

# The Field School

**Prehearing Submission  
BZA Case No. 18431-A**

February 3rd, 2025

# Index

<b>Section 1</b>	Existing Conditions, Site Plan, and Zoning	<b>3</b>
<b>Section 2</b>	Proposed Site and Planting Plans	<b>29</b>
<b>Section 3</b>	Building Addition Design	<b>33</b>
<b>Section 4</b>	Retaining Walls	<b>46</b>
<b>Section 5</b>	Field Lighting	<b>54</b>
<b>Section 6</b>	Stormwater Management	<b>57</b>

# Section 1

# Existing Conditions, Site Plan, and Zoning

## Contents

Existing Site Photos

Existing Architectural Site Plan

Proposed Architectural Site Plan

Zoning Summary

Building Height Measuring Point

Setbacks and Buffers

Lot Coverage

Parking Plan - Existing

Parking Plan - Proposed



1





2





3



4





5





6







7





8





9



10. EXISTING COMMUNITY PATHWAY



11. EXISTING COMMUNITY PATHWAY



12. EXISTING COMMUNITY PATHWAY - STAIRS TO FIELD





13

14





15





16





17





18





19. ADJACENT PROPERTIES



20. ADJACENT PROPERTIES



21. ADJACENT PROPERTIES





22







23





24





## Legend

- 1 Aude Building
- 2 Meeting House
- 3 Cafritz House
- 4 Bridge
- 5 Sapere
- 6 Wonder Building
- Existing Structure
- Property Line
- Existing Trees







Field School Zoning Summary

Square:	1341
Lots:	856, 861, 878, and 879
Ward	3
BZA Cases	16559 18431

	Existing		New Addition	
	Allowed	Provided	Allowed	Provided
Use	Private School		Private School	
Zoning	R-1-A	R-1-A	R-1-A <sup>1</sup>	R-1-A <sup>1</sup>
Site Area	459,962		459,962	

<sup>1</sup> Permitted by special exception pursuant to 11-X DCMR § 104, 11-U DCMR § 203.1(m)

	Existing	New Addition	Allowable	Total	Total Increase
Building Footprint	33,987.00	9,635.00		43,622.00	
Lot Occupancy	7.39%	2.09%	40%	9.48%	
Gross Square Footage	87,340.00	15,716.00		103,056.00	17.99%

	Existing	Proposed	Minimum Required
Pervious Surface SF	301,748	287,686	
Pervious Surface %	65.60%	62.55%	50%

	Existing		New Addition	
	Allowed	Provided	Allowed	Provided
Setbacks	Allowed	Provided	Allowed	Provided
Front	Equal to existing setbacks on same block			
Rear	25'-0"		25'-0"	
Side	8'-0"		8'-0"	
Building Height	40'-0"	34'-0"	40'-0"	(-)4'-3" <sup>2</sup>
Number of Stories	3 stories	3 stories	3 stories	0 stories

<sup>2</sup> The height of the new building is below the BHMP

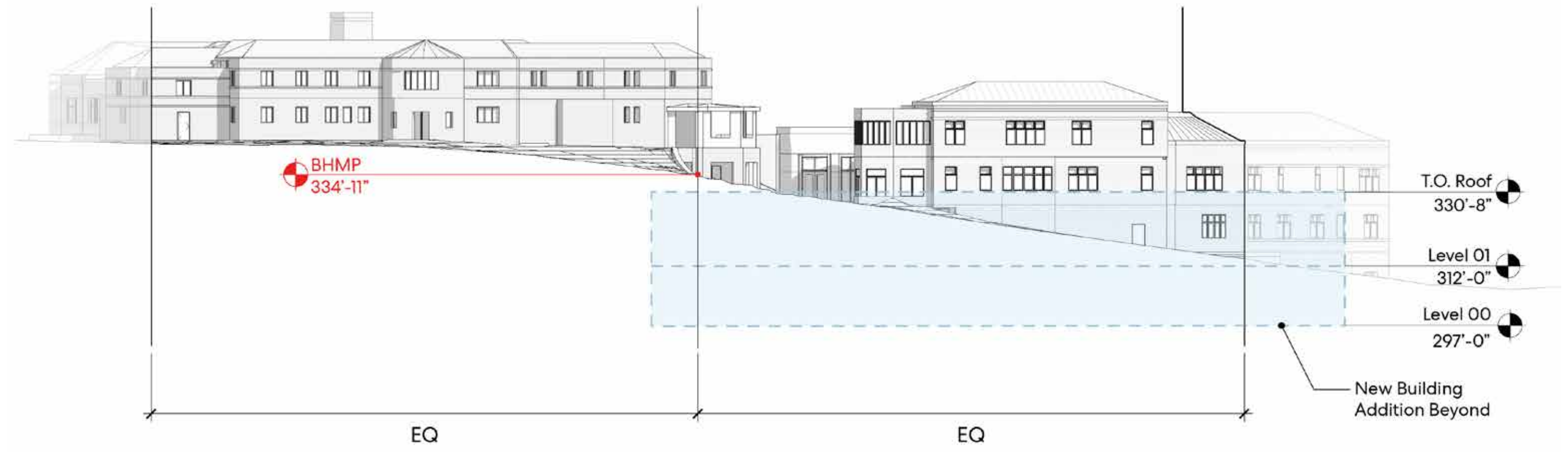
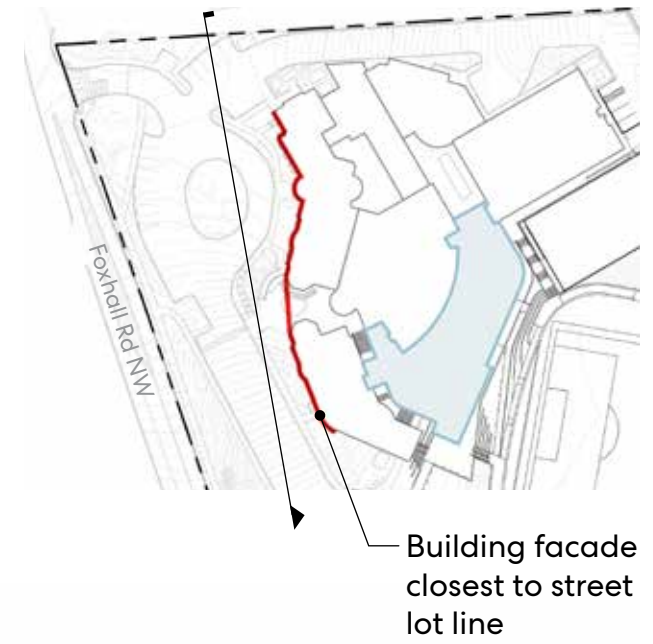
Parking	2 spaces for each 3 teachers and other employees, plus either 1 for each 20 classroom seats or 1 for each 10 seats in the largest auditorium, gymnasium or area usable for public assembly, whichever is greater.			
	128 maximum parking spaces per BZA Order 18431			
	Proposed student and faculty count: <b>120 faculty, 425 students, 441 Meeting House capacity (80+44=124 total minimum parking spaces)</b>			
	Min. Required (Previous BZA Approval)		Proposed	
	Vehicle Parking	ADA Parking	Vehicle Parking	ADA Parking
	123 (73 fac. + 50 gathering)	5 spaces (4 standard + 1 van min)	124 spaces	5 spaces (4 standard + 1 van)

Bicycle Parking	(802.5) An addition to an existing building, or the expansion of a use within a building, triggers additional bicycle parking requirements only when the gross floor area of the building or use is expanded or enlarged by <b>twenty-five percent (25%)</b> or more beyond the gross floor area.						
	<table><tr><th>Required - Previous BZA Approval</th><th>Proposed</th></tr><tr><th>Short-Term Spaces</th><th>Short-Term Spaces</th></tr><tr><td>24</td><td>24</td></tr></table>	Required - Previous BZA Approval	Proposed	Short-Term Spaces	Short-Term Spaces	24	24
Required - Previous BZA Approval	Proposed						
Short-Term Spaces	Short-Term Spaces						
24	24						

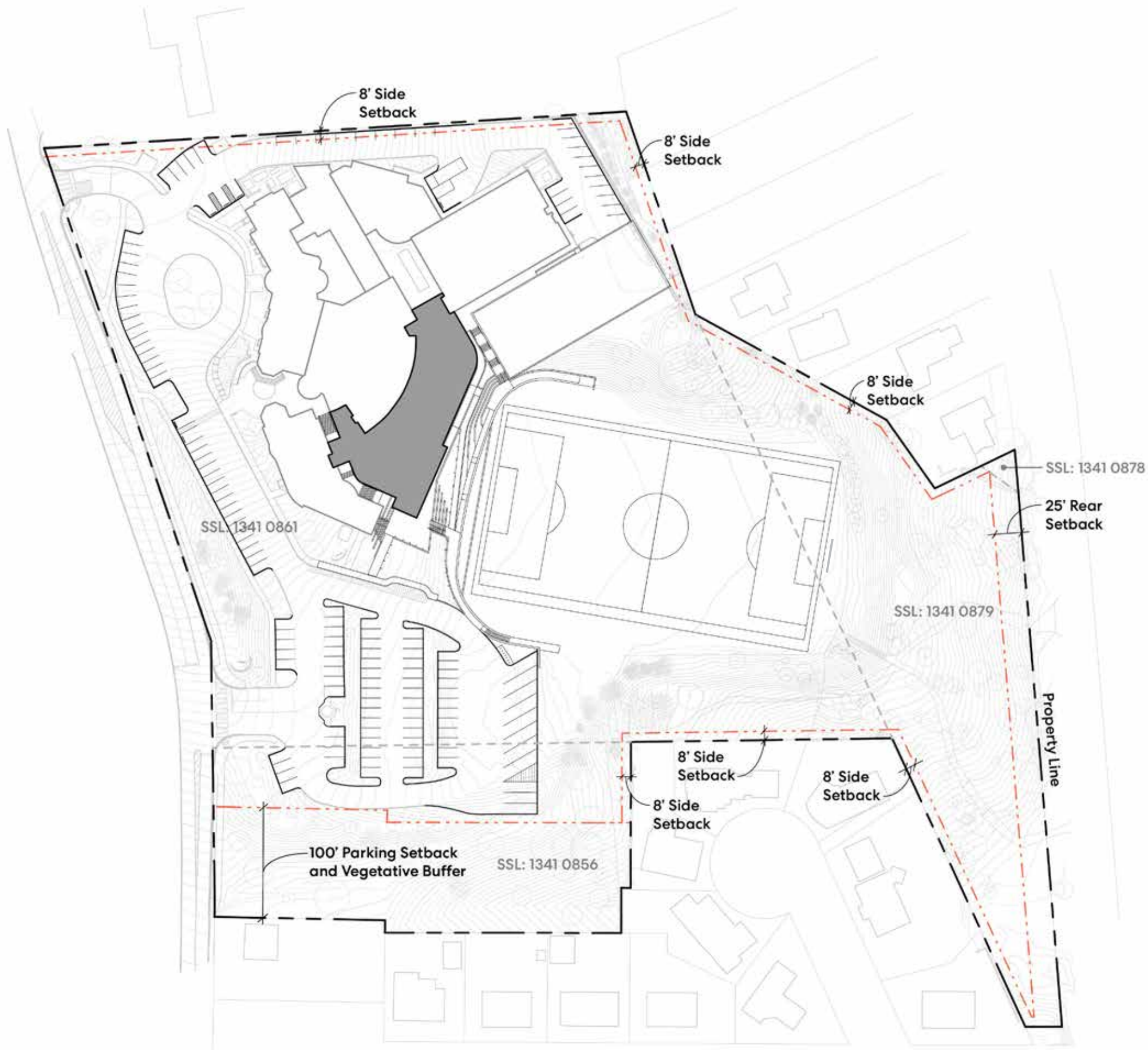
Loading	(901.6) An addition to an existing building, or the expansion of a use within a building, triggers additional bicycle parking requirements only when the gross floor area of the building or use is expanded or enlarged by <b>twenty-five percent (25%)</b> or more beyond the gross floor area.		
	Required	Existing	Proposed
	(1) 20'x10' and (1) 30'x12' space plus 100 SF platform	(1) 17'-6"x16' and (1) 18'x9' space plus 100 SF platform	(1) 20'x10' and (1) 30'x12' space plus 100 SF platform

Retaining Walls	(1401.2) Subject to the height limitations of 1401.3-1401.6, the maximum height of a retaining wall shall be 6 ft.
	(1402.1) Retaining walls not meeting the requirements of this section may be approved by the Board of Zoning Adjustment as a special exception pursuant to Subtitle X. In addition to meeting the general conditions for being granted a special exception as set forth in that subtitle, the applicant must demonstrate that conditions relating to the building terrain, or surrounding area would to make full compliance unduly restrictive, prohibitively costly, or unreasonable.





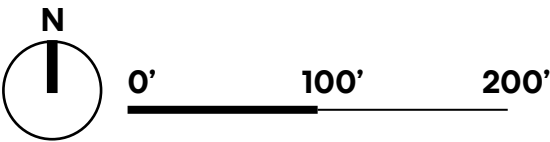




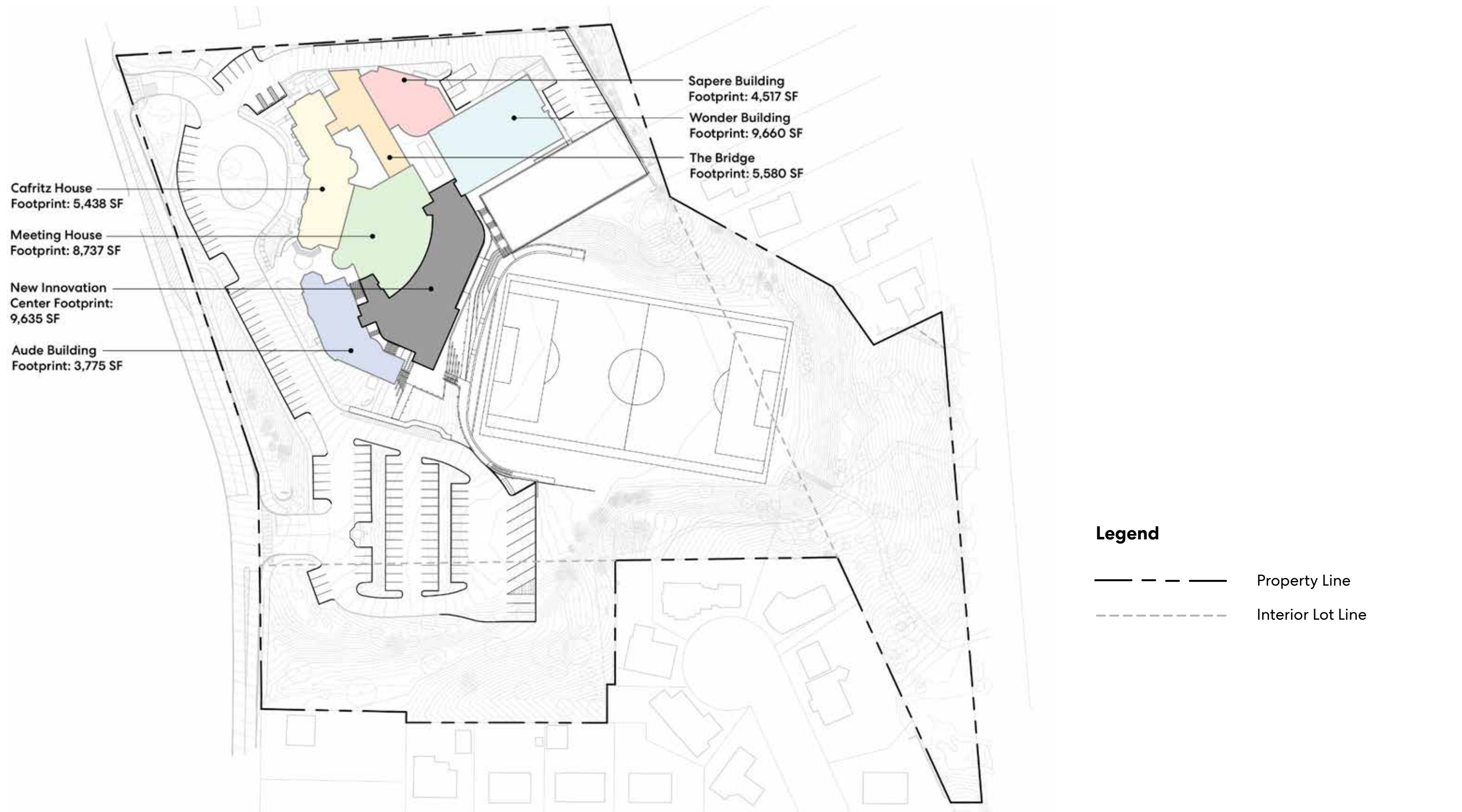
### Legend

- - - - - Setback Line
- - - - - Property Line
- - - - - Interior Lot Line

Setbacks and Buffers	
Front	Equal to existing setbacks on same block
Rear	25'-0"
Side	8'-0"
*the school shall install and maintain a 100-foot vegetative buffer between the parking lot and adjoining property to the south per BZA Case 16559 and 18431.	

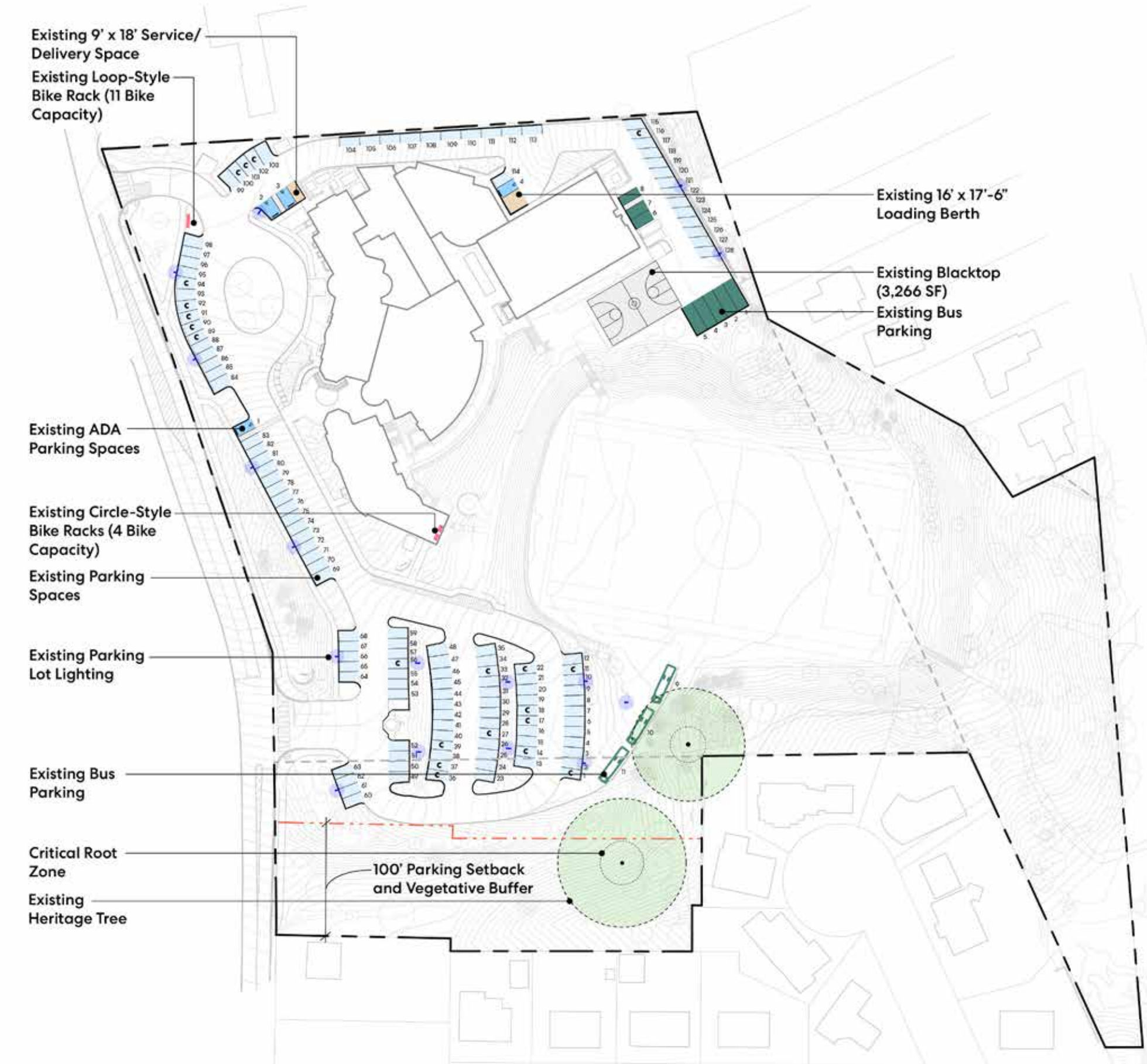






	Aude Building	The Bridge	Cafritz House	Meeting House	Sapere Building	Wonder Building	New Innovation Center	Total
Building Footprint (SF)	3,775	1,860	5,438	8,737	4,517	9,660	9,635	43,622
Lot Coverage	0.82%	0.40%	1.18%	1.90%	0.98%	2.10%	2.09%	9.48%
Allowable Lot Coverage								40.0%

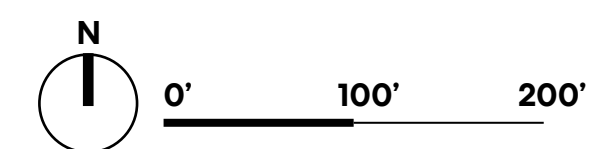




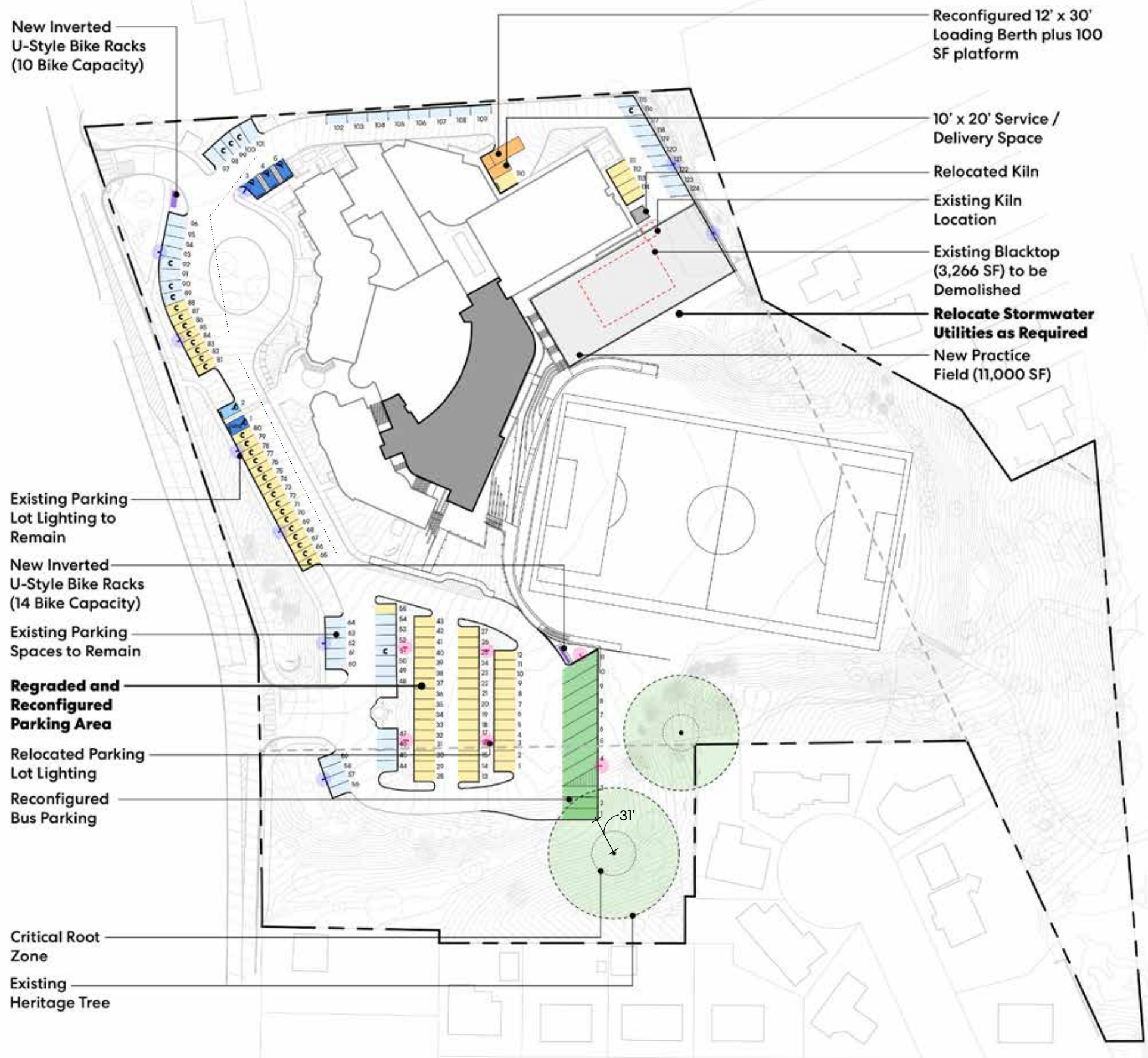
### Legend

- C** Compact Parking
- Existing Site Lighting
- Existing Bicycle Parking
- Existing Vehicular Parking
- Existing ADA Parking
- Existing Bus Parking
- Existing Loading Berth
- - - Setback Line
- - - Property Line
- - - Interior Lot Line

Parking & Loading Requirements - Existing	
<b>Vehicle Parking</b>	128 vehicle parking spaces
<b>ADA Parking</b>	4 ADA parking spaces
<b>Bus Parking</b>	11 bus parking spaces
<b>Bicycle Parking</b>	15 short-term bicycle parking spaces
<b>Loading</b>	1 loading berth, 1 service/delivery space





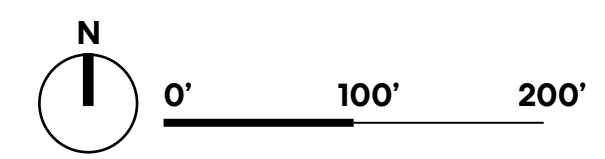


- New Practice Field: 11,000 SF
- All 11 bus parking spaces relocated to south lot
- One bay of south lot regraded and reconfigured for bus parking
- North lot stormwater redesign required because of expanded practice field
- Wonder Building kiln relocation required

### Legend

- C** Compact Parking
- Existing Site Lighting
- Relocated Site Lighting
- Existing Vehicular Parking
- Relocated ADA Parking
- Existing ADA Parking
- Relocated Vehicular Parking
- Relocated Bus Parking
- Relocated Loading Spaces
- - - - - Setback Line
- - - - - Property Line
- - - - - Interior Lot Line

Parking & Loading Requirements - Proposed	
<b>Vehicle Parking</b>	124 vehicle parking spaces
<b>ADA Parking</b>	5 ADA parking spaces
<b>Bus Parking</b>	11 bus parking spaces
<b>Bicycle Parking</b>	24 short-term bicycle parking spaces
<b>Loading</b>	1 loading berth, 1 service/delivery space





# Section 2

# Proposed Site & Planting Plans

## Contents

Overall Site & Planting Plan

Planting Diagram

Plant List





Outdoor Social Zones

Accessible Connection

Planted Areas

Bioretention Zones

Accessible Connection

Practice Field

Heritage and Special  
Trees To Remain

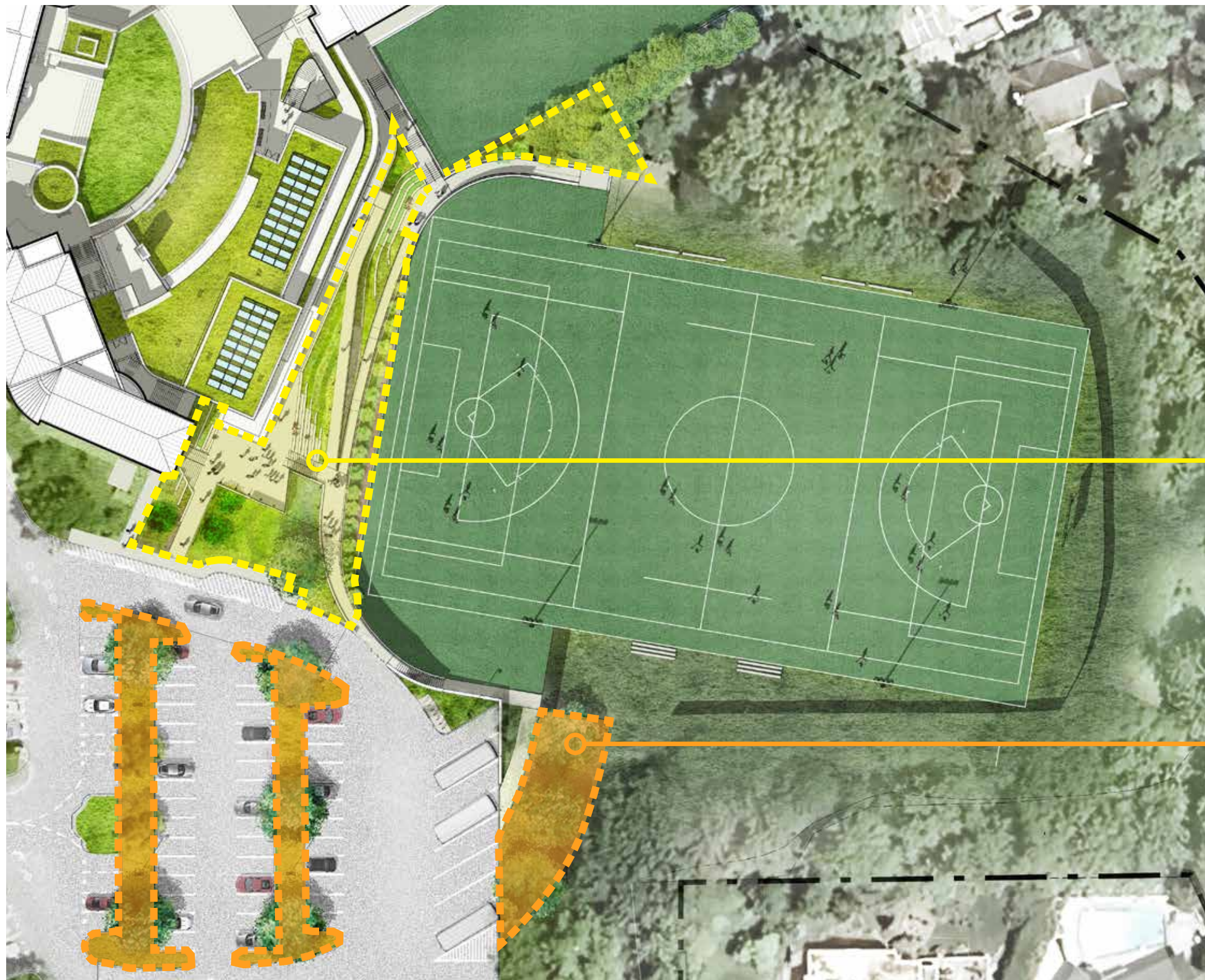
Resurfaced Existing  
Soccer Field

New and Relocated  
Scoreboard

Reconfigured Bus  
Parking Zone







### **Social zone planting**

Colorful mix of shrubs, groundcovers and grasses to create a welcoming environment

### **Parking zone**

Canopy trees and groundcover



Social zone planting



Sweetbay Magnolia  
*Magnolia Virginiana*



Fringe Tree  
*Chionanthus Virginicus*



Serviceberry  
*Amelanchier Arbora*  
"Autumn Brilliance"



Hightower Willow Oak  
*Quercus Phellos*  
'Hightower'



Scarlet Oak  
*Quercus Coccinea*



Brodie Eastern Red Cedar  
*Juniperus Virginiana*  
'Brodie'



Little Henry Virginia Sweetspire  
*Itea Virginicaa* "Little Henry"



Maryland Dwarf American Holly  
*Ilex Opaca* 'Maryland Dwarf'



Ground Hug Aronia  
*Aronia Melanocarpa*



Squeezebox Inkberry Holly  
*Ilex Glabra*  
'Squeezebox'



Strongbox Inkberry Holly  
*Ilex Glabra* 'Strongbox'



Sunburst St. John's Wort  
*Hypericum Frondosum*  
'Sunburst'



Northern Bayberry  
*Myrica Pensylvanica*



Sixteen Candles Summersweet  
*Clethra Alnifolia*  
'Sixteen Candles'



Soft Rush  
*Juncus Effusus*



Blue Wood Sedge  
*Carex Flaccosperma*



Cape Breeze Switchgrass  
*Panicum Virgatum*  
'Cape Breeze'



Christmas Fern  
*Polystichum Acrostichoides*



Pink Muhly  
*Muhlenbergia Capilaris*



Grow-Low Fragrant Sumac  
*Rhus Glabra* 'Gro-Low'

Parking lot planting



Hightower Willow Oak  
*Quercus Phellos*  
'Hightower'



Swamp White Oak  
*Quercus Bicolor*



Scarlet Oak  
*Quercus Coccinea*



Fescue Sod



# Section 3

# Building Addition

# Design

## Contents

3D Views

Overall Plans

Elevations

Sections









EXISTING VIEW



VIEW WITH NEW BUILDING





**EXISTING VIEW**



**VIEW WITH NEW BUILDING**



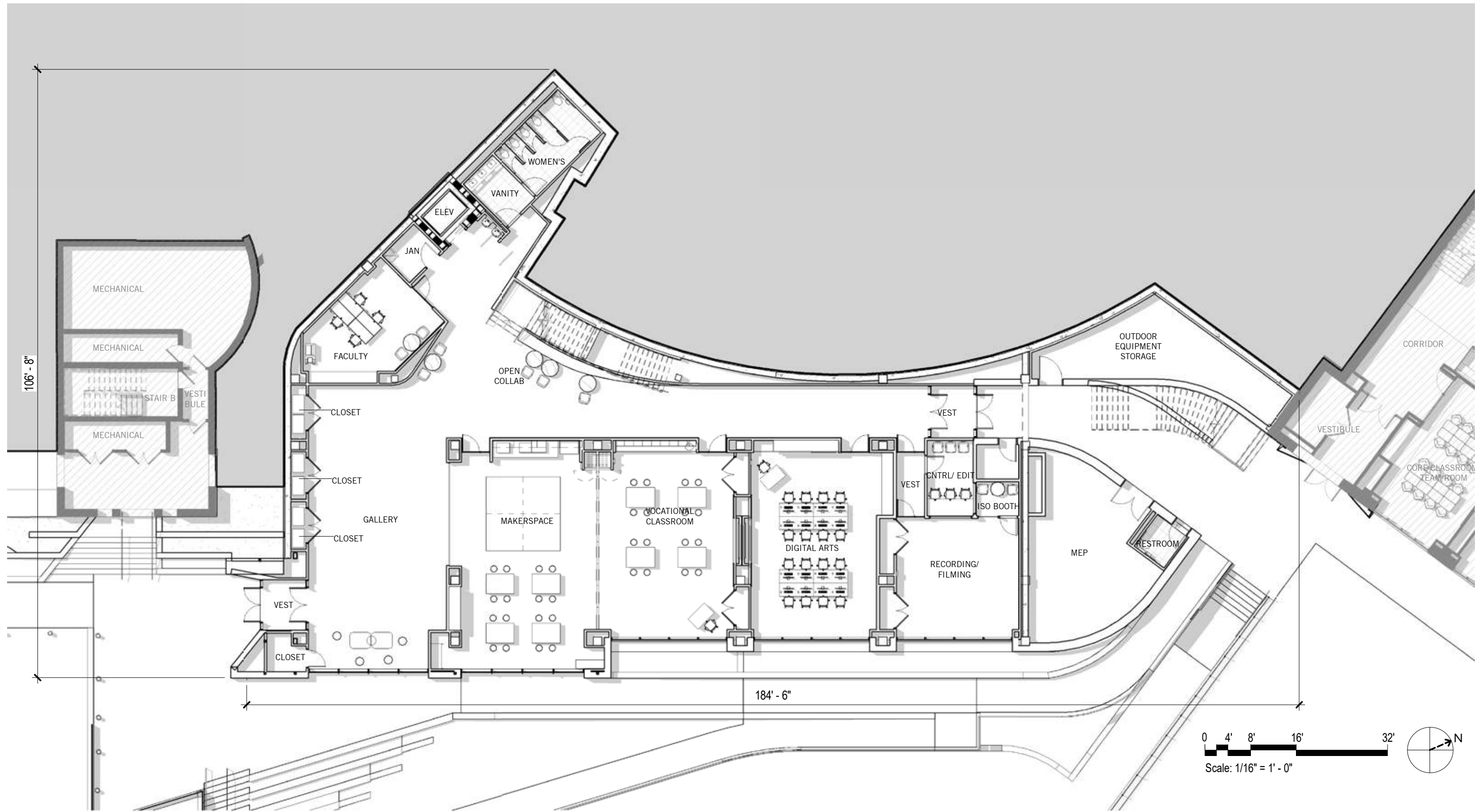


EXISTING VIEW

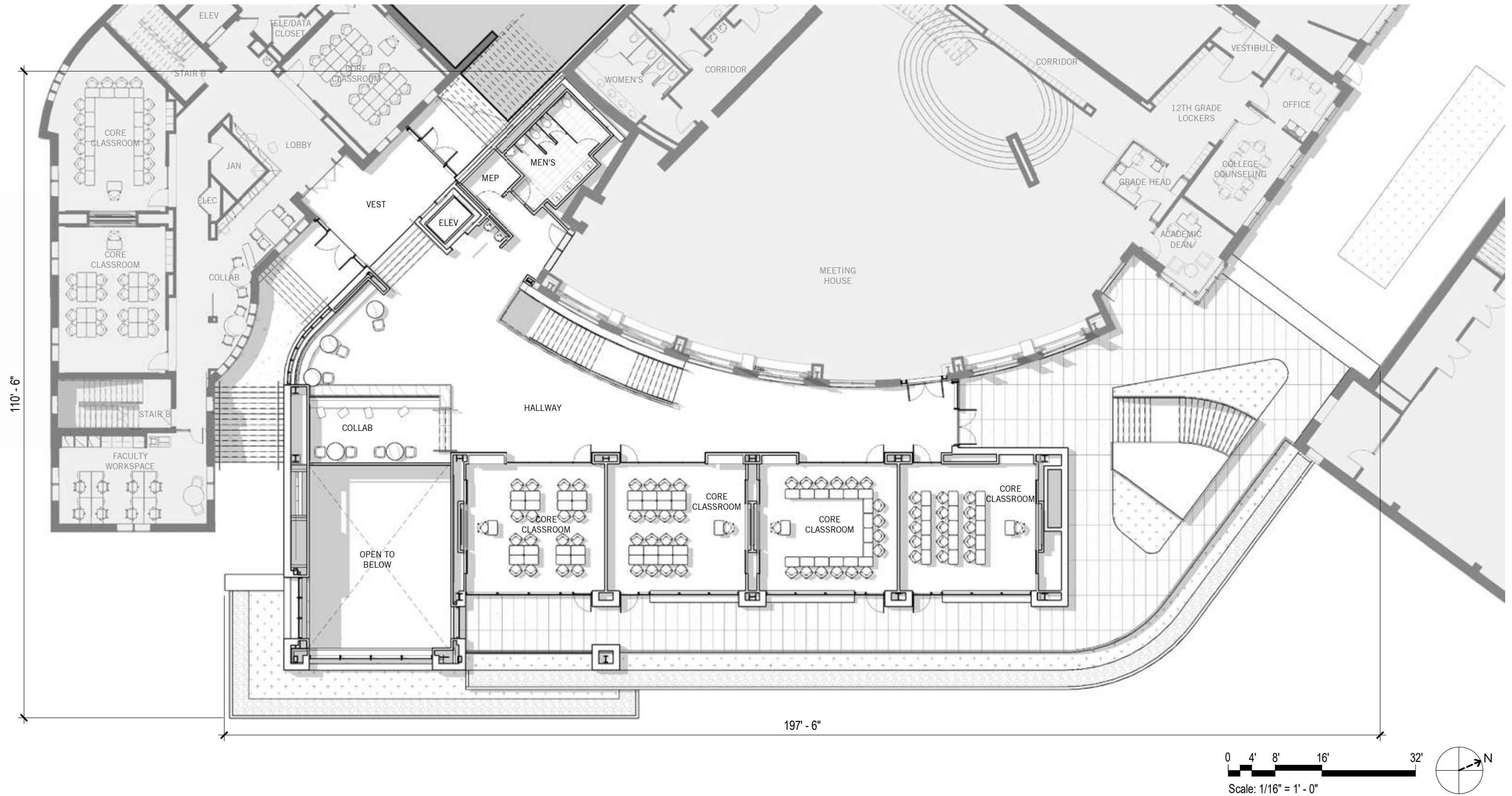


VIEW WITH NEW BUILDING

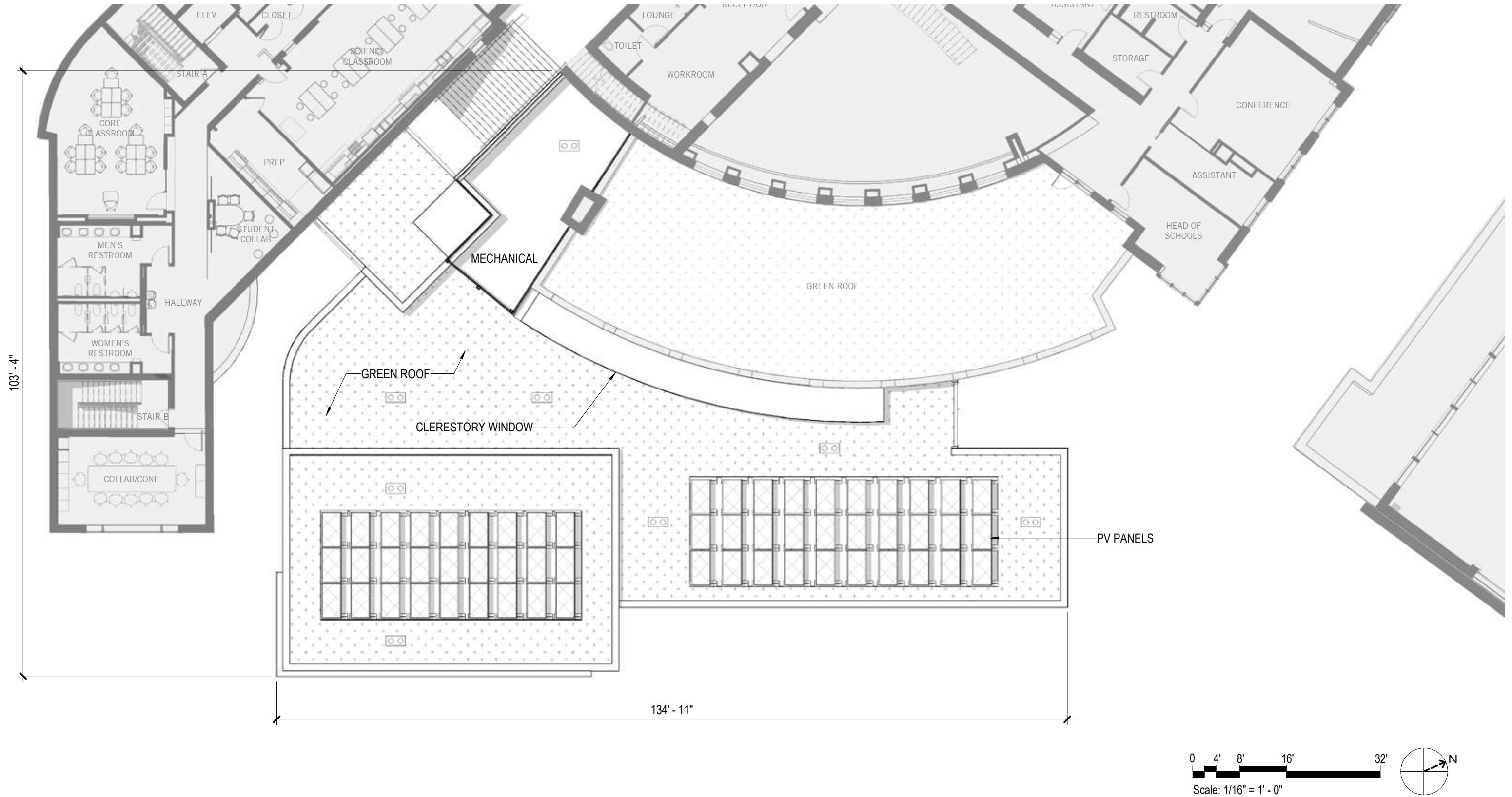




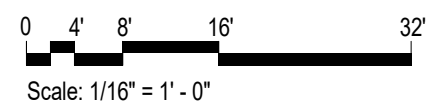
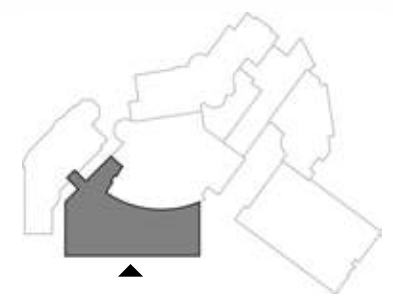




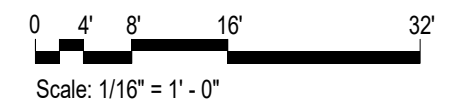
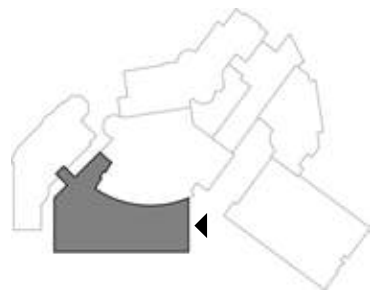
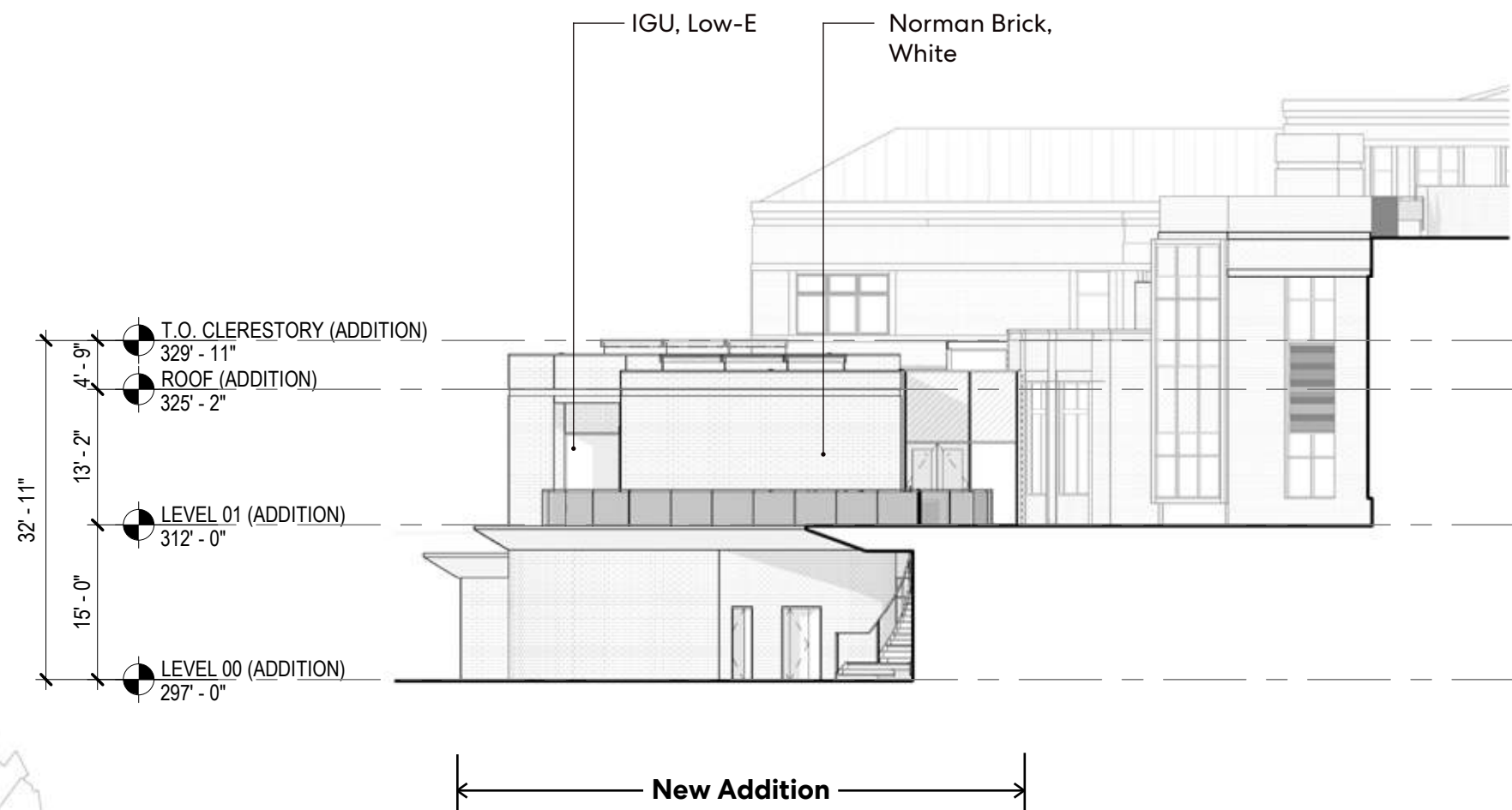




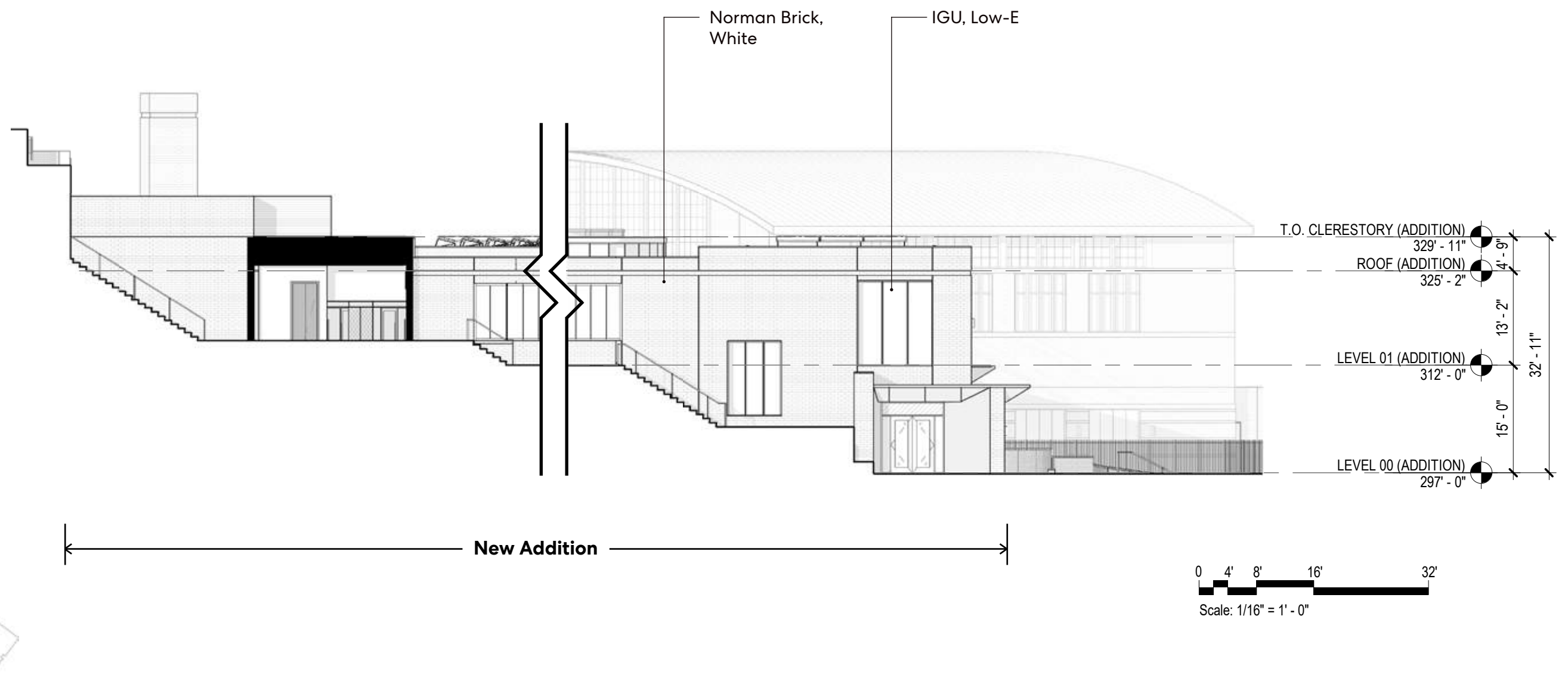








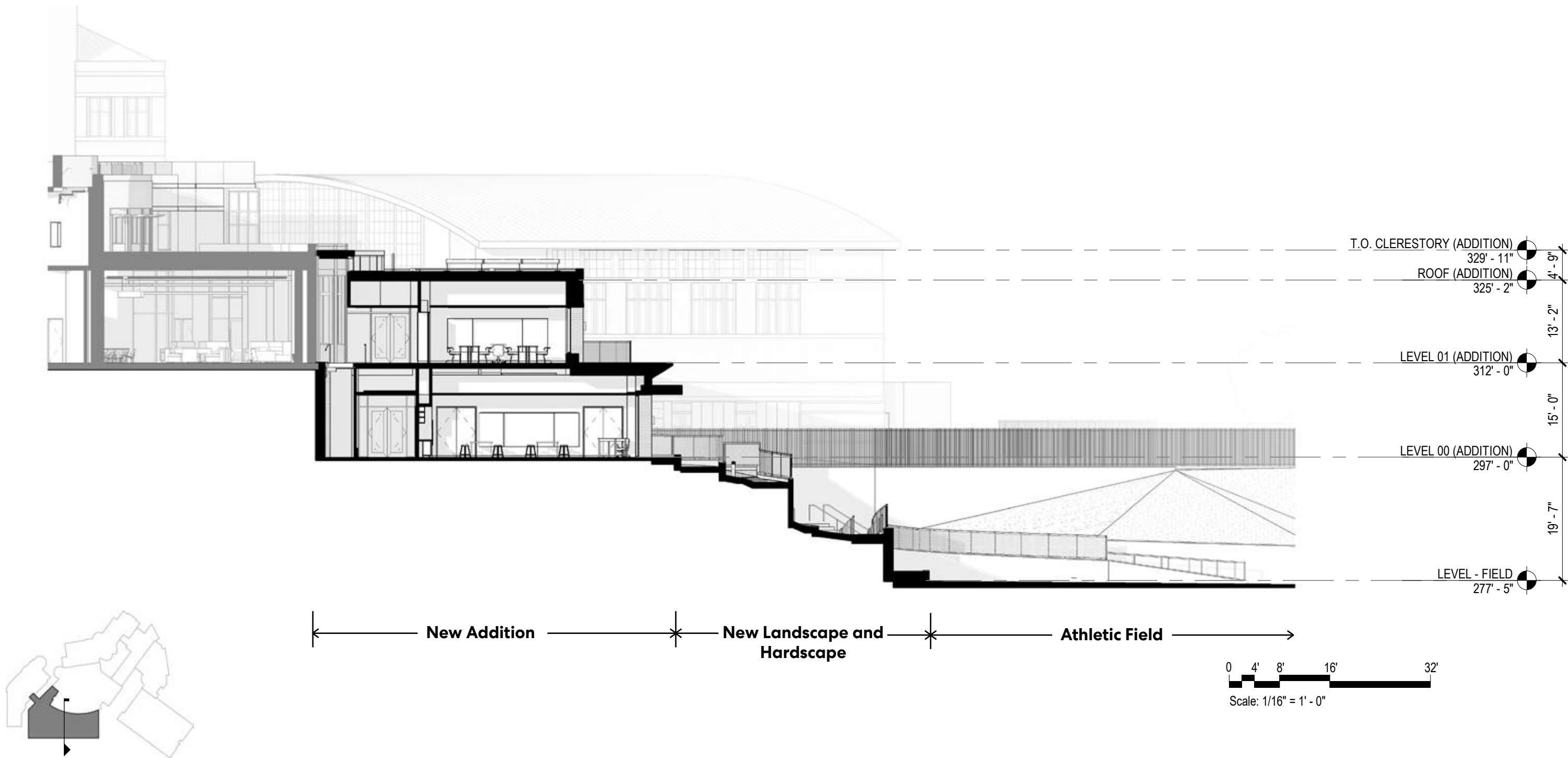














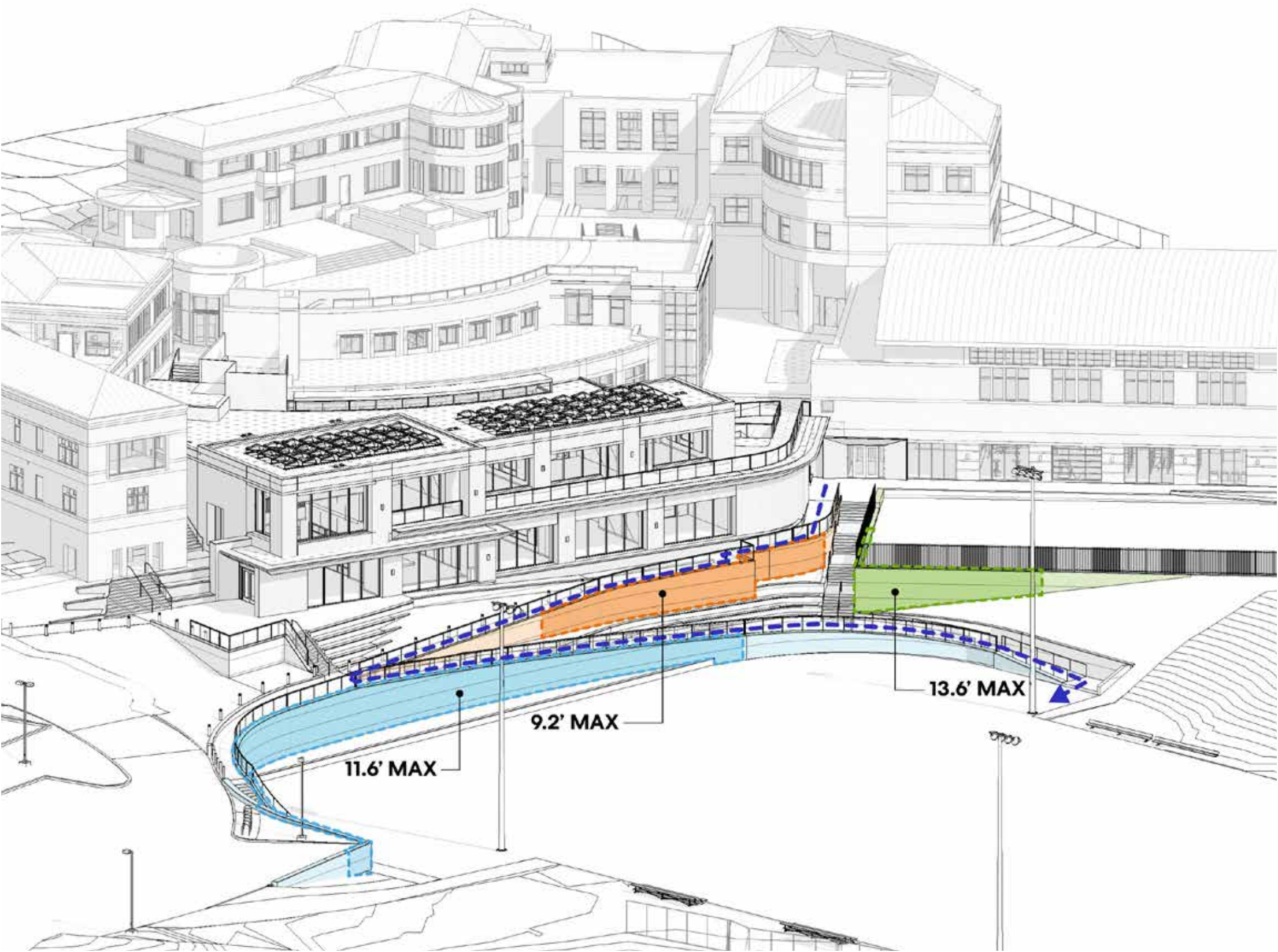
# Section 4

# Retaining Walls

## Contents

Retaining Walls

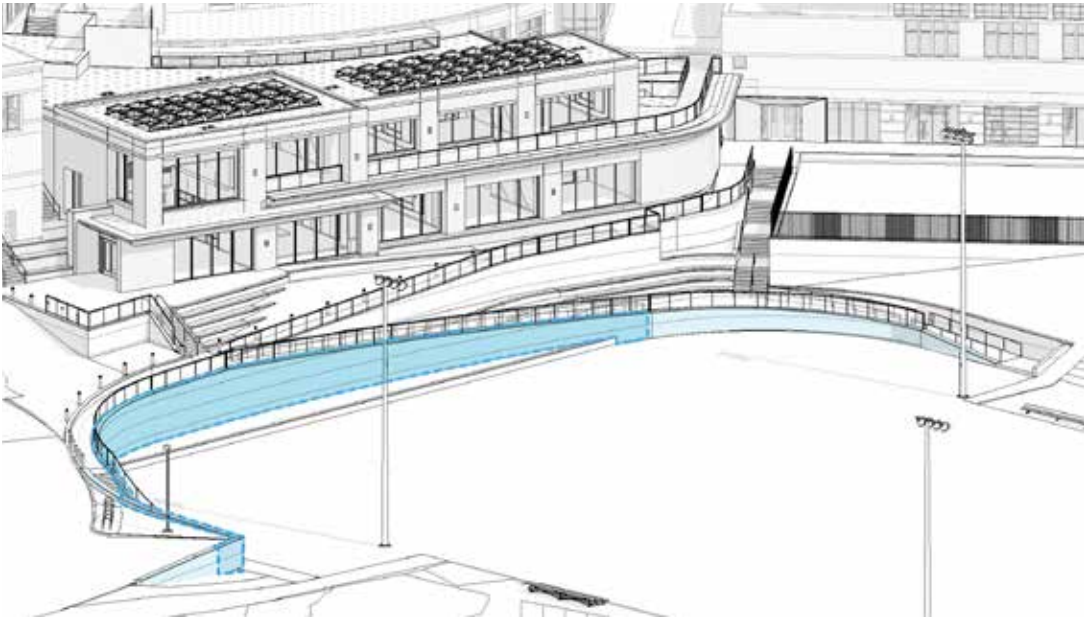




**Legend**

- Retaining Wall 1
- Retaining Wall 1 - Area Above 6'
- Retaining Wall 2
- Retaining Wall 2 - Area Above 6'
- Retaining Wall 3
- Retaining Wall 3 - Area Above 6'
- Accessible Route



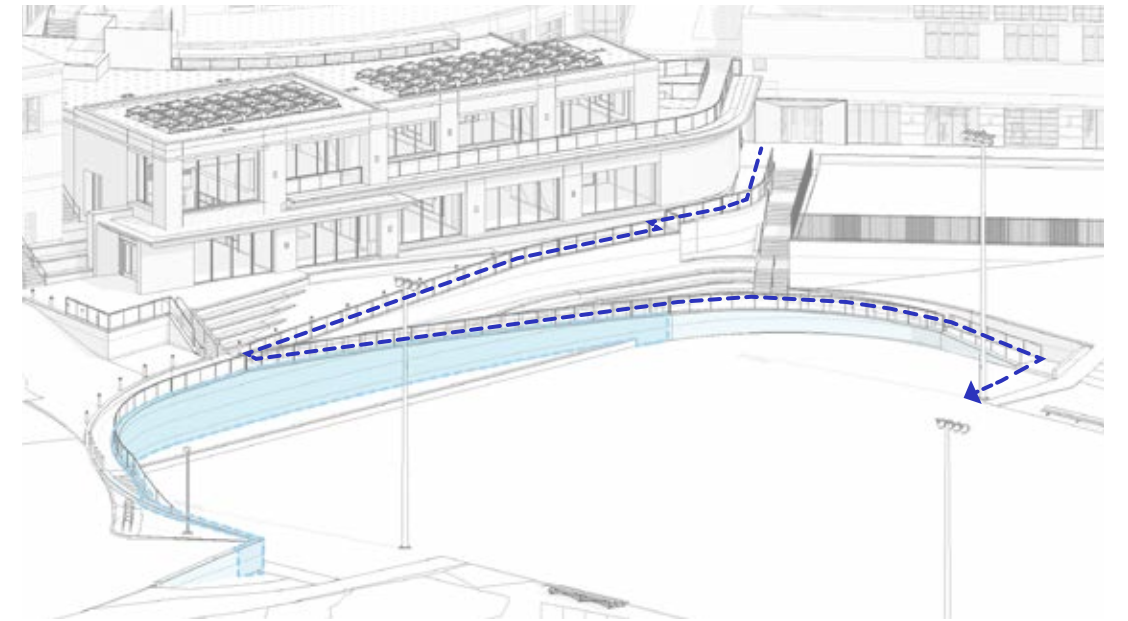
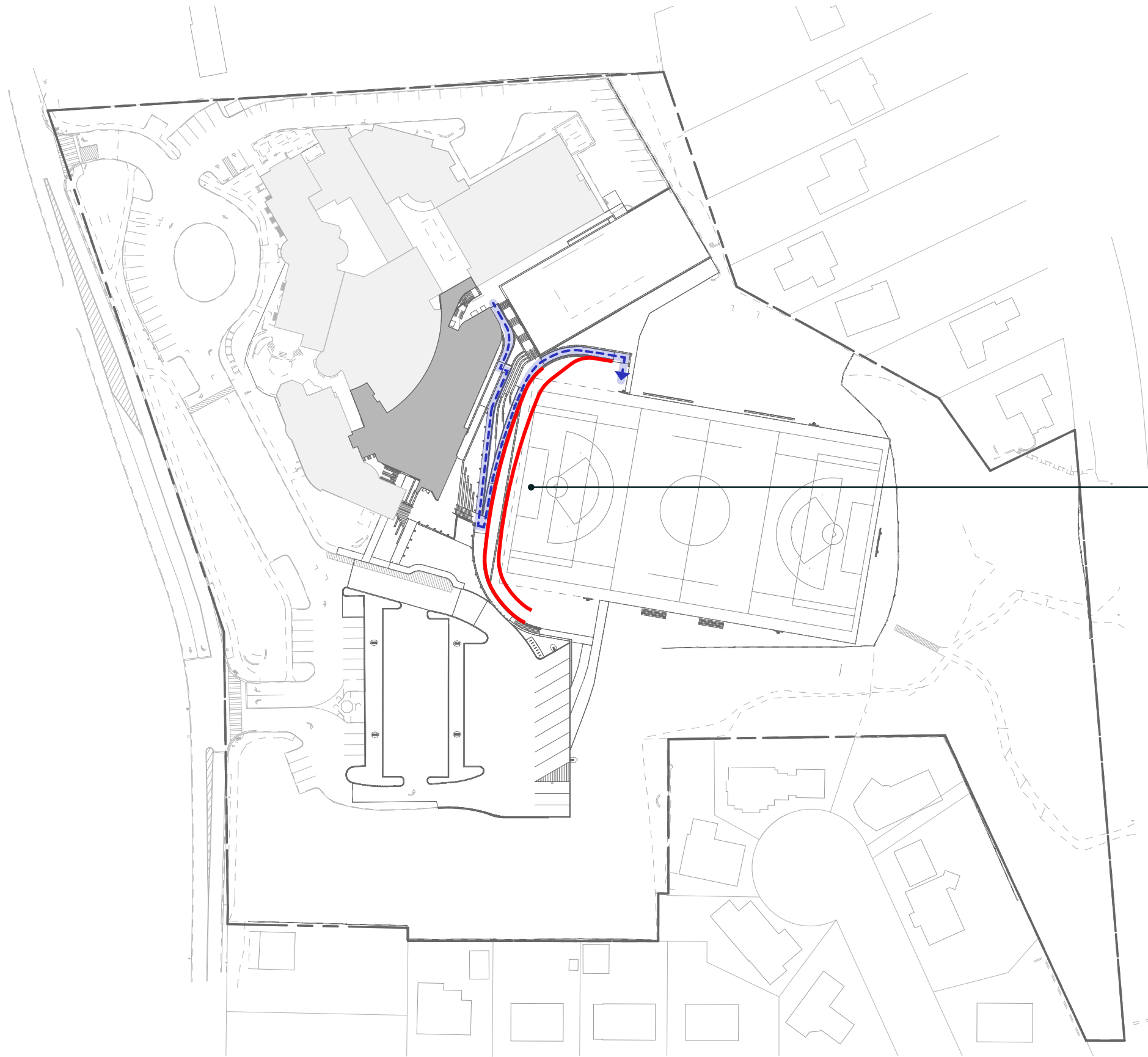


EXISTING RETAINING WALL (8.08' MAX)



RELOCATED RETAINING WALL (11.6' MAX)



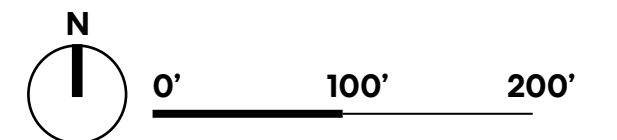


If retaining wall were to be designed per ordinance 1401.2 and 1401.7 with terraced walls at max. 6' Height and 12' spacing, the resulting walls would result in the following site challenges:

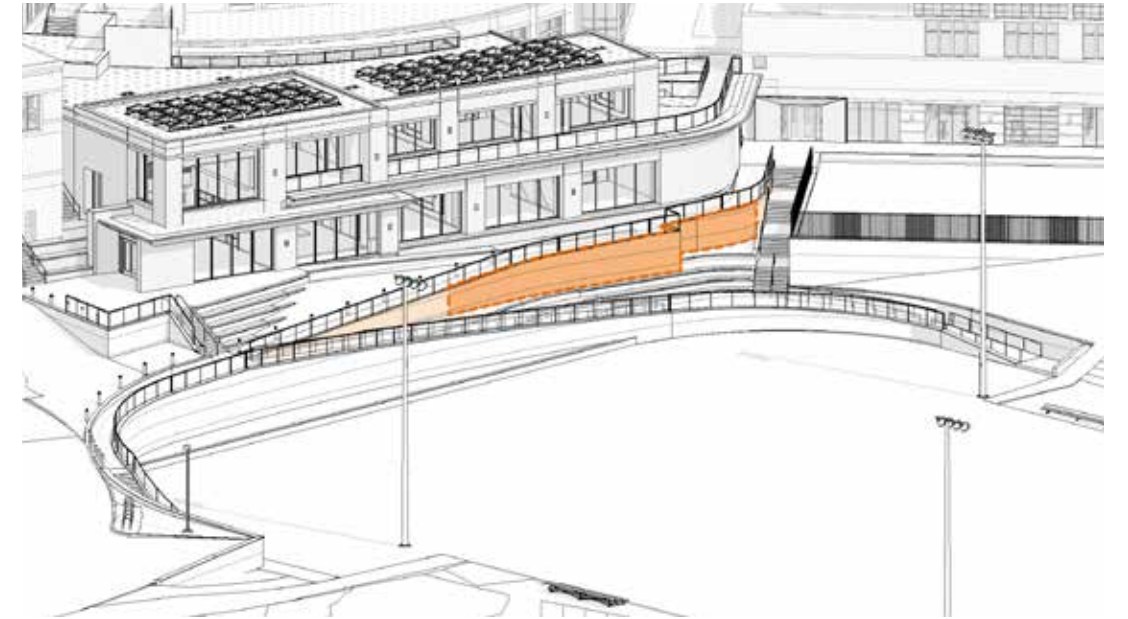
- Walls would encroach into main field, pushing field east, resulting in retaining walls at east end of field nearer neighbors

### Legend

- Terraced Wall (6' HT Max)
- - - Accessible Path
- Limit of Site Disturbance





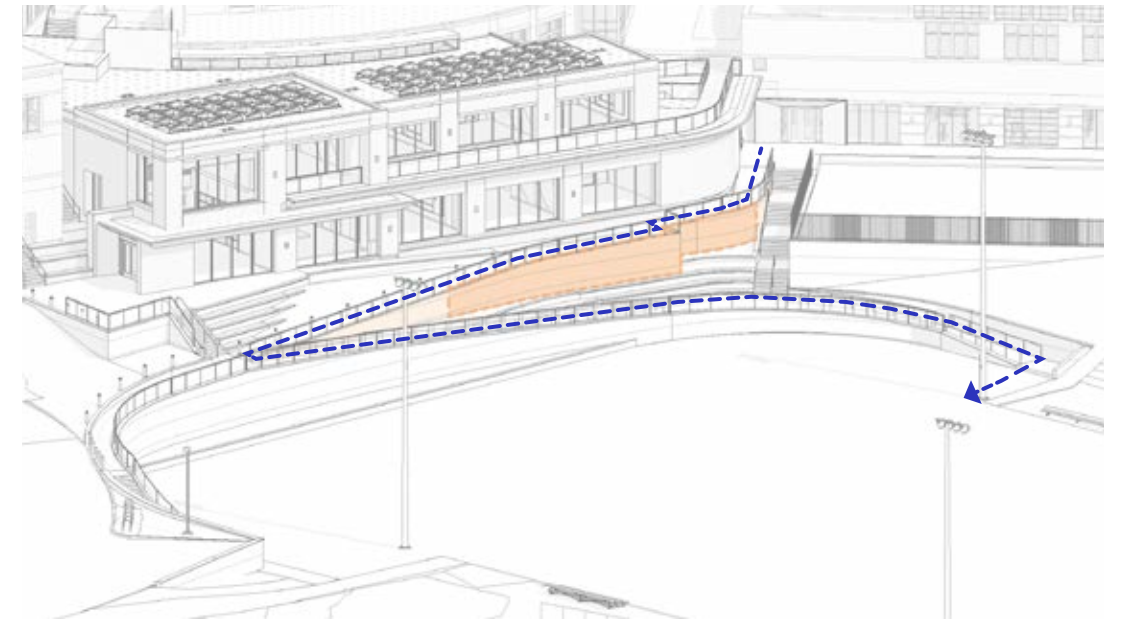
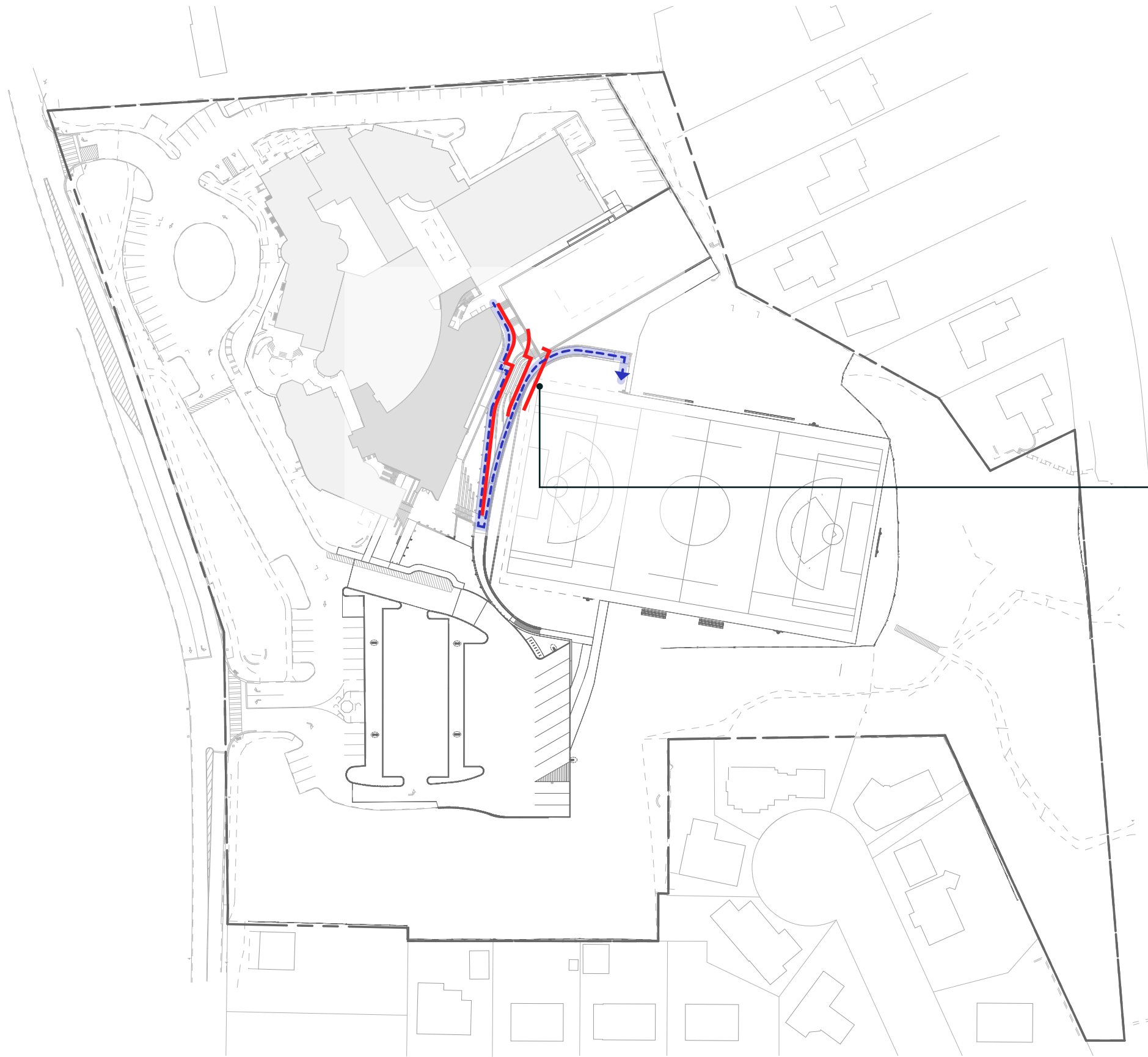


**EXISTING RETAINING WALL (8.0' MAX)**



**RELOCATED RETAINING WALL (9.2' MAX)**



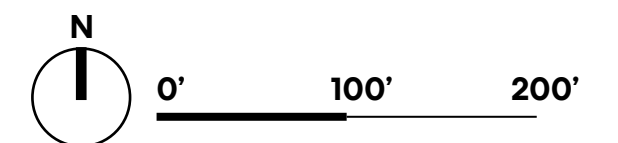


If retaining wall were to be designed per ordinance 1401.2 and 1401.7 with terraced walls at max. 6' Height and 12' spacing, the resulting walls would result in the following site challenges:

- Walls would limit practice field size/usefulness and encroach into main field, pushing field east and resulting in retaining walls at east end of field nearer neighbors

### Legend

- Terraced Wall (6' HT Max)
- - - Accessible Path
- Limit of Site Disturbance





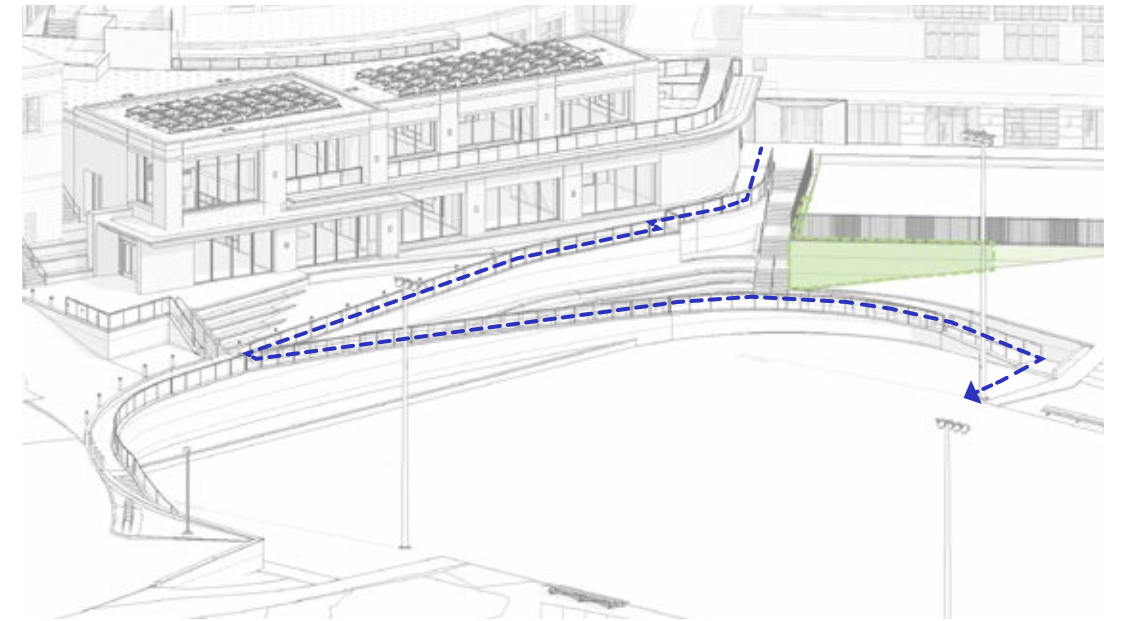
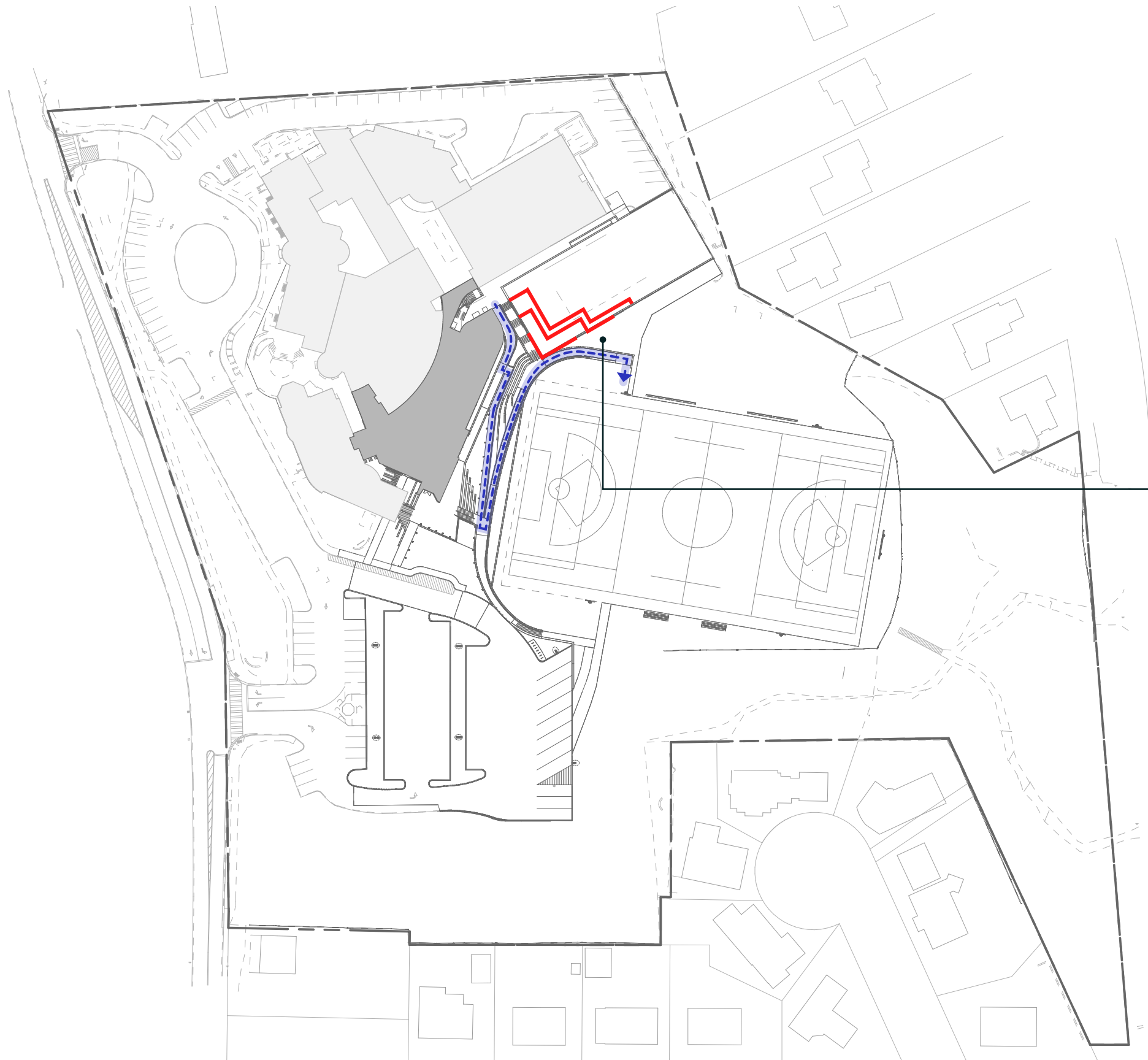


EXISTING CONDITIONS



NEW RETAINING WALL TO SUPPORT PRACTICE FIELD (13.6' MAX)



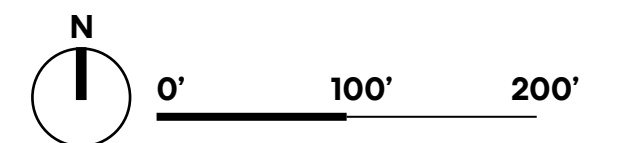


If retaining wall were to be designed per ordinance 1401.2 and 1401.7 with terraced walls at max. 6' height and 12' spacing, the resulting walls would result in the following site challenges:

- Extending walls to the north would limit practice field size/usefulness.
- Extending walls to south would further impact accessible site circulation routes and steep slopes.

### Legend

- Terraced Wall (6' HT Max)
- - - Accessible Path
- Limit of Site Disturbance





# Section 5

# Field Lighting

## Contents

Proposed Field Lighting Plan

Proposed Field Lighting Plan - Field Light Levels

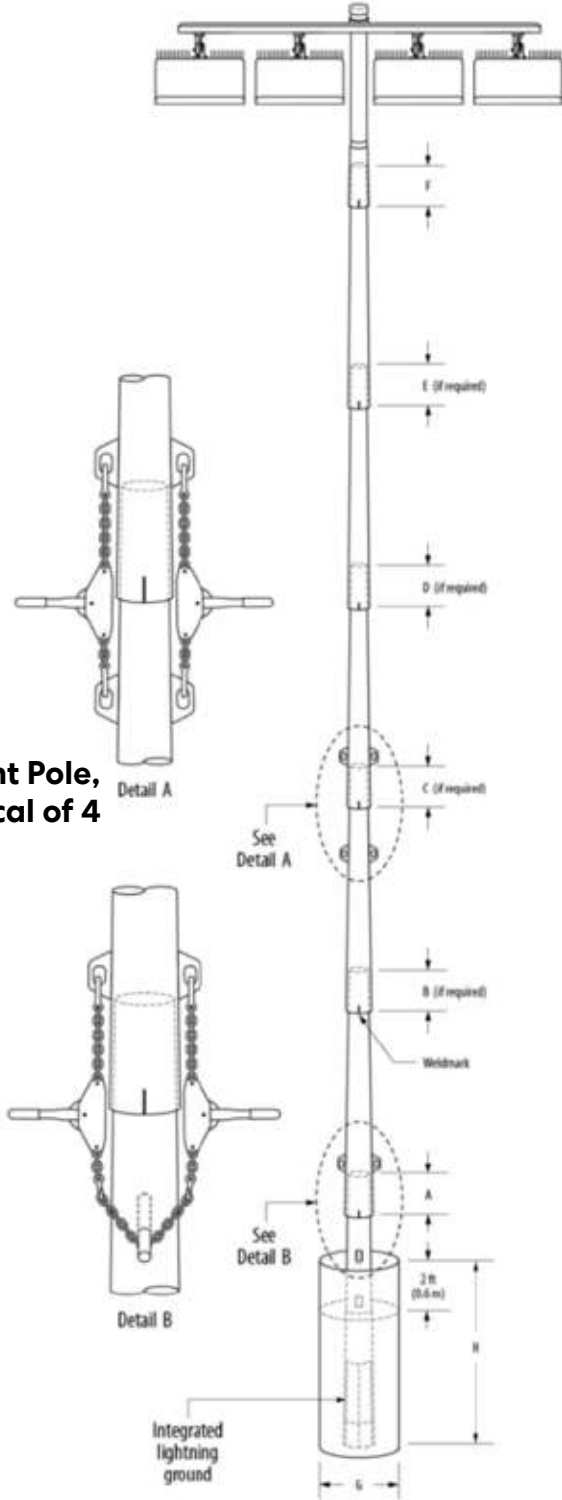
Proposed Field Lighting Plan - Light Spill



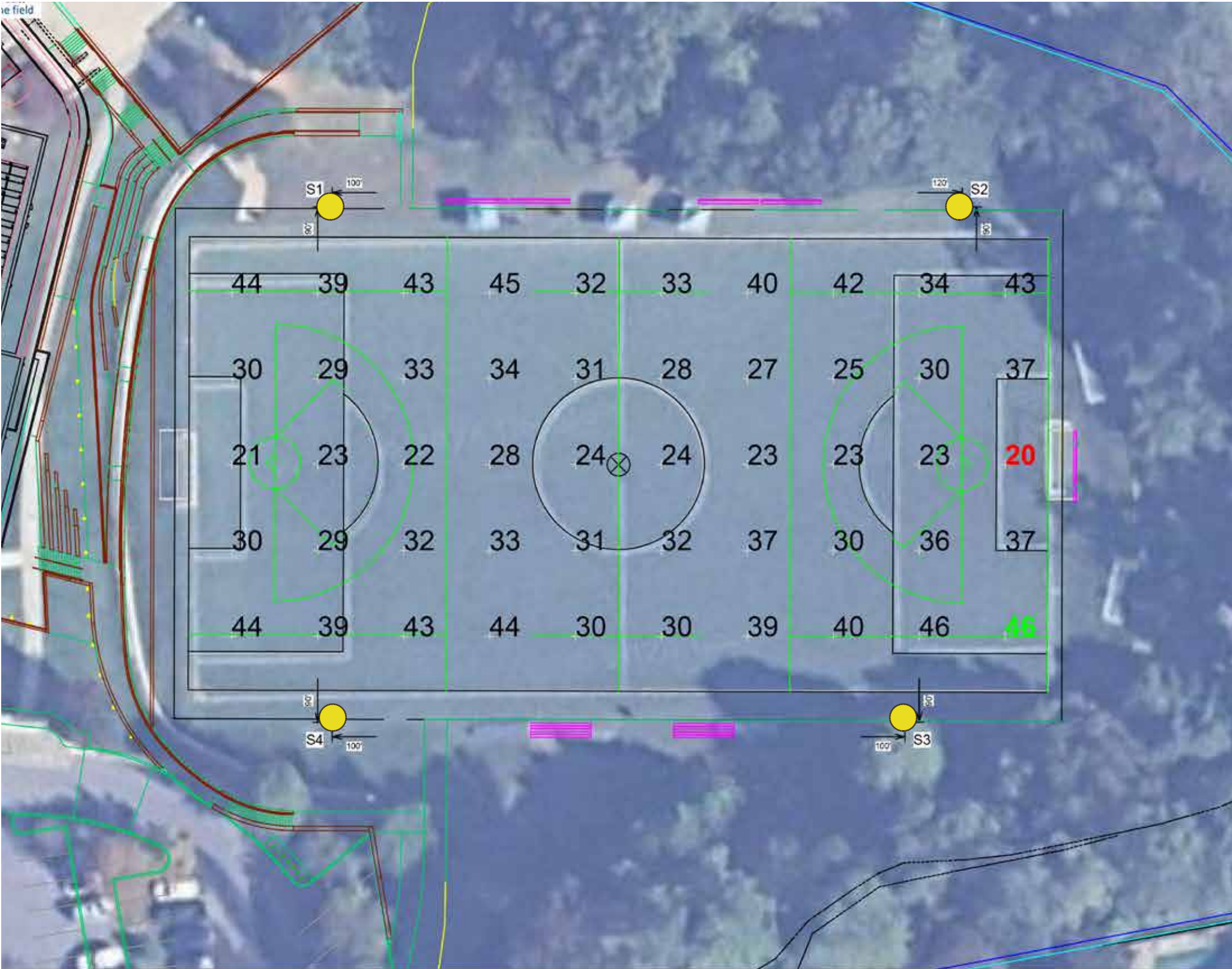


60' light poles allow better light cut off than shorter light poles, leading to less impact on the surrounding neighbors and nature. Shorter light poles would cause more light spill and increase candela levels, negatively impacting the neighbors. Taller lights would increase back glare and side glare.

60'H Light Pole,  
Typical of 4







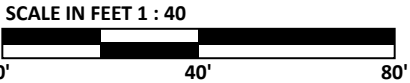
Field School Lacrosse Soccer

Washington, DC

Grid Summary	
Name	Soccer
Size	300' x 158'
Spacing	30.0' x 30.0'
Height	3.0' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
	Entire Grid
Guaranteed Average	30
Scan Average	33.20
Maximum	46
Minimum	20
Avg/Min	1.63
Guaranteed Max/Min	2.5
Max/Min	2.25
UG (adjacent pts)	1.83
CU	0.76
No. of Points	50
LUMINAIRE INFORMATION	
Applied Circuits	A
No. of Luminaires	20
Total Load	17.30 kW

Equipment List For Areas Shown							
Pole				Luminaires			
QTY	LOCATION	SIZE	GRADE ELEVATION	ABOVE GRADE LEVEL	LUMINAIRE TYPE	QTY/POLE	THIS GRID
3	S1	60'	-	60'	TLC-LED-900	5	5
	S3-S4	60'	-	60'	TLC-LED-600	1	1
1	S2	60'	-	60'	TLC-LED-900	4	4
4	Totals					20	20





# Section 6

# Stormwater Management

## **Contents**

Stormwater Management Plan - Existing

Stormwater Management Plan - Proposed

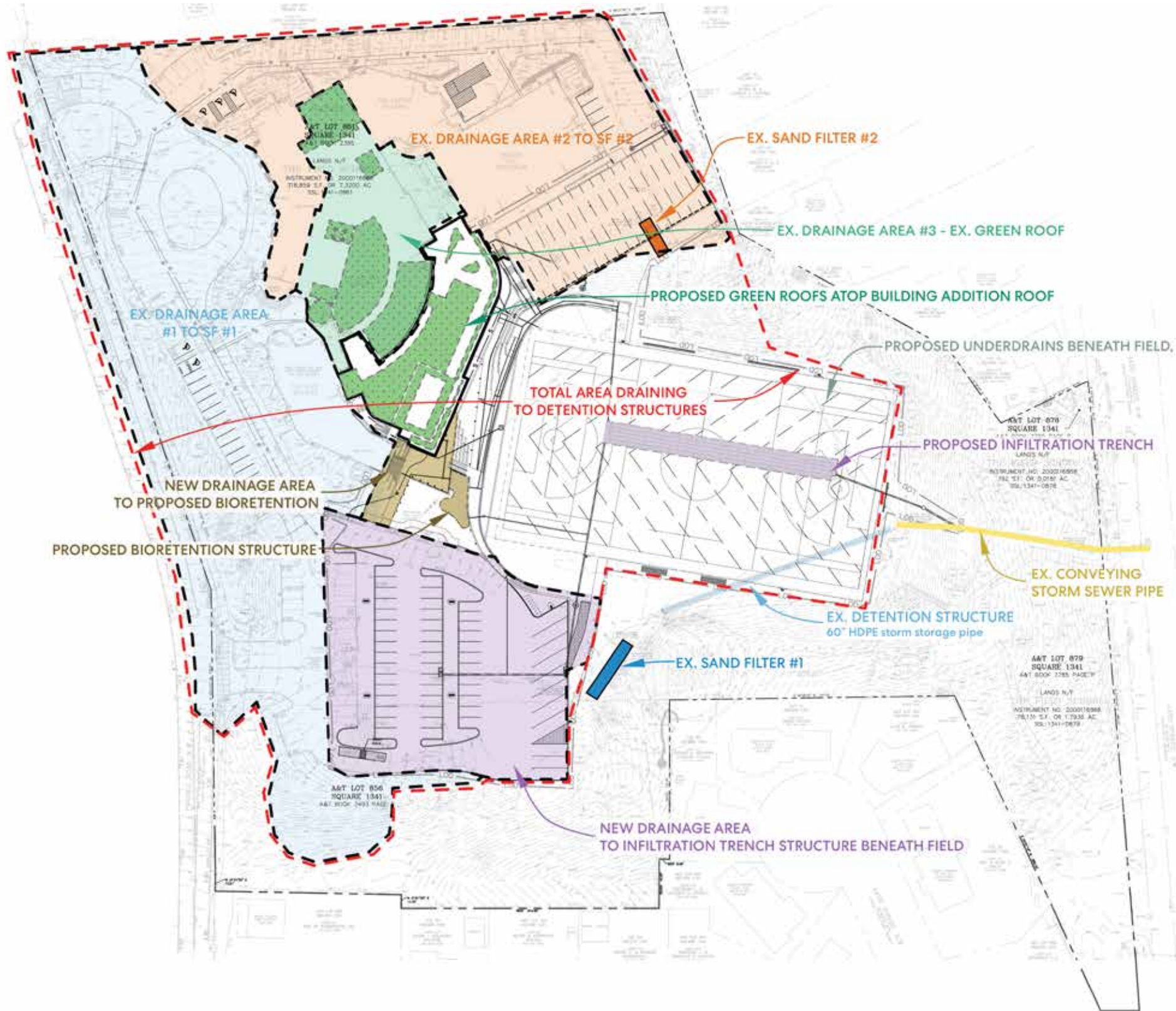


The existing BZA order included the following condition: “The school shall permanently fix the drainage issues that are currently being addressed by a silt trap installed on the fences abutting the 44th Street residences adjacent to the school, subject to approval by or in accordance with guidelines provided by the District Department of the Environment.”

- 5.0 acres treated for water quality via existing green roofs and two sand filters
- 7.7 acres drain to an existing detention system of a 60 inch storage pipe under the athletic field.
- The green roof and sand filters intercept runoff from the existing school buildings and adjacent surface parking areas.
- During large storm events, the existing 60 inch storage pipe is designed to hold the storm water on site before slowly releasing the runoff.
- The green roof and sand filters intercept runoff from the existing school buildings and adjacent surface parking areas.

**FIELD SCHOOL | FEBRUARY 3RD, 2025**  
**Perkins&Will**





## STORMWATER MANAGEMENT NOTES - PROPOSED

- Stormwater management is proposed to be met with a bioretention between the proposed building and the proposed field, green roof on the proposed building, and an infiltration trench under the field. The site is in zone ms4, which requires the treatment of all vehicular accessed areas. This requirement is proposed to be satisfied by the collecting the stormwater that falls on the parking lot with the infiltration trench under the field.

This plan represents a working solution to the stormwater management of the site and is subject to change with further coordination with other disciplines working on this project.