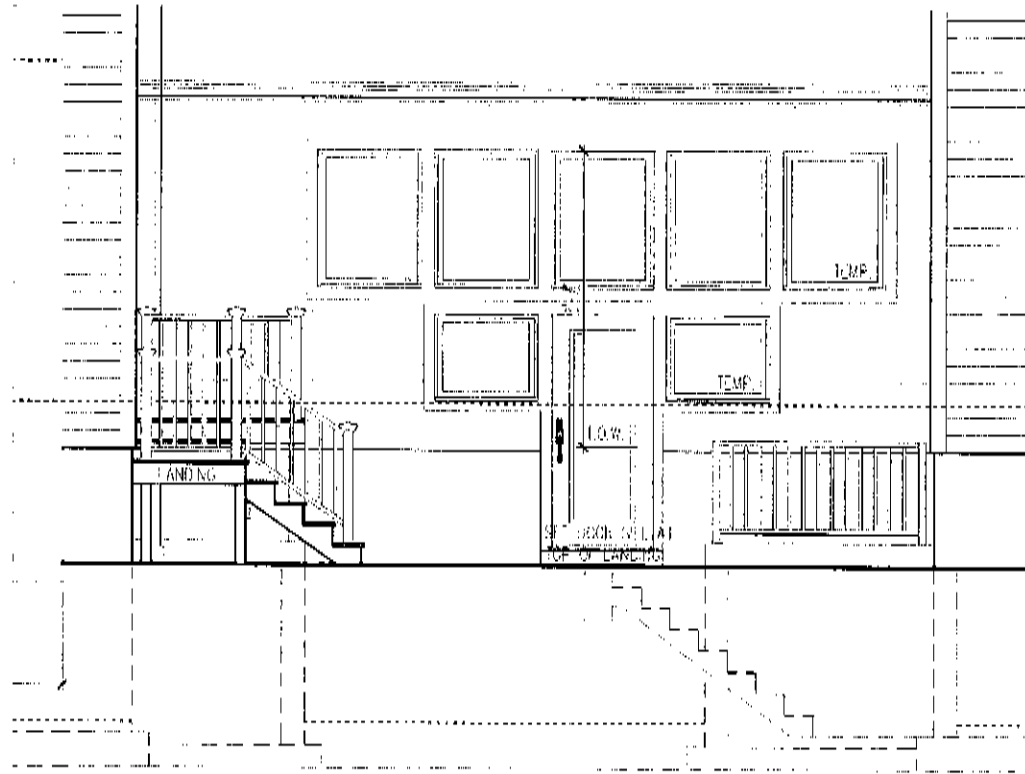


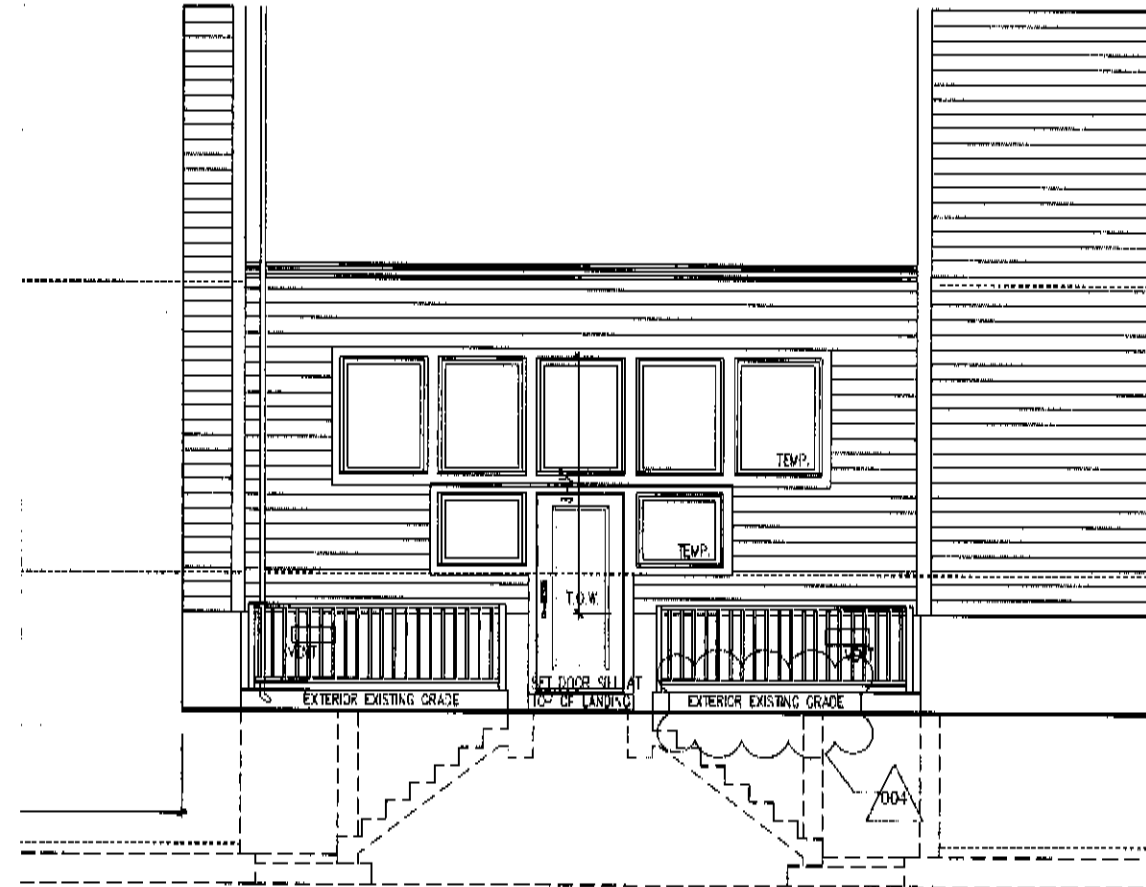
EXHIBIT 5



A4.2

B1706219

ORIGINAL
B1706219- A4.2

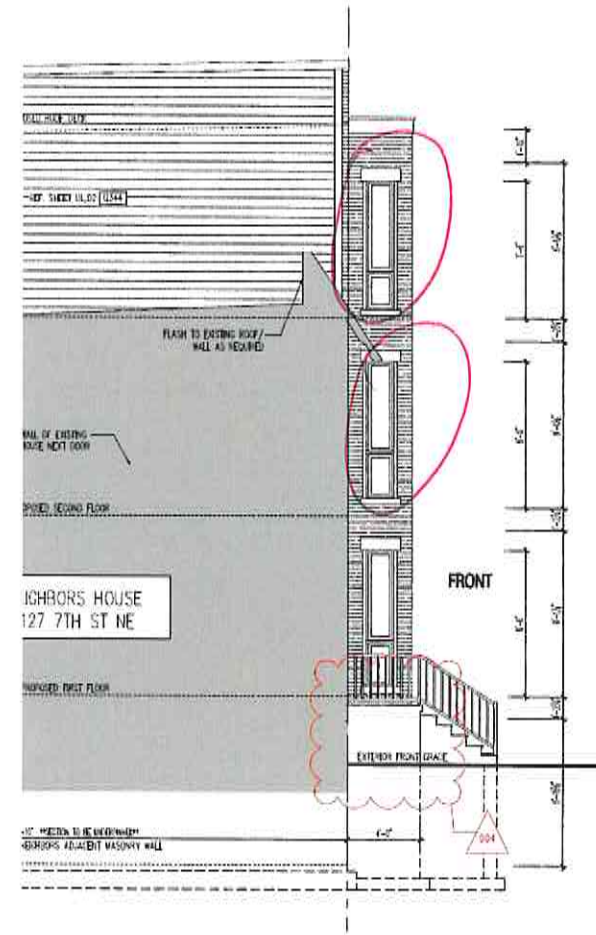


A4.2

B1805207

FIRST REVISION
B1805207- A4.2

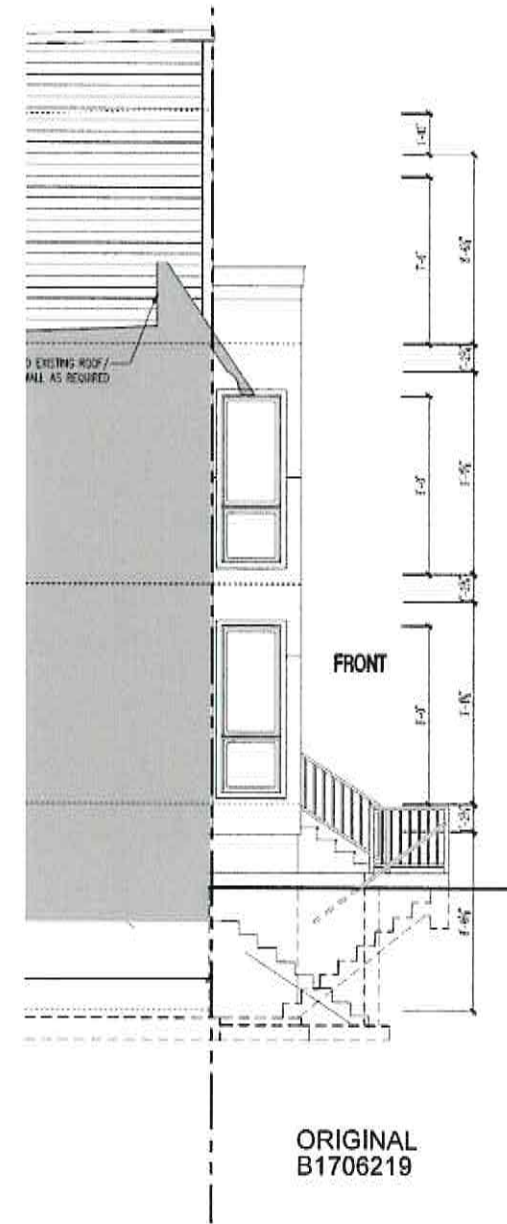
EXHIBIT 6



FIRST REVISION
B1805207

A4.3 Left side elevation

B1805207



ORIGINAL
B1706219

A4.3 Left side elevation

B1706219

EXHIBIT 6

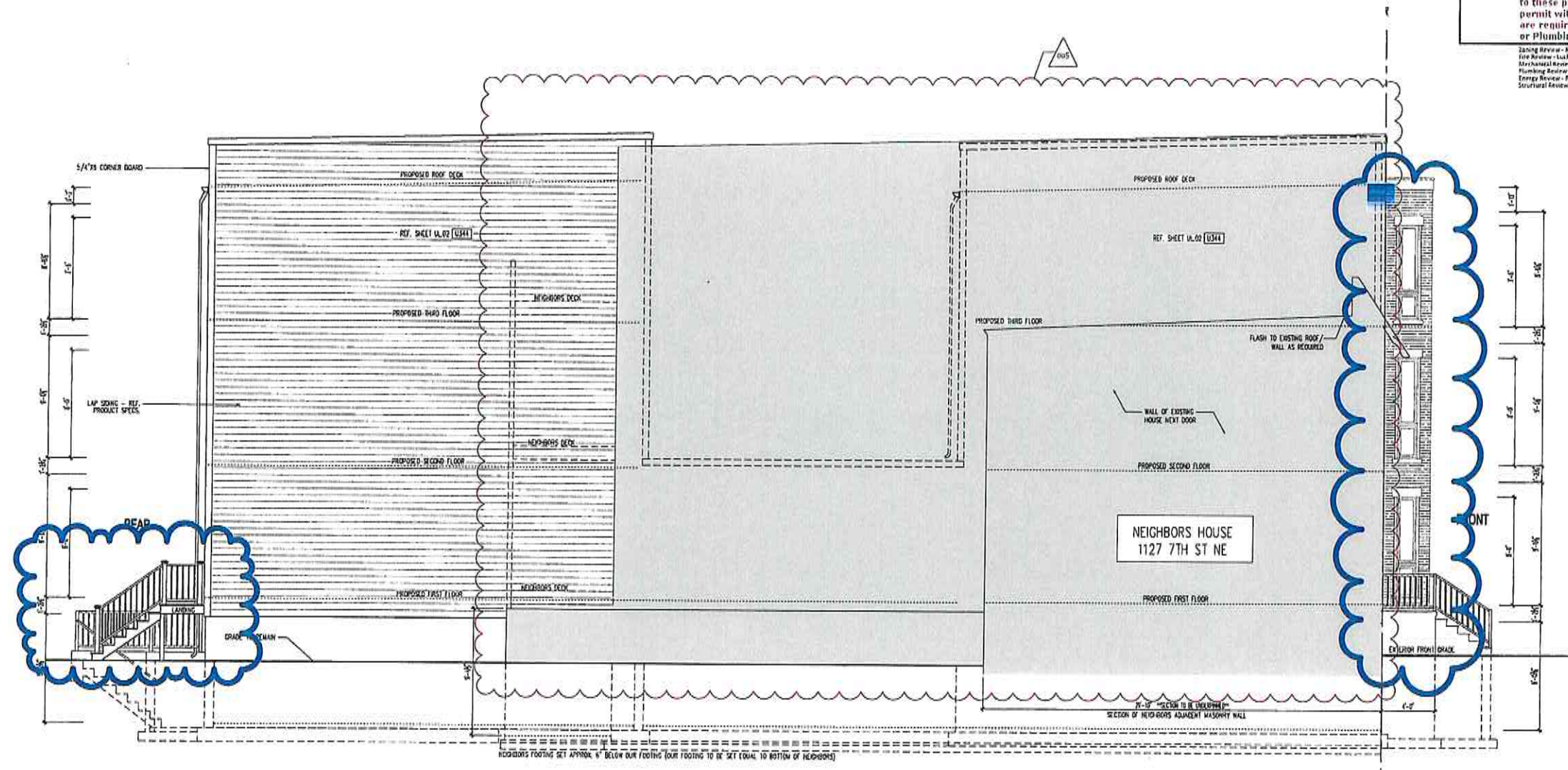
SECOND REVISION B1811245- A4.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. B1811245

These plans are conditionally approved as submitted or noted on these plans and are subject to field inspection. Approved plans must be kept on site and accessible for all inspections. No changes or modifications to these plans, changes that require a revision permit with the revised plans, or other permits are required for transmittal of these plans to the field.

Stamp Review - Altona Nduka
 Fire Review - Luke Lu
 Mechanical Review - Clay Edet
 Plumbing Review - Clay Edet
 Energy Review - Robert Canale
 Structural Review - Brian Debus

DC • VIRGINIA
 10330 WARWICK AVENUE SUITE 100
 FAIRFAX, VA 22030
 Phone: 703.755.8800
 Website: www.mccg.com



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

22'-3 1/2" Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
LEFT SIDE ELEVATION



DRWN BY:	MCR
DATE:	07/18/17
REV No.	005
DATE	08/08/18

01.01.17

SHEET No. A4.3

EXHIBIT 7

ORIGINAL B1706219 - A5.1

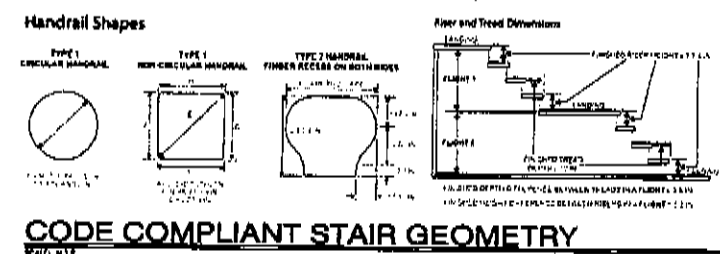
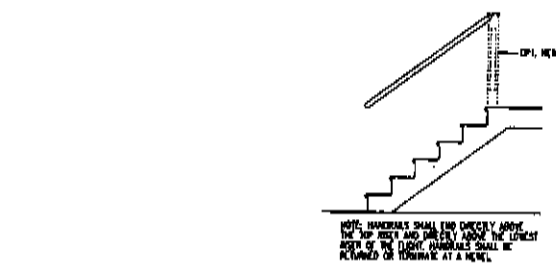
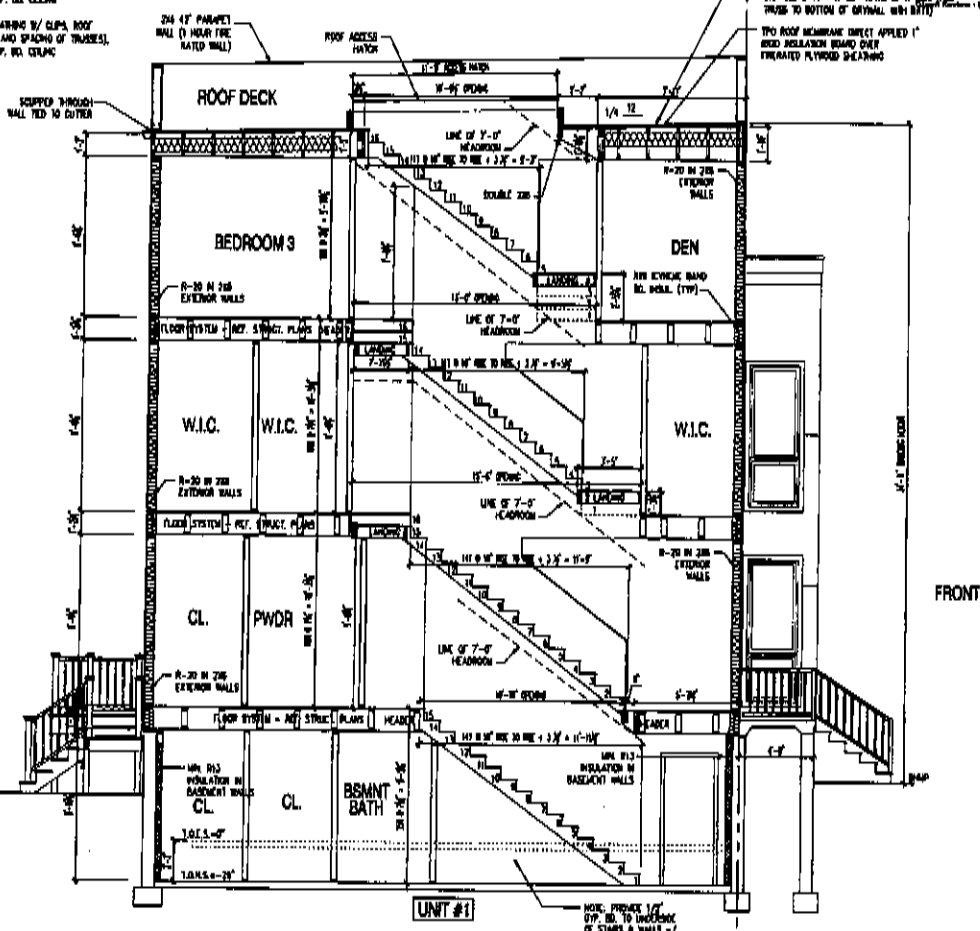
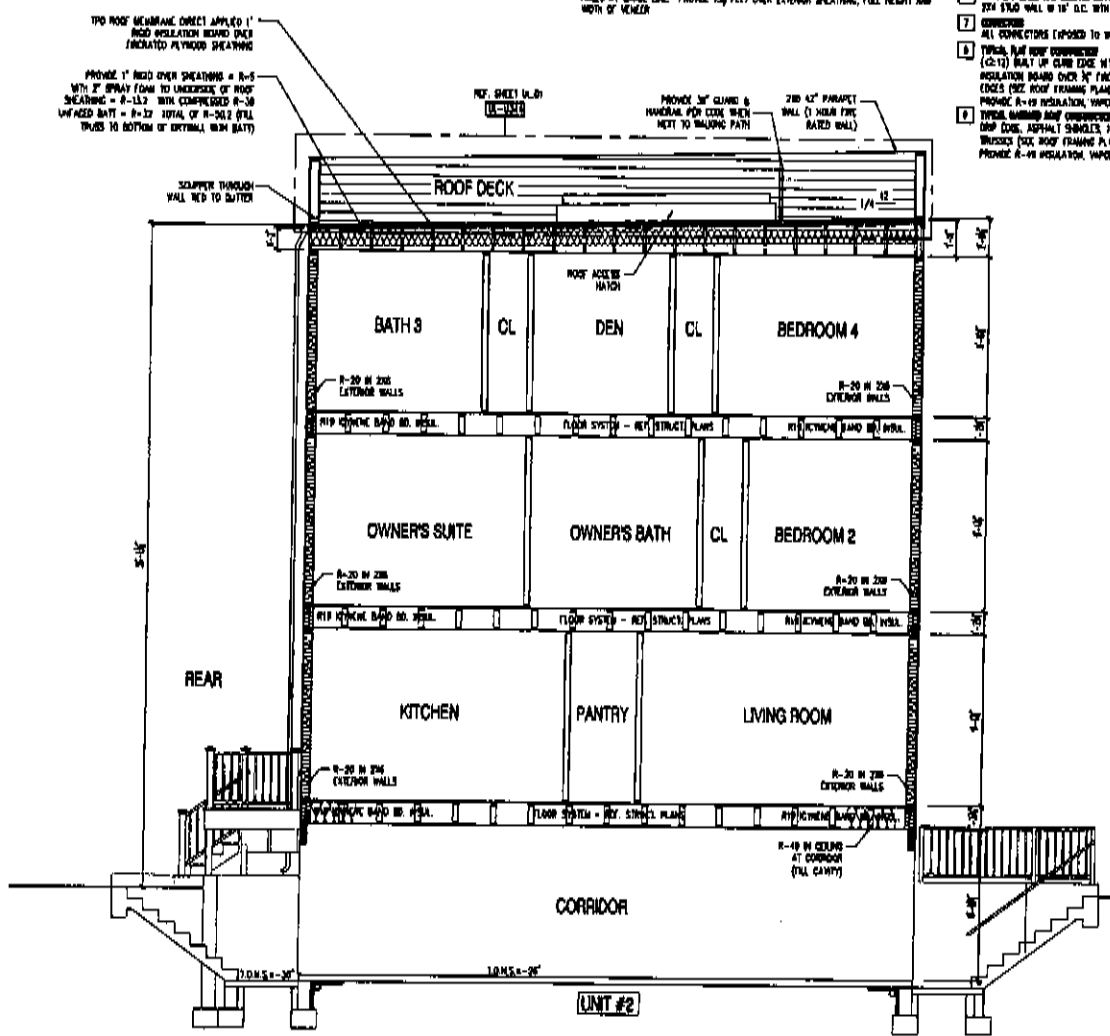
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS REVIEW
 Permit No. B1706219
 Date: 01/17/17

These plans are conditionally approved and are subject to final inspection. Approved plans shall be kept on file for 30 days after the date of final inspection. Changes to the approved plans shall require a separate permit with the revised plans. The permit is valid for 180 days from the date of issuance. No work shall be performed without the permit.

Architect: STONY CREEK HOMES
 1825 WALNUT AVENUE, SUITE 200
 FAIRFAX, VA 22031
 Phone: 703.998.2200
 E-mail: stony@stonycreekhomes.com

TYPICAL CONSTRUCTION

- TYPICAL FOUNDATION WALL CONSTRUCTION: POLYESTER IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS. REF. FOUNDATION PLAN FOR SIZE AND REINFORCING.
- TYPICAL BASE SLAB CONSTRUCTION: 4" STRUCTURAL CONCRETE SLAB WITH 1/4" DIA. WIRE MESH OVER ON A 1/4" POLY VAPOR BARRIER ON 4" INSULATED GRANULAR FILL. SEE REINFORCING AT CENTERLINE OF SLAB.
- TYPICAL EXTERIOR WIND BREAK WALL CONSTRUCTION: 2" BRICK VENEER, 1/2" PLATE OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), 1/2" R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BR. PROVIDE WEAP WATER AT GROUND LINE. PROVIDE 1/4" FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER.
- TYPICAL EXTERIOR WIND WALL CONSTRUCTION: EXTERIOR BRICK BOND, BUILDING PAPER, 1/2" PLATE OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), 1/2" R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BR. (OR FOR IN ASSEMBLY NOTED).
- TYPICAL FINISHING CONSTRUCTION: 3/8" WOOD 1/4" OSB PLYND SUBFLOOR, GLEED AND SCAINED ON OPEN WEB FLOOR (SEE FINISHING PLAN FOR TYPICAL SPACING AND SIZES) PROVIDE 1/2" GYP. BR. CEILING (OR FTL AS ASSEMBLY NOTED).
- FLOOR, CEILING AND EXTERIOR FINISH WALLS: 2X4 STUD WALL 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE).
- CONNECTIONS: ALL CONNECTIONS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- TYPICAL ROOF CONSTRUCTION: (G-12) BUILT UP ROOF EDGE WITH TWO ROOF MEMBRANE DIRECT APPLIED 1" ROOF INSULATION BOARD OVER 1/2" FIBROGLASS SHEATHING, CLIPS AT UNBARRICADED EDGES (SEE ROOF FINISHING PLAN FOR CONFIGURATION AND SPACING OF TRUSSES). PROVIDE R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BR. CEILING.
- TYPICAL RAILING AND CONSTRUCTION: 2X4 STUD WALL 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE). PROVIDE 1/4" FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER.



BUILDING SECTION

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



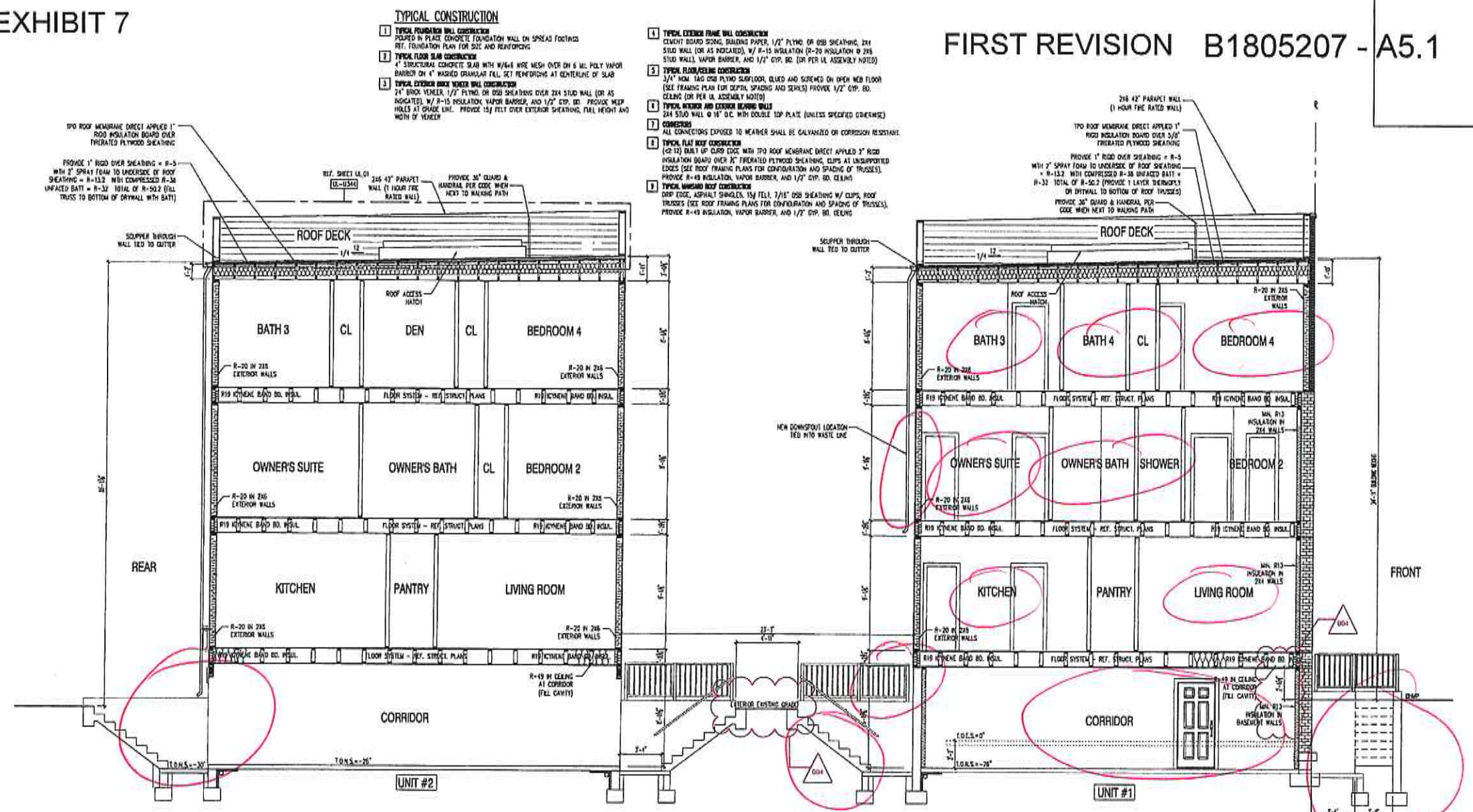
DRAWN BY: JACB
 DATE: 01/20/17
 REV. NO.: 01
 REV. BY: JACB
 DATE: 01-22-17

01.01.17

SHEET NO. A5.1

EXHIBIT 7

FIRST REVISION B1805207 - A5.1



TYPICAL CONSTRUCTION

- 1 TYPICAL FOUNDATION WALL CONSTRUCTION
POURED IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS
REF. FOUNDATION PLAN FOR SIZE AND REINFORCING
- 2 TYPICAL FLOOR SLAB CONSTRUCTION
4" STRUCTURAL CONCRETE SLAB WITH W/4#6 WIRE MESH OVER ON 6 MIL FELT VAPOR BARRIER ON 4" WASHED GRANULAR FILL SET REINFORCING AT CENTERLINE OF SLAB
- 3 TYPICAL EXTERIOR VENEER WALL CONSTRUCTION
2" BRICK VENEER, 1/2" PLYM. OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. PROVIDE WEAP HOLES AT GRADE LEVEL. PROVIDE 1 1/2" FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER
- 4 TYPICAL EXTERIOR FRAME WALL CONSTRUCTION
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYM. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION (R-20 INSULATION @ 2X6 STUD WALL), VAPOR BARRIER, AND 1/2" GYP. BD. (OR PER I.A. ASSEMBLY NOTES)
- 5 TYPICAL FLOOR/CEILING CONSTRUCTION
3/4" HVL. INS. OVER PLYM. SUBFLOOR, GLEED AND SCREWED ON OPEN WEB FLOOR (SEE FRAMING PLAN FOR DEPTH, SPACING AND DETAILS) PROVIDE 1/2" GYP. BD. CEILING (OR PER I.A. ASSEMBLY NOTES)
- 6 TYPICAL INTERIOR AND EXTERIOR DOORWAY WALLS
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- 7 CONNECTIONS
ALL CONNECTIONS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT
- 8 TYPICAL FLAT ROOF CONSTRUCTION
(2-12) DRAFT UP CURB EDGE WITH TPO ROOF MEMBRANE DIRECT APPLIED 3" RIGID INSULATION BOARD OVER 1/2" FIBERGLASS FIBERGLASS SHEATHING, CLIPS AT UNSUPPORTED EDGES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES). PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- 9 TYPICAL GABLE ROOF CONSTRUCTION
DRP. EDGE, ASPHALT SHINGLES, 1 1/2" FELT, 7/16" OSB SHEATHING W/ CLIPS, ROOF TRUSSES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES). PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING

moment
ENGINEERING & ARCHITECTURE
P.C.

DC • VIRGINIA • MD
10530 WARWICK AVENUE, SUITE 605
FAIRFAX, VA 22033
Phone: 703.988.2359 • Email: info@momentpcc.com
Website: www.momentpcc.com

22x36 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"

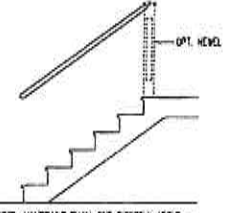
1125 7th St NE - STONY CREEK HOMES
BUILDING SECTION



DRAWN BY:	MCR
DATE:	01/10/17
REV. NO.	DATE
001	01/16/18

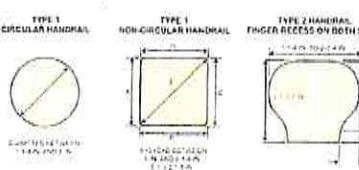
01.01.17

SHEET NO.
A5.1

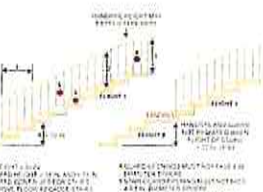
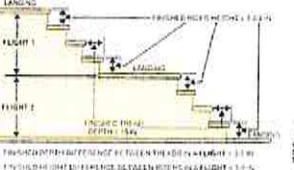


NOTE: HANDRAILS SHALL END DIRECTLY ABOVE THE TOP RISE AND DIRECTLY ABOVE THE LOWEST RISE OF THE FLIGHT. HANDRAILS SHALL BE RETURNED OR TERMINATE AT A MINOR.

Handrail Shapes



Riser and Tread Dimensions



BUILDING SECTION

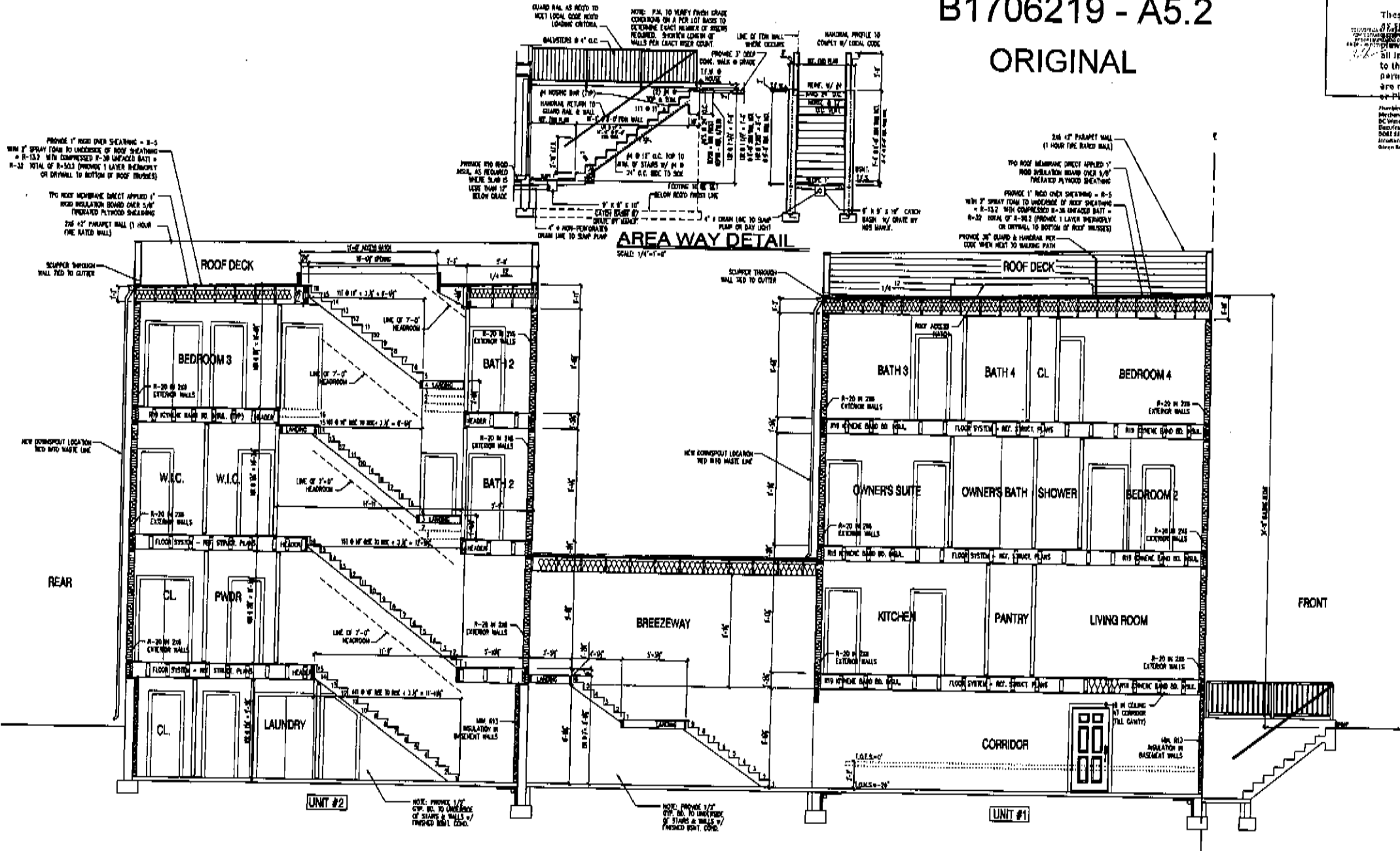
SCALE: 1/4"=1'-0"

EXHIBIT 8

B1706219 - A5.2
ORIGINAL

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANNING & DESIGN
Permit No. 21706219

These plans are conditionally approved by the District of Columbia Department of Planning and Design. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is responsible for providing all necessary information and documentation to the District of Columbia Department of Planning and Design. The applicant is responsible for providing all necessary information and documentation to the District of Columbia Department of Planning and Design.



BUILDING SECTION
SCALE: 1/4" = 1'-0"

1125 7th St NE - STONY CREEK HOMES
BUILDING SECTION



DATE	01/20/17
REV	01
XXX	01/20/17

01.01.17

A5.2

EXHIBIT 8

B1805207- A5.2

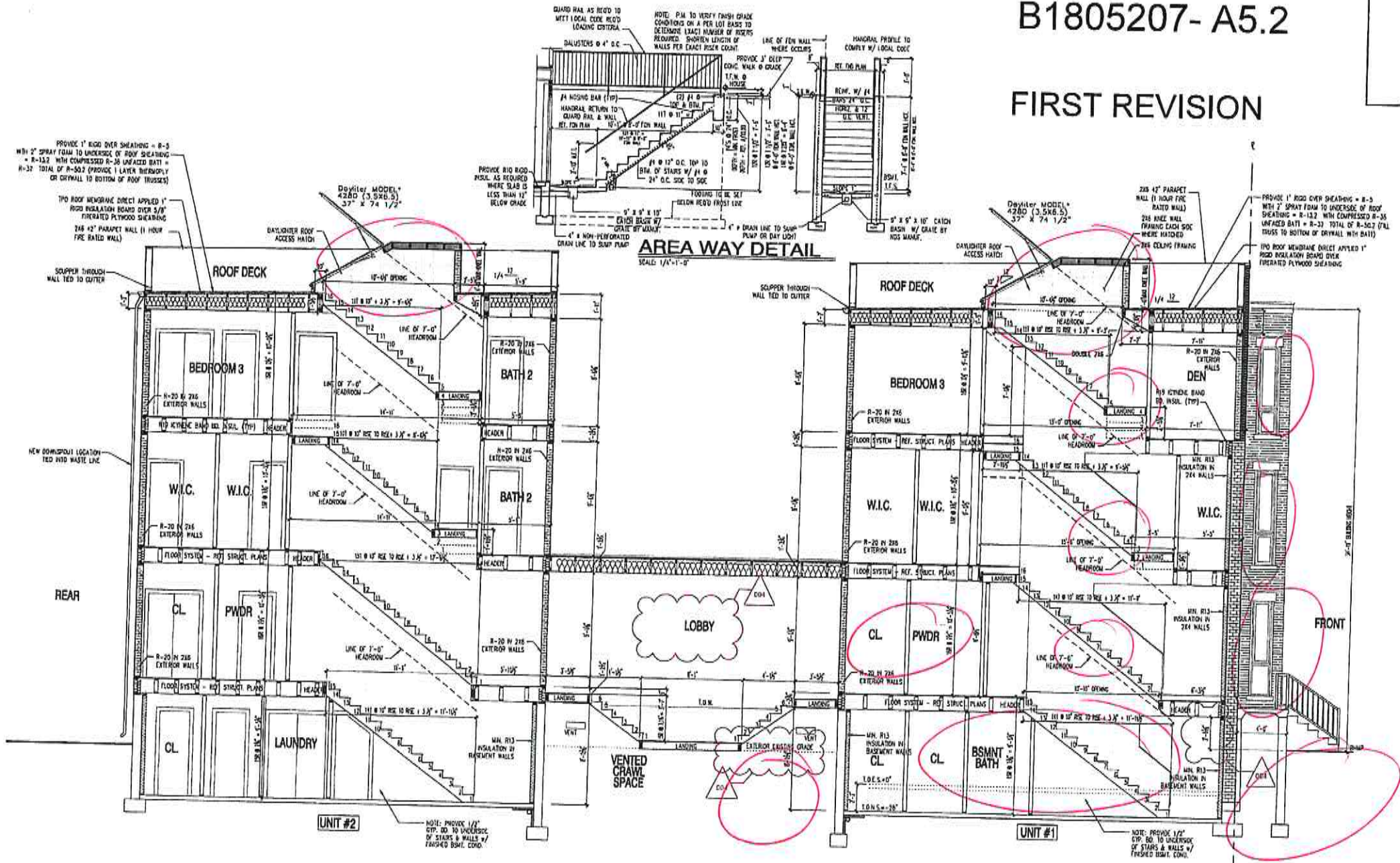
FIRST REVISION

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 Permit No. B1805207 Date 01/10/17

These plans are submitted or used as submitted or used and are subject to all inspections. No changes to these plans are required for these plans to be approved for construction.

DOE SE-15W Review - Charles Egan
 Mechanical Review - Wayne Ferguson
 Plumbing Review - Wayne Ferguson
 Electrical Review - Alisa Makhomedov
 Structural Review - Simon Delaney
 Energy Review - Ashley Delgado
 ROOF Review - Shaun Bateman

DC ARCHITECTURE
 10330 WARWICK AVENUE
 FAIRFAX, VA 22030
 Phone 703.928.8888
 Website www.dca.com



22-34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
 1125 7th St. NE - STONY CREEK HOMES
 BUILDING SECTION



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV. NO.: 04/16/18

01.01.17

SHEET No
 A5.2

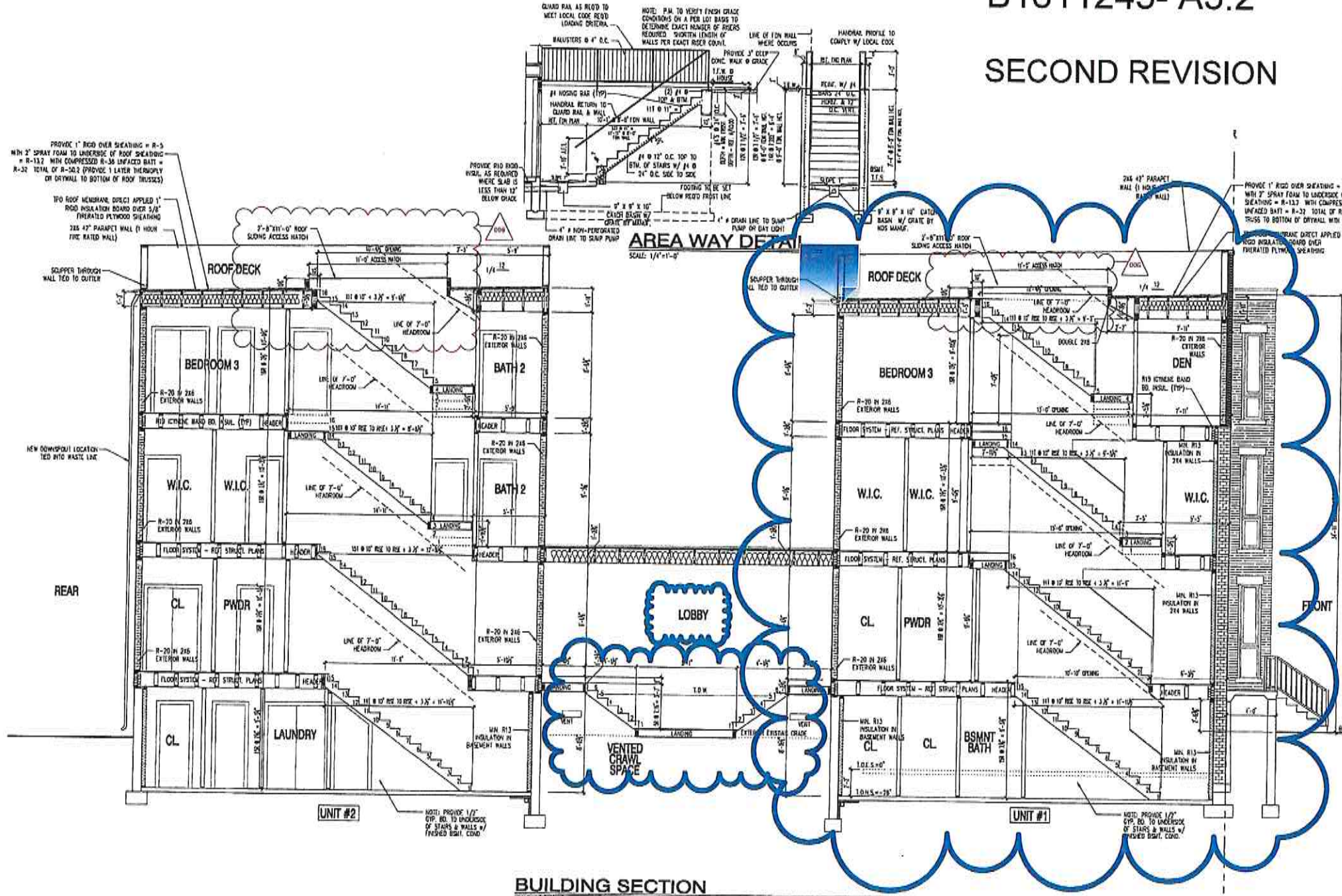
EXHIBIT 8

B1811245- A5.2 SECOND REVISION

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 23111245

These plans are conditionally approved as submitted or noted. They are subject to field inspection. Approved for all inspections. No changes are to be made to these plans. Changes to these plans must be approved by the permit with the review. Requirements are required for trade or Plumbing.

DC • VIRGINIA
 10530 WARWICK AVENUE, SUITE 200
 FARMERS BRANCH, VA 22029
 Phone: 703.688.2320
 Website: www.mca.com



BUILDING SECTION
SCALE 1/4"=1'-0"

22-534 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
 1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



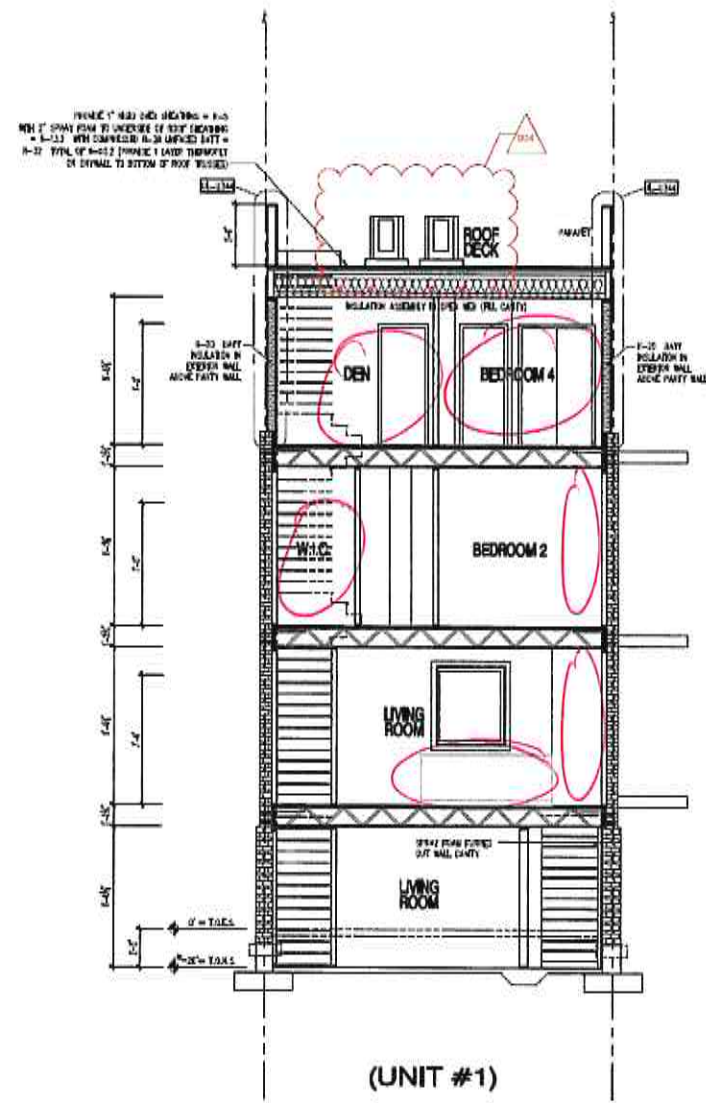
DRAWN BY:	MIC
DATE:	07/19/17
REV. NO.	DATE
006	07/24/18

01.01.17

SHEET No
A5.2

EXHIBIT 9

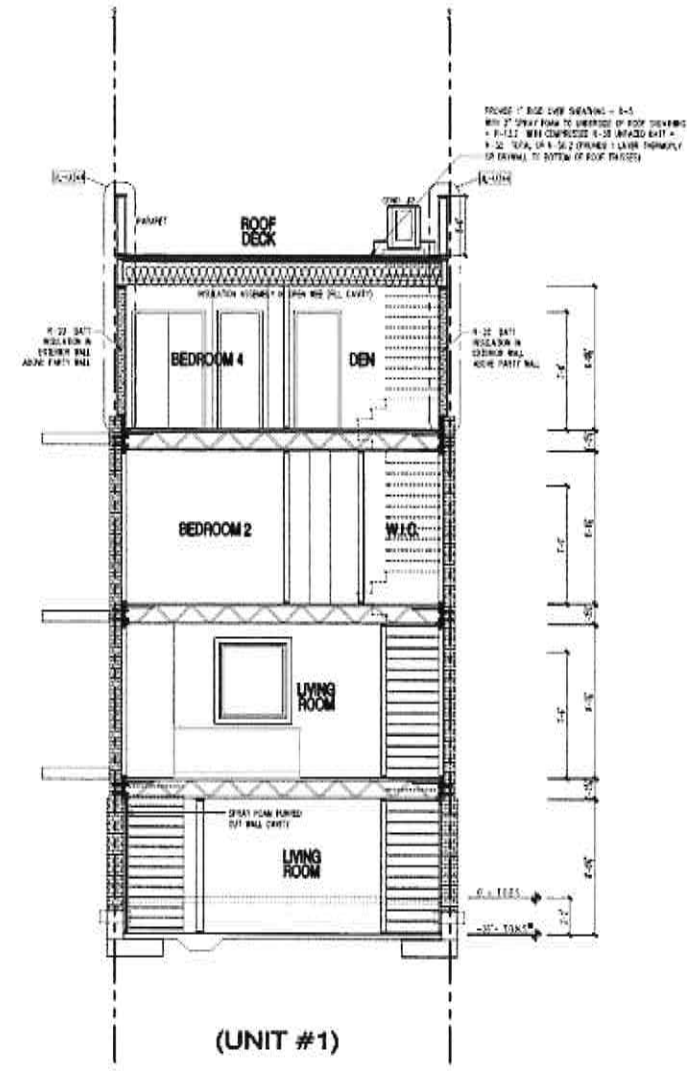
FIRST REVISION
B1805207- A5.3



BUILDING SECTION

A5.3 - B1805207

ORIGINAL
B1706219- A5.3



BUILDING SECTION

A5.3 - B1706219

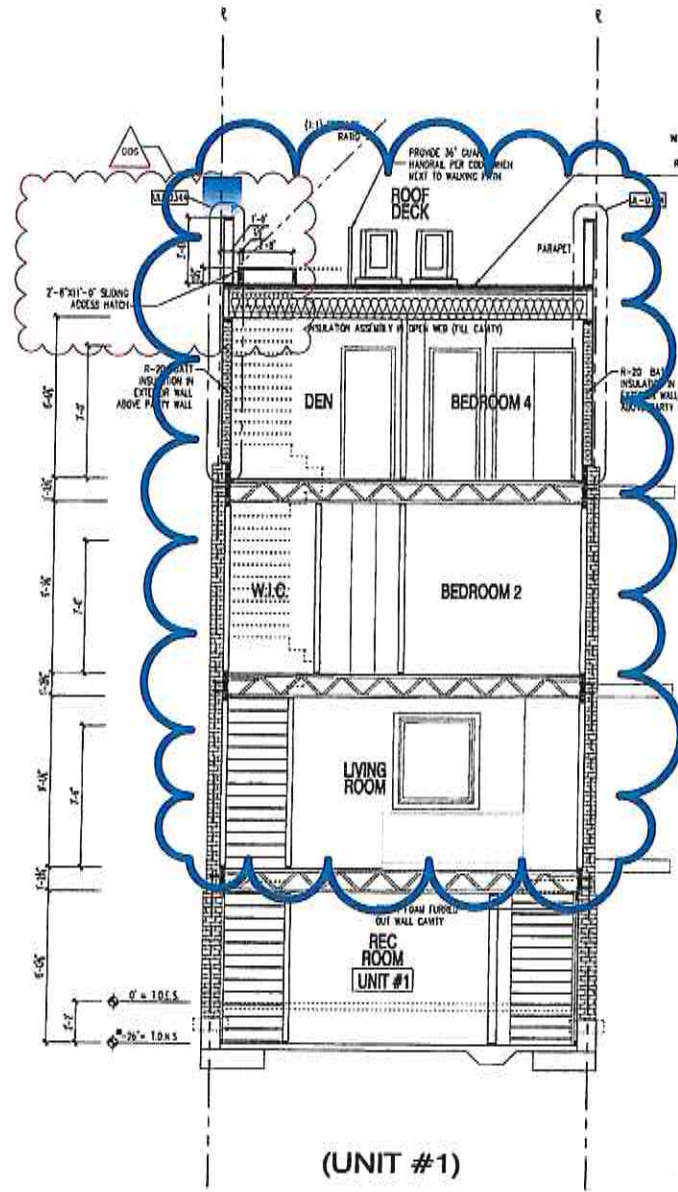
EXHIBIT 9

SECOND REVISION B1811245- A5.3

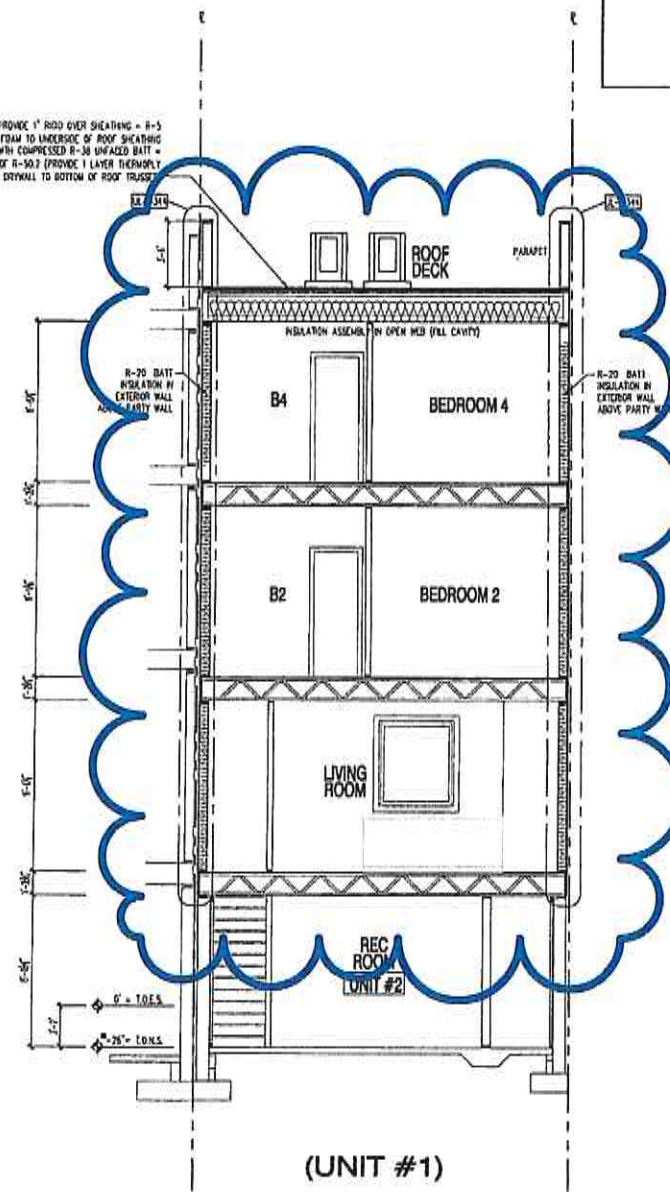
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
Permit No. 2017001010
APPROVED
These plans are conditionally approved as submitted or noted and are subject to inspection. Approved plans must be kept on file and are to be used for all inspections. No changes or modifications to these plans. Changes to a permit require a revision permit with the revision plans. Revisions are required for structural or plumbing.

Zoning Review - Marnadeu, Jidov / 8/10/17
Fire Review - Lueth Lu - 04-02-2018
Mechanical Review - Cory Lee - 04-02-2018
Plumbing Review - Cory Lee - 04-02-2018
Energy Review - Robert Campbell - 04-02-2018
Structural Review - Ehan Orshel / 04/02/18

DC • VIRGINIA
18530 WARWICK AVENUE SUITE 100
FAIRFAX, VA 22031
Phone: 703.988.2029 • Email: info@hwh.com
Website: www.hwh.com



BUILDING SECTION
SCALE: 1/4"=1'-0"



BUILDING SECTION
SCALE: 1/4"=1'-0"

22934 Plotted at 1/4"=1'-0" - 31x17 Plotted at 1/8" = 1'-0"
1125 7th St NE - STONY CREEK HOMES
BUILDING SECTION



DRAWN BY:
MCR
DATE: 03/10/17
REV. BY: DATE:
006 07/24/18

01.01.17

SHEET No.
A5.3