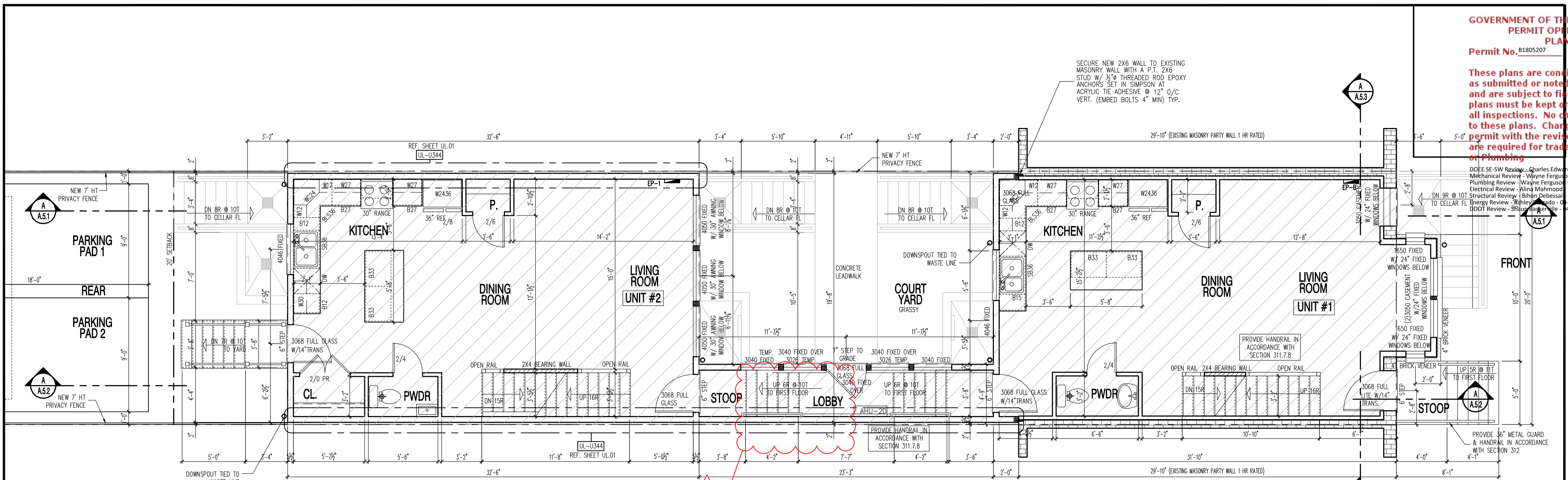


Exhibit A

Permit No. 81805207 Date: 03/10/17
 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work.

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(UNIT #2)

PROPOSED FIRST FLOOR PLAN

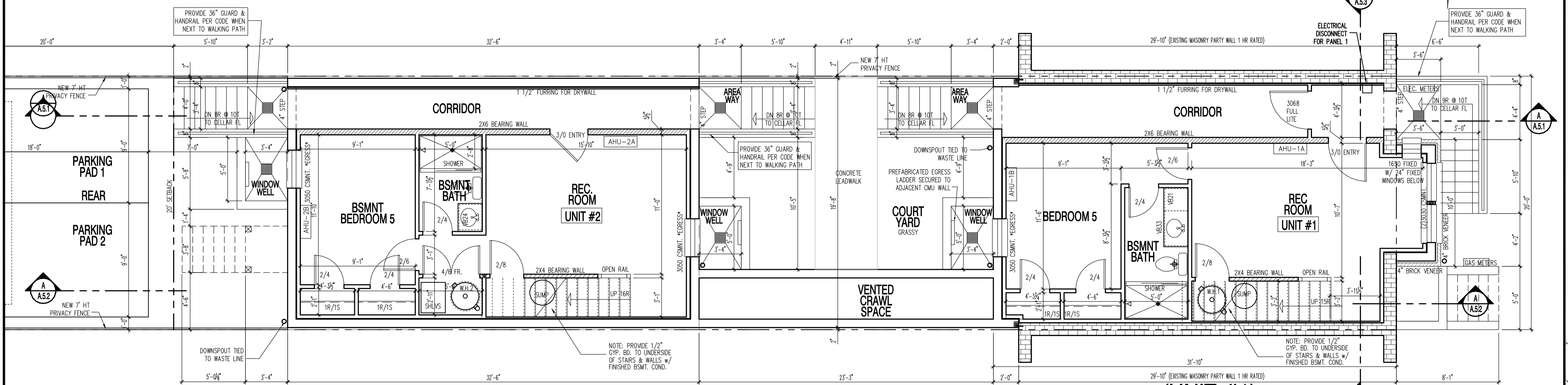
(UNIT #1)

LOT 2331.6 SQ. FT.
 60% COVERAGE = 1398.96
 SHOWN HATCHED = 1397 SF

SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.
 FINISHED UNIT #2: 650 SQ.FT.

650 REAR UNIT FOOTPRINT + 110.43 MIDDLE BREEZEWAY + 636.66 FRONT UNIT FOOTPRINT



(UNIT #2)

PROPOSED CELLAR FLOOR PLAN

(UNIT #1)

SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 516 SQ.FT.
 FINISHED UNIT #2: 515 SQ.FT.

1125 7th St NE - STONY CREEK HOMES
 PROPOSED CELLAR & FIRST FLOOR PLAN



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 MCR
 DATE: 03/10/17
 REV No. DATE
 004 04/16/18

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SHEET No.
 A1.1

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DOFF SE, SW Review - Charles Edwards
Mechanical Review - Wayne Ferguson
Plumbing Review - Wayne Ferguson
Electrical Review - Alina Mahmood
Structural Review - Bilal Bessai
Energy Review - Ashley Delgado
DPO Review - Shaun Baskerville

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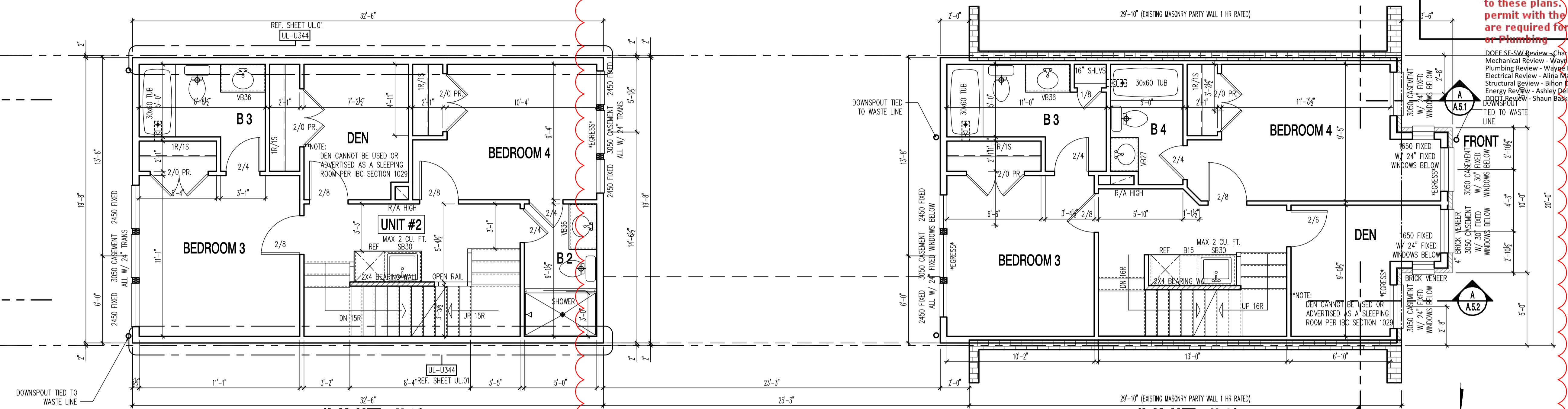
1125 7th St NE - STONY CREEK HOMES
PROPOSED SECOND & THIRD FLOOR PLAN
22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



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DATE: 03/10/17
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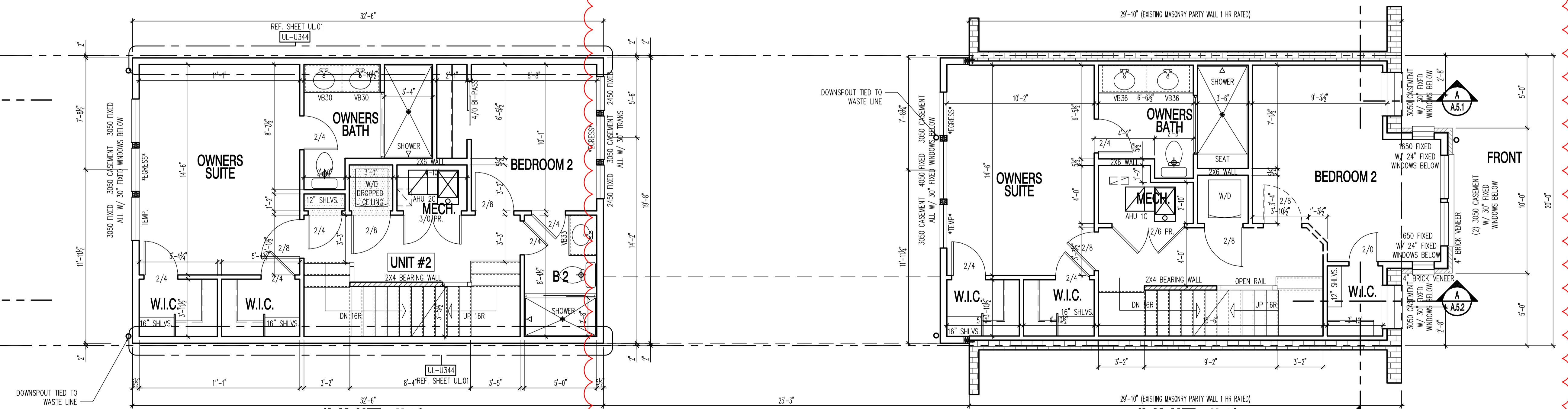
01.01.17

SHEET No.
A2.1



PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"=1'-0" FINISHED UNIT #1: 677 SQ.FT. FINISHED UNIT #2: 650 SQ.FT.



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" FINISHED UNIT #1: 677 SQ.FT. FINISHED UNIT #2: 650 SQ.FT.

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Structural Review - Bihon DeBessai - 04-18-2018
Energy Review - Ashley Delgado - 04-18-2018
DDOT Review - Shaun Baskerville - 04-18-2018

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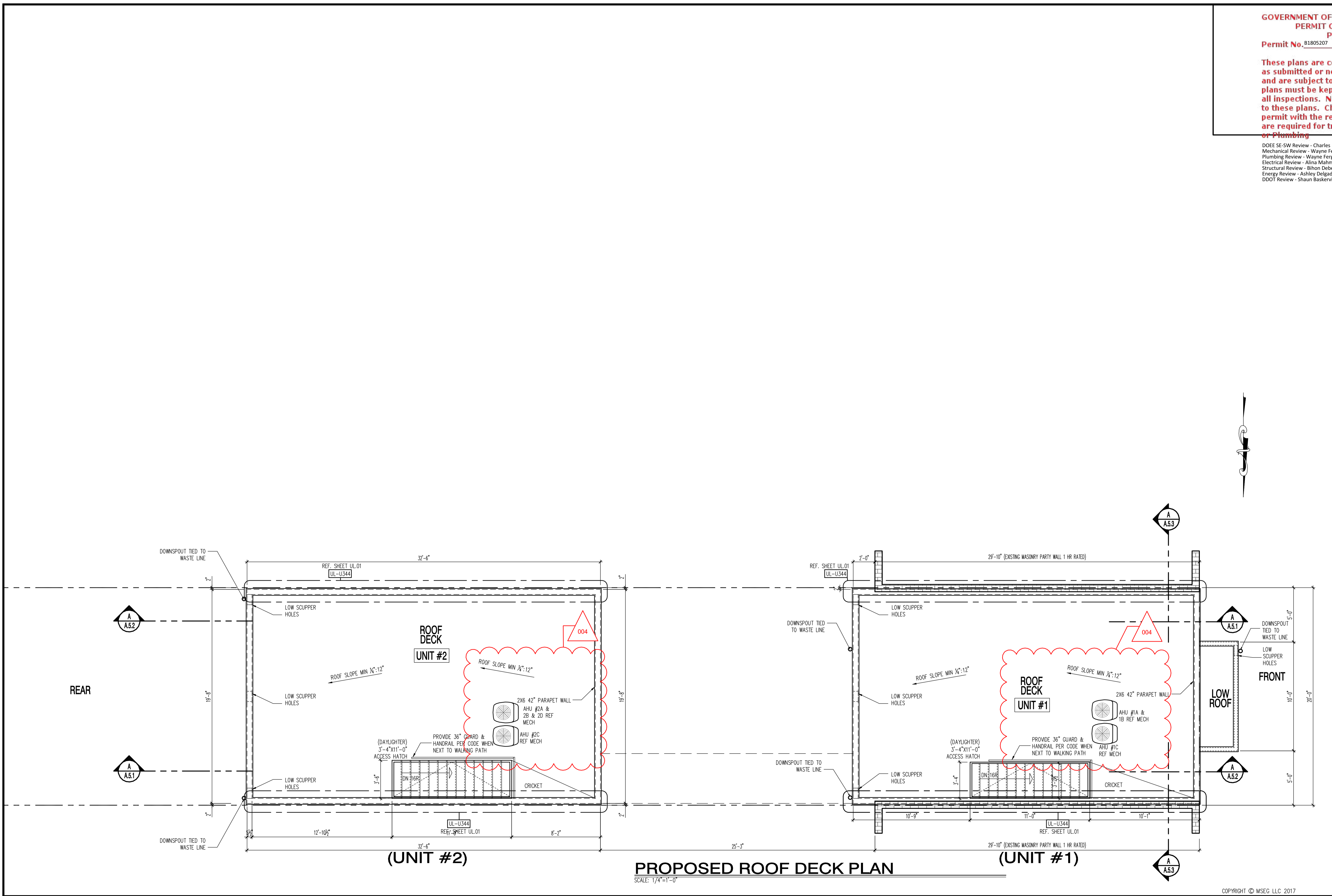
1125 7th St NE - STONY CREEK HOMES
PROPOSED ROOF PLAN



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DATE: 03/10/17
REV No. DATE
004 04/16/18

01.01.17

SHEET No.
A3.1

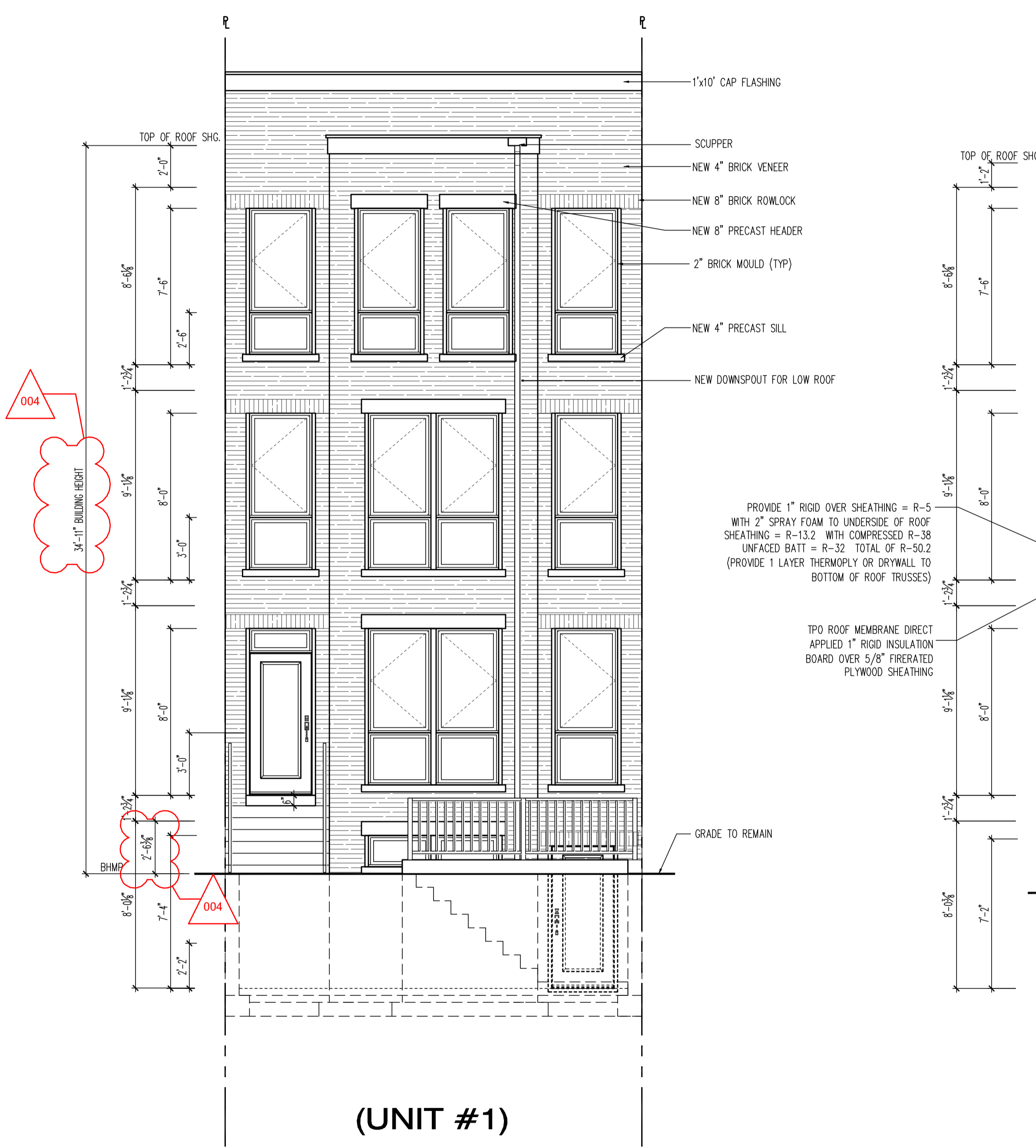
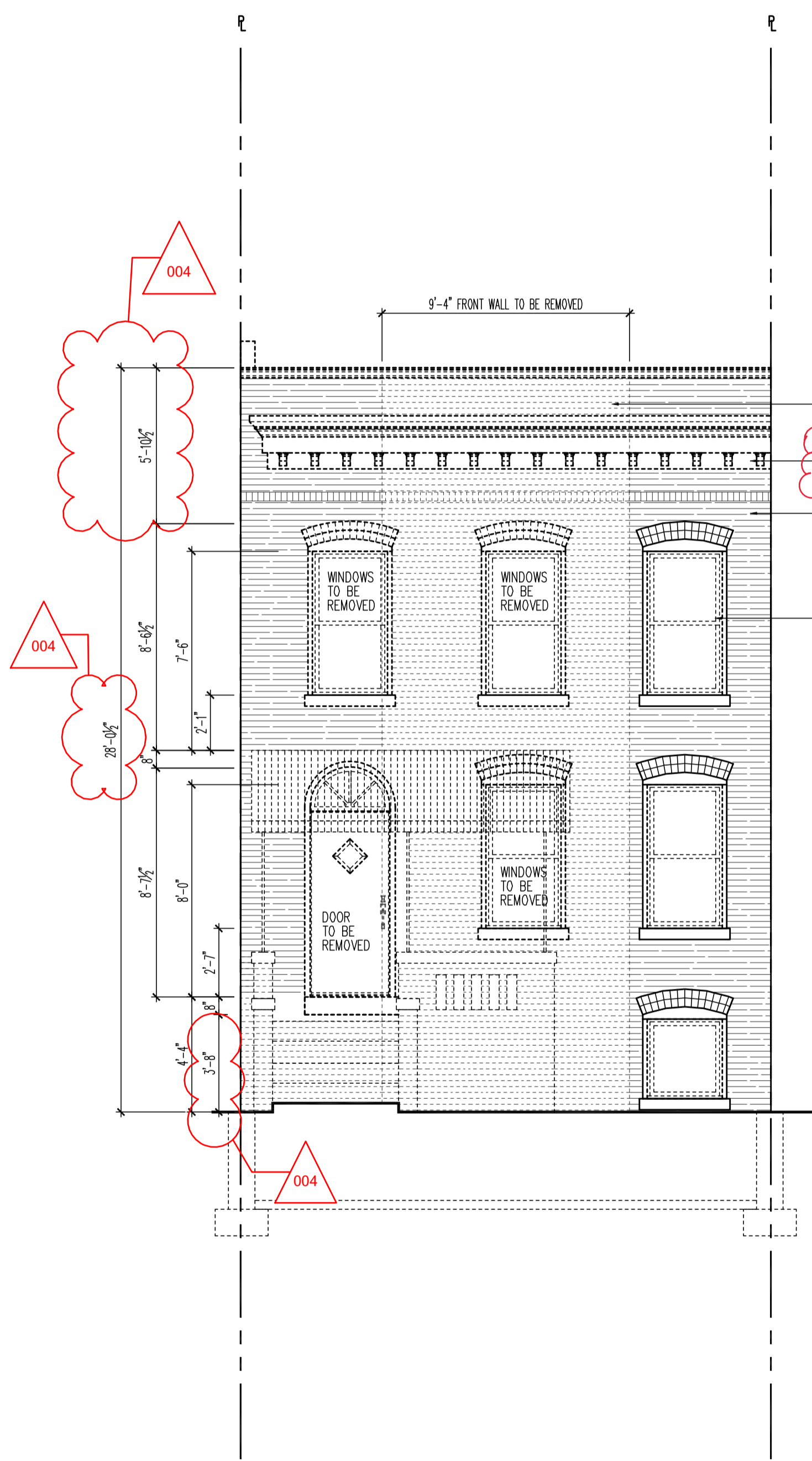


PROPOSED ROOF DECK PLAN
SCALE: 1/4"=1'-0"

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EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

1125 7th St NE - STONY CREEK HOMES
FRONT & REAR ELEVATIONS
22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



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REV No.	DATE
004	04/16/18

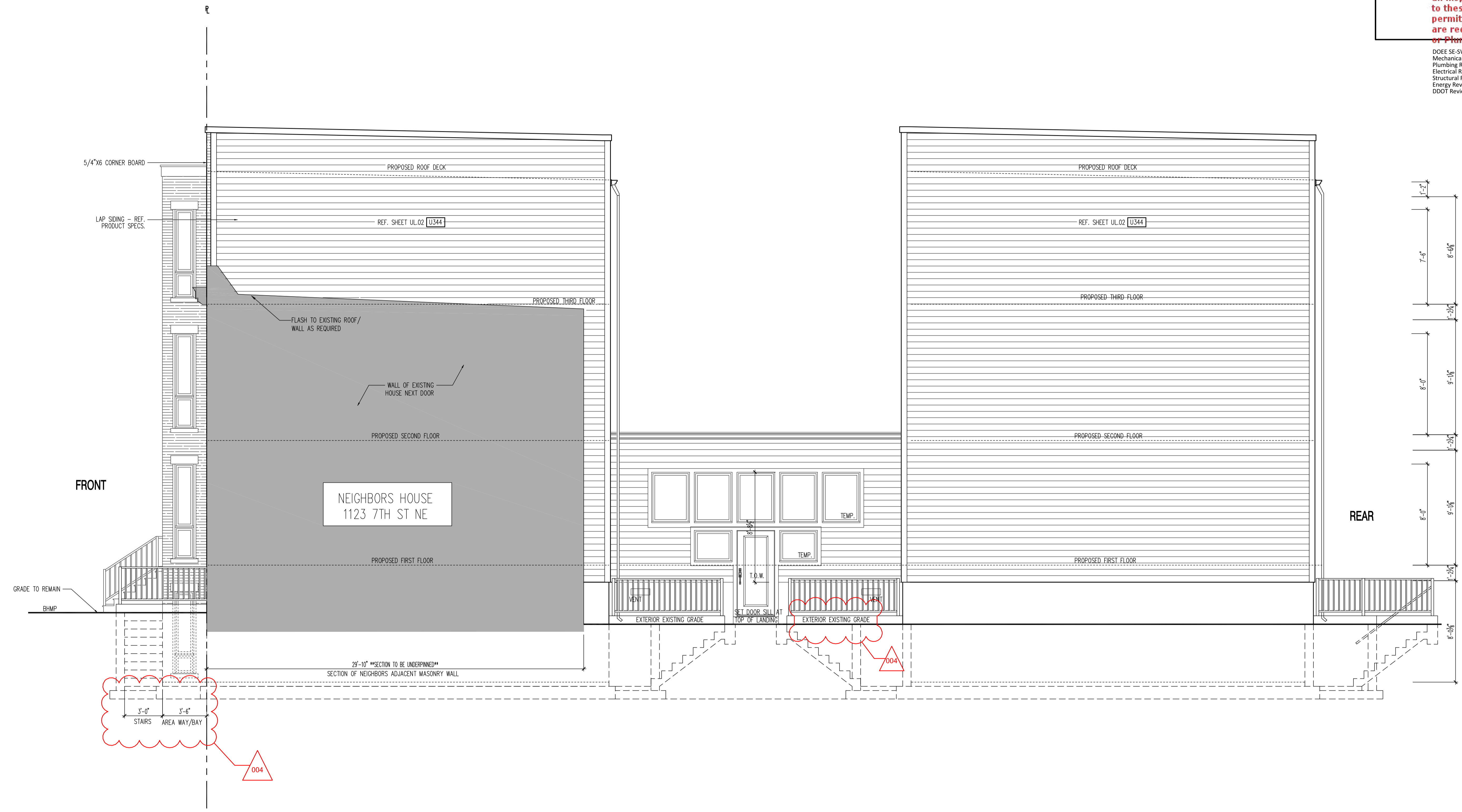
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SHEET No.
A4.1

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Structural Review - Bibon DeBessai - 04-18-2018
Energy Review - Ashley Delgado - 04-18-2018
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RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
RIGHT SIDE ELEVATION



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REV No.	DATE
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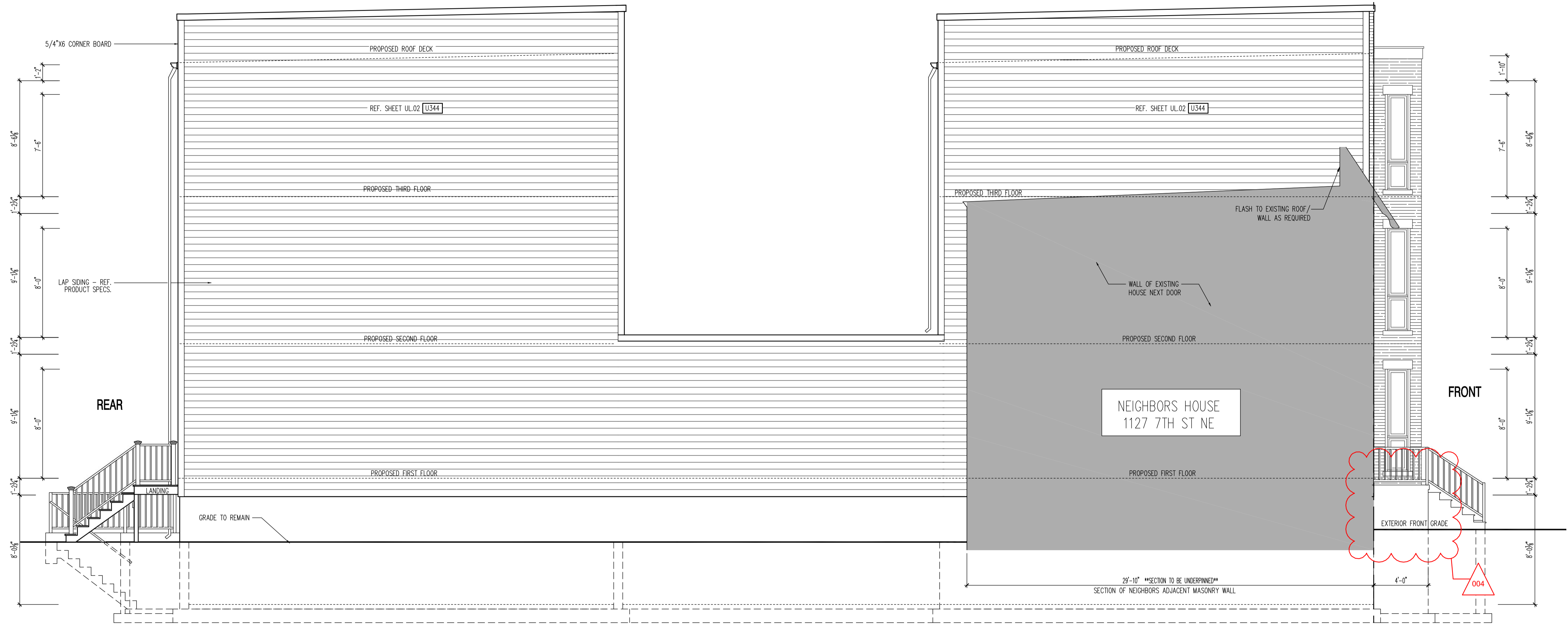
01.01.17

SHEET No.
A4.2

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Mechanical Review - Wayne Ferguson - 04-18-2018
Plumbing Review - Wayne Ferguson - 04-18-2018
Electrical Review - Alina Mahmood - 04-18-2018
Structural Review - Bibon DeBessai - 04-18-2018
Energy Review - Ashley Delgado - 04-18-2018
DDOT Review - Shaun Baskerville - 04-18-2018

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LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"
1125 7th St NE - STONY CREEK HOMES
LEFT SIDE ELEVATION



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REV No.	DATE
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01.01.17

SHEET No.
A43

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Structural Review - Bilhon DeBessai - 04-18-2017
Energy Review - Ashley Delgado - 04-18-2017
DDOT Review - Shauri Baskerville - 04-18-2017

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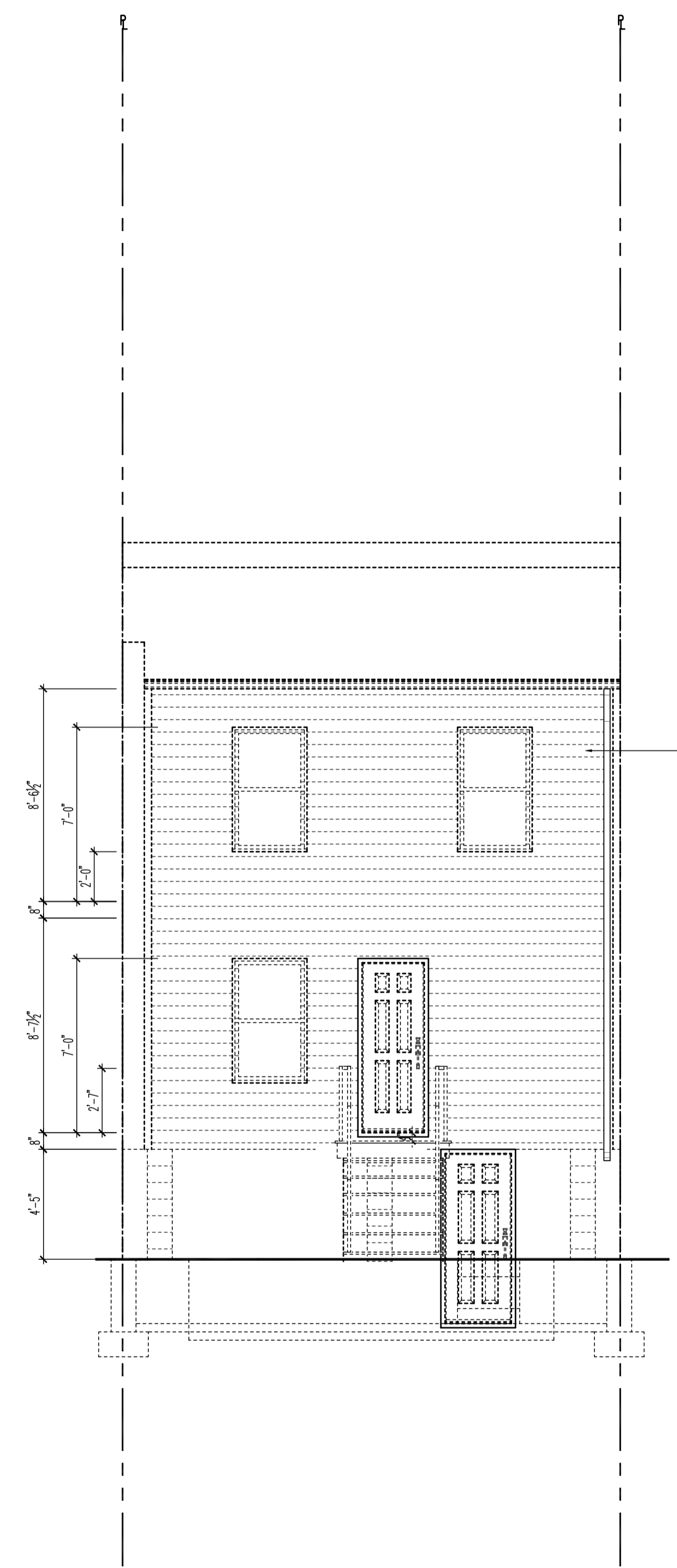
1125 7th St NE - STONY CREEK HOMES
REAR ELEVATIONS
22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



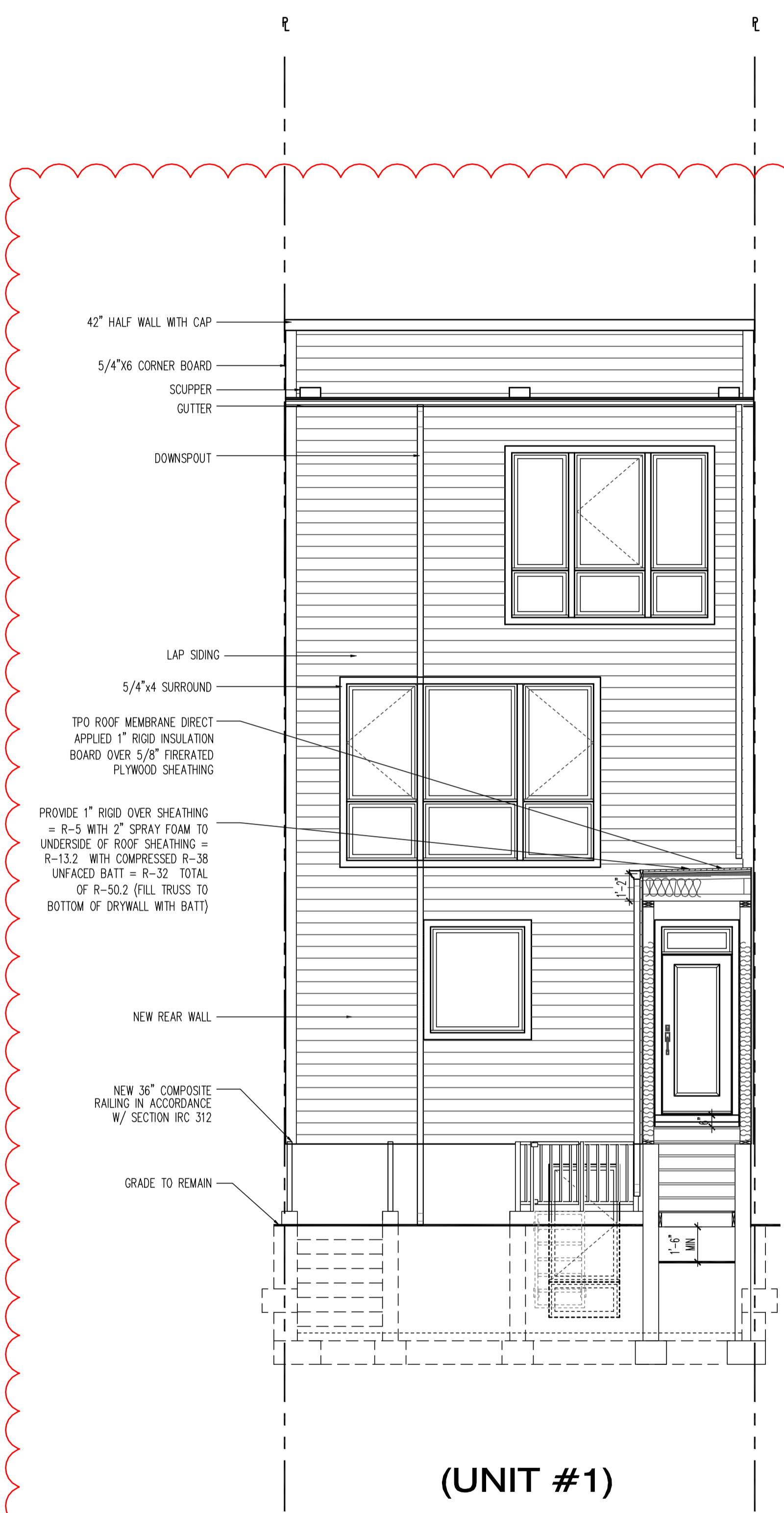
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MCR	
DATE: 03/10/17	
REV No.	DATE
003	02/06/18

01.01.17

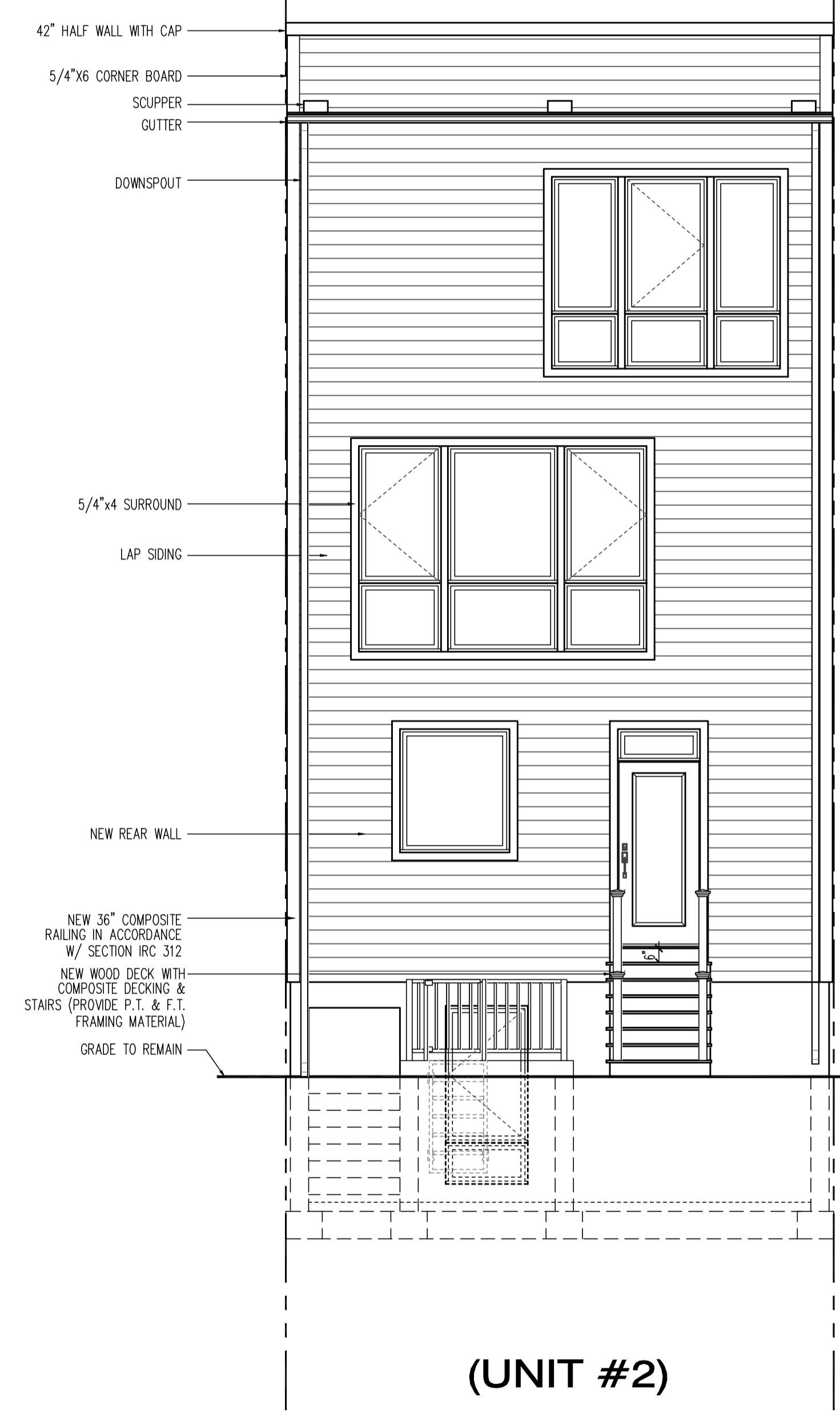
SHEET No.
A4.4



EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

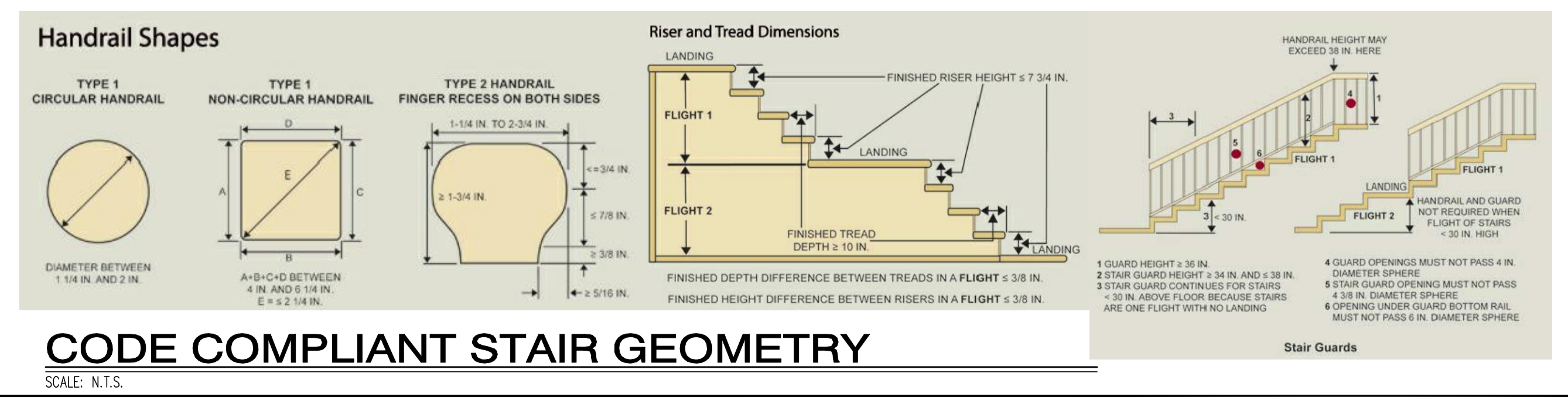
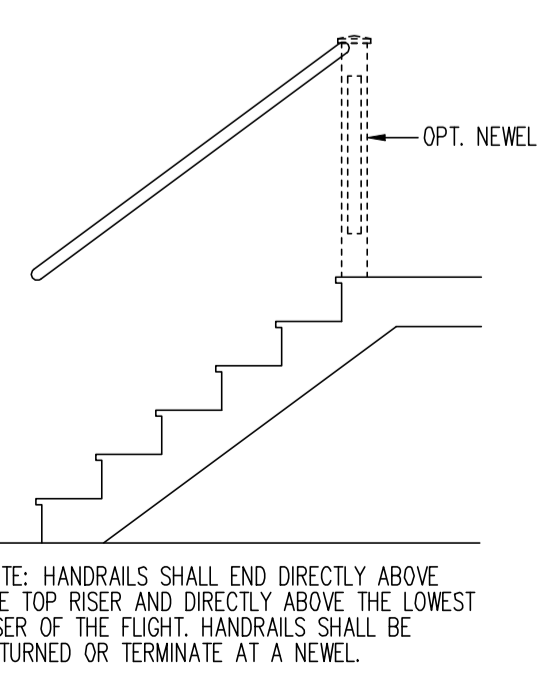
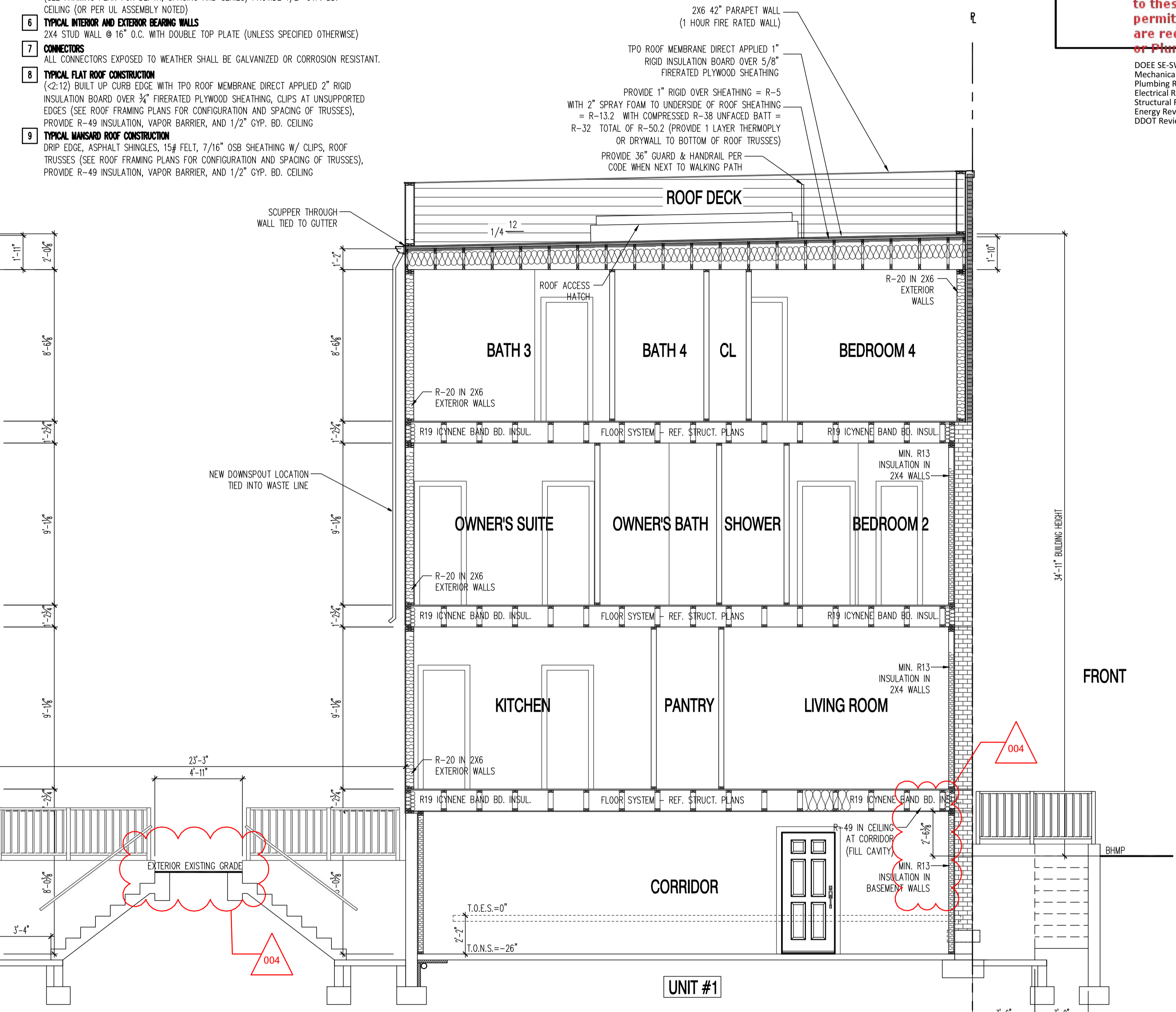
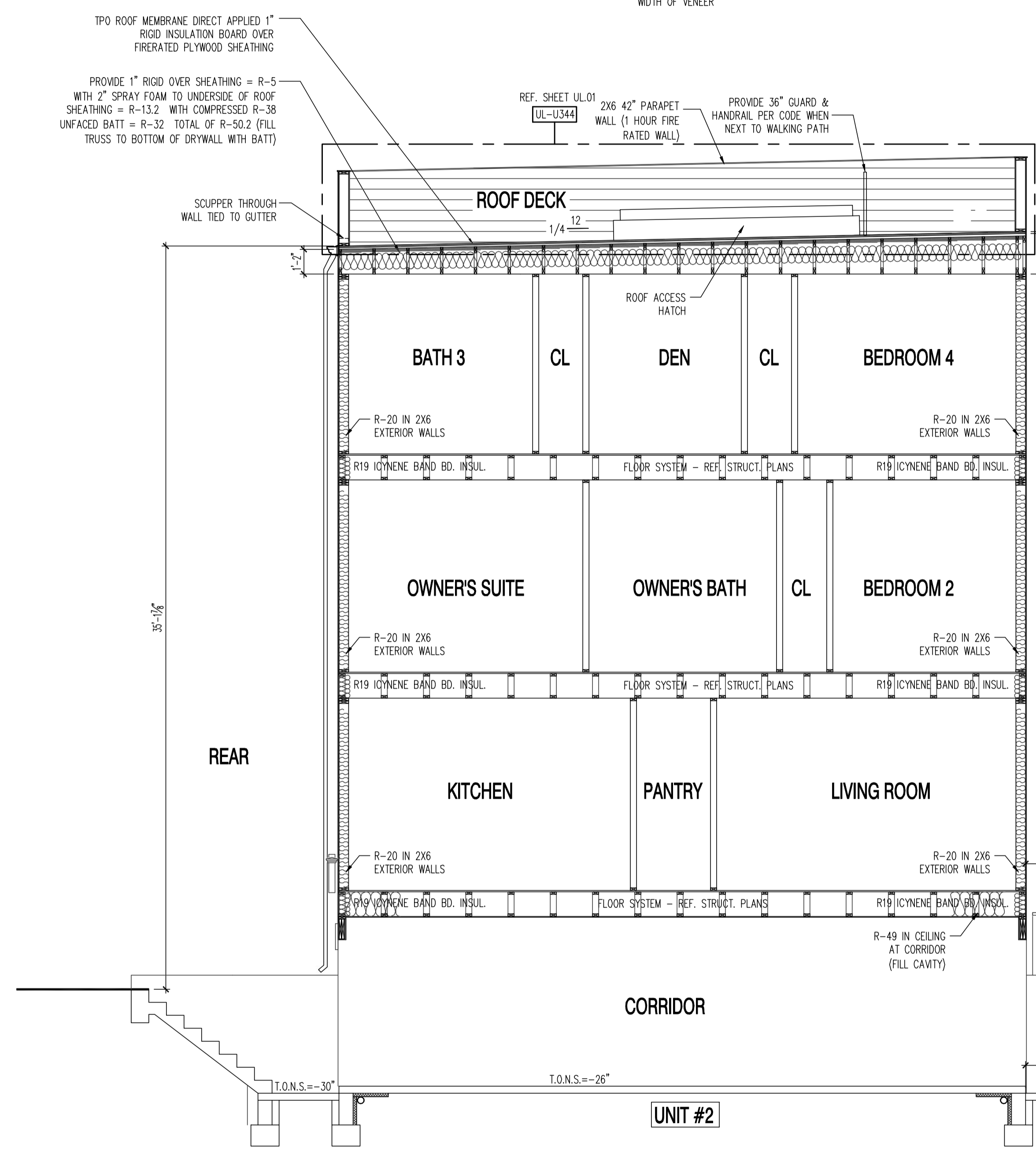
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 DDOE Review - Shaun Baskerville 04-18-2017

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TYPICAL CONSTRUCTION

- 1 **TYPICAL FOUNDATION WALL CONSTRUCTION**
POURED IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS
REF. FOUNDATION PLAN FOR SIZE AND REINFORCING.
- 2 **TYPICAL FLOOR SLAB CONSTRUCTION**
4" STRUCTURAL CONCRETE SLAB WITH W/6x6 WIRE MESH OVER ON 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRANULAR FILL, SET REINFORCING AT CENTERLINE OF SLAB
- 3 **TYPICAL EXTERIOR BRICK VENEER WALL CONSTRUCTION**
2 1/2" BRICK VENEER, 1/2" PLYWD. OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. PROVIDE WEEP HOLES AT GRADE LINE. PROVIDE 15# FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER
- 4 **TYPICAL EXTERIOR FRAME WALL CONSTRUCTION**
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYWD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION (R-20 INSULATION @ 2X6 STUD WALL), VAPOR BARRIER, AND 1/2" GYP. BD. (OR PER UL ASSEMBLY NOTED)
- 5 **TYPICAL FLOOR/CEILING CONSTRUCTION**
3/4" NOM. T&G OSB PLYWD SUBFLOOR, GLUED AND SCREWED ON OPEN WEB FLOOR (SEE FRAMING PLAN FOR DEPTH, SPACING AND SERIES) PROVIDE 1/2" GYP. BD. CEILING (OR PER UL ASSEMBLY NOTED)
- 6 **TYPICAL INTERIOR AND EXTERIOR BEARING WALLS**
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- 7 **CONNECTORS**
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- 8 **TYPICAL FLAT ROOF CONSTRUCTION**
(2:12) BUILT UP CURB EDGE WITH TPO ROOF MEMBRANE DIRECT APPLIED 2" RIGID INSULATION BOARD OVER 3/4" FIRERATED PLYWOOD SHEATHING, CLIPS AT UNSUPPORTED EDGES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- 9 **TYPICAL MANSARD ROOF CONSTRUCTION**
DRIP EDGE, ASPHALT SHINGLES, 15# FELT, 7/16" OSB SHEATHING W/ CLIPS, ROOF TRUSSES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING



BUILDING SECTION
 SCALE: 1/4"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION
 22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



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 DATE: 03/10/17
 REV No. DATE
 004 04/16/18

01.01.17

SHEET No. A5.1

DOE SE-SW Review - Charles Edwards - 04-18-2017
 Mechanical Review - Wayne Ferguson - 04-18-2017
 Plumbing Review - Wayne Ferguson - 04-18-2017
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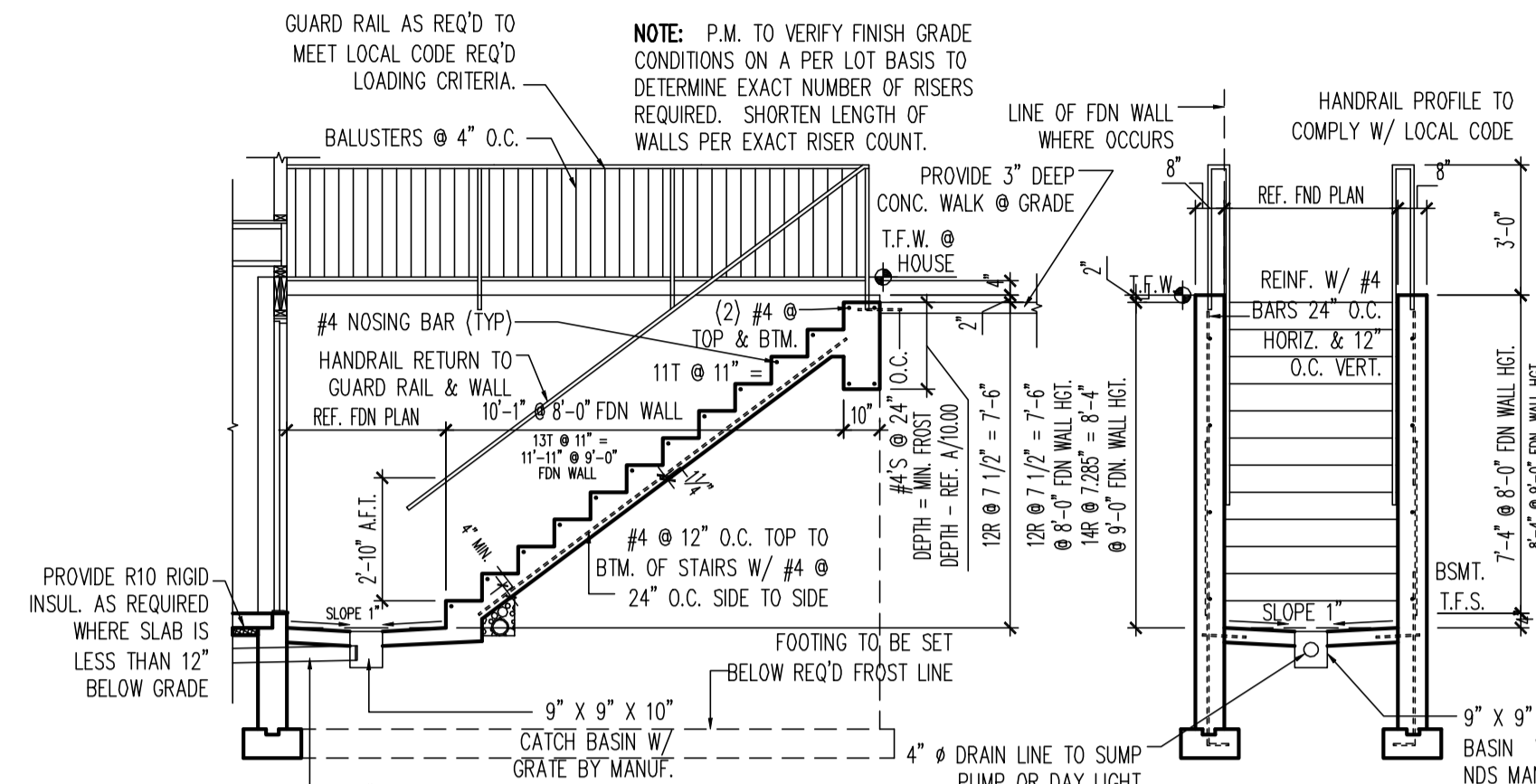
1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



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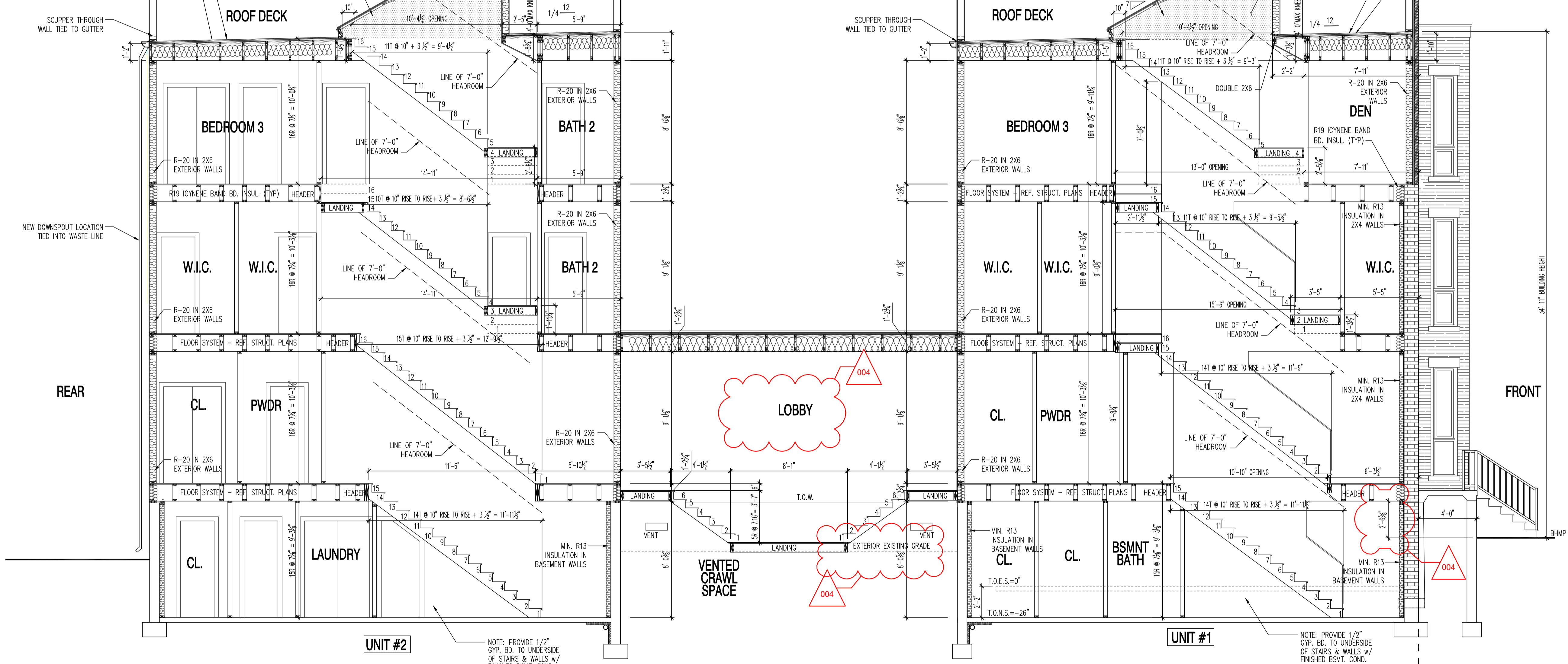
SHEET No.
 A5.2



AREA WAY DETAIL
 SCALE: 1/4"=1'-0"

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (PROVIDE 1 LAYER THERMOPLY OR DRYWALL TO BOTTOM OF ROOF TRUSSES)

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (FILL TRUSS TO BOTTOM OF DRYWALL WITH BATT)

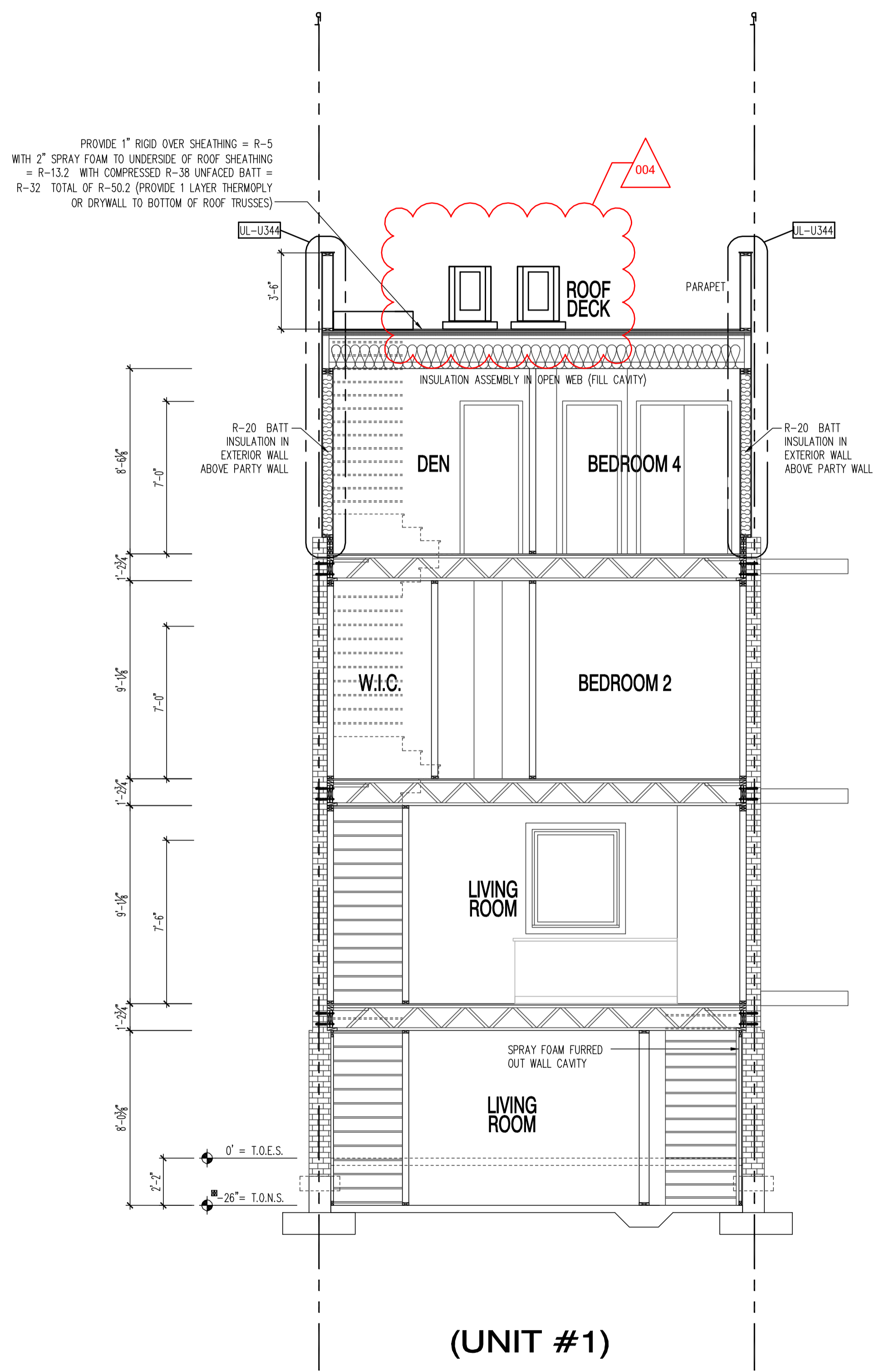


BUILDING SECTION
 SCALE: 1/4"=1'-0"

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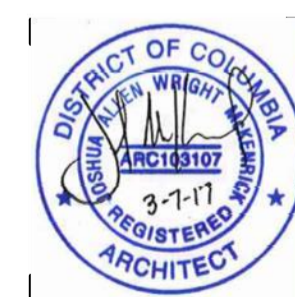


(UNIT #1)

A BUILDING SECTION
SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
BUILDING SECTION



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REV No.	DATE
004	04/16/18

01.01.17

SHEET No.
A53