

BZA Application:
3320 Idaho Ave. NW
BZA Case No. 19450

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Homeward DC Initiative

Current State with DC General

Far Too Big and Institutional:

Old Hospital that houses 260 families each night, 50 plus families on each floor

Poor Conditions:

Old, outdated building that is beyond it's useful life

Inadequate Programming Space:

Not enough space for children and families to receive needed services

The Wrong Environment that can be a Barrier to Better Outcomes

Large, institutional setting dilutes effective service delivery is not the right environment for families



Future State with Short-term Family Housing

Small, Residential Setting

No more than 50 families per site

New, Dignified and Modern

New, beautiful facilities, designed specifically to meet the needs of families

Programming Space

Designed to provide children and families with the supports and services they need.

A Supportive Environment that Helps Families Achieve Stable Housing, Quickly

Warm, residential setting that supports families quickly through the immediate crisis of homelessness back to more stability in housing.

Law Guides Design & Identifies Site

- **DC Council Act 21-251** “Interim Eligibility and Minimum Shelter Standards Amendment Act of 2015,” December 2015
 - ▣ Sets minimum standards for bathrooms including one private bathroom for every five units
 - ▣ Requires a minimum of 280 DC General Family Shelter replacement units

- **DC Council Act 21-412** “Homeward DC Omnibus Approval of Facilities Plan for Short-term Housing for Persons Experiencing Homelessness Act of 2016,” June 2016
 - ▣ Designates 3320 Idaho Avenue, NW as the Ward 3 DC General Family Shelter replacement site

Dignified Facilities



- Privacy and Safety
 - 10 or less sleeping units per floor
 - Each floor will have a security desk with a direct line of site down the floor's single central hallway
 - Limited Access
- Private Bathrooms
 - Bathrooms are not dormitory style
 - Only one family has access at a time

The Project-Services & Supports

□ **Wrap-around Services**

- Permanent Housing Programs
- Housing Search
- Social Work Staff
- Early Childhood Screenings & School liaisons
- Education, Training, & Employment Services
- Health Care
- Financial & Budget Management Counseling

□ **Partnerships with Community Service Organizations**

- Health & Wellness
- Mentoring & Tutoring
- Programming & Activities for Children

□ **24 Hour Staffing & Security**

Emergency Shelter Services & Supports



Wrap-around Services

- Connections to permanent housing programs
- Housing search assistance
- Social work staff
- Early childhood screenings & school liaisons
- Education, training, & employment services
- Health care
- Financial & budget management counseling



Partnerships with Community Service Organizations

- Health & wellness
- Mentoring & tutoring
- Programming & activities for children



24 Hour Staffing & Security

Emergency Shelter: DHS Design Regulations

- **Sleeping Units**
 - Ten single-room family units per floor
 - 25% include trundle beds + play pens
 - Wardrobes + Dresser + Floating Storage Shelves
 - Desk + Chair + Task lamp
 - Mini-fridge in each room
 - All units are ADA accessible
- **Bathrooms (no congregate or dorm style; exceeds requirements of DC Council Act 21-251)**
 - Family style, one for every two units, entry from the hallway
 - 50% showers / 50% bathtubs
 - Private bathrooms for 20% of units
 - 50% showers / 50% bathtubs
 - Additional bathroom near dining area
- **Administrative Space**
 - Office spaces
 - Staff lounge + Locker area + Bathroom
 - Copy room + mail distribution area
- **Ground Floor Common Areas**
 - Lobby (large and welcoming)
 - Conference/programming room
 - Computer lab
 - Multi-Purpose Room/Dining Area w/ moveable wall
 - Warming Kitchen + Pantry
- **Per Floor Requirements**
 - Monitoring/assistance station with clear line of sight to all units
 - Microwave + sink + countertop
 - Homework/study lounge
 - Homework/study room
 - Common area
 - Laundry room
 - Trash room or trash chute
 - Janitor's closet
 - Storage room
- **Play space**
 - Crawl space (infants)
 - Indoor / outdoor play space (toddlers)
 - Outdoor play space (older youth)

Making Homelessness Rare, Brief & Nonrecurring

Prevent homelessness
by providing robust services



Offer safe and dignified short-term housing
to people who experience homelessness



Help people transition into housing ASAP



Community Outreach

- **Spring 2016** – Mayor’s office hold public meetings for the community.
- **Fall 2016 – Winter 2017** – Five Advisory Team meetings.
- **December 13, 2016** – Public design meeting.
- **December 29, 2016** – Meeting with incoming ANC Commissioners.
- **January 3, 2017** – ANC 3C Planning and Zoning committee.
- **January 24, 2017** – Public meeting for the McLean Gardens community.
- **January 31, 2017** – Special community meeting with full ANC 3C.
- **February 6, 2017** – Second meeting with the ANC 3C P+Z committee.
- Full ANC 3C meeting on **February 21, 2017**.

The Project

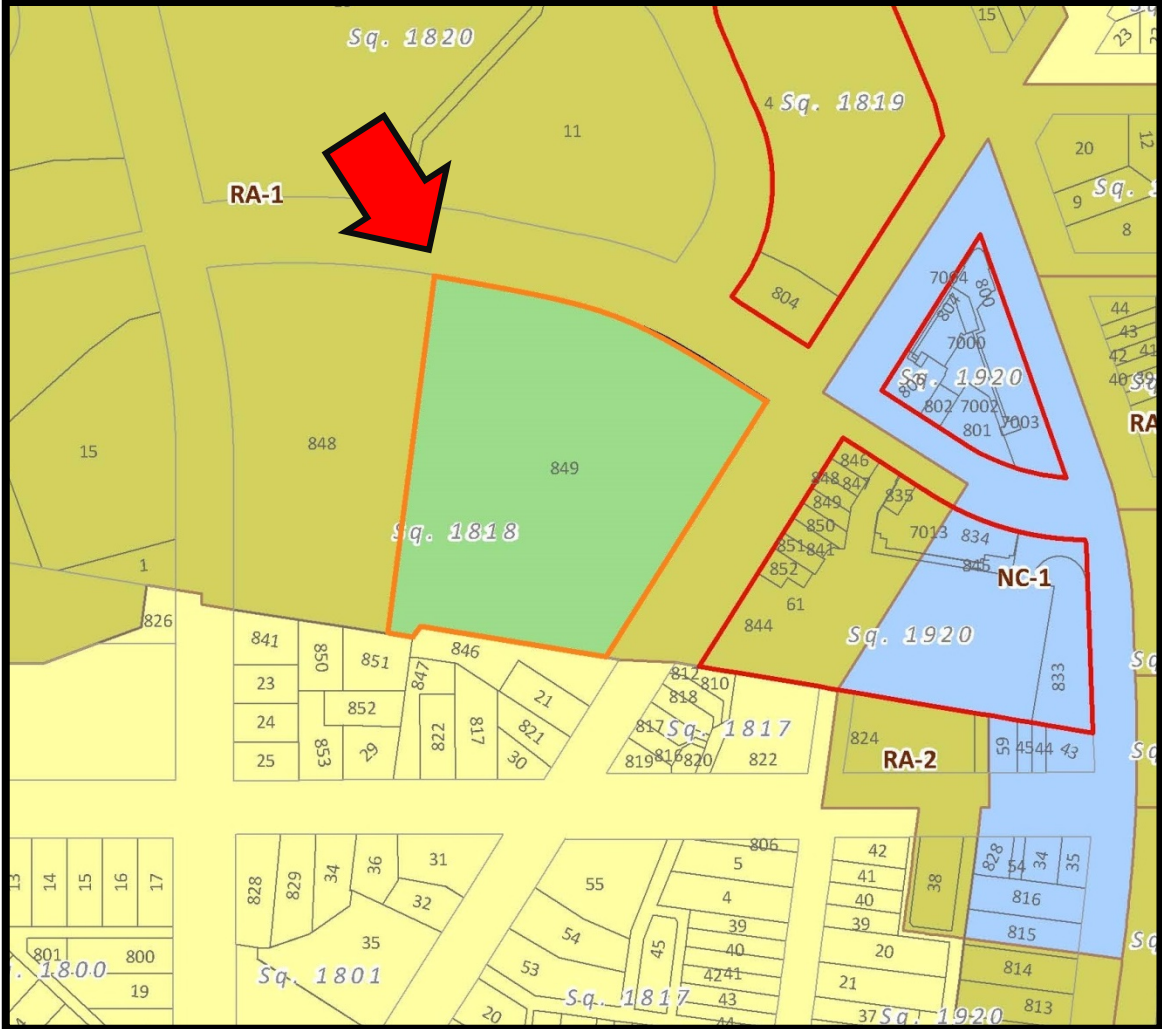
- City owned land
- A six-story emergency shelter for families with wrap around services on-site
- The Project will include 50 family units (an average of 150 persons)
- The emergency shelter facility will include:
 - Space for on-site wrap around services
 - One dining room
 - One Computer Room
 - Laundry on each floor
 - Common rooms on each floor
 - Health examination room
 - Outdoor recreational play space
 - Indoor play area

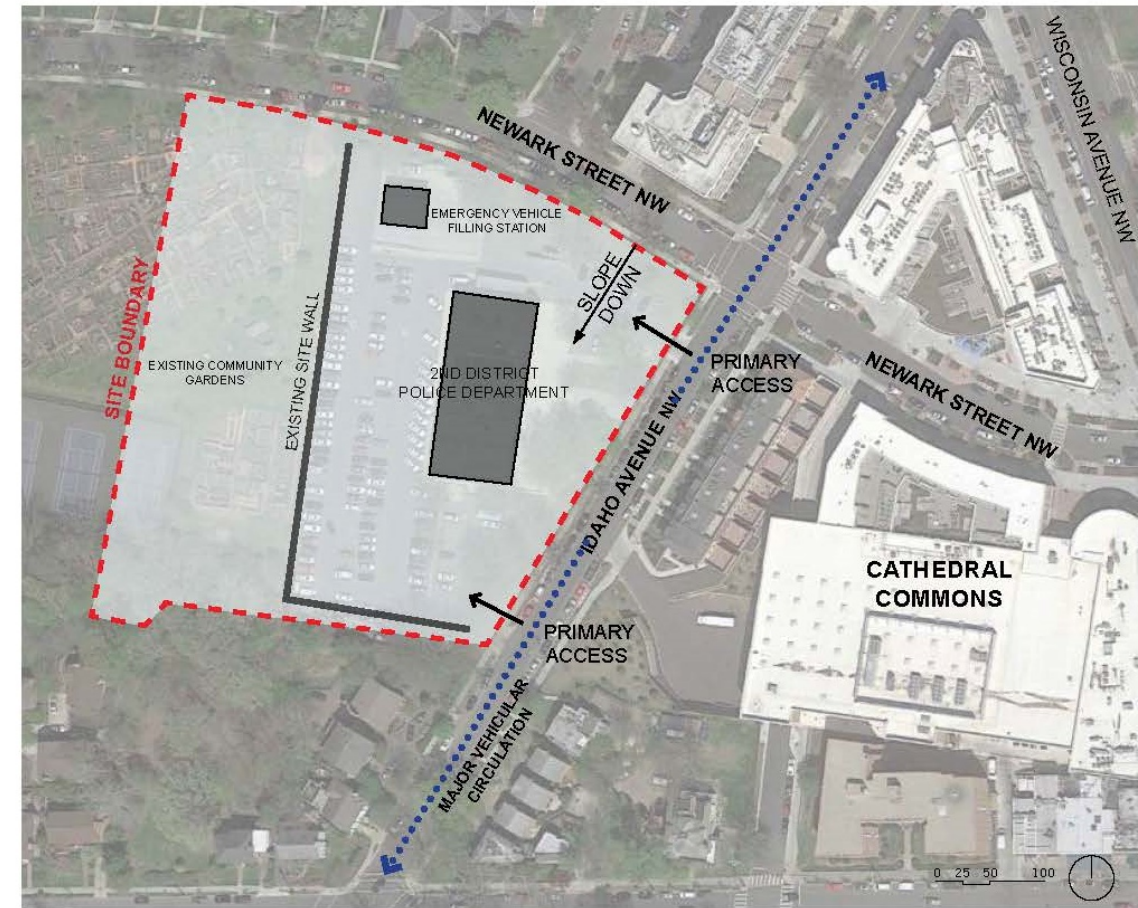
The Property

RA-1

Square: 1818

Lot: 849





LOCATION: 3320 IDAHO AVE NW
 SQUARE: 1818
 LOT: 849
 ZONE: RA-1
 SITE AREA: 200,965 SQFT



Existing Condition Site Plan



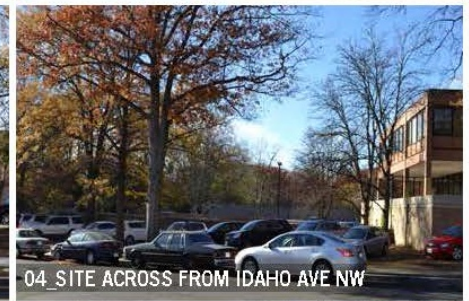
01 SITE FROM COMMUNITY GARDENS



02 SOUTH DOWN IDAHO AVE NW



03 2D MUNICIPAL POLICE DEPARTMENT



04 SITE ACROSS FROM IDAHO AVE NW

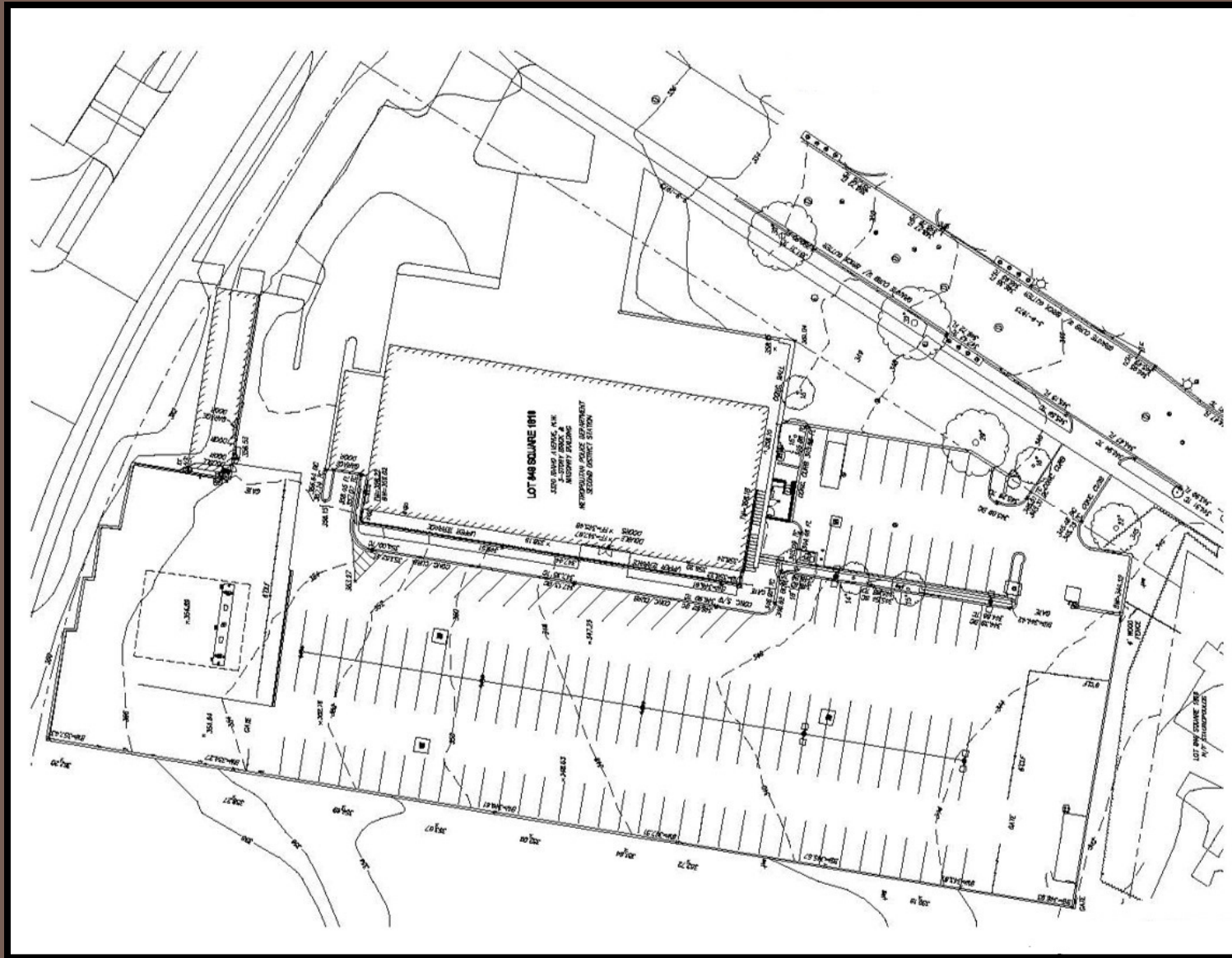


05 SITE ACROSS DOWN IDAHO AVE NW



06 NEIGHBORING BUILDINGS

Community Context



Topographic Map

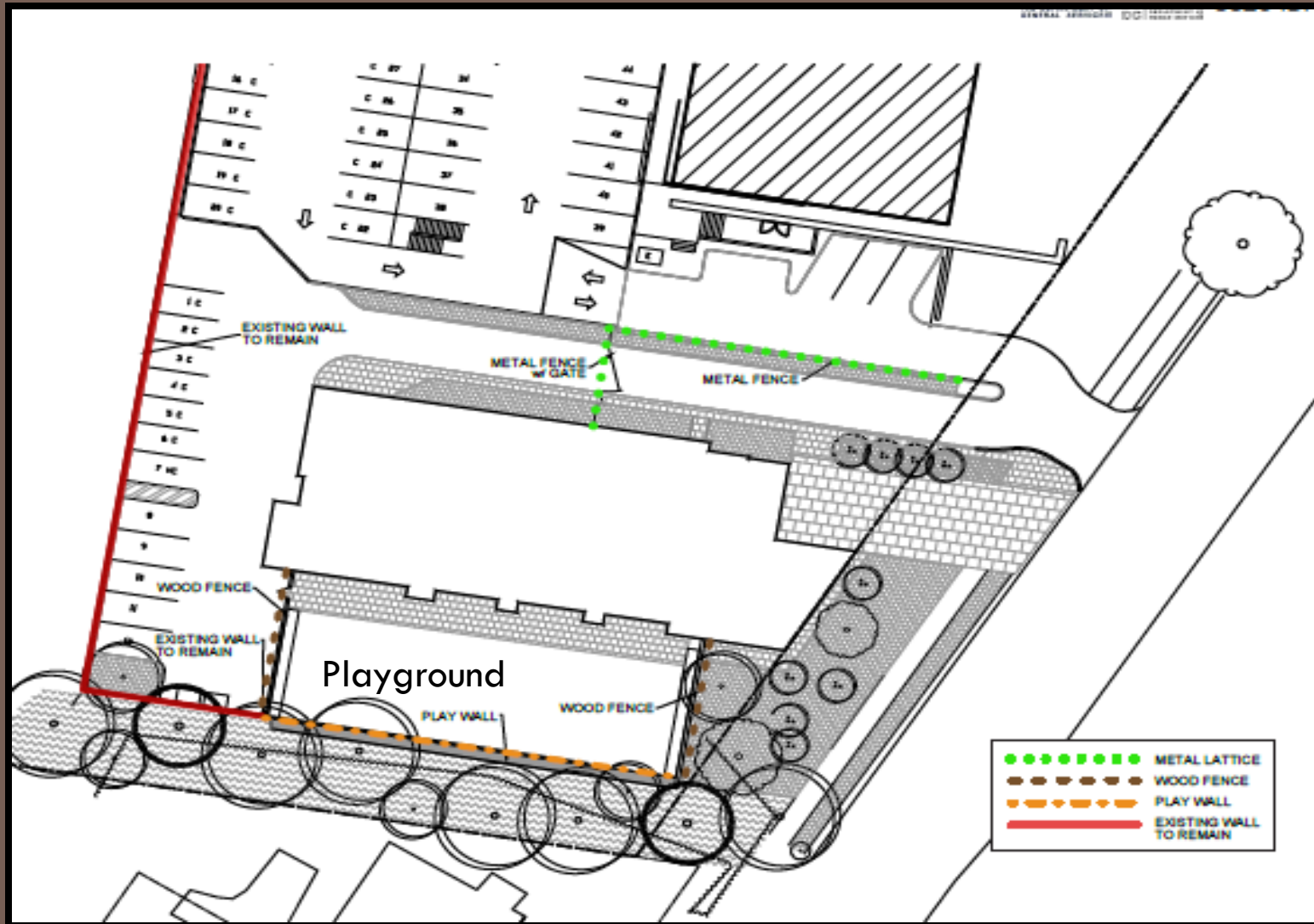


EXISTING SITE

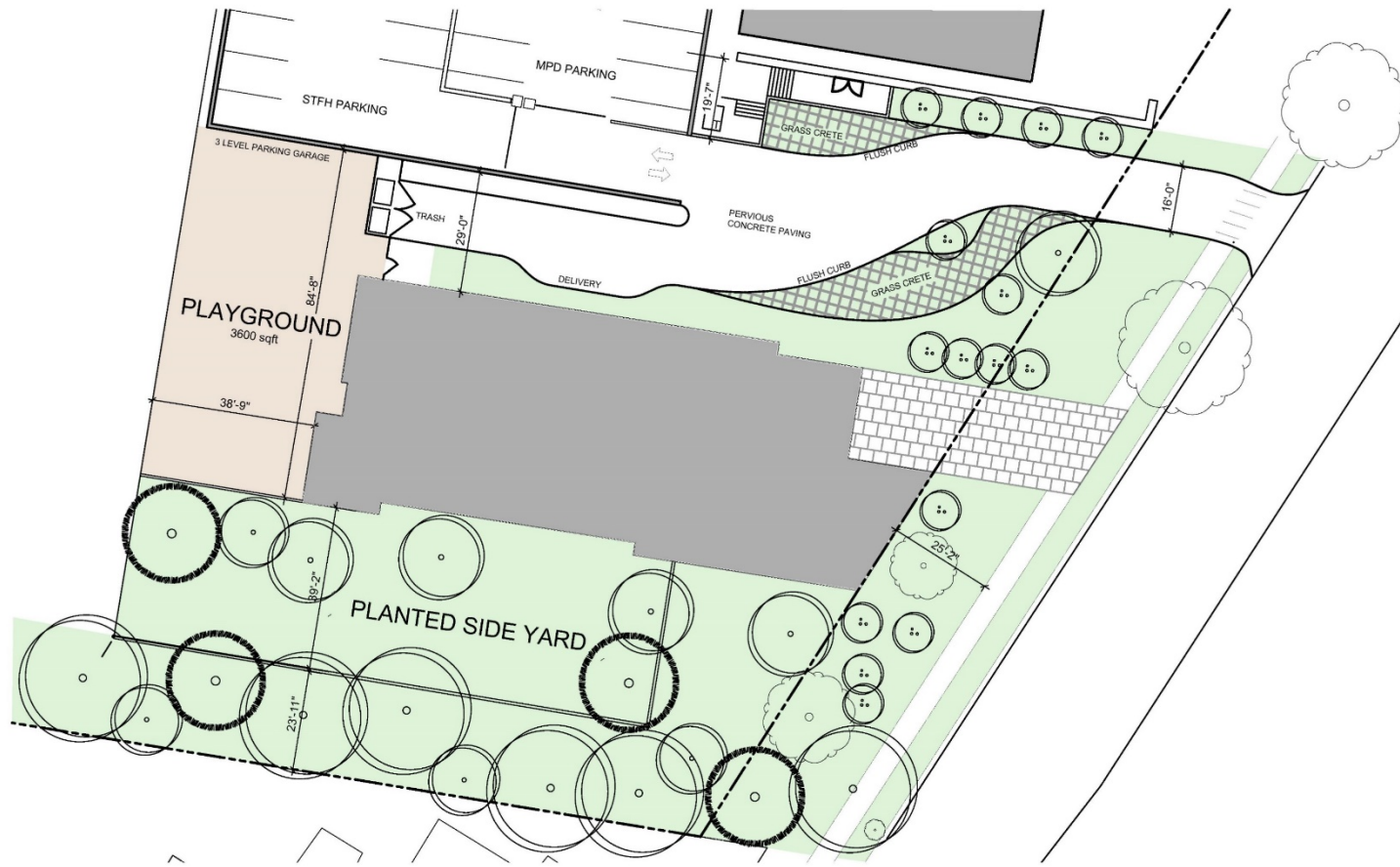


PROPOSED SITE

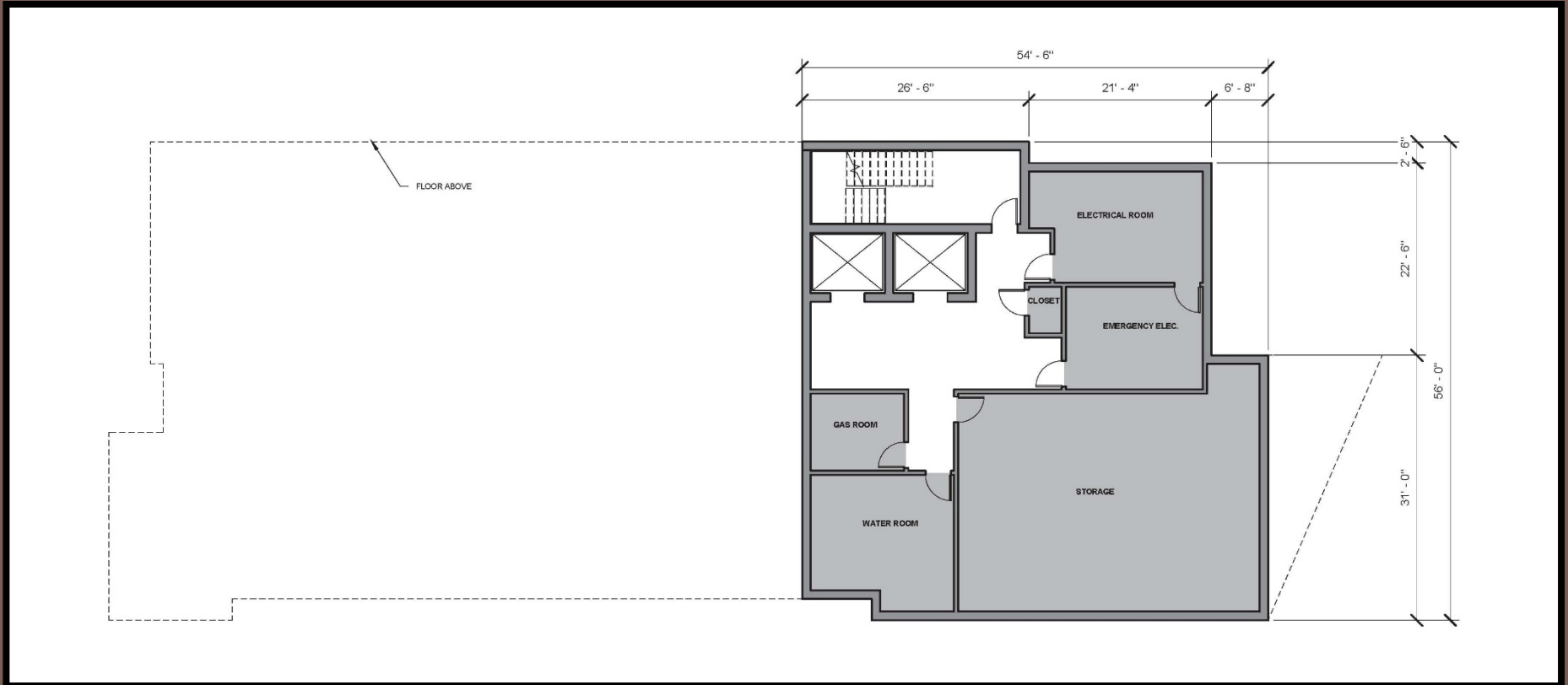
Site Plan



Old Site Plan



Current Site Plan



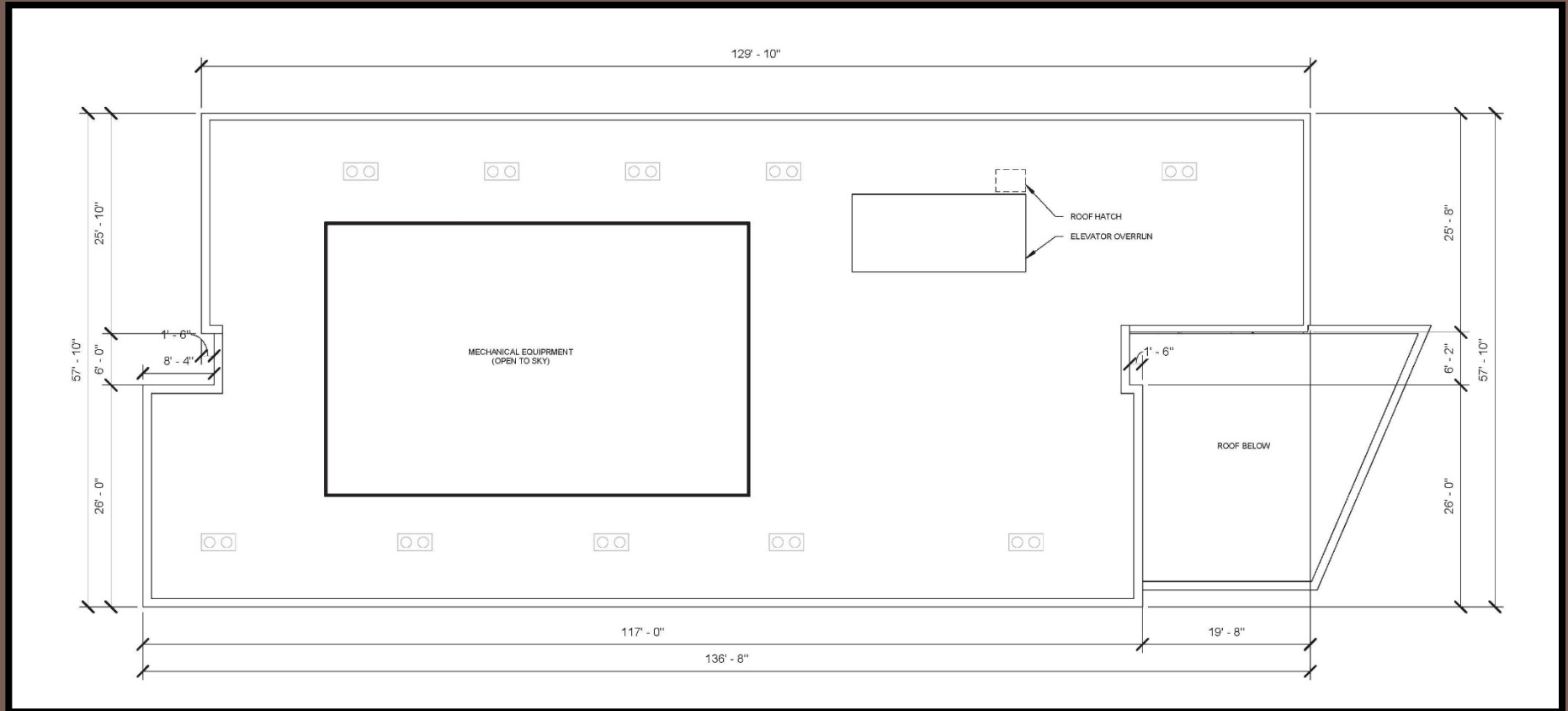
Plan: Basement



Plan: First Floor



Plan: Typical Floor (Floors 2-6)



Plan: Roof



Elevations – East



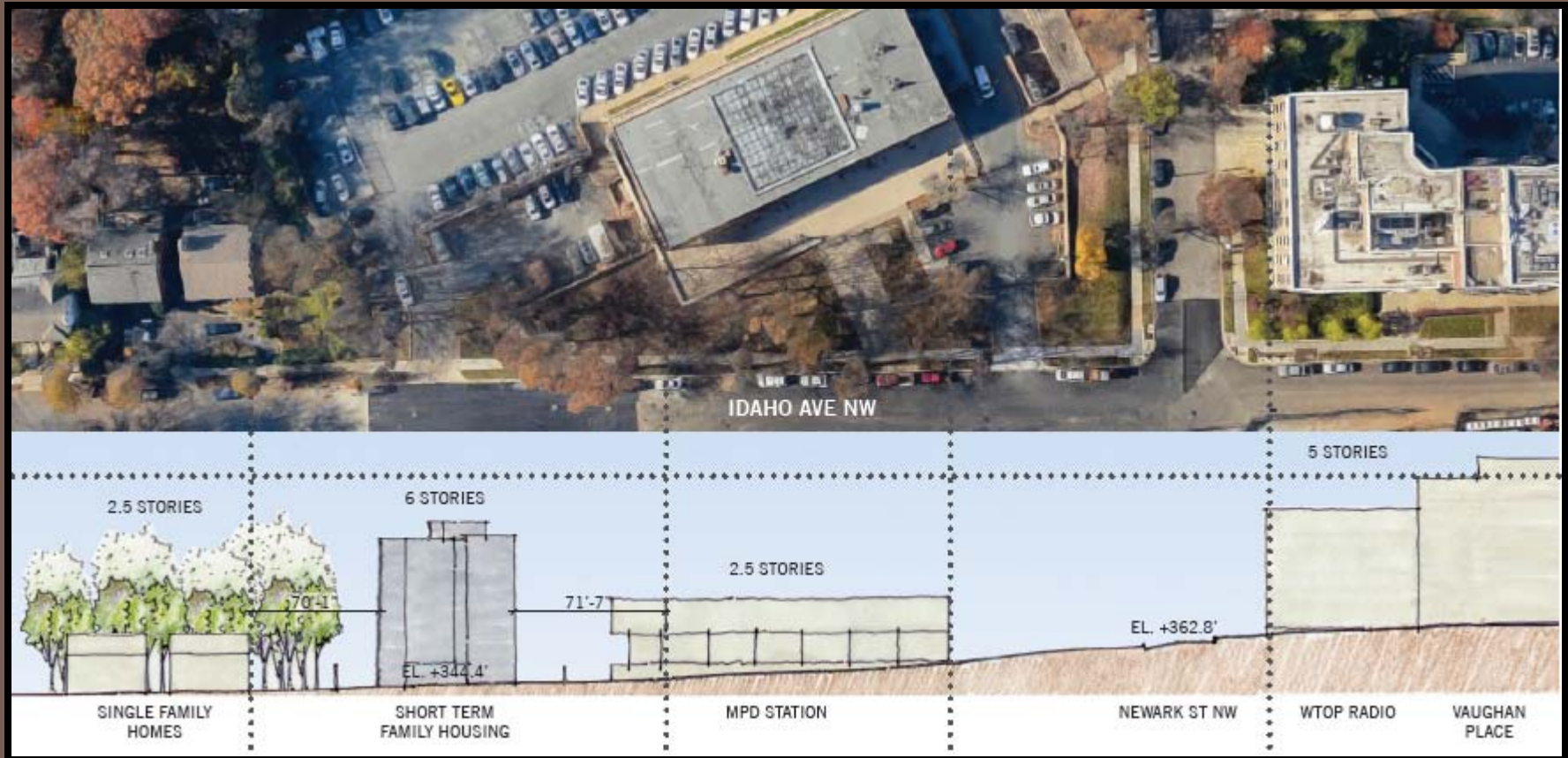
Elevations – South



Elevations – West



Elevations – North



Street Section