BOARD OF ZONING ADJUSTMENT SITE PLAN

HILLCREST

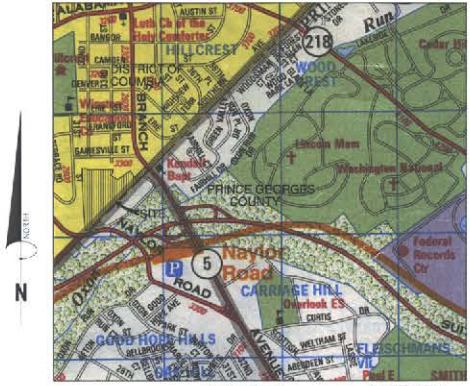
WASHINGTON (S.E.), DISTRICT OF COLUMBIA

PROJECT DESCRIPTION

ZONING CLASSIFICATION: R-1-B
SITE AREA TABULATION:

PARCEL	AREA (ACRES)
02080004	2.25
02080061	1.42
02080064	4.81
02080065	0.41
02150027	3.73

TOTAL SITE AREA: 547,592 SQUARE FEET (12.57 ACRES)



VICINITY MAP

SCALE 1"=800'

SHEET INDEX

C1.00 COVER SHEET
C2.00 NOTES, ABBREVIATIONS, & LEGEND
C3.00 CONTEXTUAL PLAN
C4.00 EXISTING CONDITIONS AND DEMOLITION PLAN
C5.00 OVERALL SITE AND GRADING PLAN
C5.10 DETAILED SITE AND GRADING PLAN (1 OF 2)
C5.20 DETAILED SITE AND GRADING PLAN (2 OF 2)
C5.30 DETAILED SITE GEOMETRIC PLAN (1 OF 2)
C5.40 DETAILED SITE GEOMETRIC PLAN (2 OF 2)
C6.00 SITE TABULATION
C6.10 TYPICAL UNITS AND VARIANCES
C7.00 TYPICAL ROADWAY SECTIONS
C7.10 SITE CROSS SECTIONS (1 OF 3)
C7.20 SITE CROSS SECTIONS (2 OF 3)
C7.30 SITE CROSS SECTIONS (3 OF 3)
C8.00 EROSION AND SEDIMENT CONTROL PHASE I
C8.10 EROSION AND SEDIMENT CONTROL PHASE II
C9.00 CIRCULATION PLAN
C10.00 OPEN SPACE PLAN
C11.00 FIRE TRUCK TURNING MOVEMENT
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L1.10 OVERALL LANDSCAPE PLAN
L2.10 LANDSCAPE ENLARGEMENT
L2.20 LANDSCAPE ENLARGEMENT
L2.30 LANDSCAPE ENLARGEMENT
L3.10 PLANT SCHEDULE
L3.20 PLANTING DETAILS
L3.30 PLANTING NOTES
L3.40 HARDSCAPE DETAILS
(8 SHEETS)

TP1.00 TREE PRESERVATION PLAN (1 OF 2)
TP2.00 TREE PRESERVATION PLAN (2 OF 2)
TP3.00 TREE INVENTORY
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(4 SHEETS)

A-1 STREETSCAPE PERSPECTIVE
A-2 PARTIAL SITE PLAN WITH TYPICAL FRONT YARDS
A-3 TYPICAL ELEVATIONS
A-4 TYPICAL SL UNIT FLOOR PLAN
A-5 TYPICAL TL UNIT FLOOR PLAN
(5 SHEETS)

OWNER/DEVELOPER:

EYA
4800 HAMPTON LANE SUITE 300
BETHESDA, MD 20814
ATTN: BOB YOUNGENTOB
JACK LESTER

ARCHITECTS:

LESSARD GROUP
8521 LEESBURG PIKE, SUITE 700
VIENNA, VA 22182
ATTN: JACK McLAUREN, AIA

CIVIL ENGINEER:

BOWMAN CONSULTING
2121 EISENHOWER AVE.
ALEXANDRIA, VA 22314
ATTN: MARK S. STIRES, P.E.
HECTOR DIAZ

LANDSCAPE ARCHITECT

BOWMAN CONSULTING
2121 EISENHOWER AVE.
ALEXANDRIA, VA 22314
ATTN: SARAH GOODENOW, PLA

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 17832

EXHIBIT NO. 41

NOTE:
ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZING, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

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PAR 0208 0004, 0061 & 0065-0065 PAR 0215 0027 2801 BRANCH AVENUE SE
COVER SHEET

HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS
FOR BOARD OF ZONING ADJUSTMENT APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DMD DRAWN	MSD CHKD
SCALE: AS SHOWN		

JOB No. 6010-01-001
DATE: APRIL 2008
FILE No. 6013-D-PR-001
SHEET C1.00

LEGEND

EXISTING	DESCRIPTION	PROPOSED
350	INDEX CONTOUR	350
352	INTERMEDIATE CONTOUR	352
EX. E.P.	EDGE OF PAVEMENT	PROP. E.P.
EX. C & G	CURB AND GUTTER	
	TRANSITION	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	CLEARING AND GRADING (LIMITS OF DISTURBANCE)	LOD
X	FENCE LINE	X
	EASEMENT	
EX 8" W/M	WATER LINE	8" PVC W/M
EX. W/V	WATER VALVE	
	REDUCER	
EX 8" SAN	SANITARY SEWER	8" SAN
EX 24" RCP	STORM SEWER	24" RCP
CATV	CABLE TV	CATV
E	ELECTRIC SERVICE-UNDERGROUND	E
OHE	ELECTRIC SERVICE-OVERHEAD	OHE
OHT	OVERHEAD TELEPHONE	OHT
T	TELEPHONE SERVICE	T
G	GAS LINE	G
+ 25.32	SPOT ELEVATION	+ 25.32
	UTILITY POLE	
	GUY POLE	
	TRANSFORMER	T
	SIGN	
SA	SANITARY SEWER IDENTIFIER	A
SD	STORM DRAIN IDENTIFIER	D
	WATER METER	
	FIRE HYDRANT	
45	PARKING INDICATOR (INDICATES THE NUMBER OF TYPICAL PARKING SPACES)	45
	PARKING METER	
	STREET LIGHT	
255 VPD	VEHICLES PER DAY (TRAFFIC COUNT)	255 VPD
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	HANDICAP RAMP	
	DENOTES CLEAR SIGHT TRIANGLE	
15" OAK	TREE	
BM #8 ELEV=101.62	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	STOP SIGN	
	STREET SIGN	
VAN	HANDICAP PARKING SPACE (VAN)	VAN
	RIP RAP	

ABBREVIATIONS

A	AREA OF ARC
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS
AC	ACRE
ADJ	ADJACENT
AGGR	AGGREGATE
AHD	AHEAD
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
B	BREADTH
BC	BACK OF CURB
BF	BASEMENT FLOOR
BLDG	BUILDING
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)
BOV	BLOW OFF VALVE
BRG	BEARING
BRL	BUILDING RESTRICTION LINE
BVCE	BEGINNING VERTICAL CURVE ELEVATION
BVCS	BEGINNING VERTICAL CURVE STATION
BW	BOTTOM OF WALL
c,e	CENTER CORRECTION ON VERTICAL CURVE
C	RUNOFF COEFFICIENT
C&G	CABLE TELEVISION
CATV	CURB AND GUTTER
CB	CATCH BASIN
CBR	CALIFORNIA BEARING RATIO
CC	CENTER TO CENTER
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CG(R)	CURB AND GUTTER (REVERSE SLOPE)
CH	CHORD
CHBRG	CHORD BEARING
CIP	CAST IRON PIPE
CL	CENTERLINE OR CLASS
℄	CENTERLINE
C/L	CENTERLINE
CLR	CLEAR
CM	CUBIC METERS
CMP	CORRUGATED METAL PIPE
CMS	CUBIC METERS PER SECOND
CN	RUNOFF CURVE NUMBER
CONT	CONTINUOUS
CO	CLEAN OUT
CONC	CONCRETE
CS	CURB STOP
CT	COURT
CTR	CENTERLINE
CY	CUBIC YARD
D	DEPTH
DA	DRAINAGE AREA
DB	DEED BOOK
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DI	DROP INLET
DIST	DISTANCE
DL	DOMESTIC LINE
DM	DROP MANHOLE
DOM	DOMESTIC
DR	DRIVE
DRN	DRAINAGE AREA
DS	DOWN SPOUT
DU	DWELLING UNITS
DWG	DRAWING
D/W	DRIVEWAY
Δ	DELTA
E	RATE OF SUPER ELEVATION
EA	EACH
EBL	EAST BOUND LANE
EC	EROSION CONTROL
ED	EDGE OF GUTTER
EGL	ENERGY GRADIENT LINE
EL	ELEVATION
ELEC	ELECTRIC
ELEV	ELEVATION
ENGR	ENGINEER
ENT	ENTRANCE
EP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
ES	END SECTION
ESMT	EASEMENT
ETD	EXISTING TO BE DEMOLISHED
ETR	EXISTING TO REMAIN
ETRL	EXISTING TO BE RELOCATED
ETRP	EXISTING TO BE REPLACED
EVCE	ENDING VERTICAL CURVE ELEVATION
EVCS	ENDING VERTICAL CURVE STATION
EW	END WALL
EX	EXISTING
EQC	ENVIRONMENTAL QUALITY CORRIDOR
F	FIRE LINE
FAR	FLOOR AREA RATIO
FC	FACE OF CURB
FD	FLOOR DRAIN
FF	FIRST FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FND	FOUNDATION
FOY	FOYER
FP	FLOOD PLAIN
FPS	FEET PER SECOND
FS	FIRE SERVICE OR FACTOR OF SAFETY
FT	FOOT / FEET
G	GAS
GAR	GARAGE
GFA	GROSS FLOOR AREA
GR	GUARD RAIL OR GRATE INLET
H	HEAD
HC	HANDICAP
HB	HORIZONTAL BEND
HGL	HYDRAULIC GRADE LINE
HORZ	HORIZONTAL
HP	HIGH POINT
HR	HAND RAIL
HT	HEIGHT
HW	HEADWATER
I	RAINFALL INTENSITY
ID	INSIDE DIAMETER OR IDENTIFICATION
IE	INVERT ELEVATION
IN	INCH
INV	INVERT
IP	IRON PIPE
IPF	IRON PIPE FOUND
IPS	IRON PIPE SET
JB	JUNCTION BOX
JNT	JOINT
K	SIGHT DISTANCE COEFFICIENT
Ke	CULVERT ENTRANCE LOSS COEFFICIENT
L	LENGTH
LAT	LATERAL
LCG	LIMITS OF CLEARING & GRADING
LF	LINEAR FEET
LL	LOWER LEVEL
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LOADING SPACE
LT	LEFT
M	MONUMENT FOUND
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MI	MILE
MIN	MINIMUM
MISC	MISCELLANEOUS
MPH	MILES PER HOUR
MS	MEDIAN STRIP
MSL	MEAN SEA LEVEL
NA OR N/A	NOT APPLICABLE
NBL	NORTH BOUND LANE
N/F	NOW OR FORMERLY
NFA	NET FLOOR AREA
NO. OR #	NUMBER
OC	ON CENTER
OBJ	OBJECT
OD	OUTSIDE DIAMETER
OH	OVERHANG
O/H	OVERHEAD
OHC	OVERHEAD CABLE
OHE	OVERHEAD ELECTRIC
OHT	OVERHEAD TELEPHONE
P	PERIMETER
P&P	PLAN AND PROFILE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVE
PCTC	POINT OF CURVATURE TOP OF CURB
PCEP	POINT OF CURVE EDGE OF PAVEMENT
PDM	PUBLIC FACILITIES MANUAL
PG	PAGE
PGL	POINT OF GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
℄	PROPERTY LINE
PRC	POINT OF REVERSE CURVE
PRELIM	PRELIMINARY
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVRC	POINT OF VERTICAL REVERSE CURVE
PVT	POINT OF VERTICAL TANGENT
Q (cfs)	AMOUNT OF RUNOFF (FLOW RATE)
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR	REINFORCED CONCRETE PIPE/RUBBER GASKET
RD	ROAD OR ROOF DRAIN
REINF	REINFORCED
REQD	REQUIRED
RET	RETAINING
REV	REVISION
RGP	ROUGH GRADING PLAN
RMA	RESOURCE MANAGEMENT AREA
ROM	REMOTE OUTSIDE MONITOR
RPA	RESOURCE PROTECTION AREA
RR	RAILROAD
RT	RIGHT
RTE	ROUTE
R/W	RIGHT OF WAY
S	SPEED OR SLOPE
SAN	SANITARY
SBL	SOUTH BOUND LANE
SCH	SCHEDULE
SD	SIGHT DISTANCE
SEC	SECTION
SECT	SECTION
SEW	SEWER
SF	SQUARE FEET
SH	SHOULDER
SP	SPACE OR SITE PLAN
SPEC	SPECIFICATIONS
STA	STATION
STD	STANDARD
STK	STACK
STM	STORM
STR	STRUCTURE
SVC	SERVICE
S/W	SIDEWALK
SWM	STORM WATER MANAGEMENT
Sx	CROSS SLOPE
SY	SQUARE YARD
T	TANGENT
TB	TOP OF BANK OR TEST BORING
TC	TOP OF CURB
Tc	TIME OF CONCENTRATION
TEL	TELEPHONE
TEMP	TEMPORARY
TH	TEST HOLE
TP	TEST PIT OR TREE PROTECTION
TRANSP	TRANSPORTATION
TW	TOP OF WALL OR TAILWATER
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UGT	UNDERGROUND TELEPHONE
UGC	UNDERGROUND CABLE
UD	UNDERDRAIN
UL	UPPER LEVEL
UP	UTILITY POLE
USGS	US GEOLOGICAL SURVEY
V OR VOL	VOLUME
V OR VEL	VELOCITY
VA	VIRGINIA
VAN	HANDICAPPED VAN PARKING SPACE
VB	VERTICAL BEND
VC	VERTICAL CURVE
VDOT	VA DEPT OF TRANSPORTATION
VF	VERTICAL FOOT
W	WEIGHT OR WIDTH
WBL	WEST BOUND LANE
WL	WATER LINE
WM	WATER METER
W/M OR WM	WATER MAIN
WQIA	WATER QUALITY IMPACT ASSESMENT
WV	WATER VALVE
XF	TRANSFORMER
YI	YARD INLET
YR	YEAR
Z	SIDE SLOPES

NOTE:
THIS IS A STANDARD SHEET. THEREFORE, SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE PROJECT.

GENERAL NOTES

1. NOTIFY DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION. MR. TED DYSON, ACTING CHIEF ENGINEERING INSPECTION BRANCH 202-787-2377.
2. CONTACT "MISS UTILITY" 1-800-257-7777 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE EXCAVATOR MUST NOTIFY ALL PUB COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
3. CONTACT DEPARTMENT OF PUBLIC WORKS – PUBLIC SPACE MAINTENANCE ADMINISTRATION 48 HOURS PRIOR TO START OF CONSTRUCTION ON 202-645-6030 OR 6031.
4. SEWER AND WATER B.M. TO BE USED FOR CONSTRUCTION.
5. ALL PROPOSED WATER AND SEWER WORK TO BE PERFORMED UNDER THE INSPECTION OF THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY.
6. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY.
7. USE MANHOLE ENTRY SEALS WHERE REQUIRED.
8. THIS PLAN DOES NOT IMPLY THAT ALL UNDERGROUND UTILITIES AND THOSE SHOWN ARE NECESSARILY APPROXIMATE. THE CONTRACTOR SHALL TAKE ALL AND WHATEVER STEPS NECESSARY TO ACCURATELY LOCATE AND PROTECT ALL EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO ENSURE THAT THE PLANS CAN BE EXECUTED. IN THE EVENT OF CONFLICT, THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.
9. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFIGURATION AND CONDITIONS OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUALITY, AND QUANTITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED INCLUDING ALL PIPING ON PRIVATE PROPERTY.
11. CONTRACTOR SHALL COORDINATE UTILITY POLE AND UNDERGROUND CONDUIT RELOCATIONS WITH PEPCO, WASHINGTON GAS, BELL ATLANTIC AND DISTRICT CABLE VISION.
12. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR, CALL (202) 535-2240 FOR APPOINTMENT.
13. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS AND RESPONSIBLE FOR EXCAVATION, BACKFILLING, REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALK CUTS, FOR NEW UTILITIES, CONNECTIONS AND TAPS. REMOVALS, ABANDONMENTS, OF SERVICES MUST BE PERFORMED BY THE CONTRACTOR, AT THE WATER AND SEWER LINE WITHIN THE PUBLIC SPACE AND REPAIRED UNDER DCWASA INSPECTION. DCWASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THE CONTRACTOR OR DEVELOPER.
14. NOTIFY DCWASA ONE WEEK PRIOR TO START OF CONSTRUCTION:
    UTILITY INSPECTION STATION (202) 787-2377
    WATER SERVICES (202) 612-3400 OR 3460
    SEWER SERVICES (202) 264-3824 OR 3829
15. ALL WATER MAINS TO BE DUCTILE IRON PIPE., MEETING AWWA CII REQUIREMENTS. PROVIDE DUCTILE IRON RETAINER GLANDS FOR JOINT RESTRAINT ON ALL WATER MAIN, PIPE AND FITTINGS, INCLUDING VALVES AND FIRE HYDRANTS. RETAINER GLANDS SHALL NOT BE USED ON EXISTING CAST IRON PIPE.
16. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDONED IN PUBLIC SPACE. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATIONS AND RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.
17. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE, RM 203 AND THE WATER AND SEWER DESIGN SECTION AT: 5000 OVERLOOK AVENUE, S.W., 5TH FLOOR, WASHINGTON, DC.
18. THE BUILDING INFORMATION (DIMENSIONS, UTILITY CONNECTIONS AND SIZES, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM PLANS BY: LESSARD ARCHITECTS.
19. IT IS CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MEP PLAN AND COORDINATE SAME WITH THIS SITE PLAN PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
20. PERMANENT WATER CONNECTIONS MUST BE INSTALLED FOR ALL CONSTRUCTION PURPOSES.
21. ALL WATER DISTRIBUTION AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST DCWASA SPECIFICATIONS AND DETAILS.
22. ALL PUBLIC UTILITIES AND ROAD CONSTRUCTION SHALL CONFORM TO THE LATEST DDOT SPECIFICATIONS AND DETAILS.
23. EXISTING SURVEY PERFORMED BY BOWMAN C.G. ON FEBRUARY 7, 2008.
24. PERMISSION FOR OFFSITE CONSTRUCTION IS REQUIRED.

Bowman CONSULTING

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PAR 0208 (0004, 0061 & 0065-0068) PAR 0215 0027 2801 BRANCH AVENUE SE

NOTES, ABBREVIATIONS AND LEGEND

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION
MSD DESIGN	EB DRAWN	MSD CHKD

SCALE H: N.T.S V: -

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C2.00

Cad file name: J:\6010 - 11th Street Hillcrest\6010-D-PR-001\6010-D-PR-001-NOTES.dwg

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PAR 0208 (0004, 0061 & 0002-0005) PAR 0210 0027 2801 BRANCH AVENUE SE

CONTEXTUAL PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
01/04/08	BZA APPLICATION

DATE	DESCRIPTION
MRD DESIGN	GGG DRAWN MRD CHKD
SCALE	1" = 1,000'
JOB No.	6013-01-001
DATE :	APRIL 2008
FILE No.	6013-3-PR-001
SHEET	C3.00

CAUTION!
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION

MISS UTILITY
CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

LEGEND

- TEST PIT REQUIRED (EXACT LOCATION)
- ER - EXISTING TO REMAIN
- ETD - EXISTING TO BE DEMOLISHED
- ETRP - EXISTING TO BE REPLACED
- ETRL - EXISTING TO BE RELOCATED
- AIP - ABANDONED IN PLACE
- LOD - LIMITS OF DISTURBANCE
- LOC - LIMIT OF EXIST. CURB/APRON REMOVAL
- LOT - LIMIT OF UTILITY TO BE DEMOLISHED
- EXISTING TREE TO BE REMOVED

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
4. ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
5. ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
6. CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
7. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
8. CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC OPEN SPACE.
9. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
11. RECORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER AS WELL AS SOME FIELD RUN SURVEY DONE BY THIS FIRM. THE CONTRACTOR SHALL INCLUDE WITHIN HIS SCOPE OF WORK, PROVISIONS FOR EXCAVATING AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS, PRIOR TO CONSTRUCTION.
12. THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (ie: TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED, PRIOR TO FINAL JURISDICTIONAL APPROVAL.
13. TEST PITS SHOULD ALSO BE CONSIDERED AT ADJACENT BUILDINGS IN ORDER TO LOCATE EXISTING FOOTINGS AND FOUNDATIONS.
14. TEST PITS SHOULD ALSO BE CONDUCTED AT EXISTING PEPCO MANHOLES TO DETERMINE EXACT EXTERIOR DIMENSIONS OF STRUCTURES.
15. RELOCATION AND/OR DEMOLITION OF EXISTING UTILITY POLES TO BE COORDINATED BY OWNER.
16. REFER TO TREE PRESERVATION PLAN FOR ACTUAL TREE SURVEY ON SHEETS TP1.00 TO TP4.00.

UTILITY CONTACTS

1. ELECTRIC: PEPCO
   c/o KATHY BROOKS
   1900 PENNSYLVANIA AVENUE, NW
   BOX 833
   WASHINGTON, DC 20066
   (202) 872-3041
2. NATURAL GAS: WASHINGTON GAS
   c/o ANTHONY GRANG/ANN KERN
   6801 INDUSTRIAL ROAD
   ROOM 202
   WASHINGTON, DC 22315
   (703) 750-4843/(703) 750-4445
3. TELEPHONE: VERIZON (BELL ATLANTIC)
   c/o KAY-ANN ADAMS/ERNEST LEWIN
   (301) 595-6057/(301) 585-6041
4. CABLE TV: DISTRICT CABLE VISION
   CONSTRUCTION DEPARTMENT
   900 MEADIAN AVENUE, NE
   WASHINGTON, DC 20017
   (202) 832-2001
5. TELE/CATV/HS INTERNET: STAR POWER
   c/o JOE BAYES/ STEVE MASCARO
   10000 DERBYWOOD LANE
   LANHAM, MD 20706
   (301) 531-2740
   EMAIL: STEVE.MASCARO@NCN.NET

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

EXISTING CONDITIONS AND DEMOLITION PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD

SCALE 1" = 50'
V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C4.00

CAD ID: 6010-D-PR-001 - C4.00 - Hillcrest - Existing Conditions - Demolition Plan.dwg - Layout: C4.00 - 11/04/08 - 11:12 - Plotted by: Jeffrey Bowman

NOTES:

1. ALL STEPS ARE 8.25" UNLESS OTHERWISE NOTED.

2. LOW WALL IN FRONT OF LOTS 33 TO 47 AND LOTS 52 AND 52 IS MAXIMUM 2.5' HIGH.

3. RETAINING WALLS IN BACK OF LOTS 3 TO 9 IS MAXIMUM 5' HIGH.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

NAYLOR ROAD, S.E.

SOUTHERN AVENUE

PROP. SOUTHERN AVE. EXTENSION

PARKING SPACES

EX. HI-RISE BUILDING

MATCHLINE

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION
MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1"=30' V:
JOB No.	6010-01-001
DATE :	APRIL 2008
FILE No.	6010-D-PR-001
SHEET	C5.10

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DETAILED SITE AND GRADING PLAN (SHEET 1 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

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OVERALL SITE PLAN
HILLCREST
BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
7/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE H: 1" = 50' V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C5.00

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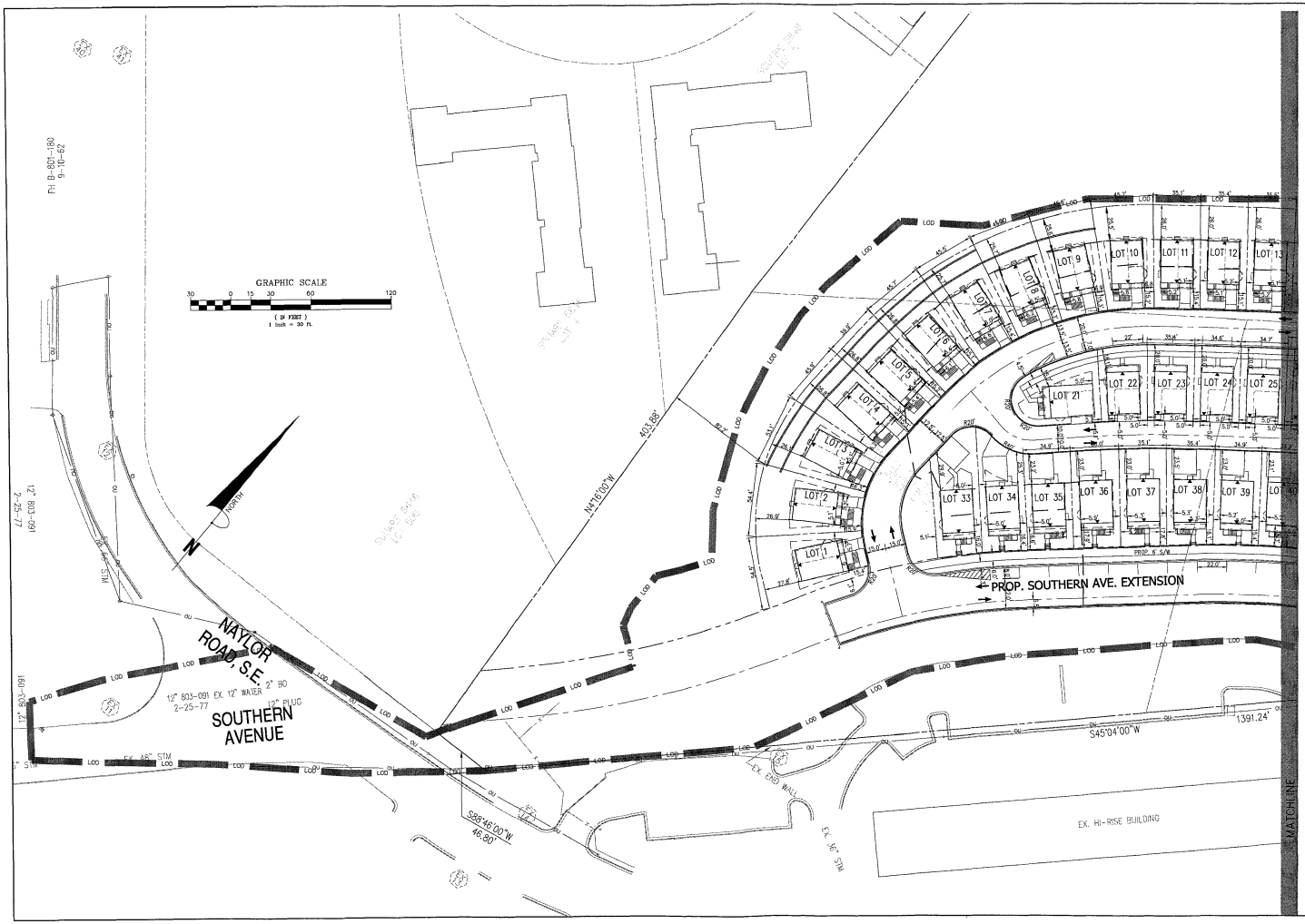

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DETAILED SITE GEOMETRIC PLAN (SHEET 1 OF 2)

HILLCREST
BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE H: 1"=30' V:		

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C5.30

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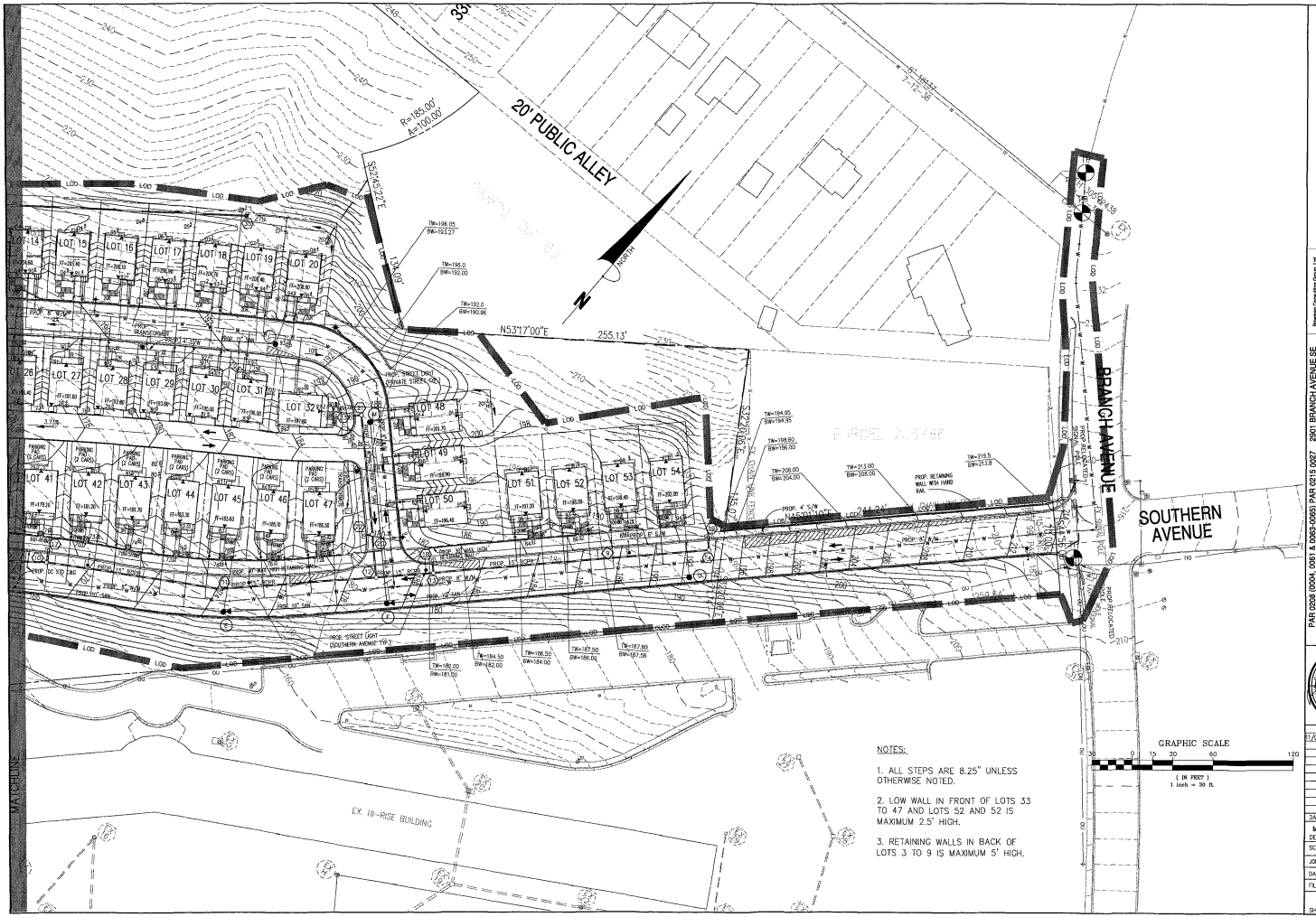

NOTES:

1. ALL STEPS ARE 8.25" UNLESS OTHERWISE NOTED.

2. LOW WALL IN FRONT OF LOTS 33 TO 47 AND LOTS 52 AND 52 IS MAXIMUM 2.5' HIGH.

3. RETAINING WALLS IN BACK OF LOTS 3 TO 9 IS MAXIMUM 5' HIGH.

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DETAILED SITE AND GRADING PLAN (2 OF 2)

HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

DISTRICT OF COLUMBIA
JOHN L. STREET
No. 900137
REGISTERED
PROFESSIONAL ENGINEER

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1"=30' V:	
JOB No. 6010-01-001		
DATE : APRIL 2008		
FILE No. 6010-D-PR-001		
SHEET C5.20		

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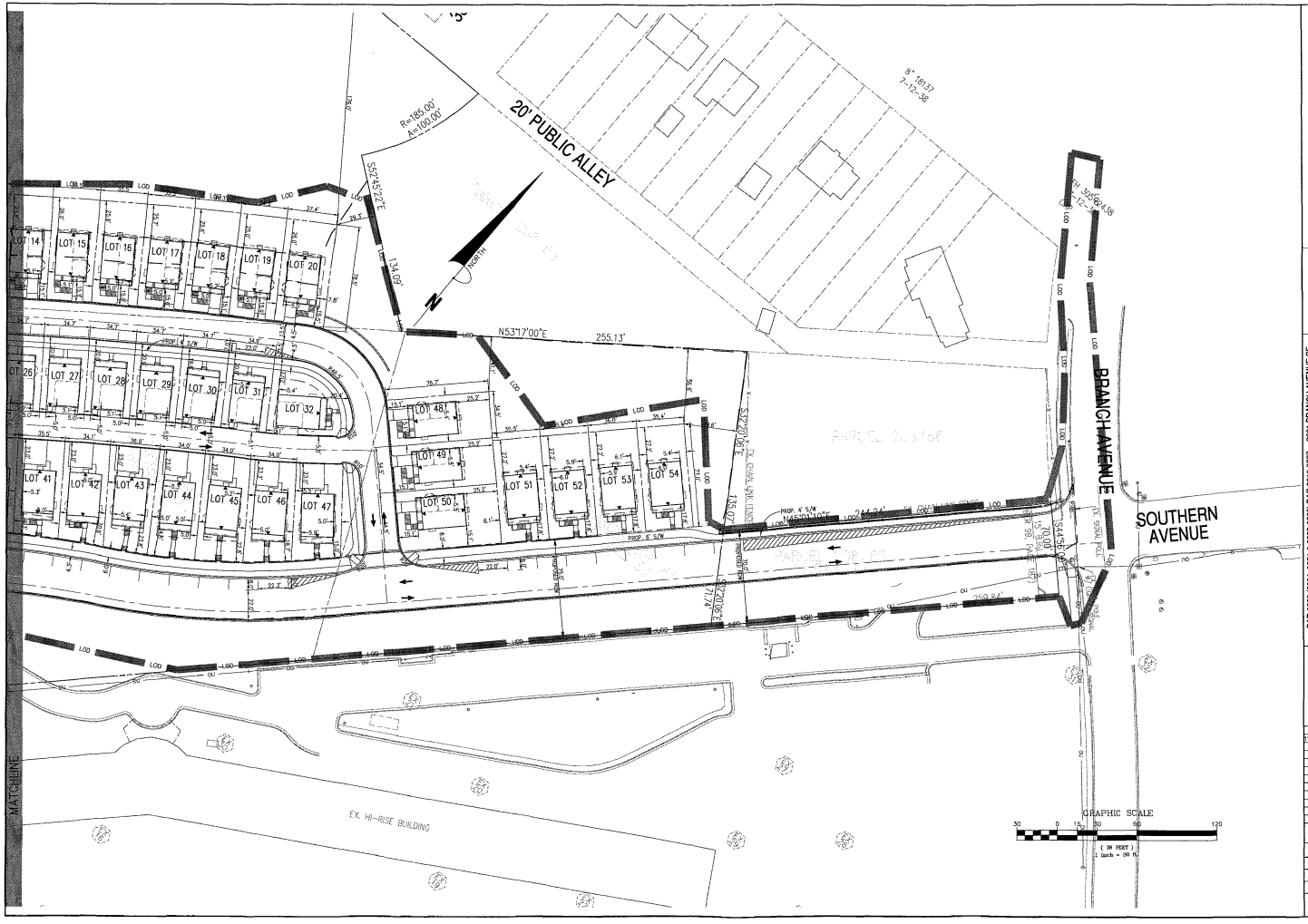

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PAR 0028 (0004, 0061 & 0068-0065) PAR 0215 0227 2801 BRANCH AVENUE SE
DETAILED SITE GEOMETRIC PLAN (SHEET 2 OF 2)

HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1"=30' V:	

JOB No. 6010-01-001
DATE : APRIL 2008
FILE No. 6010-D-PR-001
SHEET C5.40

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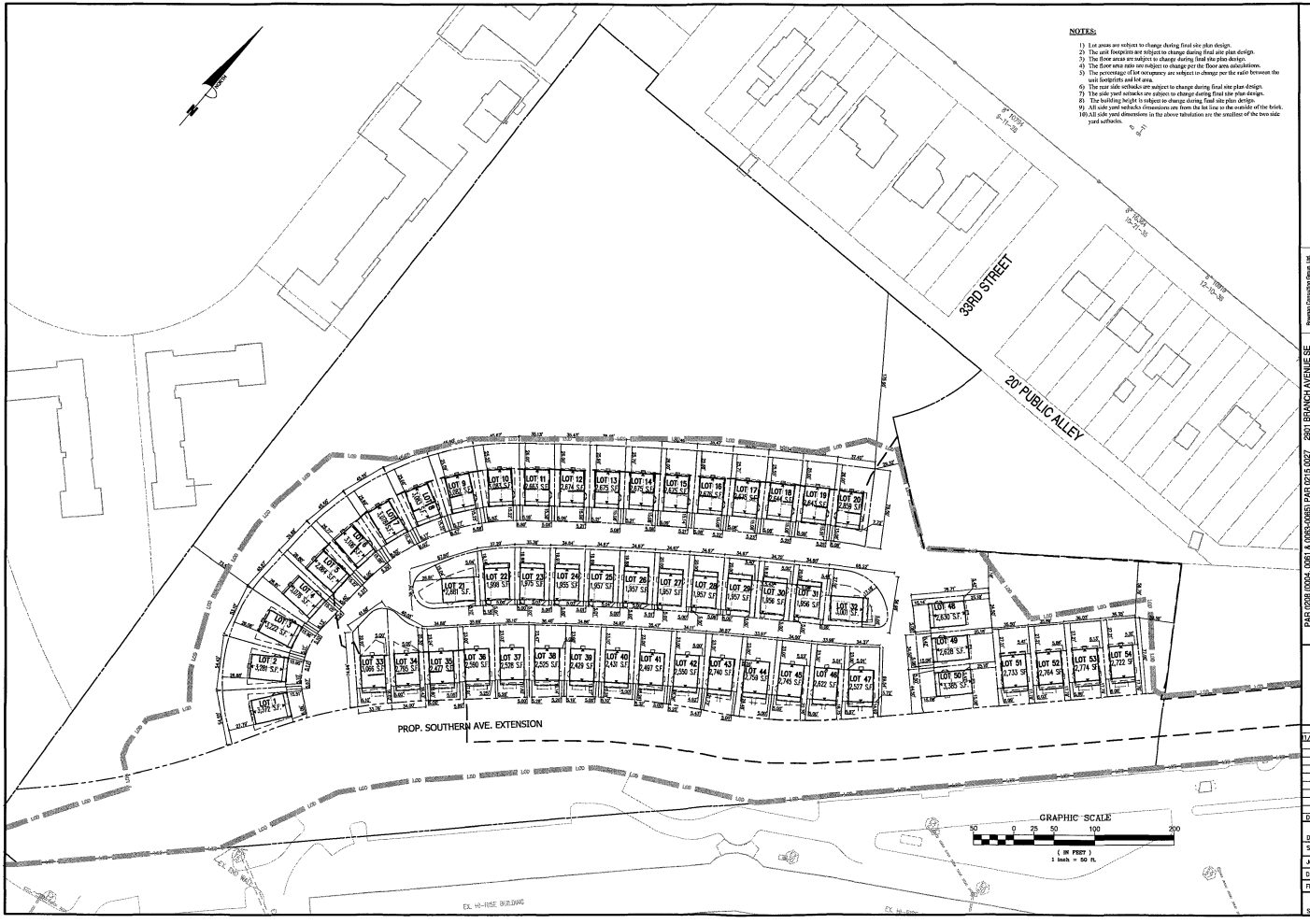

NOTES:

1) Lot areas are subject to change during final site plan design.
2) The unit footprints are subject to change during final site plan design.
3) The floor areas are subject to change during final site plan design.
4) The floor area ratio are subject to change per the floor area calculations.
5) The percentage of lot occupancy are subject to change per the ratio between the unit footprints and lot area.
6) The rear side setbacks are subject to change during final site plan design.
7) The side yard setbacks are subject to change during final site plan design.
8) The building height is subject to change during final site plan design.
9) All side yard setbacks dimensions are from the lot line to the outside of the brick.
10) All side yard dimensions in the above tabulation are the smallest of the two side yard setbacks.

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PAR 0208 (0004, 0061 & 0065-0065) PAR 0215 0227 2801 BRANCH AVENUE SE

SITE TABULATION

HILLCREST

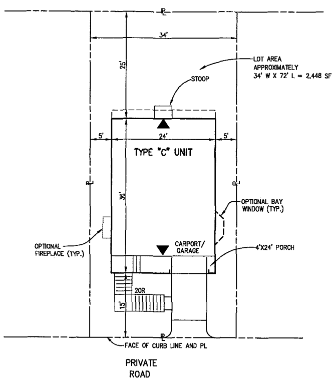
BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

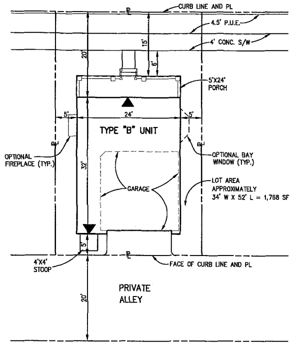
PLAN STATUS
11/04/08 BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD
SCALE	1" = 50'	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	C6.00	



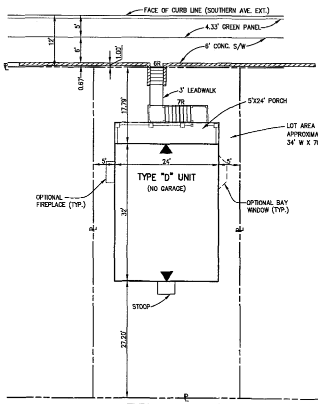
TYPICAL LAYOUT
(TYPE "B" UNIT–FRONT LOADED)
LOTS 1 TO 20 AND TO 48 TO 50
SCALE: 1"=10'



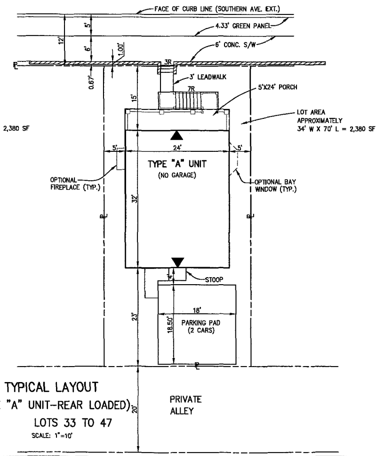
TYPICAL LAYOUT
(TYPE "A" UNIT–REAR LOADED WITH GARAGE)
LOTS 22 TO 31
(LOTS 21, AND 32 WILL BE
SPECIAL HYBRIDS OF THIS UNIT)
SCALE: 1"=10'

Detailed Conceptual Site Plan Tabulation-FOR VARIANCE PURPOSES																			
Zone: R-1-B																			
Lot #	Area (sf)	Min. Lot Area Required (sf)	Variance (sf)	Side Yard Setback (ft)	Min. Side Yard Required (ft)	Variance (ft)	Front Yard Setback (ft)	Min. Front Yard Required (ft)	Variance (ft)	Rear Yard Setback (ft)	Min. Rear Yard Required (ft)	Variance (ft)	Unit Footprint (sf)	Lot Occupancy (%)	Max. Lot Occupancy (%)	Varince (ft)	Lot Width (ft)	Min. Lot Width (ft)	Variance (ft)
1	3,372	5,000	1,628	5.67	8.00	2.33	15.51	25.00	9.49	27.79	25.00	0.00	862.00	25.6%	40.0%	0.0%	54.38	50.00	0.00
2	3,281	5,000	1,719	5.10	8.00	2.90	15.90	25.00	9.10	26.88	25.00	0.00	862.00	26.3%	40.0%	0.0%	54.43	50.00	0.00
3	3,222	5,000	1,778	5.00	8.00	3.00	15.96	25.00	9.04	26.06	25.00	0.00	862.00	26.8%	40.0%	0.0%	53.10	50.00	0.00
4	3,076	5,000	1,924	5.24	8.00	2.76	15.25	25.00	9.75	25.81	25.00	0.00	862.00	28.0%	40.0%	0.0%	45.87	50.00	4.13
5	2,864	5,000	2,136	5.37	8.00	2.63	15.22	25.00	9.78	26.80	25.00	0.00	862.00	30.1%	40.0%	0.0%	39.88	50.00	10.12
6	3,106	5,000	1,894	6.05	8.00	1.95	15.08	25.00	9.92	26.77	25.00	0.00	862.00	27.8%	40.0%	0.0%	45.66	50.00	4.34
7	3,078	5,000	1,922	6.03	8.00	1.97	15.36	25.00	9.64	25.69	25.00	0.00	862.00	28.0%	40.0%	0.0%	45.55	50.00	4.45
8	3,083	5,000	1,917	6.17	8.00	1.83	15.32	25.00	9.68	25.66	25.00	0.00	862.00	28.0%	40.0%	0.0%	45.61	50.00	4.39
9	3,082	5,000	1,918	5.77	8.00	2.23	15.25	25.00	9.75	25.59	25.00	0.00	862.00	28.0%	40.0%	0.0%	45.60	50.00	4.40
10	3,083	5,000	1,917	5.83	8.00	2.17	15.22	25.00	9.78	25.55	25.00	0.00	862.00	28.0%	40.0%	0.0%	45.67	50.00	4.33
11	2,663	5,000	2,337	5.08	8.00	2.92	15.38	25.00	9.62	26.00	25.00	0.00	862.00	32.4%	40.0%	0.0%	35.13	50.00	14.87
12	2,674	5,000	2,326	5.09	8.00	2.91	15.08	25.00	9.92	26.00	25.00	0.00	862.00	32.2%	40.0%	0.0%	35.43	50.00	14.57
13	2,675	5,000	2,325	5.08	8.00	2.92	15.08	25.00	9.92	25.96	25.00	0.00	862.00	32.2%	40.0%	0.0%	35.46	50.00	14.54
14	2,675	5,000	2,325	5.08	8.00	2.92	15.08	25.00	9.92	25.79	25.00	0.00	862.00	32.2%	40.0%	0.0%	35.46	50.00	14.54
15	2,675	5,000	2,325	5.09	8.00	2.91	15.14	25.00	9.86	26.00	25.00	0.00	862.00	32.2%	40.0%	0.0%	35.46	50.00	14.54
16	2,676	5,000	2,324	5.00	8.00	3.00	15.08	25.00	9.92	25.88	25.00	0.00	862.00	32.2%	40.0%	0.0%	35.47	50.00	14.53
17	2,675	5,000	2,325	5.00	8.00	3.00	15.08	25.00	9.92	25.71	25.00	0.00	862.00	32.2%	40.0%	0.0%	34.34	50.00	15.66
18	2,644	5,000	2,356	5.00	8.00	3.00	15.08	25.00	9.92	25.55	25.00	0.00	862.00	32.6%	40.0%	0.0%	34.34	50.00	15.66
19	2,643	5,000	2,357	5.08	8.00	2.92	15.91	25.00	9.09	25.00	25.00	0.00	862.00	32.6%	40.0%	0.0%	34.33	50.00	15.67
20	2,859	5,000	2,141	5.00	8.00	3.00	15.08	25.00	9.92	26.00	25.00	0.00	862.00	30.2%	40.0%	0.0%	37.40	50.00	12.60
21	2,881	5,000	2,119	5.04	8.00	2.96	15.04	25.00	9.96	5.04	25.00	19.96	756.00	26.2%	40.0%	0.0%	36.78	50.00	13.22
22	1,998	5,000	3,002	5.00	8.00	3.00	18.14	25.00	6.86	5.01	25.00	19.99	768.00	38.4%	40.0%	0.0%	37.20	50.00	12.80
23	1,975	5,000	3,025	5.00	8.00	3.00	19.98	25.00	5.02	5.02	25.00	19.98	768.00	38.9%	40.0%	0.0%	35.39	50.00	14.61
24	1,955	5,000	3,045	5.00	8.00	3.00	19.97	25.00	5.03	5.00	25.00	20.00	768.00	39.3%	40.0%	0.0%	34.64	50.00	15.36
25	1,957	5,000	3,043	5.01	8.00	2.99	19.99	25.00	5.01	5.01	25.00	19.99	768.00	39.2%	40.0%	0.0%	34.67	50.00	15.33
26	1,957	5,000	3,043	5.00	8.00	3.00	19.88	25.00	5.12	5.00	25.00	20.00	768.00	39.2%	40.0%	0.0%	34.67	50.00	15.33
27	1,957	5,000	3,043	5.00	8.00	3.00	20.00	25.00	5.00	5.00	25.00	20.00	768.00	39.2%	40.0%	0.0%	34.67	50.00	15.33
28	1,957	5,000	3,043	5.00	8.00	3.00	20.00	25.00	5.00	5.00	25.00	20.00	768.00	39.2%	40.0%	0.0%	34.67	50.00	15.33
29	1,957	5,000	3,043	5.00	8.00	3.00	20.00	25.00	5.00	5.00	25.00	20.00	768.00	39.2%	40.0%	0.0%	34.67	50.00	15.33
30	1,956	5,000	3,044	5.00	8.00	3.00	19.82	25.00	5.18	5.00	25.00	20.00	768.00	39.3%	40.0%	0.0%	34.70	50.00	15.30
31	1,956	5,000	3,044	5.00	8.00	3.00	20.00	25.00	5.00	5.00	25.00	20.00	768.00	39.3%	40.0%	0.0%	34.60	50.00	15.40
32	3,001	5,000	1,999	5.00	8.00	3.00	17.18	25.00	7.82	5.44	25.00	19.56	756.00	25.2%	40.0%	0.0%	56.98	50.00	0.00
33	3,066	5,000	1,934	5.00	8.00	3.00	16.02	0.00	0.00	29.92	25.00	0.00	768.00	25.0%	40.0%	0.0%	33.76	50.00	16.24
34	2,795	5,000	2,205	5.00	8.00	3.00	16.43	0.00	0.00	25.30	25.00	0.00	768.00	27.5%	40.0%	0.0%	34.00	50.00	16.00
35	2,477	5,000	2,523	5.00	8.00	3.00	16.60	0.00	0.00	23.24	25.00	1.76	768.00	31.0%	40.0%	0.0%	34.88	50.00	15.12
36	2,590	5,000	2,410	5.25	8.00	2.75	17.91	0.00	0.00	23.00	25.00	2.00	768.00	29.7%	40.0%	0.0%	35.99	50.00	14.01
37	2,528	5,000	2,472	5.00	8.00	3.00	17.82	0.00	0.00	23.03	25.00	1.97	768.00	30.4%	40.0%	0.0%	35.10	50.00	14.90
38	2,525	5,000	2,475	5.26	8.00	2.74	16.14	0.00	0.00	23.47	25.00	1.53	768.00	30.4%	40.0%	0.0%	36.40	50.00	13.60
39	2,429	5,000	2,571	5.00	8.00	3.00	15.37	0.00	0.00	23.00	25.00	2.00	768.00	31.6%	40.0%	0.0%	34.36	50.00	15.14
40	2,431	5,000	2,569	5.00	8.00	3.00	15.28	0.00	0.00	23.10	25.00	1.90	768.00	31.6%	40.0%	0.0%	34.87	50.00	15.13
41	2,497	5,000	2,503	5.00	8.00	3.00	16.26	0.00	0.00	23.00	25.00	2.00	768.00	30.8%	40.0%	0.0%	35.47	50.00	14.53
42	2,550	5,000	2,450	5.00	8.00	3.00	18.38	0.00	0.00	23.00	25.00	2.00	768.00	30.1%	40.0%	0.0%	34.11	50.00	15.89
43	2,470	5,000	2,530	5.00	8.00	3.00	21.73	0.00	0.00	23.01	25.00	1.99	768.00	31.1%	40.0%	0.0%	36.87	50.00	13.13
44	2,759	5,000	2,241	5.00	8.00	3.00	24.48	0.00	0.00	23.00	25.00	2.00	768.00	27.8%	40.0%	0.0%	33.97	50.00	16.03
45	2,745	5,000	2,255	5.00	8.00	3.00	22.76	0.00	0.00	23.00	25.00	2.00	768.00	28.0%	40.0%	0.0%	34.00	50.00	16.00
46	2,622	5,000	2,378	5.00	8.00	3.00	18.75	0.00	0.00	23.30	25.00	1.70	768.00	29.3%	40.0%	0.0%	33.98	50.00	16.02
47	2,527	5,000	2,473	5.01	8.00	2.99	14.99	0.00	0.00	23.00	25.00	2.00	768.00	30.4%	40.0%	0.0%	34.37	50.00	15.63
48	2,630	5,000	2,370	5.08	8.00	2.92	15.14	25.00	9.86	25.18	25.00	0.00	862.00	32.8%	40.0%	0.0%	34.50	50.00	15.50
49	2,628	5,000	2,372	5.08	8.00	2.92	15.06	25.00	9.92	25.18	25.00	0.00	862.00	32.9%	40.0%	0.0%	34.50	50.00	15.50
50	3,385	5,000	1,615	5.50	8.00	2.50	15.08	25.00	9.92	25.18	25.00	0.00	862.00	25.5%	40.0%	0.0%	44.50	50.00	5.50
51	2,733	5,000	2,267	5.50	8.00	2.50	17.79	0.00	0.00	27.21	25.00	0.00	862.00	31.5%	40.0%	0.0%	35.50	50.00	14.50
52	2,764	5,000	2,236	5.40	8.00	2.60	17.79	0.00	0.00	27.21	25.00	0.00	862.00	31.2%	40.0%	0.0%	35.89	50.00	14.11
53	2,774	5,000	2,226	5.89	8.00	2.11	17.79	0.00	0.00	27.21	25.00	0.00	862.00	31.1%	40.0%	0.0%	36.03	50.00	13.97
54	2,722	5,000	2,278	5.35	8.00	2.65	17.79	0.00	0.00	27.21	25.00	0.00	862.00	31.7%	40.0%	0.0%	35.35	50.00	14.65
Average	**2,634**		**2,366**	**5.19**		**2.81**	**17.06**		**5.44**	**20.75**		**10.17**		**31.5%**			**38.02**		**13.32**

Prop. Building Height:	40'
Min. Building Height:	40'
Variance:	0'



TYPICAL LAYOUT
(TYPE "A" UNIT–MODIFIED)
LOTS 51 TO 54
SCALE: 1"=10'



TYPICAL LAYOUT
(TYPE "A" UNIT–REAR LOADED)
LOTS 33 TO 47
SCALE: 1"=10'

NOTES:
1. WHEN SOUTHERN AVENUE IS EXTENDED, DEDICATED LOTS 33 TO 47 AND 51 TO 54 WILL NOT REQUIRE A FRONT YARD.

2. UNIT CONDENSERS ARE NOT SHOWN. THEY SHALL EITHER BE LOCATED WITHIN THE UNIT OR ATTACHED TO THE FOUNDATION WALL OF THE RESPECTIVE UNITS.

3. PER TITLE 11, SECTION 2516.6 (a), THE LOT AREAS PROPOSED EXCLUDE ANY FORM OF COVENANTED MEANS OF INGRESS OR EGRESS.

4. THE LOTS PROPOSED SHALL BE A&T (ASSESSMENT &TAXATION) LOTS AND WILL THEREFORE BE CONSIDERED "THEORETICAL LOTS."

5. PER TITLE 11, SECTION 2516.6 (b) TWENTY-FIVE (25FT) IN WIDTH IS PROVIDED FOR MEANS OF VEHICULAR INGRESS OR EGRESS TO ANY PRINCIPAL STRUCTURE AT EACH THEORETICAL LOT.

6. PER TITLE 11, SECTION 2516.6 (c) TWO (2) ENTRANCES OR EXITS ARE PROPOSED FROM SOUTHERN AVENUE EXTENSION AND A "T TURNAROUND" IS PROVIDED AT THE SOUTHERN END OF THE SOUTHERN AVENUE EXTENSION.

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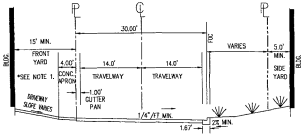
PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE
TYPICAL UNITS AND VARIANCES
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION
DATE	DESCRIPTION

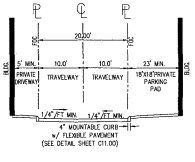
MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1" = 10' V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	C6.10	

Cad file name : P:\6010 – EYA-Hillcrest\6010-01-001-Eng\Engineering\Prelim Plans\LTR\6010-D-PR-001-C6.10-TYP-UNITS.dwg

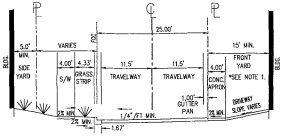
℄ = CENTER LINE
℗ = PROPERTY LINE
FOC = FACE OF CURB
S/W = SIDEWALK
GP= GUTTER PAN



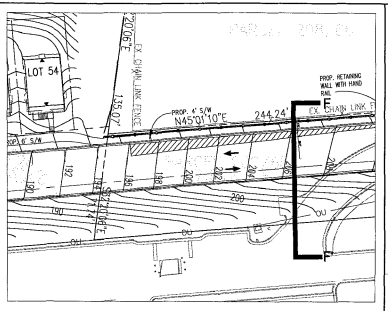
SECTION A–A' NOT TO SCALE
TYPICAL ROADWAY SECTION/BANKED/NO PARKING
(PRIVATE)



SECTION C–C' NOT TO SCALE
TYPICAL ALLEY ROADWAY SECTION/INVERTED/NO PARKING
(PRIVATE)

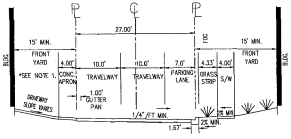


SECTION E–E' NOT TO SCALE
TYPICAL ROADWAY SECTION/BANKED/NO PARKING
(PRIVATE)

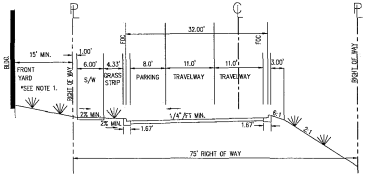


NOTES:
1. FRONT PORCH, STAIRS, & STOOPS MAY BE IN THE FRONT YARD.

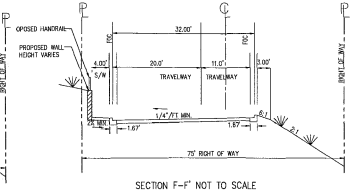
2. PER SECTION C–C', A MINIMUM OF 25' IS PROVIDED, CLEAR OF ANY BUILDINGS, IN ACCORDANCE WITH TITLE 11, SECTION 2516.6 (b).



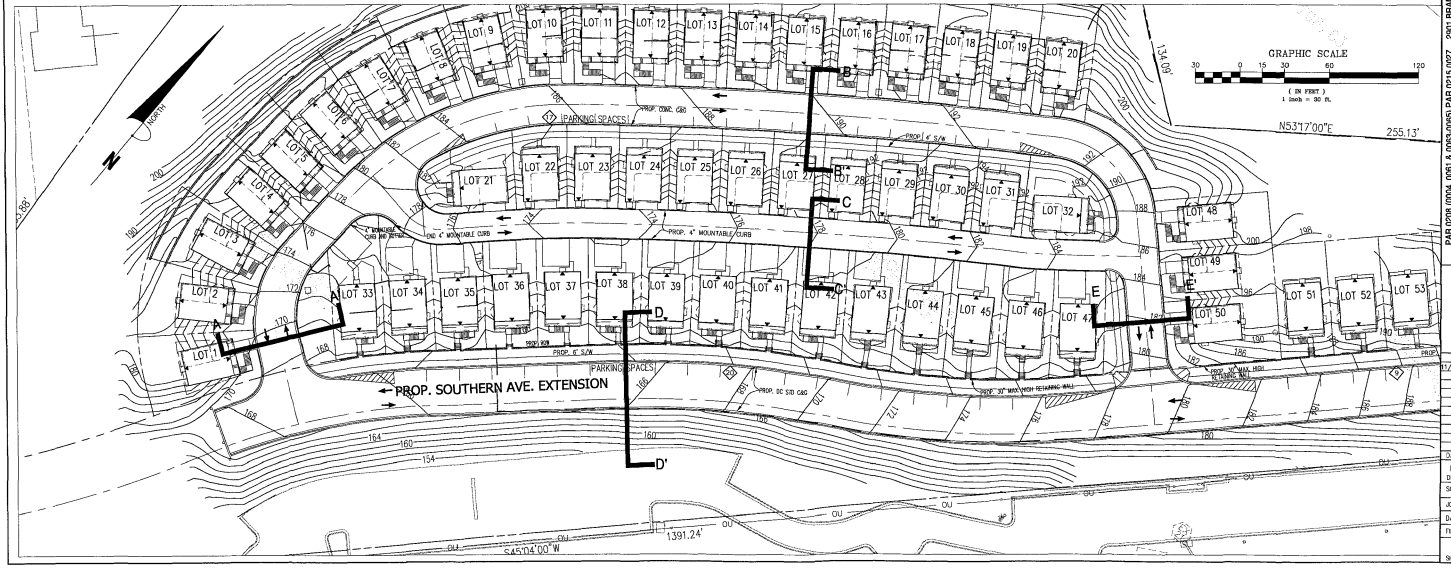
SECTION B–B' NOT TO SCALE
TYPICAL ROADWAY SECTION/BANKED/PARKING ONE SIDE
(PRIVATE)



SECTION D–D' NOT TO SCALE
TYPICAL ROADWAY SECTION/BANKED/PARKING ONE SIDE
SOUTHERN AVENUE EXTENSION



SECTION F–F' NOT TO SCALE
TYPICAL ROADWAY SECTION/BANKED/WALL
SOUTHERN AVENUE EXTENSION



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PAR 0208 (0004, 0061 & 0065/0065) PAR 0215 0027 2801 BRANCH AVENUE SE
TYPICAL ROADWAY SECTIONS

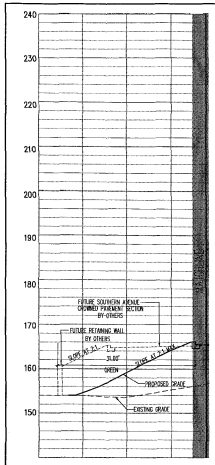
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

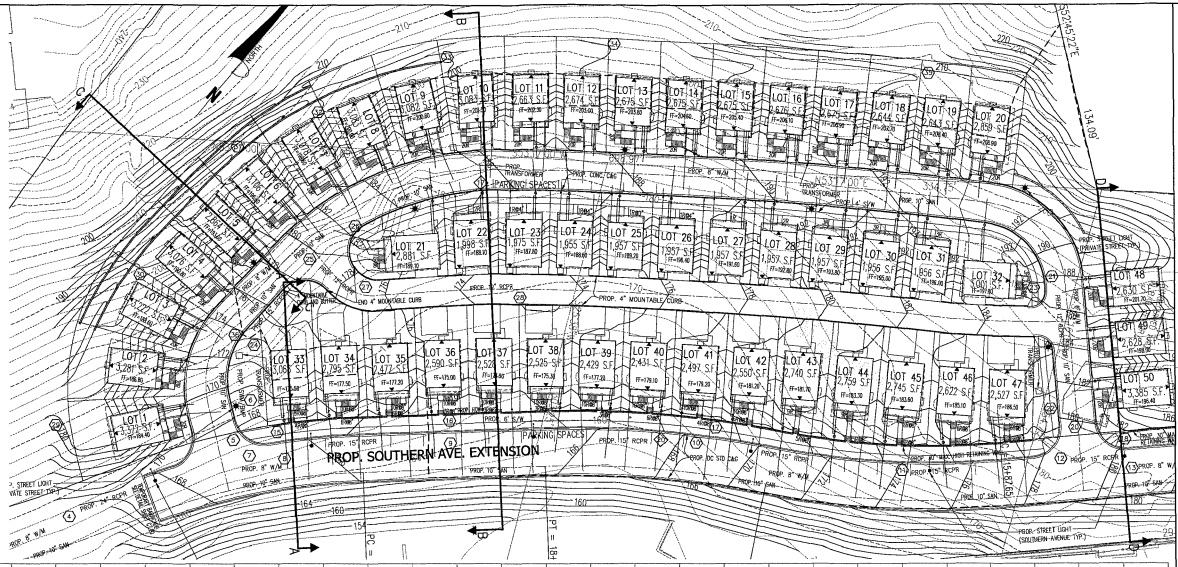
DATE	DESCRIPTION

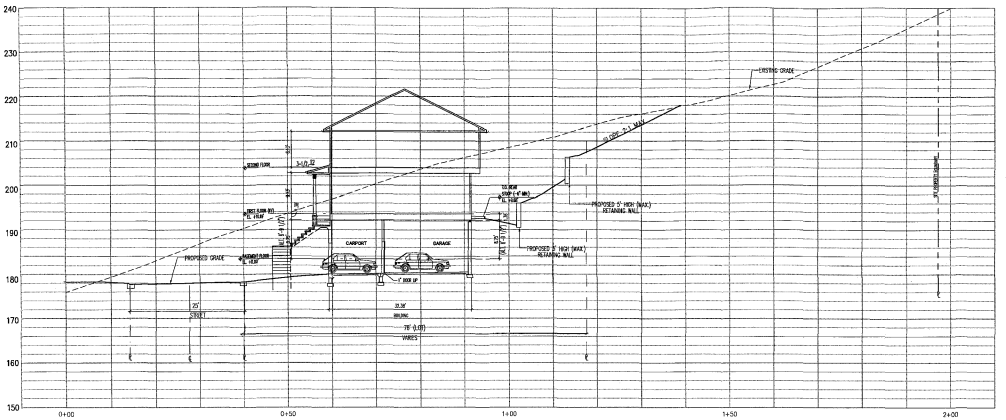
MSD DESIGN	STC DRAWN	MSD CHKD
SCALE	H: 1"=30' V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	C7.00	

Cad file name: P:\6010-01-001\Engineering\Plan Sets\6010-D-PR-001-2008-10-31.dwg

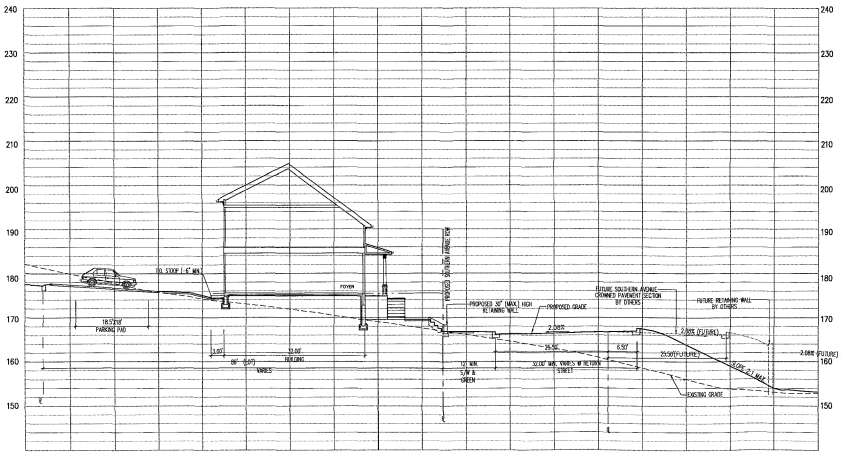


Ⓑ TYPICAL SITE SECTION
CONTINUED BELOW


PROP. SOUTHERN AVE. EXTENSION
PARKING SPACES
PROP. 4" MOUNTABLE CURB
PROP. 8" W/M
PROP. 15" RCPR
PROP. 10" SAN.
PROP. STREET LIGHT (SOUTHERN AVENUE TYP.)
PROP. TRANS-FORMER
PROP. CONC. CAG.
PROP. 6" SW
PROP. 4" SW
PROP. 10" SAN.
PROP. 15" RCPR
PROP. 8" W/M



Ⓒ TYPICAL SITE SECTION



Ⓐ TYPICAL SITE SECTION

TYPICAL SITE SECTIONS

NOTES

1. FOOTINGS AND FOUNDATIONS OF RETAINING WALLS AND BUILDINGS MAY EXTEND BELOW EXISTING GRADE AND BE SUBJECT TO FINAL GEOTECHNICAL REPORTS AND FINAL STRUCTURAL DESIGN.

2. GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR EVALUATION OF EXISTING SOILS RELATED TO PROPOSED GRADING AND WALL DESIGNS (BUILDING, RETAINING AND OTHERS).

[redacted]

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE
SITE SECTIONS
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION
MSD DESIGN	DAD DRAWN / MSD CHKD
SCALE	H: 1"=10' V: 1"=10'
JOB No.	6010-01-001
DATE :	APRIL 2008
FILE No.	6010-D-PR-001
SHEET	C7.20

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

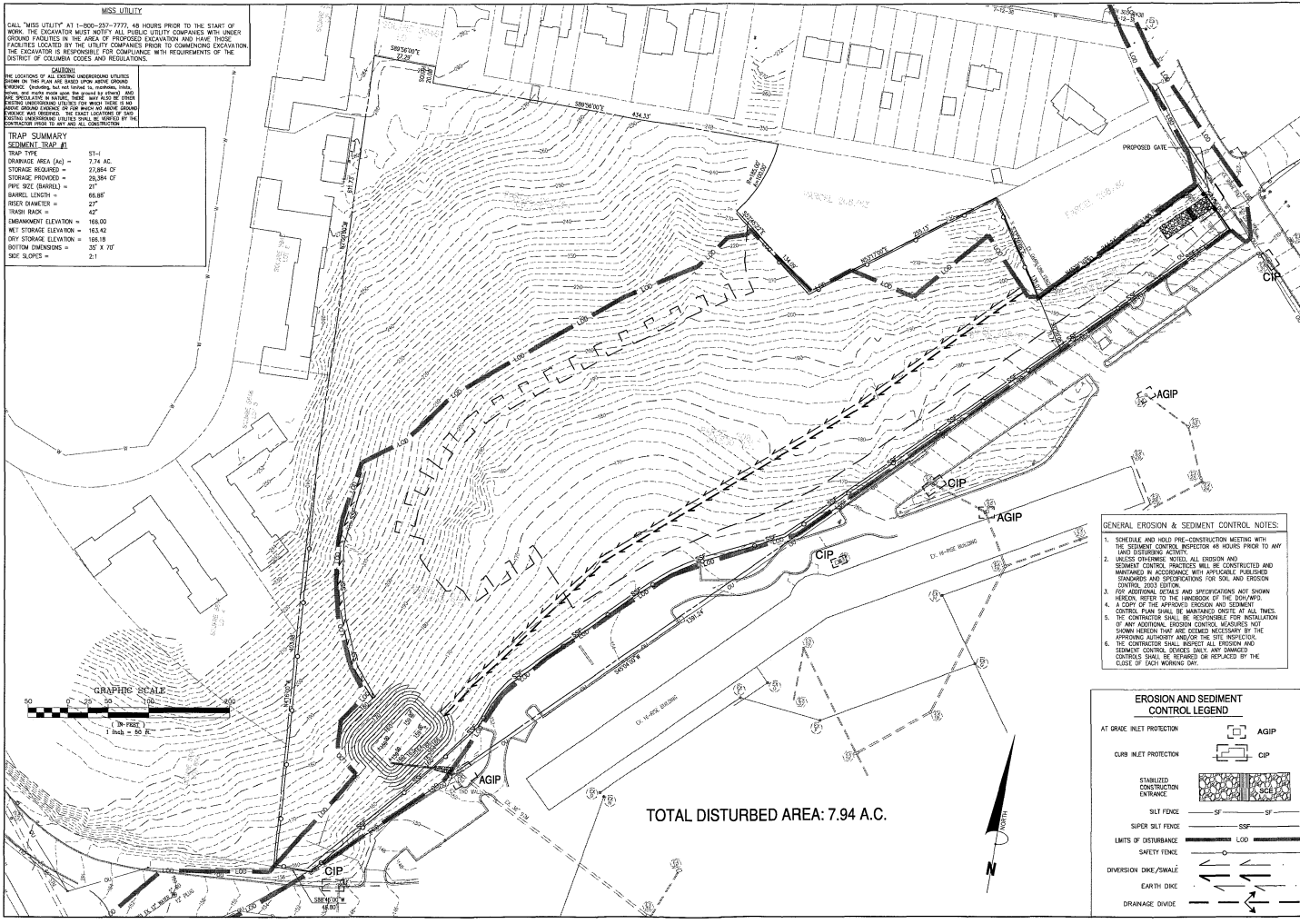
CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE APPROXIMATE. THERE MAY BE ADDITIONAL EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION

TRAP SUMMARY

SEDIMENT TRAP #1

TRAP TYPE	ST-I
DRAINAGE AREA (Ac) =	7.74 AC.
STORAGE REQUIRED =	27,864 CF
STORAGE PROVIDED =	28,384 CF
PIPE SIZE (BARREL) =	21"
BARREL LENGTH =	66.85'
RISER DIAMETER =	27"
TRASH RACK =	42"
EMBANKMENT ELEVATION =	168.00
INLET STORAGE ELEVATION =	163.42
DRY STORAGE ELEVATION =	166.18
BOTTOM DIMENSIONS =	35' X 70'
SIDE SLOPES =	2:1



GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, 2003 EDITION.
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREON, REFER TO THE HANDBOOK OF THE DOH/WPD.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREON THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR THE SITE INSPECTOR.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.

EROSION AND SEDIMENT CONTROL LEGEND

AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
STABILIZED CONSTRUCTION ENTRANCE	SCE
SILT FENCE	SF
SUPER SILT FENCE	SSF
LIMITS OF DISTURBANCE	LOD
SAFETY FENCE	
DIVERSION DIKE/SWALE	
EARTH DIKE	
DRAINAGE DIVIDE	

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PAR 0208 (0004, 0061 & 0063-0068) PAR 0215 0027 2901 BRANCH AVENUE SE

EROSION AND SEDIMENT CONTROL PHASE 1

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	XXX DRAWN	MSD CHKD

SCALE H: 1" = 50' V: -

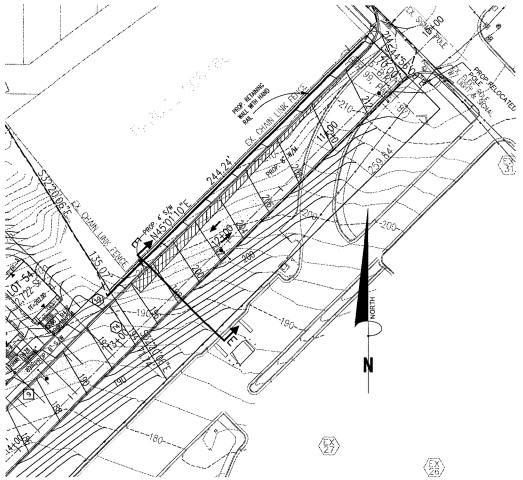
JOB No. 6010-01-001

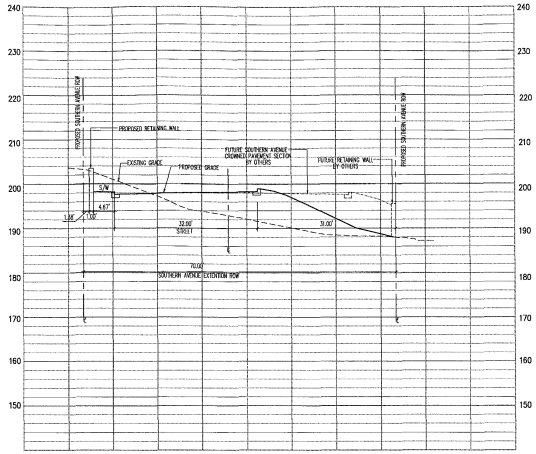
DATE : APRIL 2008

FILE No. 6010-D-PR-001

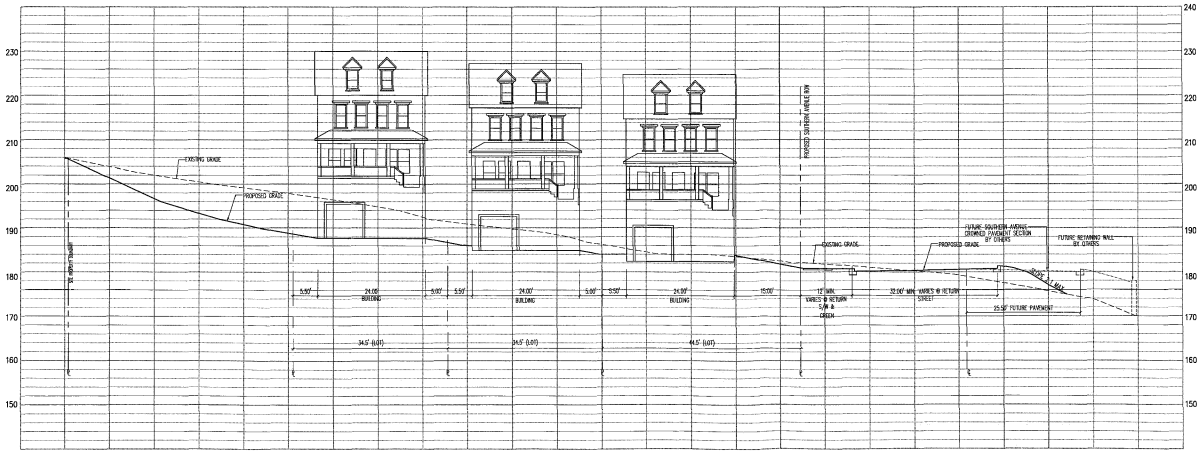
SHEET C8.00

Cad file name: J:\6010-01-001-Hillcrest\Plans\6010-D-PR-02-C8.00-15.dwg





E TYPICAL SITE SECTION



D TYPICAL SITE SECTION

TYPICAL SITE SECTIONS

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PAR 0208 (0004, 0061 & 0083-0085) / PAR 0215 0027 2901 BRANCH AVENUE SE
SITE SECTIONS

HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

DESIGN	DRAWN	CHKD
MSD	DAD	MSD

SCALE: PC 1"=10' / V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C7.30

Cad file name: P:\6010 - Elite-Hillcrest\6010-01-001-Eng-Engineering\Plans-Hydro\6010-D-PR-001-C7.30-SITE SECTION.dwg

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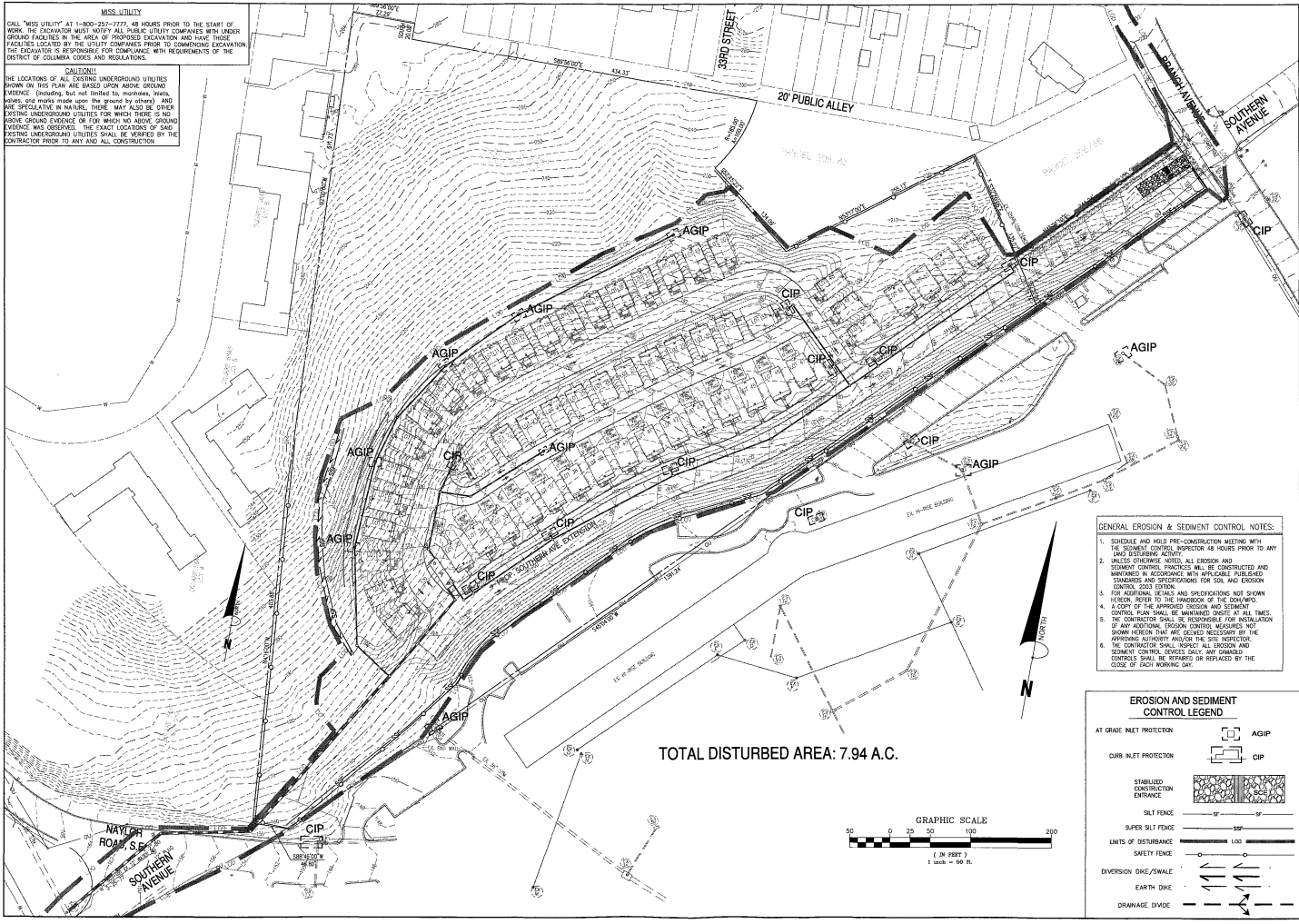

GENERAL EROSION & SEDIMENT CONTROL NOTES:

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EROSION AND SEDIMENT CONTROL LEGEND

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CURB INLET PROTECTION	CIP
STABILIZED CONSTRUCTION ENTRANCE	SCE
SILT FENCE	SF
SUPER SILT FENCE	SSF
LIMITS OF DISTURBANCE	LOD
SAFETY FENCE	
DIVERSION DIKE/SWALE	
EARTH DIKE	
DRAINAGE DIVIDE	

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

EROSION AND SEDIMENT CONTROL PHASE 2

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION
MSD DESIGN	CDP DRAWN	MSD CHKD

SCALE : IN 1" = 50'

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C8.10

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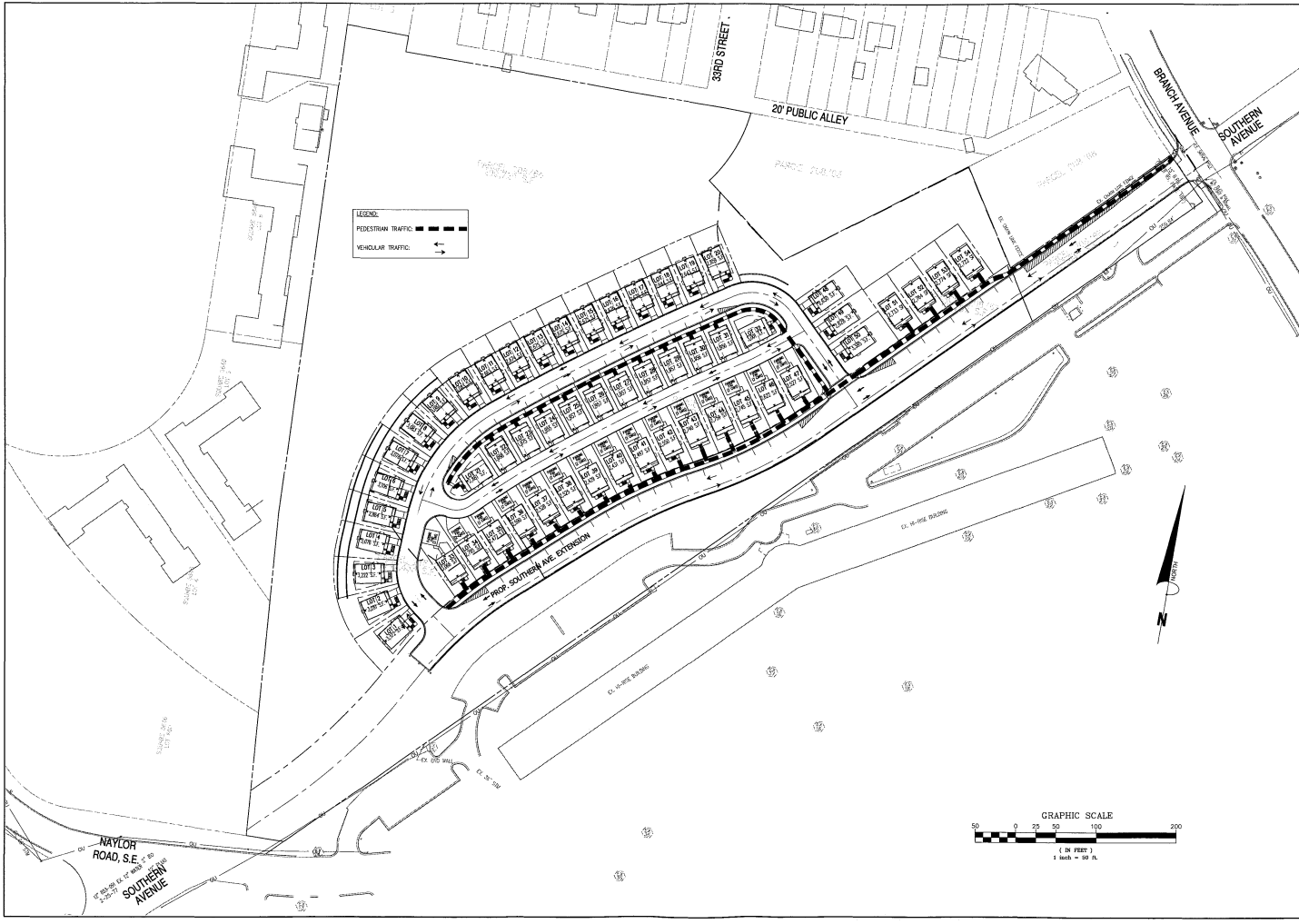

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CIRCULATION PLAN
HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD

SCALE H: 1" = 50'
V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C9.00

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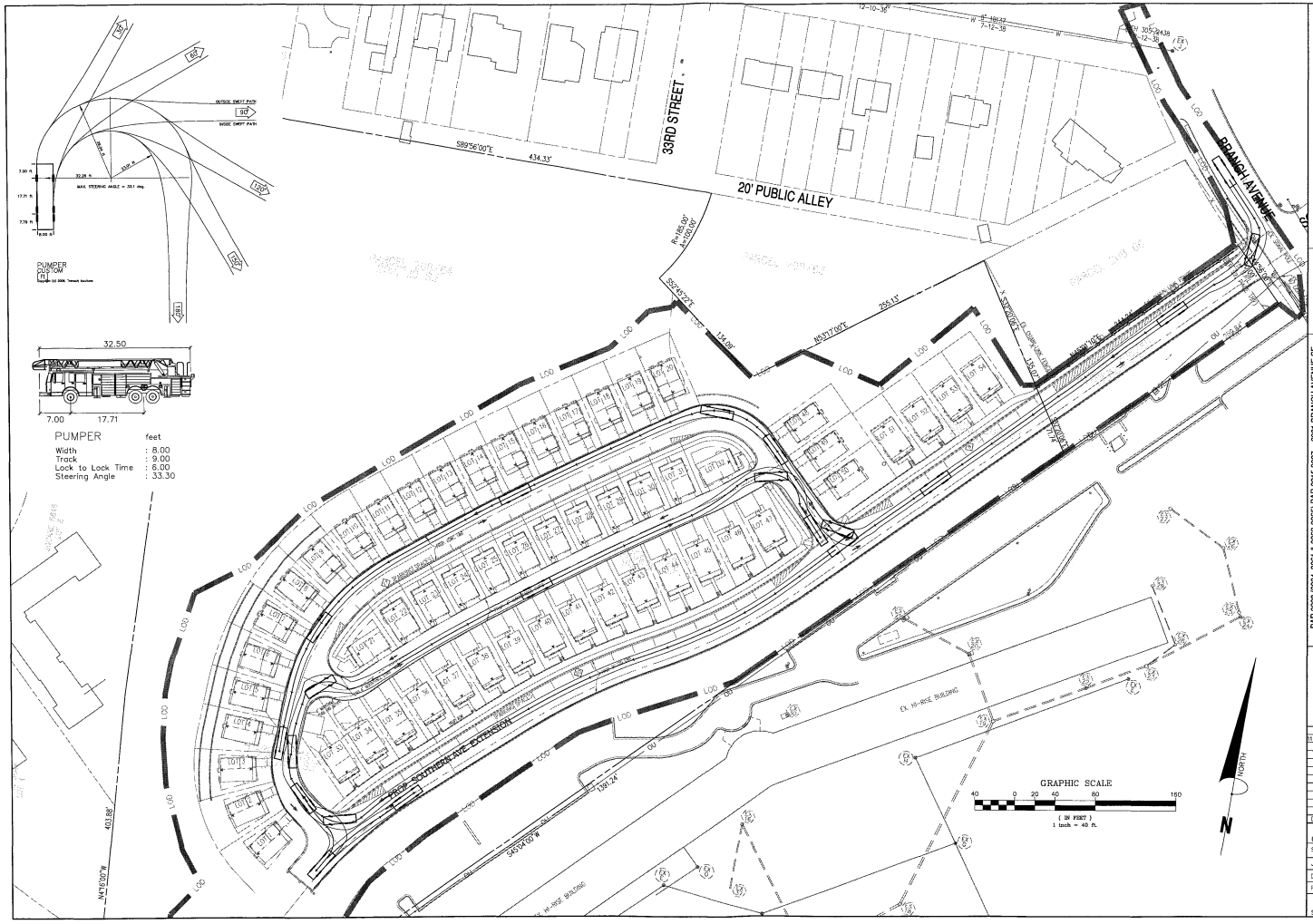

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PAR 0208 (0004, 0051 & 0053-0056) PAR 0215-0027 2301 BRANCH AVENUE SE

FIRE TRUCK TURNING MOVEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD
SCALE	H: 1" = 40' V:	

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C11.00

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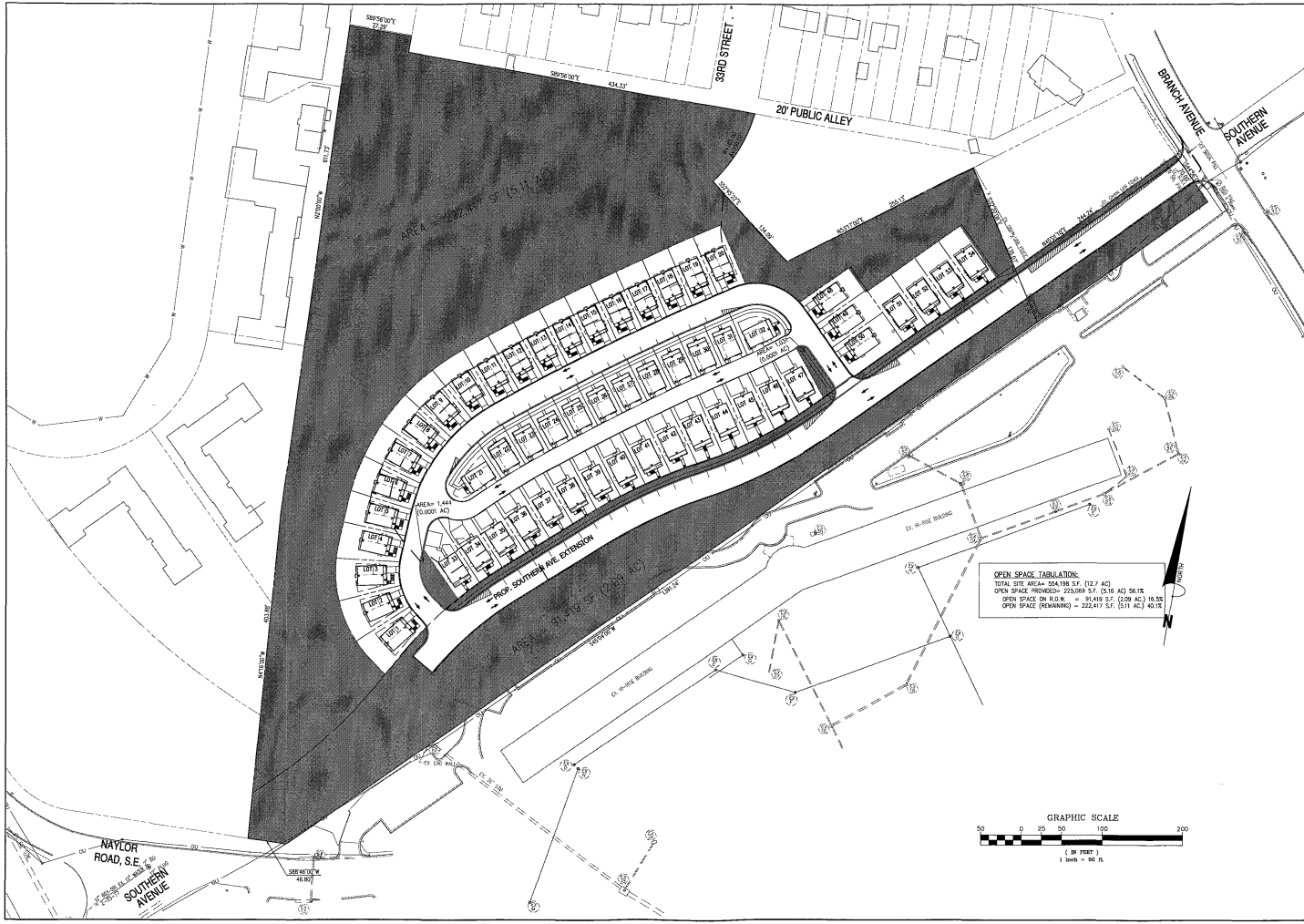

OPEN SPACE TABULATION:

TOTAL SITE AREA= 554,199 S.F. (12.7 AC)
OPEN SPACE PROVIDED= 225,069 S.F. (5.16 AC) 56.1%
OPEN SPACE ON R.O.W. = 91,419 S.F. (2.09 AC.) 16.5%
OPEN SPACE (REMAINING) = 222,417 S.F. (5.11 AC.) 40.1%

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OPEN SPACE PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

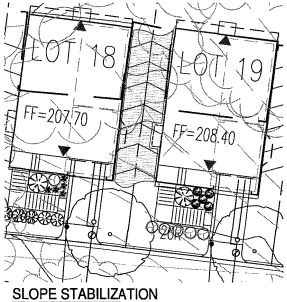
DATE	DESCRIPTION
MSD DESIGN	RM DRAWN
	MSD CHKD
SCALE	H: 1" = 50' V:
JOB No.	6010-01-001
DATE :	APRIL 2008
FILE No.	6010-D-PR-001
SHEET	C10.00

Cad file: Hillcrest 6010-01-001 Hq Engineering\Field Plans\6010-D-PR-001-103-08-OPEN.dwg

LEGEND

- STREET TREE
- SMALL EVERGREEN TREE
- LARGE SHRUBS
- MEDIUM SHRUBS
- SMALL SHRUBS
- GROUNDCOVER
- PLANT CALLOUT
- WASHINGTON GLOBE #16 STREETLIGHT
- TEARDROP STREETLIGHT
- LIMITS OF DISTURBANCE

NOTES:
1. FOR EXISTING TREE INVENTORY AND PRESERVATION SEE SHEETS TP 1.00 - TP 3.00



SLOPE STABILIZATION

NOTES:
ALL SLOPED GREATER THAN 3:1 TO BE PLANTED WITH GROUNDCOVER INCLUDING BUT NOT LIMITED TO:
- PACHYSANDRA TERMINALIS
- VINCA MINOR
- COTONEASTER DAMNERI
- JUNIPERUS HOIZONTALIS 'WILTONII'
- EUONYMUS FORTUNEI

0' 10' 20' 40'

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LANDSCAPE ENLARGEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD

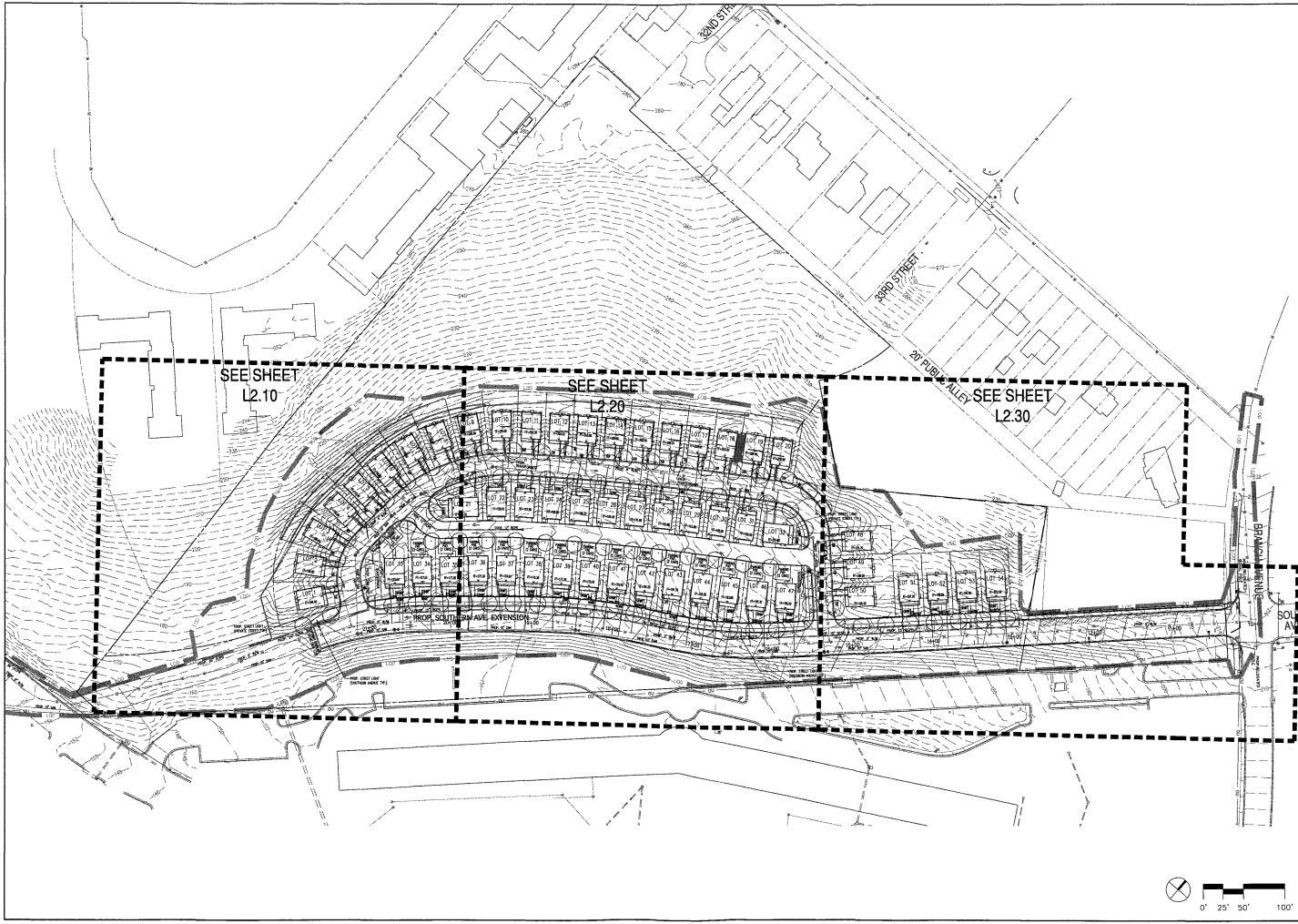
SCALE H: 1" = 20' V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET L2.10



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OVERALL LANDSCAPE PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD

SCALE H: 1" = 50' V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET L1.10

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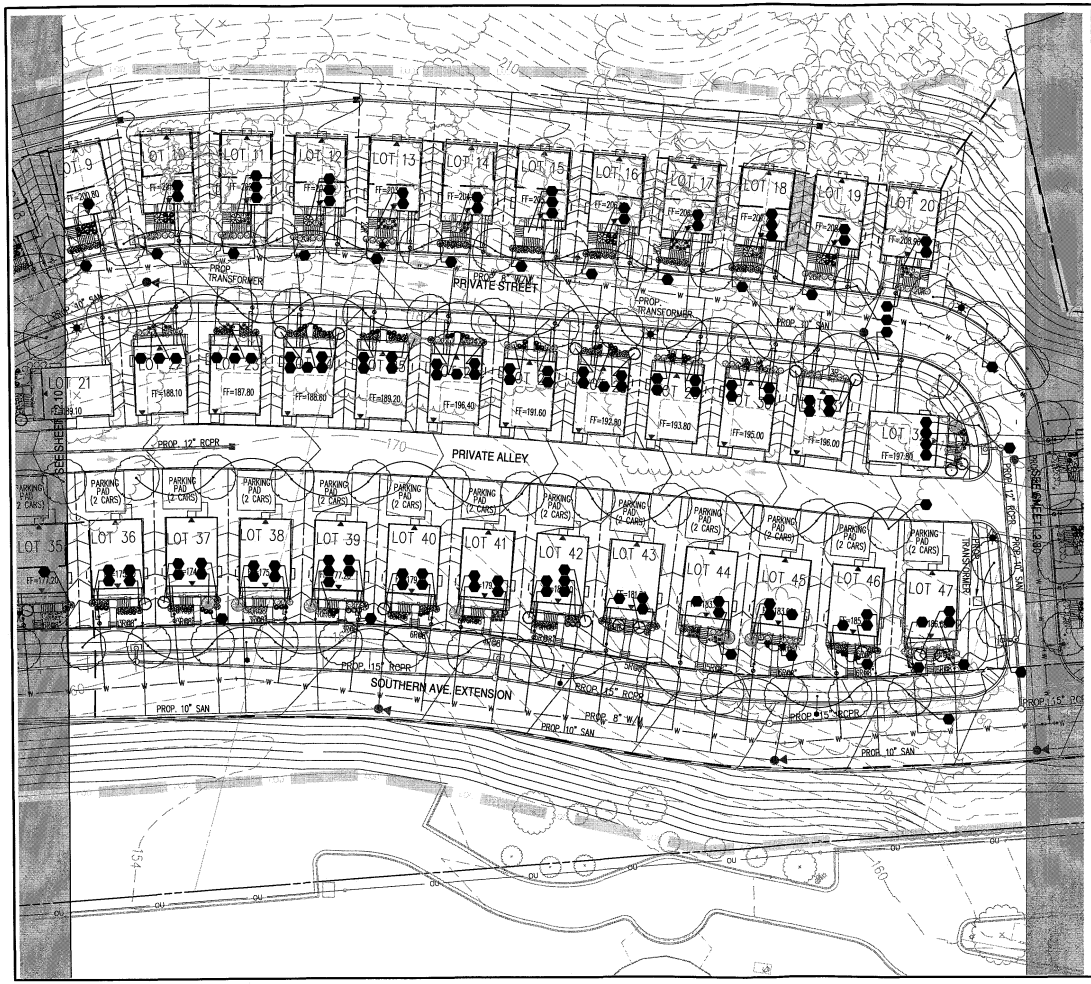

LEGEND

- STREET TREE
- SMALL EVERGREEN TREE
- LARGE SHRUBS
- MEDIUM SHRUBS
- SMALL SHRUBS
- GROUNDCOVER
- PLANT CALLOUT
- WASHINGTON GLOBE #16 STREETLIGHT
- TEARDROP STREETLIGHT
- LIMITS OF DISTURBANCE

NOTES:
1. FOR EXISTING TREE INVENTORY AND PRESERVATION SEE SHEETS TP 1.00 - TP 3.00

0' 10' 20' 40'

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LANDSCAPE ENLARGEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD

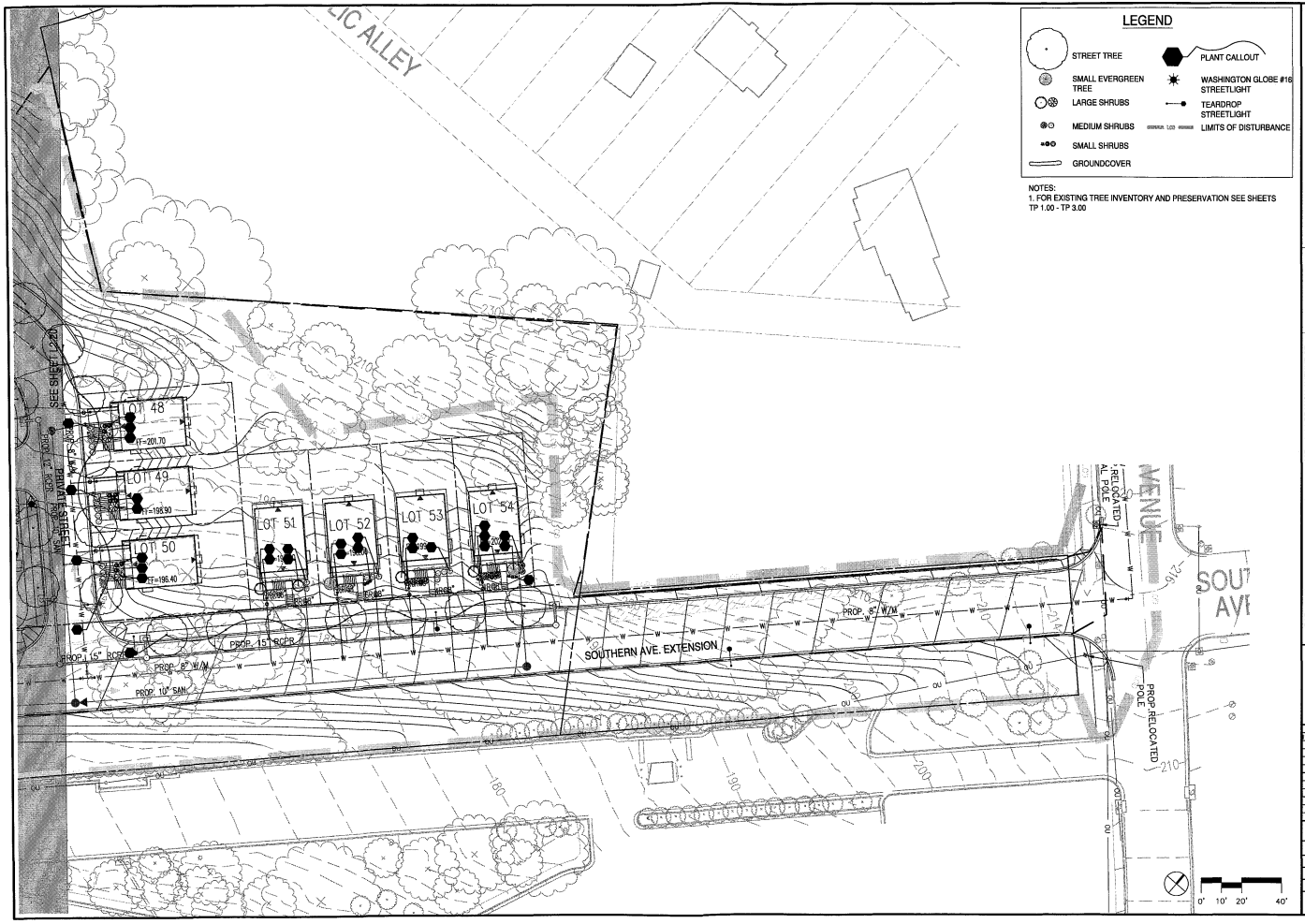
SCALE H 1" = 20' V

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET L2.20



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PAR 0209 (0004, 0061 & 0093-0095) PAR 0215 0027 2801 BRANCH AVENUE SE
LANDSCAPE ENLARGEMENT
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON
DISTRICT OF COLUMBIA

PLAN STATUS
01/01/08 BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD

SCALE H: 1" = 20' V:

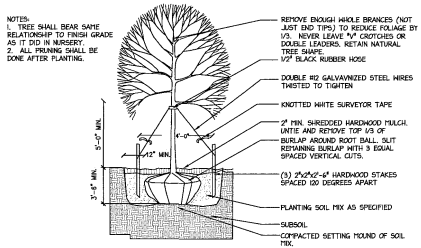
JOB No. 6010-01-001

DATE : APRIL 2008

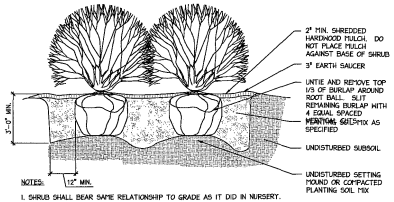
FILE No. 6010-D-PR-001

SHEET L2.30

NOTES:
1. TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT DID IN NURSERY.
2. ALL PRUNING SHALL BE DONE AFTER PLANTING.

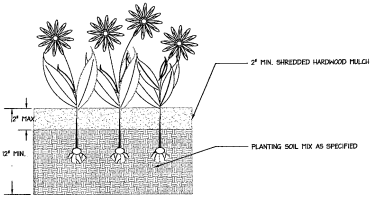


1 SHADE/SINGLE-STEM TREE
L3.20 SECTION N.T.S.



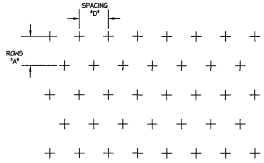
NOTES:
1. SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
2. PRUNE AS NEEDED TO RETAIN NATURAL SHRUB SHAPE.
3. FOR CONTAINER GROWN PLANTS, SPLIT THE ROOT BALL WITH 4 EQUAL SPACED VERTICAL CUTS AND BUTTERFLY THE ENTIRE ROOT BALL.

2 SHRUB
L3.20 SECTION N.T.S.

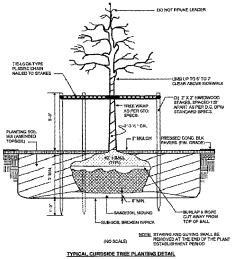


3 GROUNDCOVER/PERENNIAL/ANNUAL
L3.20 SECTION N.T.S.

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20" O.C.	4.61
8" O.C.	6.93" O.C.	2.60
10" O.C.	8.66" O.C.	1.66
12" O.C.	10.40" O.C.	1.15
15" O.C.	13.00" O.C.	0.73
18" O.C.	15.60" O.C.	0.51
24" O.C.	20.80" O.C.	0.29



4 GROUNDCOVER SPACING
L3.20 SECTION N.T.S.



5 STREET TREE
L3.20 PLAN N.T.S.

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2801 BRANCH AVENUE SE
PLANTING DETAILS

HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	SEG DRAWN	MSD CHKD
SCALE	H: N/A V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	L3.20	

Cad file name : 11-0801 - 2801 Branch Ave/Engineering/01 Hill Crest/6010-D-PR-001-L3.dwg

PLANT SCHEDULE

SHADE TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	COVERAGE
ARA	x	Acer rubrum 'Armstrong'	Armstrong Red Maple	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
QCX	x	Quercus coccinea	Scarlet Oak	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
QPX	x	Quercus phellos	Willow Oak	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
UPX	x	Ulmus parvifolia	Chinese Elm	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-

SMALL EVERGREEN TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	COVERAGE
INS	x	Ilex var. 'Nelly R. Stevens'	Nelly Stevens Holly	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-
JCM	x	Juniperus chinensis 'Spearmint'	Spearmint Juniper	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-
TOE	x	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-

LARGE SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
AGE	x	Abelia x grandiflora 'Edward Goucher'	Edward Goucher Glossy Abelia	3 gal., 18"x24"	Full.	-
AJP	x	Aucuba japonica 'Picturata'	Picturata Aucuba	3 gal., 30"x30"	Full.	-
COW	x	Camellia oleifera 'Winter's Star'	Winter's Star Camellia	3 gal., 30"x30"	Full.	-
VRX	x	Viburnum rhytidophyllum	Leatherleaf Viburnum	5 gal., 36"x36"	Full.	-
VCX	x	Viburnum carlesii	Korean Spice Viburnum	3 gal., 24"x30"	Full.	-

MEDIUM SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
EJG	x	Euonymus japonicus 'Greenspire'	Greenspire Euonymus	3 gal., 18"x24"	Full.	-
HQF	x	Hydrangea quercifolia	Oak Leaf Hydrangea	3 gal., 30"x24"	Full.	-
ICB	x	Ilex crenata 'Burfordii'	Burford Holly	3 gal., 18"x24"	Full.	-
IGS	x	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal., 24"x18"	Full.	-
NDC	x	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	3 gal., 30"x18"	Full.	-
PJM	x	Pieris japonica 'Mountain Fire'	Mountain Fire Japanese Andromeda	3 gal., 18"x24"	Full.	-
PLO	x	Prunus laurocerasus 'Otto Luyken'	Otto Luyken's Laurel	3 gal., 18"x24"	Full.	-
TMG	x	Taxus media 'Greenwave'	Greenwave Taxus	3 gal., 24"x36"	Full.	-

SMALL SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
AGD	x	Abelia x grandiflora 'Dwarf Purple'	Dwarf Purple Glossy Abelia	3 gal., 18"x24"	Full.	-
CLR	x	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet Clethra	3 gal., 18"x18"	Full.	-
DSC	x	Daphne burkwoodi 'Carol Mackie'	Carol Mackie Flowering Daphne	3 gal., 24"x24"	Full.	-
ICS	x	Ilex crenata 'Hetzii'	Hetzii Holly	3 gal., 12"x18"	Full.	-
NDM	x	Nandina domestica 'Moonbay'	Moonbay Nandina	3 gal., 18"x18"	Full.	-
PJP	x	Pieris japonica 'Prelude'	Nodame Japanese Andromeda	3 gal., 18"x24"	Full.	-
PMM	x	Pinus mugo 'Mops'	Mops Mugo Pine	3gal., 24" ht.	Full.	-
SBA	x	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	3 gal., 18"x24"	Full.	-

GROUNDCOVERS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	SPACING
ANM	x	Varies	Mixed Annuals	8" pots	Full.	12" o.c.
COX	x	Cotoneaster dammeri	Cotoneaster	3 gal.	Full.	18" o.c.
EFX	x	Euonymus fortunei	Wintercreeper	1 qt.	Full.	8" o.c.
HCX	x	Hypericum calycinum	St. John's Wort	1 qt.	Full.	8" o.c.
JHW	x	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	1 qt.	Full.	12" o.c.
LEX	x	Liriope spicata	Lilyturf	1 qt.	Full.	12" o.c.
PTX	x	Pachysandra terminalis	Japanese Pachysandra	1 qt.	Full.	12" o.c.
VMX	x	Vinca minor	Periwinkle	4" pots	Full.	12" o.c.

*NOTE: THE PLANT PALETTE IS INTENDED AS AN INDICATION OF THE TYPE OF PLANT MATERIAL THAT WILL BE USED. ADDITIONAL SPECIES MAY BE INCORPORATED IN THE FINAL LANDSCAPE DESIGN.

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PLANT SCHEDULE
HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
01/04/08	BZA APPLICATION

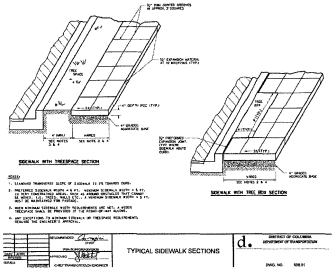
DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD

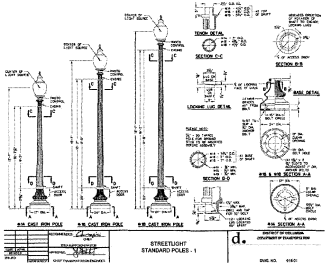
SCALE H: N/A V:

JOB No. 6010-01-001
DATE : APRIL 2008
FILE No. 6010-D-PR-001
SHEET L3.10

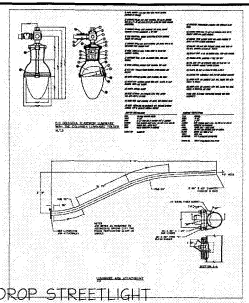
Cad file name : I:\6010 - 1701-Hillcrest\6010-01-001\Engineering\Eng Plans\6010-D-PR-001-1.dwg



1 / L5.10 DC STANDARD TREE PIT
SECTION
AS SHOWN



2 / L5.10 # 16 WASHINGTON GLOBE STREETLIGHT
SECTION
AS SHOWN



3 / L5.10 TEARDROP STREETLIGHT
SECTION
AS SHOWN

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HARDSCAPE DETAILS
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

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	MGD CHKD
SCALE	H: AS SHOWN V:
JOB No.	6010-01-001
DATE :	APRIL 2008
FILE No.	6010-D-PR-001
SHEET	L5.10

Cad file name: F:\Civil - 3D\Hillcrest\6010-D-PR-001-L5.dwg

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HILLCREST

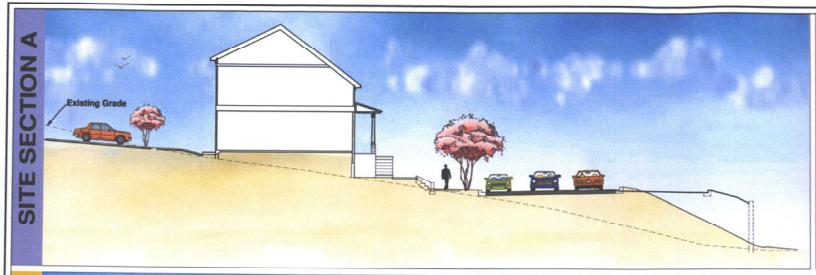
Typical Site Sections

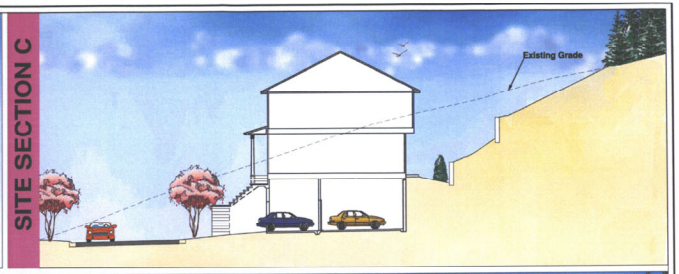
DISTRICT OF COLUMBIA

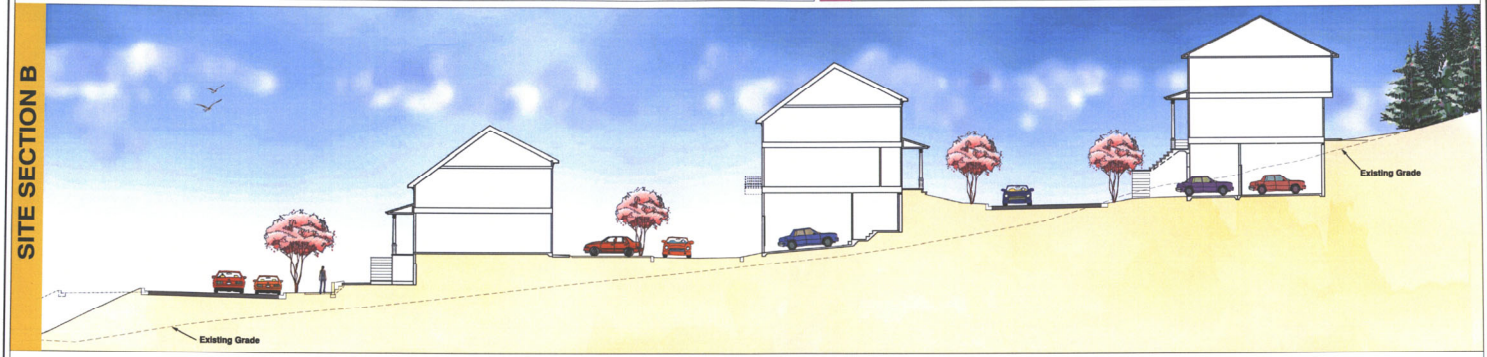
Scale: 1" = 40'

OCTOBER 2008

40' 0' 40' 80' 160'







Bowman CONSULTING

HILLCREST

Typical Site Sections

DISTRICT OF COLUMBIA

OCTOBER 2008

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)

1 inch = 10 ft.

GENERAL/PLANTING NOTES:

1. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH INSTALLATION GUIDELINES FOR LANDSCAPE PLANTINGS IN THE NATIONAL CAPITAL AREA, AS PUBLISHED BY THE (LCA) LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA (4TH EDITION) UNLESS COMPLETE LANDSCAPE SPECIFICATIONS ARE PROVIDED BY THE APPLICANT.

2. ALL PLANT MATERIAL SHALL BE GRADED AND HANDLED IN COMPLIANCE WITH ANSI Z60.1 – THE AMERICAN STANDARD FOR NURSERY STOCK (CURRENT AND MOST UP TO DATE EDITION). SIZES TO CONFORM TO ANSI Z60.1 CALIPER AND HEIGHT MEASUREMENTS.

3. MAINTENANCE AFTER INSTALLATION, OTHER THAN WARRANTY REPLACEMENTS, IS THE RESPONSIBILITY OF THE OWNER. MAINTENANCE, PRIOR TO APPROVAL OF THE WORK, IS THE RESPONSIBILITY OF THE CONTRACTOR.

4. THE CONTRACTOR SHALL WARRANTY ALL WORK SHOWN ON THE DRAWINGS AND NOTED HEREON FOR THE PERIOD OF ONE YEAR AFTER INSTALLATION APPROVAL. WARRANTY REPLACEMENTS SHALL BE THE SAME SPECIES AND SIZE AS PREVIOUSLY INSTALLED, AND SHALL CARRY A 100% WARRANTY REPLACEMENT FOR THE PERIOD OF ONE YEAR AFTER REPLACEMENT.
x

LANDSCAPE SPECIFICATIONS

1. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND TO "HORTUS THRD" (1977 EDITION) FOR BOTANICAL AND COMMON NAMES.
2. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL-ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED.
. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION.
. ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT AND DURING ON SITE STORAGE. S. ANTI-DESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUG WHILE IN FOLIAGE.
. MULCH MATERIAL SHALL BE WITHER SHREDDED HARDWOOD MULCH, PINE BARK OR APPROVED EQUAL. MATERIAL SHALL BE MULCHING GRADE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
. TOPSOIL MIXTURE SHALL BE TWO PARTS EXISTING TOPSOIL MIXED EVENLY WITH ONE PART SPHAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING TOPSOIL SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1-1/2 INCHES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
8. PLANTING PROCEDURES FOR TREES AND SHRUBS:
   A. PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
   B. TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT, BY LIFTING FROM THE BALL (NEVER FROM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
   C. THE TREE OR SHRUB PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE, AS PER #7 OF THESE SPECIFICATIONS. THE PIT SHALL BE FILLED HALFWAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING THE PLANT PIT AND TAMP FIRMLY. BACKFILL SOILS SHALL NOT COVER THE TOP OF THE ROOTBALL. MULCH THE ROOTBALL AND SAUCER WITH A MINIMUM OF 3" SHREDDED HARDWOOD OR PINE BARK MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED WITHIN ONE HOUR OF PLANTING.
9. FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

SEEDING SPECIFICATIONS

I. SEEDING ALL SEEDING SHALL BE PERFORMED PER SEEDING CHART. NO SEEDING SHALL BE DONE ON FROZEN GROUND OR WHEN TEMPERATURE IS 32° FAHRENHEIT OR LOWER.
II. MULCHING FOLLOWING SEEDING, APPLY A ONE INCH LAYER OF STRAW TO HASTEN GERMINATION. STRAW MULCH SHALL BE ANCHORED BY EITHER A MULCH TILLER, ASPHALT EMULSION, CHEMICAL MULCH BINDER, TWINE OR NETTING.
III. FINAL ACCEPTANCE FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR. SITE TABULATION FOR LAWNS WITHOUT SOIL TESTING FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER #2 AND #3 BELOW.

1. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL VEGETATION, TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH THE PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
2. WHERE THE SOIL IS ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET.
3. SLOW RELEASE NITROGEN AT THE RATE OF 3.5 POUNDS PER 1,000 SQUARE FEET SHALL BE APPLIED TO THE PREPARED SOIL JUST PRIOR TO SOD INSTALLATION. THIS MATERIAL SHALL BE APPROXIMATELY 1/3 IMMEDIATELY AVAILABLE AND 2/3 WATER INSOLUBLE NITROGEN. UREA FORMALDEHYDE (UF) AN DISOBUTYLIDENE UREA (IBUD) MEET THESE STANDARDS.

SOIL PREPARATION FOR SEEDING OR SODDING

1. EXISTING SOIL OR TOP SOIL STORED ON SITE AND SPREAD AT A 3"-4" DEPTH OVER AREAS TO BE SEEDED SHALL BE USED FOR ESTABLISHMENT OF TURF. ALL SUBGRADE AREAS TO BE SEEDED. SHALL BE LOOSENED BY DISCING OR BY SCARIFYING TO A DEPTH OF NO LESS THAN 4 INCHES. ALL ESTABLISHED/EXISTING SITE GRADES MUST BE MAINTAINED. ANY ALTERATION OF EXISTING GRADES COULD CAUSE DRAINAGE PROBLEMS. THE AREA TO BE SEEDED SHALL BE FREE FROM ROOTS, BRUSH, STONES AND TRASH LARGER THAN 1-1/2" IN DIAMETER OR LENGTH.
2. SOIL TESTS SHALL BE CONDUCTED TO DETERMINE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. SOIL TESTS SHALL BE CONDUCTED BY A STATE LABORATORY OR RECOGNIZED COMMERCIAL LABORATORY.

A. FERTILIZER: ALL FERTILIZER SHALL BE UNIFORM IN COMPOSITION FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT. FERTILIZER APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. FERTILIZER SHALL BE DISTRIBUTED EVENLY OVER THE ENTIRE AREA TO BE SEEDED.
B. LIME: LIME MATERIAL SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE) APPLICATION RATES FOR LIMING MATERIALS SHALL BE DETERMINED BY SOIL TESTS. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER THE ENTIRE AREA TO BE SEEDED.
3. ALL LIME AND FERTILIZER SHALL BE UNIFORMLY MIXED INTO THE TOP 4 INCHES OF SOIL BY DISCING, HARROWING OR OTHER APPROVED METHODS. ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM FERTILIZING, TILLING OR OTHER CAUSES SHALL BE LEVELED PRIOR TO SEEDING.

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PAR 0209 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

PLANTING NOTES

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	SEG DRAWN	MSD CHKD

SCALE: N

JOB No. 6010-01-001

DATE : APRIL 2008

R.E. No. 6010-D-PR-001

SHEET L3.30

Cad file name: Y:\JOB - 1\6-Hillcrest\6010-01-001\Engineering\Dwg Files\6010-D-PR-001-L3.dwg

LEGEND

EXISTING TREE TO BE PRESERVED

EXISTING TREE TO BE REMOVED

EXISTING 'SPECIAL TREE' TO BE REMOVED

NOTE: SPECIAL TREE AS DEFINED BY WASHINGTON D.C. URBAN FOREST PRESERVATION ACT OF 2002. (SEE TREE INVENTORY)

EXISTING TREELINE

LOD — LIMITS OF CLEARING AND GRADING

TP — TREE PROTECTION FENCE

RP — ROOT PRUNING TRENCH

NOTE:

1. BASED ON THE DATA COLLECTED, THE FOREST WITHIN THE LIMITS OF THE PROPERTY IS CHARACTERIZED BY THE SWEETGUM-YELLOW POPLAR FOREST COVER TYPE (87), AS DESCRIBED IN THE FOREST COVER TYPES OF THE UNITED STATES AND CANADA (1980). THIS TYPE IS A PART OF THE MIXED BOTTOMLAND FOREST IN WHICH SWEETGUM AND YELLOW-POPLAR COMPRISE A MAJORITY OF THE OVERSTORY STOCKING. THIS MATURE STAND CONTAINS RED MAPLE, LOBLOLLY PINE, WHITE PINE, BOXELDER, SYCAMORE, RIVER BIRCH, ASH, WILLOW OAK, BLACKGUM, AND AMERICAN ELM. UNDERSTORY TREES INCLUDE THE ELMS, ASHES, RED MAPLE, OAK, HICKORY, AMERICAN HOLLY, AMERICAN HOPHORNBEAM, FLOWERING DOGWOOD, AND RED MULBERRY.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

TREE PRESERVATION PLAN (2 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION
DATE	DESCRIPTION

MSD	DAD	MSD
DESIGN	DRAWN	CHKD

SCALE H: 1"=40' V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET TP 2.00

Cad file name : P:\6010 - EYA-Hillcrest\6010-01-001-Eng\Engineering\Prelim Plans\LTR\6010-01-006 TPP.dwg

LEGEND

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- EXISTING "SPECIAL TREE" TO BE REMOVED
  NOTE: SPECIAL TREE AS DEFINED BY WASHINGTON D.C. URBAN FOREST PRESERVATION ACT OF 2002. (SEE TREE INVENTORY)
- EXISTING TREELINE
- LOD — LIMITS OF CLEARING AND GRADING
- TP — TREE PROTECTION FENCE
- RP — ROOT PRUNING TRENCH

NOTE:

1. BASED ON THE DATA COLLECTED, THE FOREST WITHIN THE LIMITS OF THE PROPERTY IS CHARACTERIZED BY THE SWEETGUM–YELLOW POPLAR FOREST COVER TYPE (87), AS DESCRIBED IN THE FOREST COVER TYPES OF THE UNITED STATES AND CANADA (1980). THIS TYPE IS A PART OF THE MIXED BOTTOMLAND FOREST IN WHICH SWEETGUM AND YELLOW-POPLAR COMPRISE A MAJORITY OF THE OVERSTORY STOCKING. THIS MATURE STAND CONTAINS RED MAPLE, LOBLOLLY PINE, WHITE PINE, BOXELDER, SYCAMORE, RIVER BIRCH, ASH, WILLOW OAK, BLACKGUM, AND AMERICAN ELM. UNDERSTORY TREES INCLUDE THE ELMS, ASHES, RED MAPLE, OAK, HICKORY, AMERICAN HOLLY, AMERICAN HOPHORNBEAM, FLOWERING DOGWOOD, AND RED MULBERRY.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

TREE PRESERVATION PLAN (1 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1"=40' V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	TP 1.00	

Cad file name : T:\6010 - 1 Dr-Blaine\6010-D-PR-001\Engineering\Main Item\MVAR1-01-08.TPP.dwg

HILLCREST ESTATES TREE INVENTORY

Date of site visit (s): April 15, 2008

Certified Arborist: Gregg D. Brady, MA-4618A

Tree Number	Caliper (DBH)	Botanical Name	Common Name	Condition Rating	Sensitivity Rating	Preserve/Remove
826	5	PRUNUS SERRULATA YAMAZAKI	KAWAZAKI CHERRY	0.6	0.55	Remove
827	3	PRUNUS SERRULATA YAMAZAKI	KAWAZAKI CHERRY	0.6	0.55	Remove
830	9	PINUS STROBUS	WHITE PINE	0.6	0.5	Remove
831	5	PINUS STROBUS	WHITE PINE	0.6	0.5	Remove
832	5	PINUS STROBUS	WHITE PINE	0.6	0.5	Remove
833	10	PINUS STROBUS	WHITE PINE	0.6	0.5	Remove
929	3					Remove
930	3					Remove
940	6	BETULA PAPYRIFERA	PAPER BIRCH	0.6	0.6	Remove
949	6	BETULA PAPYRIFERA	PAPER BIRCH	0.6	0.6	Remove
950	7	PRUNUS SERRULATA YAMAZAKI	KAWAZAKI CHERRY	0.6	0.55	Remove
951	7	PRUNUS SERRULATA YAMAZAKI	KAWAZAKI CHERRY	0.6	0.55	Remove
952	7	PRUNUS SERRULATA YAMAZAKI	KAWAZAKI CHERRY	0.6	0.55	Remove
958	3	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
961	3	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
962	7	PINUS STROBUS	WHITE PINE	0.6	0.5	Remove
963	6	QUERCUS PALUSTRIS	PIN OAK	0.6	0.65	Remove
964	6	QUERCUS PALUSTRIS	PIN OAK	0.6	0.65	Remove
970	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
972	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
973	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
984	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
985	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
986	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
987	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
988	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
989	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
990	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
991	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
992	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
993	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
994	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
995	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
996	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
997	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
998	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
999	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
1000	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
1001	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
1002	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
1003	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.6	0.6	Remove
1060	16	QUERCUS RUBRA	RED OAK	0.46	0.75	Remove
1061	12	CARPINUS CAROLINIANA	HORNBEAM	0.52	0.6	Remove
1062	12	CARPINUS CAROLINIANA	HORNBEAM	0.56	0.6	Remove
1063	16	QUERCUS RUBRA	RED OAK	0.62	0.75	Remove
1080	16	ACER RUBRUM	RED MAPLE	0.72	0.7	Remove
1081	16	ACER RUBRUM	RED MAPLE	0.64	0.7	Remove
1085	17	ACER SACHARINUM	SILVER MAPLE	0.64	0.45	Remove
1086	14	LIRIODENDRON TULIPIFERA	TULIP POPLAR	0.6	0.7	Remove
1087	14	QUERCUS RUBRA	RED OAK	0.56	0.75	Remove
1110	12	QUERCUS RUBRA	RED OAK	0.52	0.75	Remove
1122	12	QUERCUS RUBRA	RED OAK	0.48	0.75	Remove
1129	12	ACER RUBRUM	RED MAPLE	0.6	0.7	Remove
1130	16	LIRIODENDRON TULIPIFERA	TULIP POPLAR	0.6	0.7	Remove
1131	16	QUERCUS RUBRA	RED OAK	0.64	0.75	Remove
1132	12	ULMUS AMERICANA	AMERICAN ELM	0.62	0.55	Remove
1133	12	ULMUS AMERICANA	AMERICAN ELM	0.68	0.55	Remove
1148	12	ULMUS AMERICANA	AMERICAN ELM	0.52	0.55	Remove
1149	12	ULMUS AMERICANA	AMERICAN ELM	0.52	0.55	Remove
1150	14	ULMUS AMERICANA	AMERICAN ELM	0.6	0.55	Remove
1151	17	QUERCUS RUBRA	RED OAK	0.72	0.75	Remove
1177	14	ILEX OPACA	AMERICAN HOLLY	0.68	0.7	Remove
1180	14	FRAXINUS AMERICANA	WHITE ASH	0.48	0.6	Remove
1257	12	ULMUS AMERICANA	AMERICAN ELM	0.6	0.55	Remove
1380	12	QUERCUS RUBRA	RED OAK	0.52	0.75	Remove
1381	16	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove
1389	14	ACER RUBRUM	RED MAPLE	0.68	0.7	Remove
1390	12	ACER RUBRUM	RED MAPLE	0.52	0.7	Remove
1408	14	FRAXINUS AMERICANA	WHITE ASH	0.6	0.6	Remove
1410	14	FRAXINUS AMERICANA	WHITE ASH	0.48	0.6	Remove
1421	16	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	0.56	0.7	Remove
1423	14	ACER RUBRUM	RED MAPLE	0.6	0.7	Remove
1424	16	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove
1425	12	ACER RUBRUM	RED MAPLE	0.56	0.7	Remove
1427	12	ACER RUBRUM	RED MAPLE	0.56	0.7	Remove
1429	12	ACER RUBRUM	RED MAPLE	0.48	0.7	Remove
1459	14	LIRIODENDRON TULIPIFERA	TULIP POPLAR	0.6	0.7	Remove
1482	16	QUERCUS RUBRA	RED OAK	0.56	0.75	Remove
1487	16	QUERCUS RUBRA	RED OAK	0.72	0.75	Remove
1496	14	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove

Note:

1. Condition Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
2. All trees indicated are to be cleared from the site due to construction impacts.
3. Trees included in this inventory had critical root zones located in or near the proposed limits of disturbance for the subject property.
4. NEITHER THE PROJECT ARBORIST NOR BOWMAN CONSULTING CONDONE THE IMPLEMENTING OF ANY SUGGESTED REMOVAL TECHNIQUES WITHOUT THE AGREEMENT OF THE ADJACENT PROPERTY OWNER.
5. Special Trees as defined by the Washington D.C. Urban Forest Preservation Act of 2002, as a tree within the District of Columbia that has a minimum circumference of fifty-five inches or a diameter of 17.50 inches. Special trees must get a removal permit in order to be removed. Special trees must be replaced by a quantity of saplings whose aggregated circumference equals or exceeds the circumference of the Special Tree to be removed, by paying into a Tree Fund, a tree replacement fee of $35 per inch of circumference of each Special Tree to be removed, or a combination of both.
6. Trees with a line through them are now to be preserved due to revisions to the proposed limits of clearing.

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0227 2801 BRANCH AVENUE SE

TREE INVENTORY

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE H: N.T.S. V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET TP 3.00

Cad file name : T:\6010 - Hillcrest\6010-01-001 Eng\Engineering\Plan Tools\6010-01-001 TP.dwg

PRE TO POST CONSTRUCTION TREE PRESERVATION NOTES:

PRE-CONSTRUCTION REQUIREMENTS/TREATMENTS:

1. The services of a certified arborist shall be retained prior to any construction activity to ensure the proper implementation of the Arbor Management Plan. A certified arborist is defined as an arborist who has demonstrated their proficiency by obtaining a certification, through a recognized arboricultural institution. This person shall be referred to as the "Project Arborist".

2. Tree protection shall be installed prior to demolition activities where indicated on the Arbor Management Plan. In areas where super silt fence and tree protection coincide, as shown on the Erosion and Sediment Control Plan, super silt fence may be utilized for tree protection purposes. The Project Arborist shall monitor the installation of tree protection fencing to verify its proper installation.

3. Root pruning shall be completed in a single operation where indicated on this plan under the supervision of the Project Arborist. Trenches shall be a minimum 18 inches deep and backfilled immediately. In areas where super silt fence is utilized as tree protection, a root pruning trench shall be used for silt fence installation.

4. Existing asphalt and concrete within the Critical Root Zone (CRZ) of trees to be preserved shall be removed by hand. Motorized equipment including Bobcats, bulldozers, and tractrixes are to be limited to paved and concrete areas.

5. Three days prior to commencement of any clearing and grading, the Project Arborist shall be notified and given the opportunity to inspect the site to assure that all tree protective devices have been correctly installed.

6. All fencing shall be maintained throughout construction of the proposed phase/project. Fencing shall not be removed or relocated without the consent of the the Project Arborist upon completion of construction.

7. "Tree Preservation Area" signs are to be secured to the tree protection fencing no more than 10-feet apart. Signs shall be re-secured as needed throughout construction (See tree protection sign detail on this sheet).

8. Mulch shall be applied to a depth of 3-4", 5' on the side of the protective fences to be left undisturbed. Any variety of hardwood or pine bark mulch can be used in addition to any mulch that has been chipped onsite from unsaved trees or dead limbs. All mulch is to be placed by hand.

DURING CONSTRUCTION REQUIREMENTS/ TREATMENTS:

8. Under no circumstances shall storage of construction materials, dumping of construction debris, and traffic by construction equipment and personnel occur within the tree preservation area without the consent of the Project Arborist. Should damage occur, every effort shall be made to have a licensed arborist attempt to amend the problem as soon as possible.

9. Any necessary tree planting within the LCG will be observed and amended if necessary onsite by the Project Arborist.

10. All required pruning, bracing, and/ or cabling shall be done in accordance with the American National Standards Institute (ANSI) A300-2000 pruning standards.

11. Trees to be removed shall not be felled, pushed, or pulled into the tree preservation area. Trees on the edge of the limits of clearing and grading shall be cut down by hand with a chain saw. Remaining stumps within the tree preservation area shall be left in place; remaining stumps inside the limits of clearing and grading shall either be left in place or ground down 12" deep from the soil surface with a stump grinder.

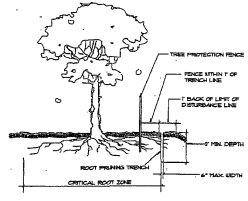
12. Subsequent removal of individual trees or tree preservation areas shown on the Arbor Management Plan must be approved by the Project Arborist.

13. Project Arborist shall conduct visits at least once a month to ensure that the activities are conducted in accordance with the Arbor Management Plan.

POST-CONSTRUCTION REQUIREMENTS/ TREATMENTS:

14. Total completion of the site shall be indicated by careful removal of all tree preservation fencing and the spreading of existing mulch over the remainder of the root systems to a depth of 2-3".

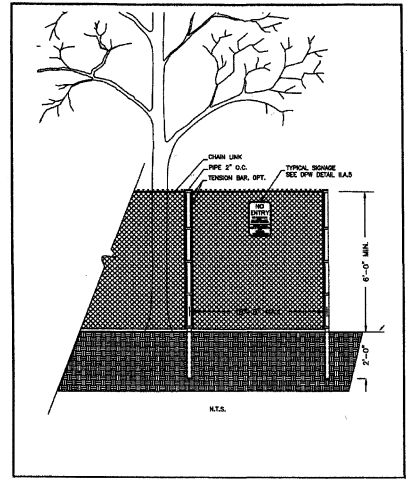
ROOT PRUNING DETAIL



NOTE:

1. Reversion Areas will be set as part of the review process.
2. Boundaries of Reversion Areas should be staked and flagged prior to trenching
3. Exact location of trench should be identified.
4. Trench should be immediately backfilled with soil removed or other high organic soil.
5. Roots should be cleanly cut using vibratory knife or other acceptable equipment.

TREE PROTECTION FENCE DETAIL



N.T.S.

TREE PRESERVATION AREA

KEEP OUT!

NONE OF THE FOLLOWING ACTIVITIES ARE TO BE CONDUCTED WITHIN THE TREE PRESERVATION AREA

- NO VEHICLES, EQUIPMENT, MATERIALS, OR CHEMICALS ARE TO BE DRIVEN INTO/STORED.
- NO CHEMICALS ARE TO BE MIXED WITHIN 50' OF THE PROTECTIVE FENCE.
- NO EXCESS MOVEMENT WITHIN THE FENCE IS TO BE CONDUCTED (IE: NO LUNCH UNDER THE PROTECTED TREES).
- IN CASE OF NECESSARY TRESPASS, EVERY EFFORT WILL BE MADE TO INCUR NO DAMAGE TO ROOTS, TRUNK, AND/ OR CANOPY.

PENALTIES MAY OCCUR PENDING ANY EVIDENT DAMAGE DURING A POST-CONSTRUCTION VISIT TO THE SITE BY THE PROJECT ARBORIST IN COMPARISON TO PRE-CONSTRUCTION CONDITION.

SPECIFICATIONS:

- DIMENSIONS:	LENGTH=17 INCHES WIDTH=11 INCHES
- BACKGROUND/TEXT COLOR	RED/WHITE OR WHITE/BLACK
- LETTER SIZE:	"TREE PRESERVATION AREA" = 0.50" "KEEP OUT" = 1.00" "NONE OF THE FOLLOWING" = 0.32" "REQUIREMENTS" = 0.22" "PENALTIES MAY OCCUR" = 0.28"

- LETTERS ARE ALWAYS TO BE IN CAPITALS AND ALWAYS BOLD.

TREE PRESERVATION SIGN DETAIL

SEE NOTES FOR SIGN TREATMENT/CONSTRUCTION

Bowman CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Suite 200
Alexandria, Virginia 22314
Phone: (703) 548-5108
Fax: (703) 683-5791
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

TREE PRESERVATION NOTES & DETAILS

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE H: N.T.S. V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET TP 4.00

Date: 11/4/2008 - 7:11:00AM - CTX: J:\6010-01-001 City of Alexandria\Xrefs\ - File: J:\6010-01-001 City of Alexandria\6010-D-PR-001.dwg

LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

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Streetscape Perspective

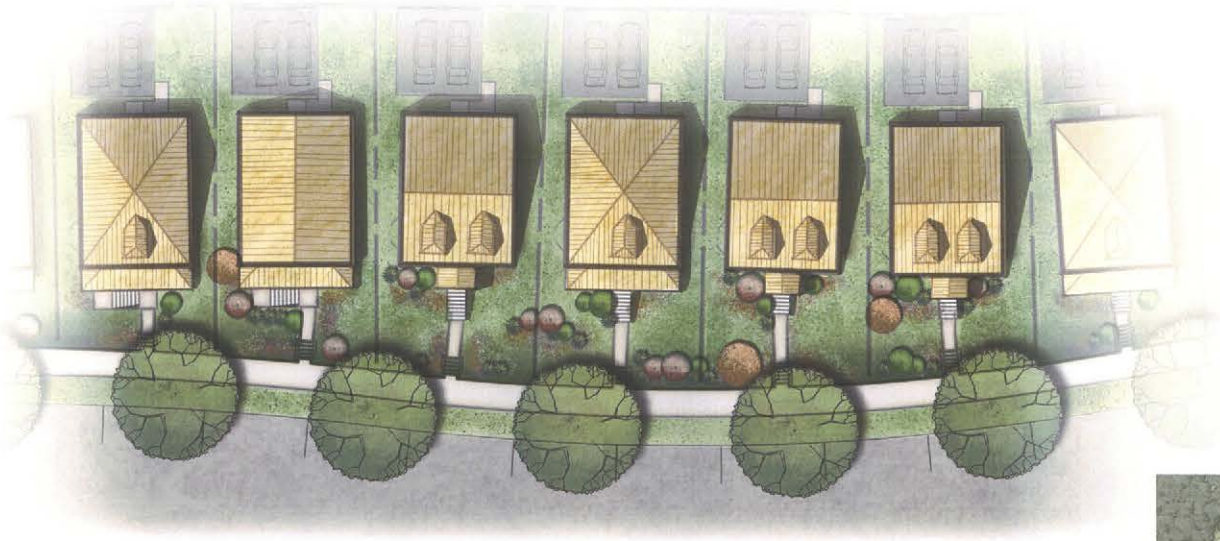
November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0
NTS

A-1



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Partial Site Plan w/ Typical Front Yards

November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0 10' 20'
1" = 20'

A-2

Unit A Slab On Grade
w/ No Garage

Unit A Slab On Grade
w/ No Garage

Unit A Front Loaded

Unit A Front Loaded

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Conceptual Elevations

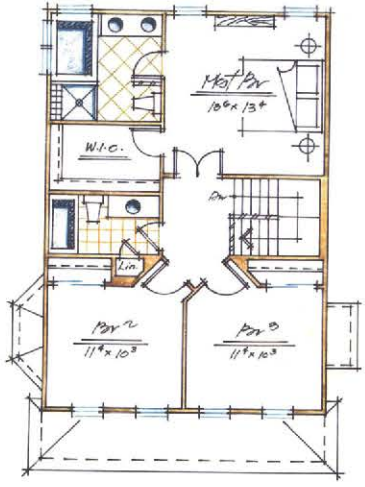
November 3, 2008

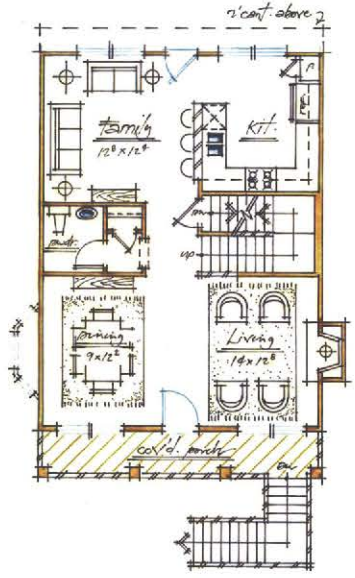
Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0 4' 8' 16'
1/16" = 1'

A-3





GROUND FLOOR

896 ft

GROUND FLOOR

768 ft

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Floor Plans
Typical Single Family w/ Surface parking

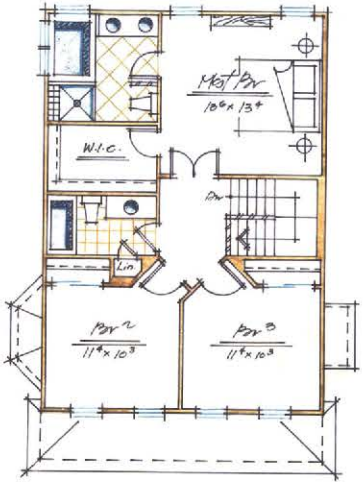
November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

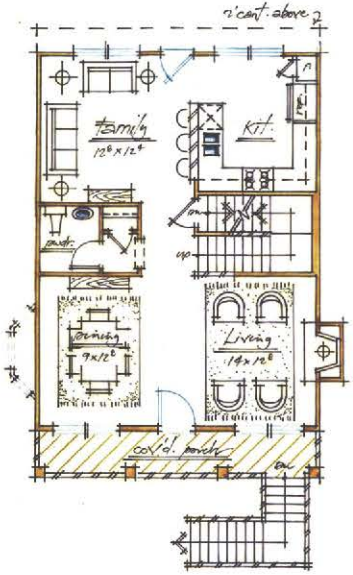
0 2' 4' 8'
1/8" = 1'

A-4



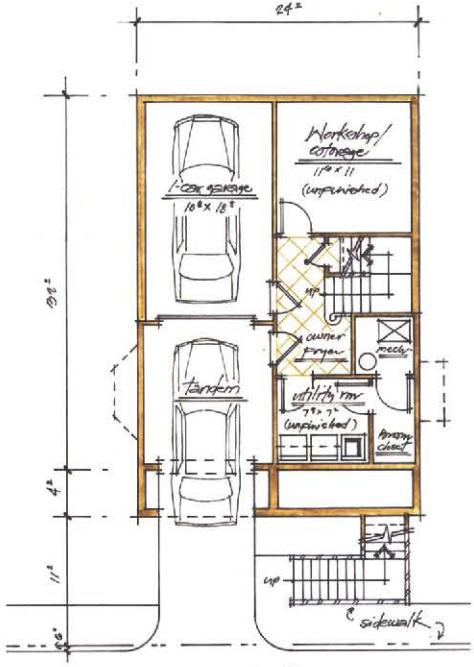
THIRD FLOOR

816 ft



SECOND FLOOR

768 ft



GROUND FLOOR

TOTAL = 1710 ft

126 ft

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Floor Plans
Typical Single Family Front Load
November 3, 2008

Hillcrest
Washington DC
The Neighborhoods of EYA
EYA.133a.00

0 2' 4' 8'
1/8" = 1'

A-5

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 17837

EXHIBIT NO. 41

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Streetscape Perspective

November 3, 2006

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0
NTS

Hillcrest Homes

Board of Zoning Adjustment

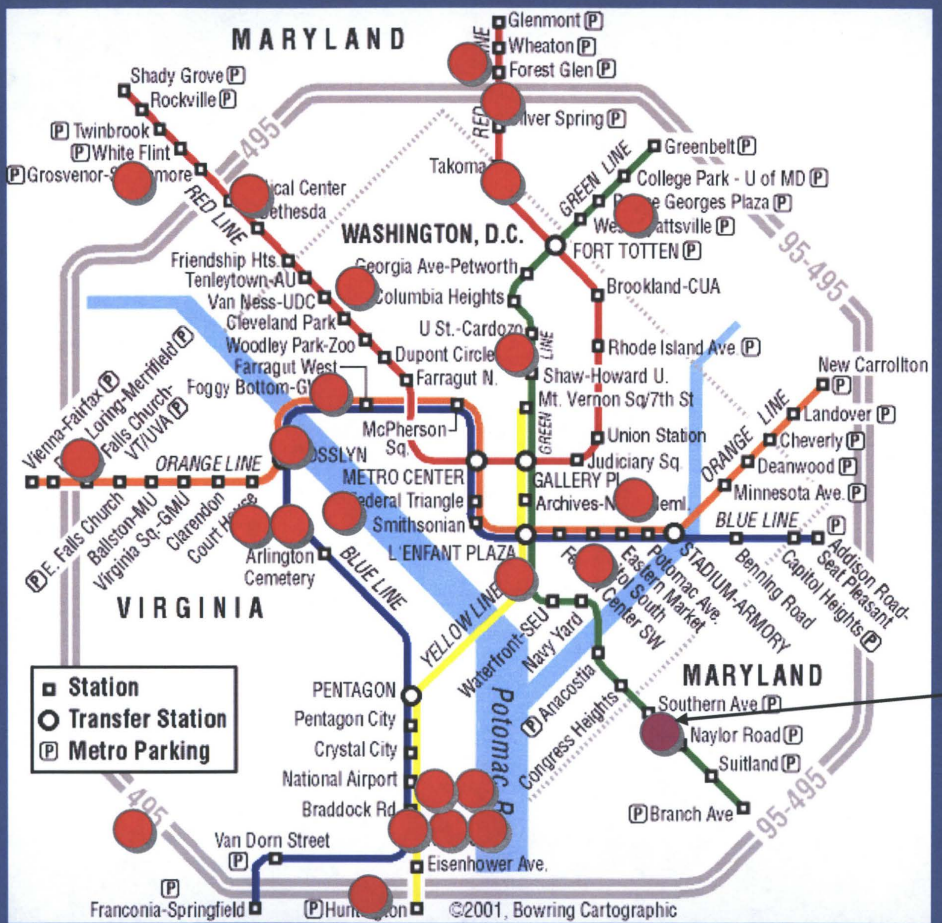
November 18, 2008

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 17832
EXHIBIT NO. 41

Introduction to EYA

- Experience in Urban Residential Development
  - 16 year history
  - Over 3,500 homes / 26 communities
  - 180 local / national awards
  - Design / construction / sales integration
- Development Philosophy
  - Smart growth pioneer
  - Community Orientation
- Corporate Commitment to DC
  - Public / private partnerships
  - Community involvement

Project Locations



Hillcrest Homes

THE NEIGHBORHOODS OF EYA