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EXCAVATION & FOUNDATION PLAN

SITE INFORMATION	
SOIL TYPE	URBAN LAND-CHILLUM 0 TO 8% SLOPE
DISTURBED AREA	2,490 SF
VOLUME OF CUT	4,650 CF
VOLUME OF FILL	N/A
RIGHT OF WAY	
7TH STREET NE	TOTAL 90' , ROADWAY 30'

CALL "MISS UTILITY" TELEPHONE 1-800-257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION

PROJECT DATA		
BUILDING DATA	EXISTING	PROPOSED
SQUARE	0886	N/A
LOT	035	N/A
ZONE	R-5-B	R-5-B
TYPE OF CONSTRUCTION	IIIB	IIIB
USE GROUP	R	R
YEAR BUILT	UNKNOWN	N/A
LAND AREA	2,332 SF	N/A
LOT OCCUPANCY	30%	N/A
F.A.R.	1.8	N/A
F.A.R. CALCULATION	1.8 X 2,332	MAX 4,197
NO. STORIES ABOVE GRADE	3	3 + MEZZ.
NO. OF UNITS	1	4
BUILDING AREA	600 SF	787.5 SF
FULLY SPRINKLED	YES	YES
CELLAR/BSMT	YES	YES

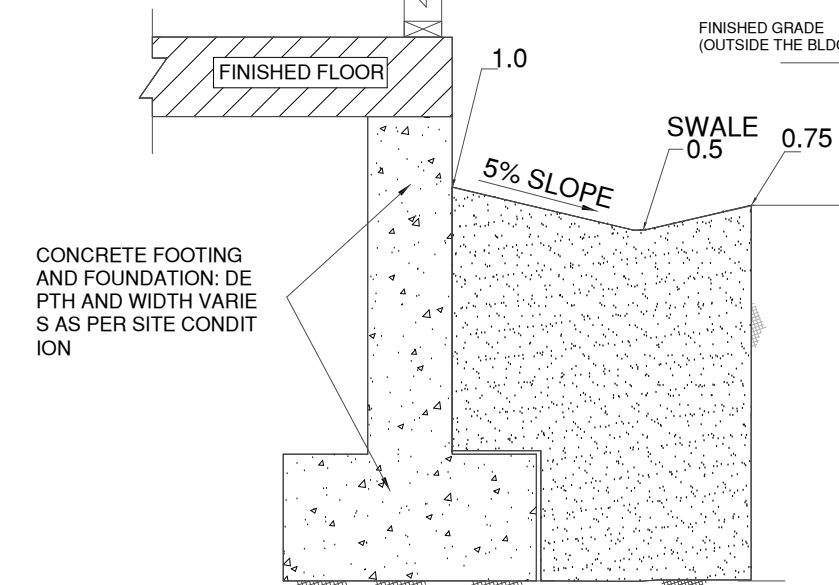
BUILDING CRITERA	
FLOOR LIVE LOAD	40psf
FLOOR DEAD LOAD	15psf
SNOW LOAD	30psf
WIND LOAD	20psf
CONCRETE STRENGTH	3000psi
DOUGLAS FIR STRUCT. SELECT	1600psf
STEEL GRADE	A36
SOIL BEARING CAPACITY	1500psf
INSULATION	
ROOF/ATTIC	R-49
EXT. WALLS	R-19
FLOOR	R-21
CRAWLSPACE	R-21
MIN SOUND TRANS RATING	STC 50

CONSTRUCTION SCHEDULE

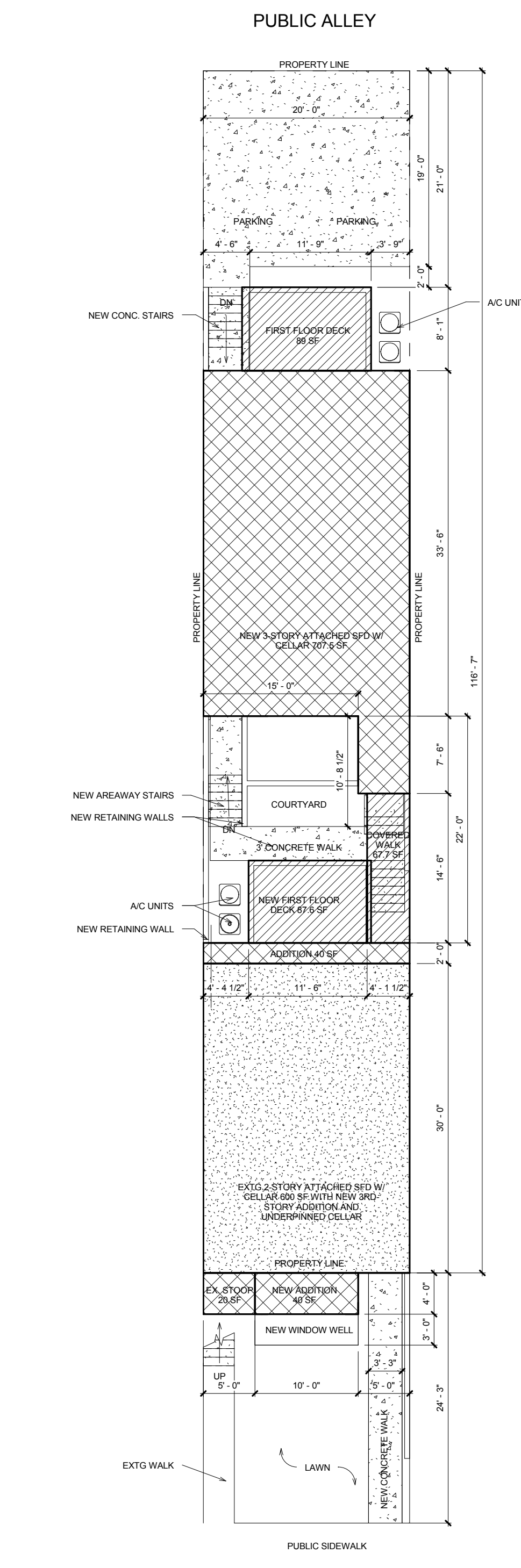
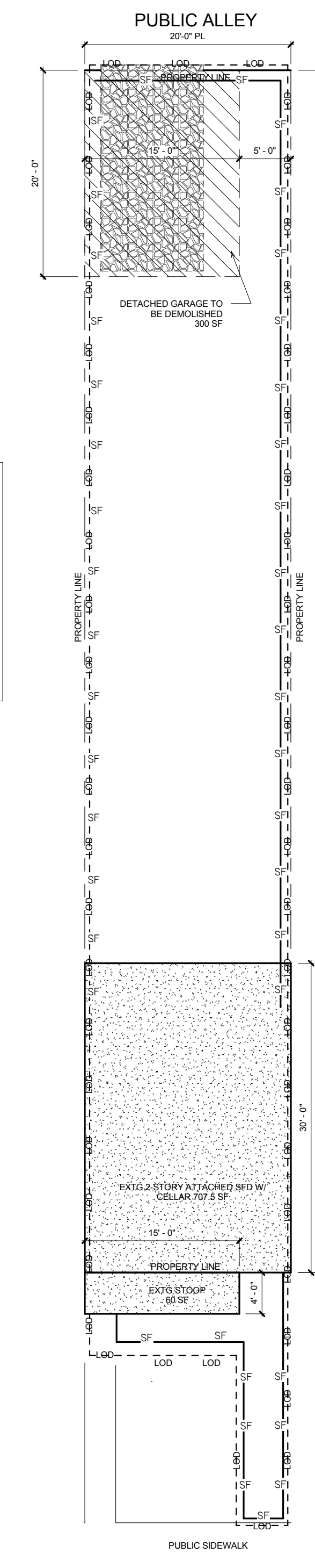
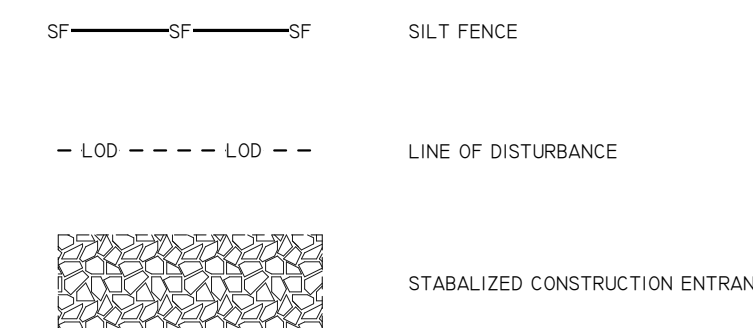
1	PRE-CONSTRUCTION MEETING	1 DAY
2	INSTALL SILT FENCE	2 DAYS
3	CLEAR, GRUB, STRIP TOPSOIL AND BEGIN GRADING	5 DAYS
4	LOT EXCAVATION	10 DAYS
5	CONSTRUCTION OF HOUSE, UTILITIES, WALKWAY & RIVEWAY	100 DAYS
6	STABILIZE ALL DISTURBED AREAS UPON COMPLETION OF ALL CONSTRUCTION ACTIVITIES	7 DAYS
7	DOE INSPECTION & APPROVAL OF STABILIZED SITE	1 DAY
8	REMOVE SEDIMENT CONTROL DEVICES UPON INSPECTOR'S APPROVAL.	2 DAYS
	TOTAL	128 DAYS

OWNER TO SCHEDULE MEETING PRIOR TO ALL WORK

SWALE DETAILS



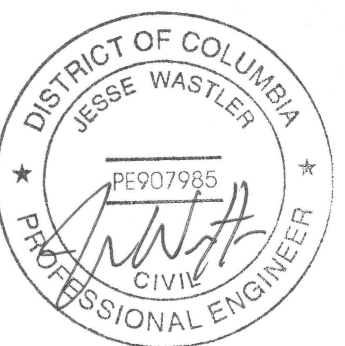
LEGEND



GENERAL NOTES

- THE PROJECT INVOLVES CONSTRUCTION OF A RESIDENTIAL BUILDING ON THE SUBJECT LOT.
- NO TITLE REPORT HAS BEEN FURNISHED TO THIS FIRM. THEREFORE, THIS PLAN DOES NOT PURPORT TO IDENTIFY OR SHOW ALL POSSIBLE ENCUMBRANCES.
- THE SITE IS CURRENTLY A VACANT LOT.
- THE PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD LIMITS.
- TO THE BEST OF OUR KNOWLEDGE, THERE IS NO KNOWN CEMETERY OR GRAVEYARD ON THE PROPERTY.
- SLOPE SHALL NOT EXCEED 3:1.
- WATER SUPPLY SERVICE IS TO BE PROVIDED BY THE PUBLIC WATER SYSTEM (DCWASA).
- SANITARY SEWER SERVICE IS TO BE PROVIDED BY THE PUBLIC SEWER SYSTEM (DCWASA).
- STORM SEWER SERVICE IS TO BE PROVIDED BY THE ON SITE SYSTEM.
- AIR QUALITY SHOULD NOT BE AFFECTED BY THIS DEVELOPMENT. THEREFORE, THE AIR QUALITY PERMIT IS NOT REQUIRED.
- ALL CONSTRUCTIONS MUST CONFORM TO CURRENT DISTRICT OF COLUMBIA AND THE DEPARTMENT OF PUBLIC WORK STANDARDS AND SPECIFICATIONS.
- ALL FILLS MUST BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAX. DRY DENSITY (MDD), AS DETERMINED BY A AASHTO T-99 METHOD.
- THE PROJECT IS ENCOMPASSED BY MOSTLY RESIDENTIAL DWELLINGS.
- OWNER RESERVE THE RIGHT TO PERFORM MINOR MODIFICATIONS TO THE SIZE AND LAYOUT OF THE PROPOSED DRIVEWAYS.
- OWNER/CONTRACTOR SHALL STAKE OUT THE PROPERTY LINES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- NO CONSTRUCTION EQUIPMENTS, CLEARINGS, GRADINGS, OR STOCKPILINGS ALLOWED ON ADJACENT PROPERTIES FOR THE CONSTRUCTION OF PROPOSED DRIVEWAY AND STRUCTURES.
- SEE ARCHITECTURAL PLAN FOR HOUSE DIMENSIONS. PROPOSED BUILDING HEIGHT NOT TO EXCEED 40.0 FEET. (3 STORIES)
- INDIGENOUS VEGETATION SHALL BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE.
- SCOPE OF WORKS: THE PROPOSED CONSTRUCTION ACTIVITIES INCLUDE SITE CLEARING, GRADING, DRIVEWAY AND BUILDING CONSTRUCTION AND UTILITIES CONNECTION TO PUBLIC SERVICES PROVIDED BY DCWASA.
- THE CONSTRUCTIONS SHALL MEET CURRENT DISTRICT OF COLUMBIA EROSION AND SEDIMENT CONTROL ORDINANCE STANDARDS AND SPECIFICATIONS, AS OUTLINED IN THE D.C. CODE, AS FOLLOWS
 - SCHEDULE AND HOLD PRE CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR.
 - ALL SILTATION CONTROL MEASURES MUST BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. CONTRACTOR MUST CALL THE DISTRICT OF COLUMBIA INSPECTOR 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION TO SCHEDULE AN INSPECTION.
 - CONTRACTOR SHALL INSTALL THE DRIVEWAY BASE PRIOR TO CONSTRUCTION AND UTILIZE AS THE TEMPORARY CONSTRUCTION ENTRANCE AT THE DISCRETION OF THE DC INSPECTOR.
 - ALL EXCAVATED TRENCHES SHALL BE COMPACTED, SEEDED, AND MULCHED WITHIN 7 DAYS OF DISTURBANCE.
 - ALL TEMPORARY EXCAVATIONS ARE TO BE SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING.
- ALL SEDIMENT CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE SITE SUPERINTENDENT OR HIS/HER REPRESENTATIVE. ANY DAMAGED DEVICES SHALL BE REPAIRED BY THE END OF THE DAY, INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. IF PONDING SHOULD OCCUR AT ANY FILTERING DEVICE, THE DEVICE SHALL BE DRAINED IN SUCH A WAY AS TO PREVENT THE ACCIDENTAL DISCHARGE OF TRAPPED SEDIMENTS.
- REFER TO THE GENERAL NOTES (THIS PAGE) FOR THE TOTAL ACREAGE OF RE-DISTURBED AREA. NO AREA SHALL BE LEFT DENuded FOR A PERIOD LONGER THAN 7 DAYS, EXCEPT FOR THE PORTION OF THE SITE IN WHICH WORK IS CONTINUING BEYOND 7 DAYS. IN THE EVENT THAT THE MAXIMUM PERIOD IS EXCEEDED AND ANY SUCH AREA REMAINED EXPOSED WITHOUT COVER, THE COUNTY WILL (IN THE EVENT THAT THE OWNER DOES NOT) INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL CONFORM WITH THE CURRENT VERSION OF THE D.C. CODE FOR EROSION AND SEDIMENT CONTROL, AND THE WASHINGTON D.C PUBLIC FACILITY MANUAL, AND SHALL BE SUBJECT TO FIELD REVISION AND FINAL APPROVAL OF THE DISTRICT'S INSPECTOR.
- THE CONTRACTOR SHALL INSTALL THE ENTRANCE TO A LENGTH OF AT LEAST 20 FEET AND A WIDTH OF 10 FEET, AS SHOWN ON THIS SITE PLAN, BEGINNING AT THE EDGE OF EXISTING PAVEMENT. NO WASH RACK SHALL BE REQUIRED UNLESS DEEMED NECESSARY BY THE WASHINGTON D.C INSPECTOR AT THE TIME OF CONSTRUCTION. NO WASHING OF VEHICLES OR EQUIPMENT IS PERMITTED IN ANY AREA WHICH WILL DRAIN UNCONTROLLED WASH-WATER TO ANY PUBLIC RIGHT-OF-WAY OR DRAINAGE SWALE. BELOW THE CONSTRUCTION AREA, A FILTER FABRIC UNDERLAYER SHALL BE INSTALLED UNDER THE TEMPORARY CONSTRUCTION ENTRANCE AGGREGATE PER D.C. CHECKLIST REQUIREMENTS. VDOT CR-6 STONES MAY BE SUBSTITUTED BY NO. 1 STONE AT CONSTRUCTION ENTRANCE, IF FILTER FABRIC IS EMPLOYED.

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Erosion & Sediment Control Plan
1125 7TH STREET NE
WASHINGTON, DC 20002
LOT#035 / SQUARE# 0886

DATE:	07/14/2014
CLIENT:	
REV. NO.	1
SCALE:	As indicated
DWG. NO.:	

C1.0
Board of Zoning Adjustment
11/11/2014
CASE NO. 19550
EXHIBIT NO. 65A