials.
Factory Regulatory Commission Guide 1.05, Non-Metallic Thermal Insulation.
These notations are for information and do not constitute a design specification.

300°F (149°C) Pipe Operating Temperature

INSULATION THICKNESS (IN)	INSULATION THICKNESS (MM)	HEAT LOSS (BTU/HR/FT²)	HEAT LOSS (KW/M²)	STRAKE TEMPERATURE (°F)
1.5	38.1	345	13.2	301
2.0	50.8	245	9.5	273
2.5	63.5	185	7.2	250
3.0	76.2	145	5.6	235
3.5	88.9	115	4.5	225
4.0	101.6	95	3.7	218
4.5	114.3	80	3.1	212
5.0	127.0	70	2.7	208
5.5	139.7	63	2.4	205
6.0	152.4	58	2.2	203
6.5	165.1	54	2.1	202
7.0	177.8	51	2.0	201
7.5	190.5	48	1.9	200
8.0	203.2	46	1.8	199
8.5	215.9	44	1.7	198
9.0	228.6	42	1.6	197
9.5	241.3	41	1.6	197
10.0	254.0	40	1.5	196

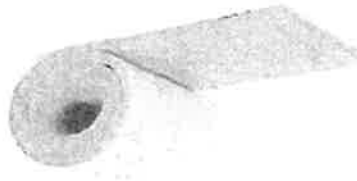
150°F (66°C) Pipe Operating Temperature

INSULATION THICKNESS (IN)	INSULATION THICKNESS (MM)	HEAT LOSS (BTU/HR/FT²)	HEAT LOSS (KW/M²)	STRAKE TEMPERATURE (°F)
1.5	38.1	114	4.2	152
2.0	50.8	80	3.0	138
2.5	63.5	62	2.3	129
3.0	76.2	51	1.9	124
3.5	88.9	44	1.6	120
4.0	101.6	39	1.4	117
4.5	114.3	35	1.3	115
5.0	127.0	32	1.2	113
5.5	139.7	30	1.1	112
6.0	152.4	28	1.0	111
6.5	165.1	27	1.0	110
7.0	177.8	26	0.9	109
7.5	190.5	25	0.9	109
8.0	203.2	24	0.9	108
8.5	215.9	23	0.8	108
9.0	228.6	23	0.8	107
9.5	241.3	22	0.8	107
10.0	254.0	22	0.8	106

600°F (316°C) Pipe Operating Temperature

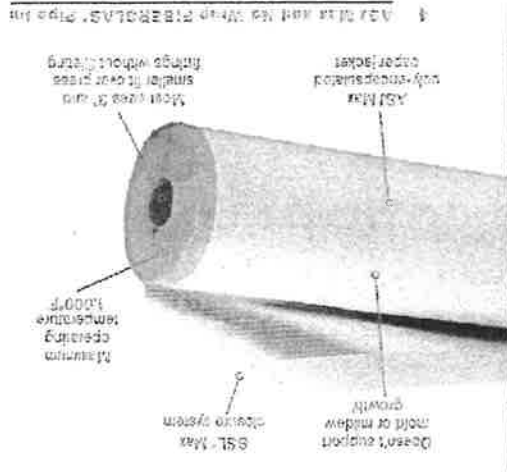
INSULATION THICKNESS (IN)	INSULATION THICKNESS (MM)	HEAT LOSS (BTU/HR/FT²)	HEAT LOSS (KW/M²)	STRAKE TEMPERATURE (°F)
1.5	38.1	449	16.4	320
2.0	50.8	320	11.8	295
2.5	63.5	245	9.0	275
3.0	76.2	195	7.1	258
3.5	88.9	155	5.6	245
4.0	101.6	130	4.7	235
4.5	114.3	110	4.0	228
5.0	127.0	95	3.5	223
5.5	139.7	83	3.1	219
6.0	152.4	74	2.8	216
6.5	165.1	67	2.5	214
7.0	177.8	61	2.3	212
7.5	190.5	57	2.1	211
8.0	203.2	54	2.0	210
8.5	215.9	52	1.9	209
9.0	228.6	50	1.8	208
9.5	241.3	49	1.8	208
10.0	254.0	48	1.7	207

CERTIFICATIONS & SUSTAINABILITY
Certified by SGS Global Services to contain a minimum of 50% recycled glass content, 3.5% pre-compression, and 22% post-compression.



DUCTWORK INSULATION DETAIL

REFRIGERATION PIPING INSULATION DETAIL



Physical property data

Property	Value	Test Method
Density (size dependent)	0.5 to 0.55 g/cc	ASTM C202
Operating Temperature Range	0°F to 1,000°F (-18°C to 538°C)	ASTM C111
Vacuum Temperature Limitation	-20°F to 100°F (-29°C to 38°C)	ASTM C115
Jacket Formation	0.02 perm	ASTM E96, Proc. A
Minimum Glass Strength	100 psi	ASTM D707/M
Fungi Resistance	None	ASTM C1268
Chemical Surface Burning Characteristics	None	UL 263, ASTM E84
Flame Spread	0	UL 263, ASTM E84
Smoke Density	0	UL 263, ASTM E84



Revision	Date	Description
1	03.24.18	REVISION 1
2	08.08.18	REVISION 2

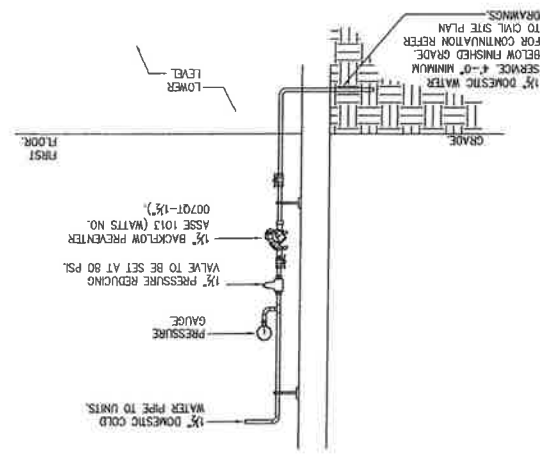
Date	Description
10.08.18	FOR OWNER REVIEW
02.1.18	FOR PRINT
02.23.18	FOR BID
08.29.18	ADDendum 1

DETAILS

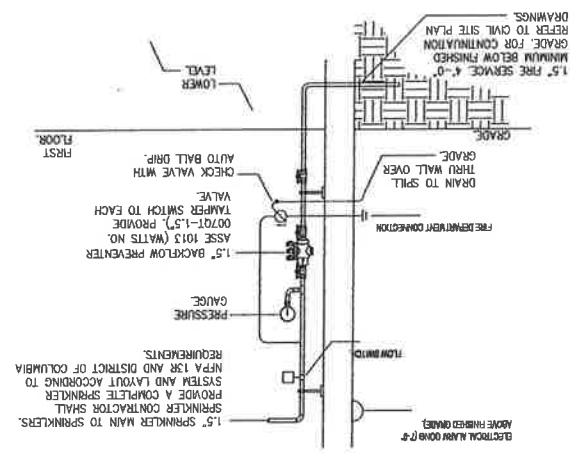
18-024
Project Number

W101

1 DOMESTIC WATER SERVICE DETAIL
W101 SCALE: 1"=1'-0" N.T.S.



2 FIRE SERVICE DETAIL
W101 SCALE: 1"=1'-0" N.T.S.



3 SPRINKLER RISER DIAGRAM
W101 SCALE: 1"=1'-0" N.T.S.

