

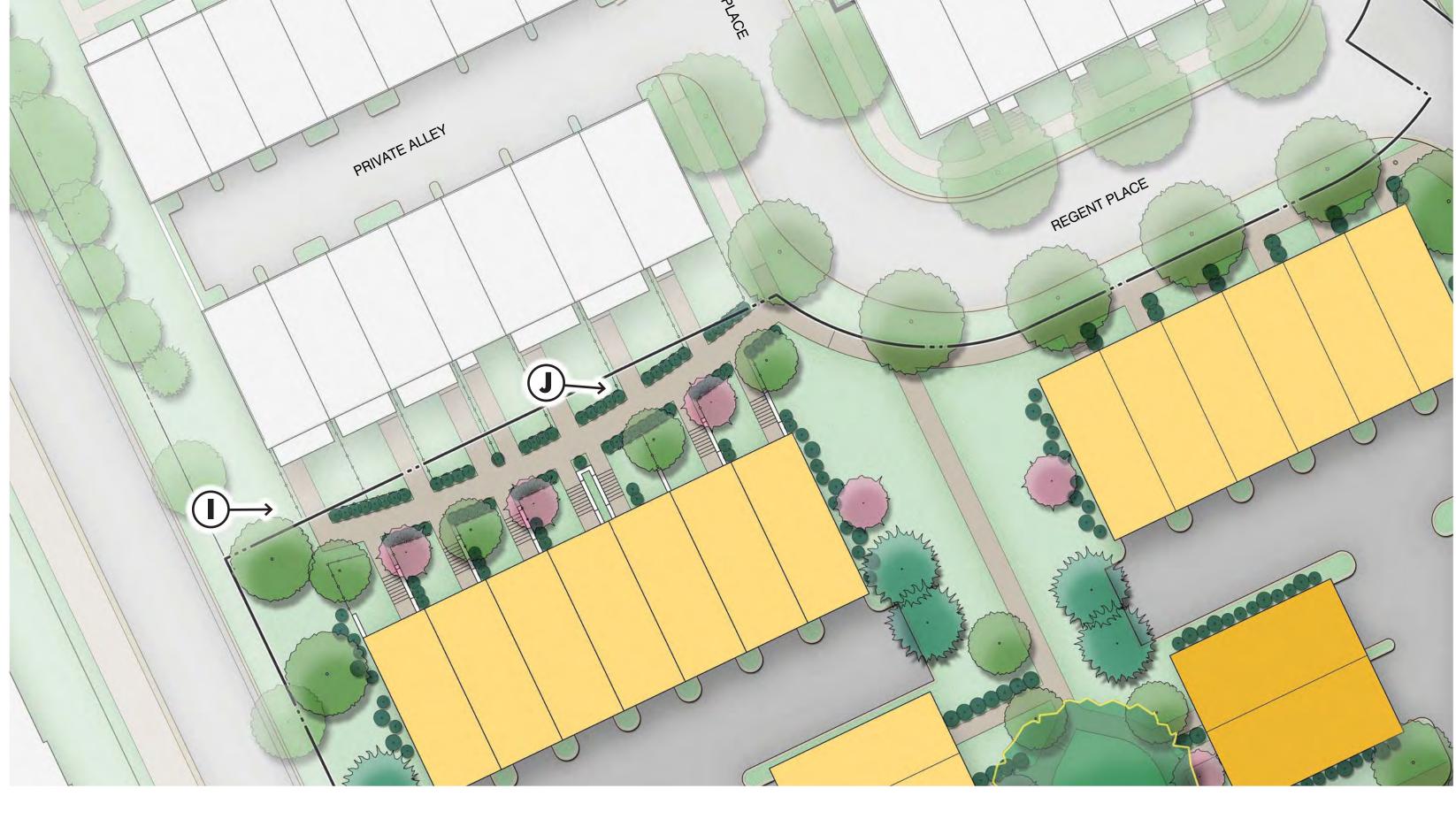




Perspective Sketch



St. Paul's Townhomes Transitional Design Perspectives

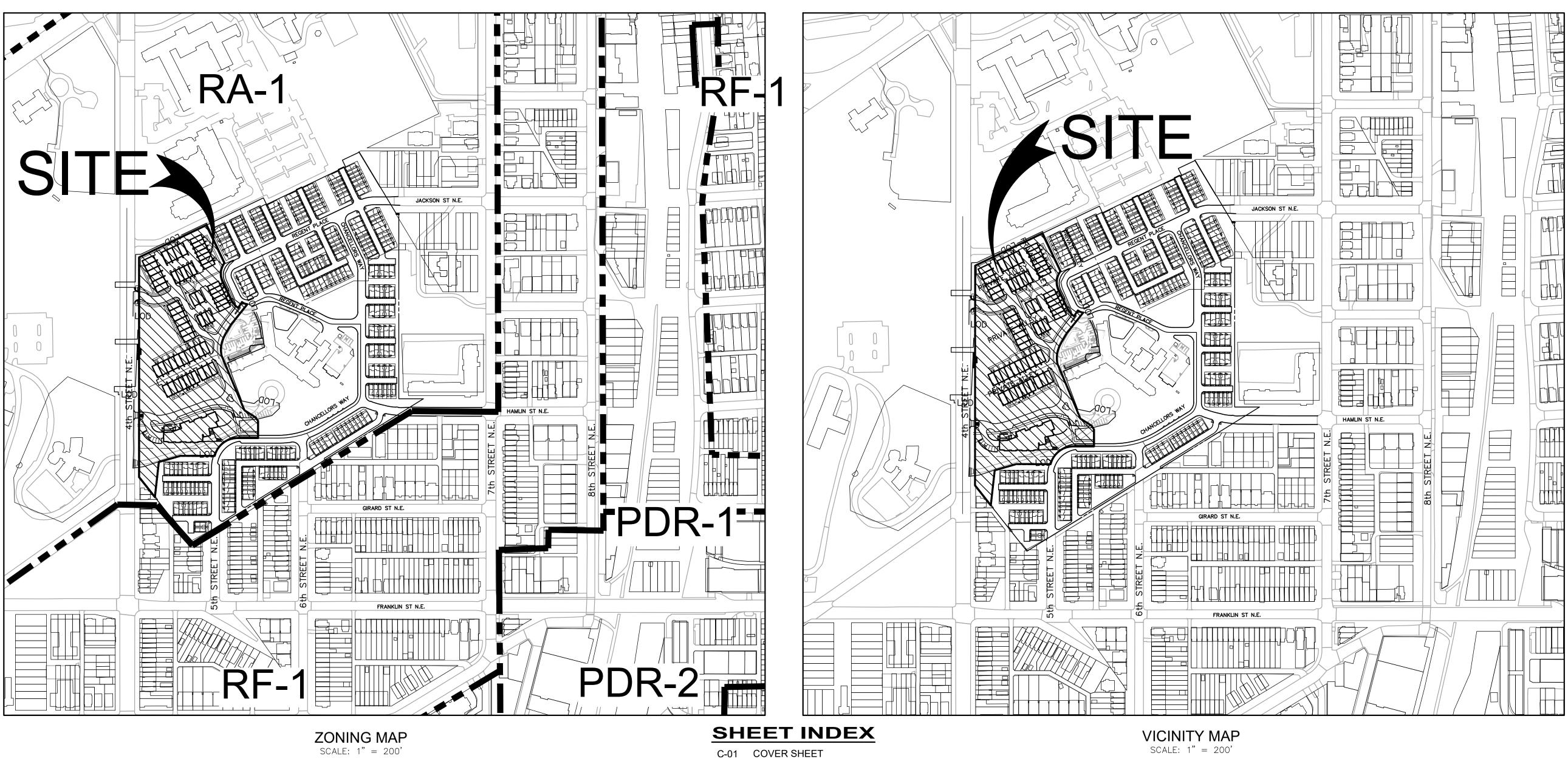


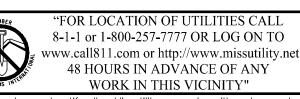
Key Plan





BZA APPLICATION SITE PLAN SAINT PAUL'S TOWNHOUSE AND PAULIST FATHERS' BUILDING PARCEL LOT 1067, SQUARE 3648 WASHINGTON, DC





The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

AYOUT: COVER SHEET -PRIVATE, Plotted By: kelso

- C-02 LEGEND AND NOTES
- C-03 EXISTING CONDITIONS PLAN INCLUDING EXISTING GRADING
- C-04 DEMOLITION PLAN
- THEORETICAL LOT AND BUILDING LAYOUT C-05
- C-05A THEORETICAL LOT AND BUILDING LAYOUT TABULATION TABLE
- C-06 SITE PLAN
- GEOMETRIC LAYOUT PLAN C-07
- TOWNHOUSE COMMUNITY LAYOUT C-08
- C-09 **GRADING PLAN**
- C-10 UTILITY PLAN
- C-11 PUBLIC SPACE PLAN AND INSETS
- C-12 ROADWAY TYPICAL SECTION AND DETAILS
- C-13 EXISTING TREE SURVEY AND EX LANDSCAPE PLAN
- TREE PRESERVATION PLAN C-14
- C-15 SHARED EASEMENT EXHIBIT FUTURE STATE
- C-16 EXHIBIT SHOWING A&T LOTS

SOURCE NOTES

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA. A "SURVEY TO MARK" PREPARED BY DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY

NOTE:

ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZING, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

OWNER THE PAULIST FATHERS MAILING ADDRESS: P.O. BOX 20606 NEW YORK, NY 10023 **OFFICE ADDRESS:** 415 WEST 59TH STREET NEW YORK, NY 10019 212-757-8072 Contact: REV. ERIC ANDREWS, CSP

DEVELOPER ELM STREET DEVELOPEMENT, INC. 175 Admiral Cochrane Drive Suite 112

Annapolis, Maryland 21401 410-266-9700 Contact: Mr. Stephen M. Horne

CIVIL ENGINEER VIKA Maryland, LLC

20251 Century Boulevard Suite 400 Germantown, Maryland 20874 301-916-4100 Contact: Mr. Jeff Amateau, P.E.

SITE SURVEYOR VIKA Maryland, LLC 20251 Century Boulevard Suite 400 Germantown, Maryland 20874 301-916-4100 Contact: Mr. Harry Jenkins, L.S.

LANDSCAPE ARCHITECT

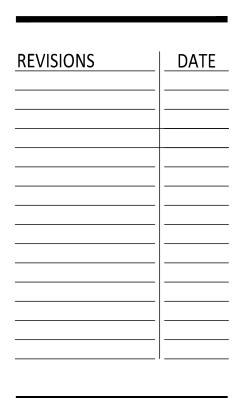
STUDIO 39 6416 Grovedale Drive Suite 100-A Alexandria, Virginia 22310 P. 703-719-6500 F. 703-719-6503 Contact: Ms. Caitlin Olson

ATTORNEY

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PREPARED FOR: ELM STREET DEVELOPMENT, INC. 175 Admiral Cochrane Dr. SUITE 112 Annapolis, MD, 21401 P. 410-266-9700 Иr. Stephen M. Horne horne@elmstreetdev.com



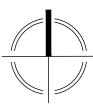
PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. JEFFREY B. AMATEAU LICENSE No. 905527 EXPIRATION DATE JULY 14, 2018



COVER SHEET

DRAWN BY:	CAD
DESIGNED BY:	LK
DATE ISSUED: I	EBRUARY 2018
VIKA PROJECT VM	1453 G
DRAWING NO.	



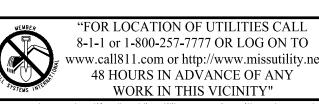
- 40. WHERE 37. NO EXISTING WATERMAIN OR FIRE HYDRANT SHALL BE TAKEN OUT OF SERVICE OR MADE INACCESSIBLE WITHOUT APPROVAL BY CHANN APPROPRIATE AGENCIES. 41. ALL RC 38. THE CONTRACTOR SHALL VERIFY THAT THE RELOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GRADE IN CONFLICT WITH THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF EXCAVATION FOR THE PROPOSED WORK HAS BEEN COMPLETED, INCLUDING BUT NOT LIMITED TO UTILITY POLES. MARKING OF UNDERGROUND UTILITIES. 42 ALL PL OTHERW CONSTRUCTION OF THESE PLANS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE DCDOT STANDARDS, ALL PERMIT CONDITIONS, AND 39. THE CONTRACTOR IS TO VERIFY THAT ALL UTILITIES ARE IN PLACE PRIOR TO THE PLACEMENT OF SUB BASE AND / OR PAVING. SPECIFICATIONS AS WELL AS ALL DDOE AND DCWATER STANDARDS FOR UTILITY CONSTRUCTION. ANY DEVIATION FROM THESE PLANS 43. PIPE S SHALL BE APPROVED BY THE OWNER AND THE APPROPRIATE INSPECTOR PRIOR TO BEGINNING THE CONSTRUCTION. 40. THE CONTRACTOR SHALL COORDINATE FINAL STORM DRAINAGE PIPING, SEWER AND WATER CONSTRUCTION DISCHARGE POINTS 6 (SIX REQUIR WITH FINAL MECHANICAL AND PLUMBING PLANS. AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR SHALL COMPUTE THE LAYOUT OF THE 44. CUT A 41. THE CONTRACTOR SHALL VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS TO THE MAINS WITH THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS AND SUBMIT A STAKEOUT SHEET TO PERFOR MECHANICAL PLANS AND WITH TEST PITS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES. THE OWNER/DEVELOPER AND VIKA. **GENER** 42. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILED LANDSCAPE PLANS FOR CONSTRUCTION OF SITE IMPROVEMENTS. 1. A TEN GENERAL UTILITY AND PAVING NOTES OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES AND DIMENSIONS IN ACCORDANCE WITH THE 2. CONT PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS. THE WORD "PROPOSED" OR "PROP" SHALL MEAN "NEW" ON THESE CONTRACT DOCUMENTS 3. ALL (THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING TOPOGRAPHIC CONDITIONS INDICATED ON THESE PLANS AND CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY LAND DISTURBANCE WORK ON THE PROJECT. ONCE LAND DISTURBANCE HAS COMMENCED. THE APPROVED SUB GRADE REFERENCED ON THE PLANS IS DEFINED AS THAT SOLID, UNDISTURBED EARTH CAPABLE OF SUPPORTING 4. CONT CONTRACTOR SHALL HAVE NO CLAIMS AS TO EXISTING TOPOGRAPHY NOT MEETING MINIMUM SURVEY STANDARDS AND SHALL ACCEPT STREET LOADING WITHOUT DAMAGING SETTLEMENT AS DETERMINED BY THE GEOTECHNICAL ENGINEER. WHERE UNSTABLE SUB GRADE IS ALL EXISTING TOPOGRAPHIC CONDITIONS AS BEING WITHIN UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR CONSTRUCTION ENCOUNTERED, IT SHALL BE MADE STABLE BY COMPACTION OR REPLACEMENT AS REQUIRED. 5. ALL E CONTRACT PURPOSES. IF THE CONTRACTOR FINDS A DISCREPANCY IN TOPOGRAPHIC INFORMATION, HE/SHE SHALL NOTIFY VIKA AND CONS THE OWNER PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITY SO THE AREA CAN BE RESURVEYED IN AN UNDISTURBED STATE. LOCATIONS OF ALL EXISTING UTILITIES INCLUDING THOSE OBTAINED FROM RECORDS AND SURFACE SURVEYS ARE APPROXIMATE ONLY. EXACT LOCATIONS OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY DRILLING. ALL THE CONTRACTOR SHALL VERIFY ALL FIELD EXISTING CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY VIKA IMMEDIATELY EXCAVATION, SHEETING AND SHORING, OR UTILITY WORK IN THE VICINITY OF SAID UTILITIES. ONCE UTILITIES HAVE BEEN LOCATED IN NO. 6 OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND APPROVED PLAN. THE FIELD THE CONTRACTOR SHALL DIG TEST PITS AT ALL PROPOSED UTILITY CROSSINGS AND CONNECTION POINTS AND SHALL SUBMIT ALL RELATED DATA TO VIKA FOR EVALUATION AND COORDINATION PRIOR TO ORDERING MATERIALS. 7. ALL E CONTRACT DOCUMENTS. HE SHOULD CONTACT VIKA PRIOR TO COMMENCING WORK. VIKA MARYLAND LLC. ACCEPTS NO LIABILITY OR THE TEST PITS REQUIRED BY THESE PLANS SHALL BE PERFORMED BY THE CONTRACTOR WELL IN ADVANCE OF CONSTRUCTION AND ASSUMPTIONS OR INTERPRETATIONS MADE BY THE CONTRACTOR OR HIS SUB-CONSULTANTS. PRIOR TO ORDERING PRECAST STRUCTURES IN THE VICINITY OF THE AFFECTED UTILITIES. ALL DATA RESULTING FROM TEST PITS SHALL 8. CONTE BE SUBMITTED TO VIKA FOR EVALUATION AND PLAN COORDINATION. THE APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED BY THE PRIOR CONTRACTOR PRIOR TO TEST PITTING. ADDITIONS OF UTILITIES FOUND BY ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. ALL . A 4 FT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL WATER LINES AND SANITARY SEWER LINES UNLESS OTHERWISE CONTRACTOR SHALL TEST PIT AND PROVIDE ALL UTILITY CONNECTION LATERALS FROM THE STREET TO THE EDGE OF RIGHT OF WAY SPECIFICALLY SPECIFIED ON THE CONTRACT DOCUMENTS. 10. GRADI IN ADVANCE OF COMPLETING FINAL INTERNAL LATERAL AND VERTICAL PIPE CONSTRUCTION WITHIN EDGE OF RIGHT OF WAY AND 6. NEW UNDERGROUND UTILITIES SUCH AS ELECTRIC, TELEPHONE, CABLE AND GAS WHICH SERVE THE PROJECT SHALL BE LOCATED WITH A VERIFY CONNECTION POINTS ARE COORDINATED BOTH VERTICALLY AND HORIZONTALLY BASED ON AS-BUILT STREET LATERAL MINIMUM 5 FOOT HORIZONTAL SEPARATION FROM WATER, SEWER, AND STORM DRAIN. CONDITIONS. ON ' 7. THE CONTRACTOR SHALL VERIFY CLEARANCES BELOW EXISTING AERIAL UTILITY LINES TO REMAIN FOR VEHICULAR ACCESS 12. ALL / SPECIFICALLY SPECIFIED IN THE CONTRACT DOCUMENTS. BE AD 8. THE CONTRACTOR IS TO VERIFY THAT THE RELOCATION OF ANY UTILITY IN CONFLICT WITH PROPOSED WORK HAS BEEN COMPLETED, INCLUDING UTILITY POLES AND GUY WIRES. <u>GENER/</u> SUCH THAT THE WORK CANNOT BE COMPLETED AS PROVIDED IN THE DESIGN, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY 9. REPAIRS TO UTILITIES OR PROPERTY DAMAGED AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR METHOD OF OPERATION MUST BE SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE ALL E MADE AT THE CONTRACTOR'S EXPENSE BEFORE PROCEEDING WITH CONSTRUCTION. OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CORRECT TEST WORK PERFORMED PRIOR TO NOTIFYING THE OWNER'S REPRESENTATIVE OF THE CONFLICT. CONFL 10. CONTRACTOR SHALL VERIFY THAT ALL UTILITIES, I.E., WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE ETC., ARE IN PLACE PRIOR TO SHALL CONSTRUCTION OF SUB BASE AND/OR PAVING. STRUC 11. IF PUBLIC WATER SERVICE IS PERMITTED FOR TEMPORARY VEHICLE WASH AREA, A BACKFLOW PREVENTER SHALL BE REQUIRED. 2. ALL S CONSTRUCTION. STAN 12. IF CONTRACTOR REQUIRES THE USE OF FIRE HYDRANTS AS A SOURCE OF WATER FOR CONSTRUCTION PURPOSES, IT SHALL BE UNDER THE AUTHORITY OF DCWATER. 3. CONTR OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. 13. ALL WATER AND SEWER TRENCH BEDDING TO BE IN ACCORDANCE WITH DCWATER STANDARDS UNLESS OTHERWISE NOTED. PRIOR 14. ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE 4. THE INCLUDING, BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION. WATERPROOFING FOR FILL AGAINST BUILDINGS, DCWATER STANDARD SPECIFICATIONS, DESIGN MANUAL, STANDARD DETAILS, AND PLUMBING AND GAS FITTING REGULATIONS. LOCATION OF UNDERDRAINS, AND LOCATION OF MECHANICAL EQUIPMENT AND CONNECTIONS AT THE FACES OF BUILDINGS. THE 15. ALL STORM DRAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DISTRICT OF COLUMBIA CONSTRUCTION SPECIFICATIONS AND THE DIREC LATEST EDITION OF THE GENERAL SPECIFICATIONS. REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING PROVIDED IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND SOILS REPORT REQUIREMENTS. ALL I 16. ALL STORM DRAIN STRUCTURES GREATER THAN 4 FEET DEEP SHALL BE INSTALLED WITH STEPS IN ACCORDANCE WITH DDOT DWG NO 309.14. 7. ALL E SHEETING AND SHORING OR OTHER APPROVED METHODS FOR TRENCH BRACING WILL BE REQUIRED ON THIS CONTRACT AS NEEDED DCDO 17. ALL PROPOSED UNDERGROUND UTILITIES WITHIN THE RIGHTS-OF WAY SHALL BE INSTALLED IN ACCORDANCE WITH DISTRICT STANDARDS TO MEET ALL SAFETY REQUIREMENTS. AND SPECIFICATIONS PRIOR TO INSTALLATION OF ANY SUB BASE MATERIAL, CURB AND GUTTER. OR SIDEWALK WITHIN SAID UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL/STRUCTURAL ENGINEER, SHEETING AND SHORING WILL BE COMPLETELY REMOVED 8 ALI RIGHTS-OF-WAY. FROM ALL TRENCHES PRIOR TO BACKFILLING OPERATIONS. <u>DIST</u> 18. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO STRUCTURES, WHEN NECESSARY TO MEET EXISTING CONDITIONS. AND SHORING. ALL EXCAVATION SUPPORT SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR CONTRACT DOCUMENTS. 19. ALL ELEVATIONS SHOWN ON THE PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED. 1. NOTIFY ENGIN 20. ALL EXISTING UTILITIES AND STRUCTURES NOT SHOWN TO BE REMOVED ARE TO REMAIN AND PRESERVED AS FUNCTIONAL AT ALL CONT OF CONSTRUCTION AND THE CONTRACTOR IS TO ALSO VERIFY THAT ALL EASEMENTS OR LETTERS OF PERMISSION ARE RECORDED PRIOR TO THE START OF ANY CONSTRUCTION. COMM 21. ALL STORM DRAIN UNDER PAVEMENT THAT IS NOTED TO BE "ABANDONED" IS TO BE FILLED FULL WITH CONCRETE 3. SEWER WITHIN SAID EASEMENT AND TO FOLLOW ANY GUIDELINES OF STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE TO NOT LESS THAN 95% OF MAXIMUM DENSITY; (ASTM D-698) OR IN ACCORDANCE WITH DCDOT SPECIFICATIONS. WHERE ANY PART 4. ALL P RELOCATED EASEMENT. OF THE STORM DRAIN SYSTEM IS LOCATED IN FILL, THE CONTRACTOR IS TO PROVIDE BACKFILL COMPACTED TO 95% OF MAXIMUM 5. ALL F DENSITY FROM APPROVED SUB GRADE TO THE STRUCTURE BOTTOM SLAB AND/OR THE PIPE BEDDING. APPLICABLE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION AND DEPARTMENT OF ENVIRONMENT STANDARDS AND USE N 23. ALL STORM SEWER STRUCTURES SHALL BE PRECAST OR PREFABRICATED SO THAT TOPS AND/OR SLABS ARE JOINTED AND MAY BE SPECIFICATIONS ADJUSTED TO FINAL GRADES. THIS 24. A WATERTIGHT CONNECTION SHALL BE MADE AT ALL PIPES ENTERING DRAINAGE STRUCTURES. TO EN CONSTRUCTION. CROS 25. LENGTHS OF STORM DRAIN PIPE SHOWN ON THE DRAWINGS ARE MEASURED FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE THE UNLESS INDICATED OTHERWISE. ORDINANCES AND STANDARDS AND THE APPROVED PLANS. 26. CUT AND PATCH WORK IN EXISTING PUBLIC STREETS WHICH MUST BE PERFORMED DUE TO THE INSTALLATION OF UTILITIES SHALL BE CHAR PERFORMED IN ACCORDANCE WITH DISTRICT STANDARDS AND SPECIFICATIONS. SAW CUT JOINTS SHALL BE REQUIRED. TO TH ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDING OR STORM INLETS. DISCR 27. ALL UTILITY PATCH IN PAVEMENT SHALL BE DONE IN ACCORDANCE WITH DOOT STANDARD DWG NO. 215.01 NATU 28. EXISTING FEATURES TO REMAIN SUCH AS EXISTING MANHOLE FRAMES AND COVERS, VALVE BOXES AND COVERS, AND FIRE HYDRANTS AND EROSION CONTROL PLANS. LOCATION MUST BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR PRIOR TO INSTALLATION. 9. THE P SHALL BE ADJUSTED OR RECONSTRUCTED, AS NECESSARY, TO MATCH FINISHED GRADES. 10. CONTI 29. RETAINING WALLS SHOWN HERON SHALL BE DESIGNED BY OTHERS. THE CONTRACTOR SHALL COORDINATE FINAL RETAINING WALL DESIGN PEDESTRIAN MEASURES REQUIRED TO MAINTAIN SIDEWALK CIRCULATION PER DISTRICT REQUIREMENTS. WITH THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION, AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL OF FINAL 11. SCHEI RETAINING WALL DESIGN TO OWNER'S REPRESENTATIVE. 12. UNDE BE ADEQUATELY SEEDED AND STABILIZED TO CONTROL EROSION AND SEDIMENTATION IN ACCORDANCE WITH MDE STANDARDS. 30. A BUILDING PERMIT IS REQUIRED PRIOR TO THE INSTALLATION OF ANY TYPE OF FENCE OR WALL OVER 30 INCH IN HEIGHT. ALL WALLS REST SHALL HAVE HANDRAILS UNLESS OTHERWISE NOTED ON THE SITE PLAN. SERVI INSPE ENTRANCES, CURB AND GUTTER OR SIDEWALK ALONG THE FRONTAGE OF THIS SITE WHICH IS DAMAGED DURING CONSTRUCTION. DEVE 31. A MINIMUM OF 2 FOOT HORIZONTAL CLEARANCE IS REQUIRED BETWEEN THE WALKWAY EDGE AND ANY VERTICAL OBSTRUCTIONS SUCH AS TREES, UTILITY POLES, SIGNS, ETC., UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS AT EACH LOCATION. 13. NOTIFY SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION. 32. ALL DRIVEWAYS AND ACCESS TO ADJACENT PROPERTIES AND PROPERTIES LOCATED ACROSS ALL PUBLIC ROADWAYS SHALL BE MAINTAINED AT ALL TIMES. 33. THE CONTRACTOR SHALL GRIND OR MILL EXISTING PAVEMENT ON ADJACENT ROADWAYS AS REQUIRED AND SHALL OVERLAY EXISTING 14. ALL V THAN 30" OR WHERE SLOPES EXCEED 2(H):1(V) AND THE TOP OF THE SLOPE IS HORIZONTALLY LESS THAN FOUR (4) FEET PAVEMENT AND PROVIDE HEELS AND SMOOTH FINISH SURFACE BETWEEN LIMIT OF OVERLAY AND EXISTING PAVEMENT SURFACE ALL ' AWAY FROM THE EDGE OF THE SIDEWALK. THE HANDRAIL SHALL MEET DISTRICT STANDARDS AND SPECIFICATIONS UNLESS OVERLAY. LIMITS OF PAVEMENT WORK SHALL BE DETERMINED BY THE INSPECTOR AT TIME OF CONSTRUCTION. THE MINIMUM OVERLAY OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS. 15. DEVEL TO BE PROVIDED BY THE CONTRACTOR SHALL BE TO THE CENTERLINE OF ROADS UNLESS OTHERWISE INDICATED ON THE PLANS, FOR DETAILS OR CONTRACT DOCUMENTS. SHOW SPECIFICATIONS. 34. STANDARD GUARDRAIL SHALL BE REQUIRED BASED ON FINAL INSPECTION OF DISTRICT INSPECTOR AND PHYSICAL CONDITIONS AND 16. ONCE OBSTRUCTIONS IN FIELD AND/OR AS SPECIFIED ON THE CONTRACT DOCUMENTS. REQUIREMENTS. 35. A 4 IN (MIN.) LAYER OF GRADED AGGREGATE STONE IS REQUIRED BENEATH CURB AND GUTTER AND SIDEWALKS UNLESS OTHERWISE 17. IT IS SPECIFIED ON THE CONTRACT DOCUMENTS. 18. PERMA 36. DISTURBED AREAS ADJACENT TO ESTABLISHED LAWNS SHALL BE SODDED. OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED. 19. ALL W INFORMATION (RFI) PROCESS. THE DEVELOPER AND APPLICABLE INSPECTOR MUST BE NOTIFIED 37. WHERE A PROPOSED PIPE CROSSES OR PARALLELS AN EXISTING STREET, THE ASPHALT SHALL BE NEATLY SAW CUT TO FULL DEPTH. OF ANY PLANNED DURATIONS, CONCURRENT TO VIKA'S RFI PROCESS. AFTER INSTALLATION OF THE PIPE, THE ROADWAY SHALL BE PATCHED IN ACCORDANCE WITH THE DISTRICT REQUIREMENTS. 20. ALL F 38. THE FIRST LAYER OF THE BITUMINOUS CONCRETE SURFACE COURSE MUST BE PLACED AS SOON AS FIELD CONDITIONS ALLOW AFTER THE BITUMINOUS CONCRETE BASE COURSE HAS BEEN PLACED. NO TRAFFIC IS ALLOWED ON THE BASE COURSE UNTIL THE FIRST 21. DCWAT
- . IF VIKA HAS NOT BEEN ENGAGED TO PROVIDE STAKEOUT SERVICES, THE CONTRACTOR SHALL ESTABLISH AND CHECK ALL HORIZONTAL
- C. UNLESS SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS, NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR SHEETING E. CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FINAL DESIGN AND CONSTRUCTION PERMIT.

- GENERAL CONSTRUCTION AND COORDINATION NOTES 4. CONSTRUCTION STAKEOUT SHALL BE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR. 5. THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE 8. IF THE CONTRACTOR HAS ANY QUESTIONS AS TO THE NATURE, METHOD, OR DETAIL OF THE PERFORMANCE OF HIS WORK OR THE 9. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY VIKA MARYLAND LLC. IMMEDIATELY OF ANY OMISSIONS AND/OR 11. CONSTRUCTION OF GRAVITY WET UTILITIES SHALL BE PROVIDED FROM LOWEST CONNECTION POINT UPSTREAM UNLESS OTHERWISE 12. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK. OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN 13. THE CONTRACTOR SHALL PROVIDE THE DEVELOPER PHOTOGRAPHIC RECORDS OF THE SITE PRIOR TO LAND DISTURBANCE ACTIVITIES 14. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE FAA FOR ALL TEMPORARY STRUCTURES SUCH AS CRANES REQUIRED FOR 15. THE CONTRACTOR SHALL PROVIDE AND COORDINATE THE INSTALLATION OF ALL DRY UTILITIES CONDUITS AND DUCT BANKS UNLESS 16. THE CONTRACTOR SHALL REVIEW STRUCTURAL, GEOTECHNICAL, MECHANICAL AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT 17. ALL FARTHWORK OPERATIONS AND EXCAVATION DEWATERING SHALL BE PERFORMED UNDER THE FULL TIME SUPERVISION OF A 18. THE FOLLOWING PROVISIONS SHALL APPLY TO THE USE OF SHEETING AND SHORING: 19. THE CONTRACTOR IS TO VERIFY THAT ALL REQUIRED EASEMENTS (ONSITE AND OFFSITE) HAVE BEEN OBTAINED PRIOR TO THE START 20. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE HOLDER OF THE EASEMENT AS TO THE NATURE OF ANY WORK THAT IS PERFORMED 22. FOR UTILITIES INSTALLED UNDER ROADWAYS AND/OR EASEMENTS PLANNED FOR FUTURE ROADWAYS, BACKFILL SHALL BE COMPACTED 21. CONSTRUCTION OF THESE PLANS SHALL BE IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND SPECIFICATIONS AS WELL AS ALL 22. THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL PERMITS REQUIRED FOR THESE PLANS ARE OBTAINED PRIOR TO THE START OF 23. MEASURES TO CONTROL EROSION AND SEDIMENT SHALL BE PROVIDED PURSUANT TO AND IN ACCORDANCE WITH CURRENT DISTRICT 24. ALL FINISHED GRADING, SEEDING AND SODDING SHALL BE PROVIDED IN SUCH A MANNER TO PRECLUDE THE PONDING OF THE WATER 25. CONTRACTOR SHALL ESTABLISH LOCATION OF TEMPORARY CONSTRUCTION ENTRANCE IN THE FIELD AS SHOWN ON APPROVED SEDIMENT 26. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY TRAFFIC CONTROL MEASURES AND PERSONNEL INCLUDING TEMPORARY 27. ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL 28. THE CONTRACTOR SHALL REMOVE AND REPLACE TO THE CURRENT DISTRICT STANDARDS AND SPECIFICATIONS ANY EXISTING 29. EXISTING IMPROVEMENTS TO BE REMOVED SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS 30. THE CONTRACTOR SHALL PROVIDE A PEDESTRIAN GUARDRAIL/HANDRAIL (42" IN HEIGHT) WHERE ANY VERTICAL DROP IS MORE 31. ALL STEPS WITH 3 OR MORE RISERS SHALL BE PROVIDED WITH A HANDRAIL PER DISTRICT OF COLUMBIA STANDARDS AND 32. ALL CONSTRUCTION SHALL COMPLY WITH OSHA SAFETY STANDARD FOR EXCAVATION AND ALL OTHER APPLICATION OSHA 33. CONTRACTOR SHALL PROVIDE ALL MAINTENANCE OF TRAFFIC MEASURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS 34. ANY DEVIATION FROM THESE PLANS SHALL BE COMMUNICATED TO VIKA VIA A REQUEST FOR 35. ANY BLASTING NECESSARY TO INSTALL UTILITIES OR PROVIDE EXCAVATION SHALL REQUIRE A PERMIT AND SHALL BE PERMITTED

- AND PERFORMED IN ACCORDANCE WITH COUNTY STANDARDS AND THE PROJECT SPECIFICATIONS.
- 36. NO PLANTINGS OR ERECTION OR OTHER OBSTRUCTIONS SHALL BE MADE WITHIN 5 FT OF ANY FIRE HYDRANT OR WITHIN 10 FT OF ANY FIRE DEPARTMENT CONNECTION.

EXISTING PROPOSED (NEW) PROP 15" RCP <u>EX 15" RCP</u> STORM SEWER 🗕 10"S SANITARY SEWER 8"W WATER MAIN UNDERGROUND TELEPHONE LINE —T—— UNDERGROUND ELECTRICAL LINE - ---F-----_____E____ UNDERGROUND TV CABLE OVERHEAD TELEPHONE OVERHEAD WIRES _____ OHW___ OVERHEAD ELECTRIC ------ OHE----GAS LINE _____ G ____ G ____ G ____ INTERMEDIATE CONTOUR ----- 32 ----______20_____ -——— 30 ———-PROP EP EDGE OF PAVEMENT CURB AND GUTTER _____ PROPERTY LINE FASEMENT LINE CENTERLINE WATER SURFACE _____••• ____••• CONDUIT DOOR ENTRANCE/EXIT uuuuu TREE DRIP LINE 乀 丿 丿 丿 丿 丿 丿 Q OAK TREE € 315" OAK FLOW LINE RETAINING WALL ON-SITE SHEET DELINEATION OFF-SITE SHEET DELINEATION BM #1 TRV #1 ELEV=101.62 BENCHMARK STORM DRAIN MANHOLE STORM DRAIN STRUCTURE GRATE INLET STORM DRAIN STRUCTURE LBL SANITARY MANHOLE SANITARY STRUCTURE LBL 10SANITARY CLEANOUT WATER MANHOLE FIRE HYDRANT -0 FIRE DEPARTMENT CONNECTION Y FDC VALVE WATER SERVICE METER REDUCER TEE CROSS BENDS TEL MANHOLE **I**⊕ T + \square ELEC TRANSFORMER ELEC MANHOLE E E CABLE PEDESTAL TEL PEDESTAL STREET LIGHT UTILITY POLE 🗰 OR OVERHEAD WIRE ____**N**____ GAS MANHOLE © 0R [GAS VALVE SPOT ELEVATION 00.00 OR 00.0 + 00.0SOIL BORING test pit AIR/DRAIN BLOW-OFF (WASA STD.W-50.10)

LEGEND



The excavator must notify all public utility companies with undergrour facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

LAYOUT: LEGEND & NOTES, Plotted By: kelso

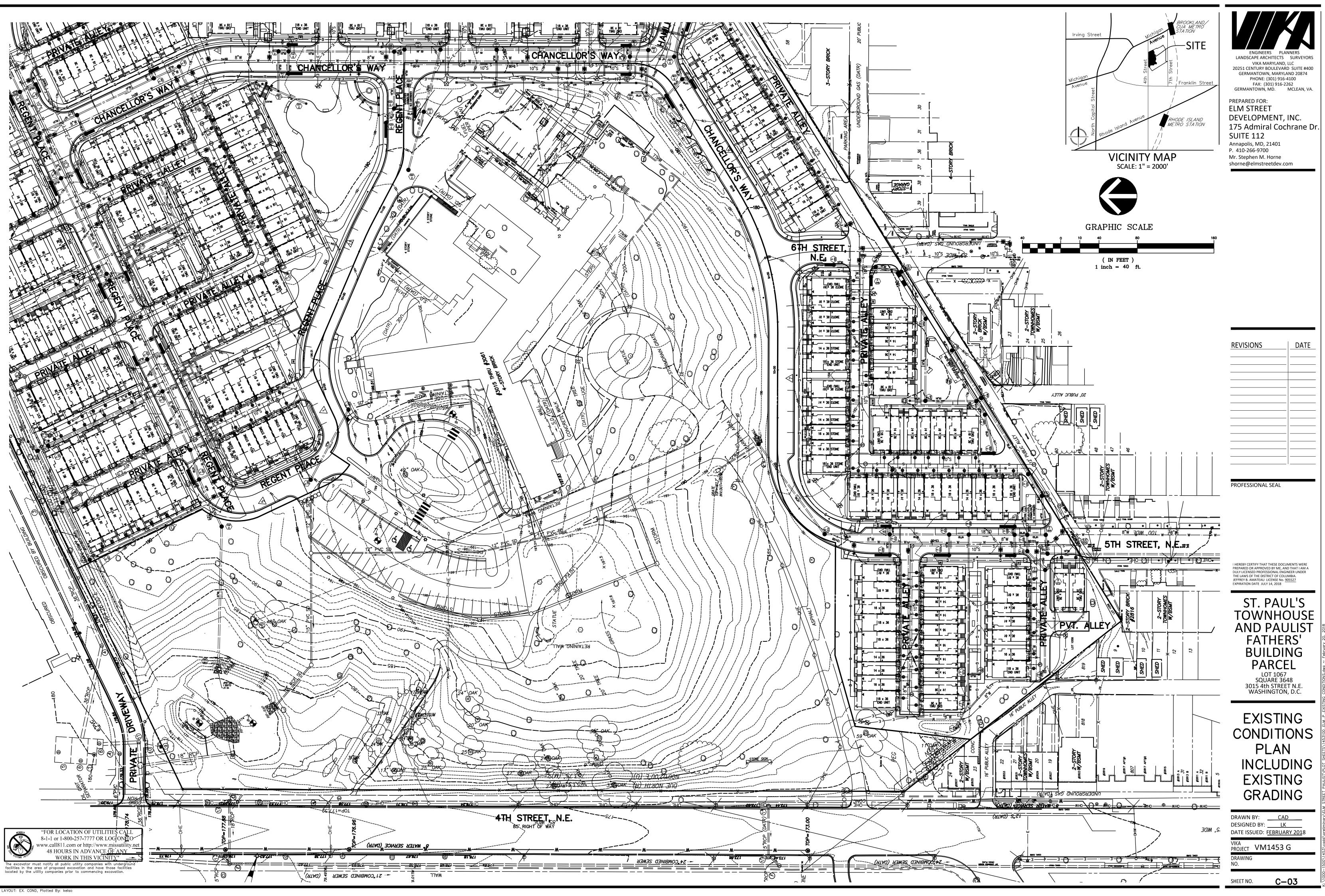
39. TYPES OF STRUCTURES REFER TO THE STANDARD DETAILS OF THE DISTRICT OF COLUMBIA UNLESS OTHERWISE NOTED.

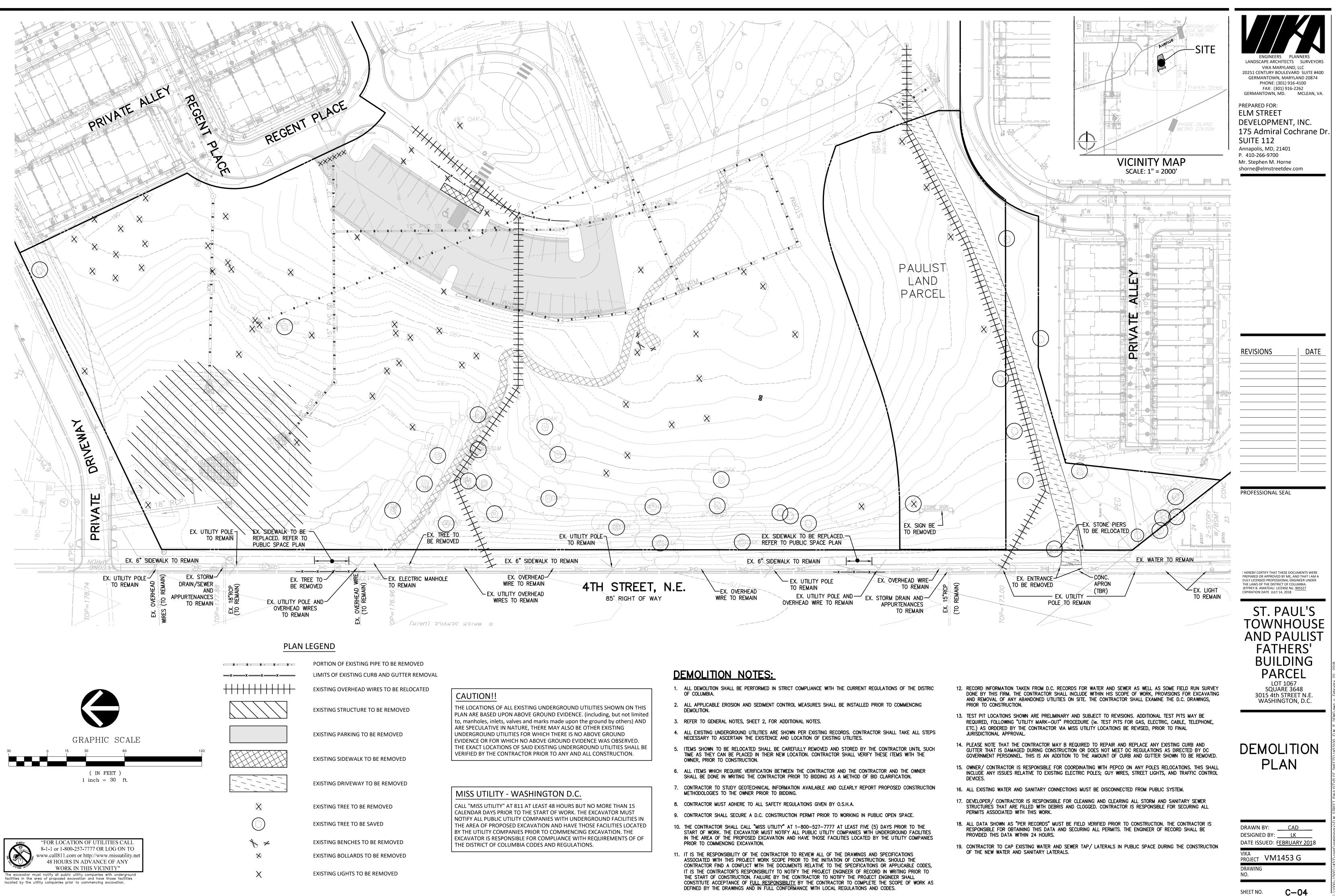
SURFACE COURSE HAS BEEN PLACED.

22. THE

WHERE THE DROP ON THE MAIN LINE THROUGH A STRUCTURE CAN BE ACCOMMODATED BY A SLOPE OF 1-1/2:1 OR FLATTER, A ROUNDED CHANNEL LINED WITH SEWER BRICK ON EDGE SHALL BE BUILT TO THE CROWN OF THE PIPES.		
ALL RCP STORM DRAIN PIPES SHALL BE INSTALLED ON APPROVED SUBGRADE AND BACKFILLED WITH APPROVED MATERIAL. ALL PIPES SHOWN AS RCP SHALL BE REINFORCED CONCRETE PIPE CLASS IV CONFORMING TO ASTM C-76 AND C-443, UNLESS INDICATED DTHERWISE ON THE CONTRACT DOCUMENTS.		X
PIPE SHALL NOT BE CONSTRUCTED INTO THE CORNER OF A SQUARE OR RECTANGULAR STORM DRAIN STRUCTURE. A MINIMUM CLEARANCE OF (SIX) INCHES MUST BE PROVIDED BETWEEN ANY INSIDE CORNER OF THE STRUCTURE AND THE OUTSIDE DIAMETER OF THE PIPE. THIS REQUIREMENT APPLIES TO ALL STORM DRAIN STRUCTURES WHETHER PRECAST OR CAST IN PLACE.	ENGINEERS PLA LANDSCAPE ARCHITECTS VIKA MARYLAND, 20251 CENTURY BOULEVAR GERMANTOWN, MARYL	SURVEYORS , LLC RD SUITE #400
CUT AND PATCH WORK IN EXISTING PUBLIC STREETS WHICH MUST BE PERFORMED DUE TO INSTALLATION OF UTILITIES SHALL BE	PHONE: (301) 916- FAX: (301) 916-2	-4100
NERAL PAVING AND GRADING NOTES	PREPARED FOR: ELM STREET	
A TEN FOOT TRANSITION FROM STD. CURB AND GUTTER TO THE MODIFIED SPILL GUTTER WILL BE REQUIRED. CONTRACTOR SHALL ROUND ALL VERTICAL BREAKS OF THE CURB AND GUTTER WITH SMOOTH SPLINE CURBS. ALL CURB AND GUTTER TO BE CONCRETE PER STD. DWG NO. 609.01 UNLESS OTHERWISE NOTED ON PLAN.	DEVELOPMENT, INC. 175 Admiral Cochrane Dr. SUITE 112 Annapolis, MD, 21401 P. 410-266-9700 Mr. Stephen M. Horne	
ALL EXISTING CURB AND GUTTER AND SIDEWALK TO REMAIN ALONG THE FRONTAGE OF THIS SITE DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED TO THE STANDARDS AND SPECIFICATIONS OF THE DISTRICT.	shorne@elmstreetdev.co	om
ALL INTERNAL SIDEWALKS TO BE A MINIMUM OF 58ALL SIDEWALK RAMPS TO BE BUILT IN ACCORDANCE WITH DCDOT STD DWG NO. 609.05 AND 609.07 WITH DETECTABLE WARNING SURFACES (DWG NO. 609.07) AS NOTED ON DESIGN PLANS. ALL ELEVATIONS SHOWN ON THE PLANS ARE TOP OF CURB UNLESS OTHERWISE NOTED.		
CONTRACTOR IS TO VERIFY THAT ALL UTILITIES, I.E., WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC., ARE IN PLACE		
PRIOR TO CONSTRUCTION OF SUBBASE AND/OR PAVING. ALL EXISTING UTILITIES ARE TO BE ADJUSTED TO GRADE AS NECESSARY BY THE CONTRACTOR.		
GRADING SHALL BE DONE IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.		
ALL FINISHED GRADING, SEEDING AND SODDING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF THE WATER ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDINGS OR STORM INLETS.		
ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL BE ADEQUATELY SEEDED AND STABILIZED TO CONTROL EROSION AND SEDIMENTATION.		
NERAL STORM DRAIN NOTES		
ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO DIG TEST PITS IN ADVANCE OF TRENCHING IN ORDER TO DETERMINE THE EXACT LOCATION AND ELEVATION AT CROSSINGS. IF A CONFLICT IS DISCOVERED, NOTIFY VIKA, INC. AT (301) 916–4100. PRIOR TO BEGINNING INSTALLATION OF UTILITIES, CONTRACTOR SHALL VERIFY INVERTS AT ALL CONNECTIONS WITH EXISTING UTILITIES PRIOR TO PURCHASING OR ORDERING ANY PRECAST STRUCTURES.	REVISIONS	DATE
ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF GENERAL SPECIFICATIONS AND STANDARDS OF DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION.		-
CONTRACTOR SHALL SUBMIT DRAWINGS FOR ALL PRECAST STORM DRAIN STRUCTURES TO THE DEVELOPER/ENGINEER FOR APPROVAL PRIOR TO FABRICATION.		
THE STRUCTURE TOPS ARE TO BE SET AFTER FINE GRADING IS FINISHED TO AVOID UNNECESSARY ADJUSTING.		-
THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO STRUCTURES, WHEN NECESSARY, TO MEET EXISTING CONDITIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.		-
ALL UTILITIES REQUIRED TO BE ABANDONED SHALL BE DONE IN ACCORDANCE WITH DOOT AND DCWATER STANDARDS.		-
ALL BLASTING REQUIREMENTS TO INSTALL UTILITIES SHALL REQUIRE A PERMIT AND SHALL BE PERFORMED IN ACCORDANCE WITH THE DCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.		
ALL STORM DRAIN ARE PUBLIC, UNLESS OTHERWISE NOTED.		
NOTIFY DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION: MR. TED DYSON, ACTING CHIEF	PROFESSIONAL SEAL	
ENGINEERING INSPECTOR BRANCH 202-787-4299. CONTACT MISS UTILITY (1-800-257-7777) 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE EXCAVATOR MUST NOTIFY ALL PUE COMPANIES	PROFESSIONAL SEAL	
WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.		
SEWER AND WATER B.M. TO BE USED FOR CONSTRUCTION. ALL PROPOSED WATER AND SEWER WORK TO BE PERFORMED UNDER THE INSPECTION OF THE DC WATER.		
ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE DC WATER. USE MANHOLE ENTRY SEALS WHERE REQUIRED.		
THIS PLAN DOES NOT IMPLY THAT ALL UNDERGROUND UTILITIES AND THOSE SHOWN ARE NECESSARILY APPROXIMATE. THE CONTRACTOR SHALL TAKE ALL AND WHATEVER STEPS NECESSARY TO ACCURATELY LOCATE AND PROTECT ALL EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO ENSURE THAT THE PLANS CAN BE EXECUTED. IN THE EVENT OF CONFLICT, THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.	I HEREBY CERTIFY THAT THESE DOCU PREPARED OR APPROVED BY ME, AN DULY LICENSED PROFESSIONAL ENG THE LAWS OF THE DISTRICT OF COLU JEFFREY B. AMATEAU LICENSE No. <u>5</u> EXPIRATION DATE JULY 14, 2018	ND THAT I AM A SINEER UNDER UMBIA.
THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTEND OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITIONS OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUALITY, AND QUANTITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED. ANY INACCURACIES OF DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.	° ST. PAU TOWNHO AND PAU	DUSE JLIST
THE PROPOSED STORMWATER MANAGEMENT SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED INCLUDING ALL PIPING ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE UTILITY POLE AND UNDERGROUND CONDUIT RELOCATIONS WITH PEPCO, WASHINGTON GAS, VERIZON AND COMCAST. SCHEDULE AND HOLD PR-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR, CALL 202–535–2240 FOR APPOINTMENT.	FATHE	NG
UNDER DCWATER CUSTOMER FEES AND CHARGES, CONTRACTOR, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACKFILLING, REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALK CUTS, FOR NEW UTILITIES, CONNECTIONS AND TAPS. REMOVALS, ABANDONMENTS, OF SERVICES MUST BE PERFORMED BY THE CONTRACTOR, AT THE WATER AND SEWER LINE WITHIN THE PUBLIC SPACE AND REPAIRED UNDER DCWATER INSPECTION. DCWATER IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THE CONTRACTOR OR DEVELOPER.		
NOTIFY DCWATER ONE WEEK PRIOR TO START OF CONSTRUCTION: UTILITY INSPECTION STATION 202–787–4299 WATER SERVICES 202–612–3400 OR 3460 SEWER SERVICES 202–264–3824 OR 3829		
ALL WATER MAINS TO BE DUCTILE IRON PIPE, MEETING AWWA C11 REQUIREMENTS. PROVIDE DUCTILE IRON RETAINER GLANDS FOR JOINT RESTRAINT ON ALL WATER MAIN, PIPE AND FITTINGS, INCLUDING VALVES AND FIRE HYDRANTS. RETAINER SHALL NOT BE USED ON EXISTING CAST IRON PIPE.		
DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWATER INSPECTOR(S FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDONED IN PUBLIC SPACE. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATIONS AND RELOCATIONS OF ANY DCWATER UTILITIES AND PERTINENT INFORMATION.	NOTES	
ONCE DCWATER INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVENUE, S.W., 5TH FLOOR, WASHINGTON, DC.		
IT IS CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECHTURAL/MEP PLAN AND COORDINATE SAME WITH THIS SITE PLAN PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.		
PERMANENT WATER CONNECTIONS MUST BE INSTALLED FOR ALL CONSTRUCTION PURPOSES. ALL WATER DISTRIBUTION AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST DCWATER SPECIFICATIONS AND	DRAWN BY: CAI	D
DETAILS. ALL PUBLIC UTILITIES AND ROAD CONSTRUCTION SHALL CONFORM TO THE LATEST DDOT SPECIFICATIONS AND DETAILS.	DESIGNED BY: <u>LK</u> DATE ISSUED: <u>FEBRUA</u>	
DCWATER AND PLUMBING INSPECTORS MAY REQUIRE WATERLINE CONNECTIONS TO BE "CUT-IN" AT CERTAIN LOCATIONS DUE TO SIZE AND AGE OF EXISTING MAINS. CONTRACTOR SHOULD BE AWARE OF THIS AND CONDUCT TEST PITS AND INSPECTIONS OF EXISTING POINTS, WELL BEFORE INSTALLATION.	VIKA PROJECT VM1453 DRAWING	
THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (i.e: TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS LOCATIONS MAY BE REVISED PRIOR TO FINAL JURISDICTIONAL APPROVAL.	NO.	

SHEET NO. C-02





LAYOUT: DEMO PLAN, Plotted By: kelso

