F

Robert Youngentob is President and Co-Founder of EYA, Inc. formerly Eakin/Youngentob Associates, Inc. EYA specializes in the development and construction of urban in-fill residential communities in the Washington, D.C. metro area. EYA delivers approximately 200 homes per year with gross sales of over $100,000,000. EYA has developed an expertise in mixed-income communities and in revitalizing urban corridors. The firm has won numerous local and national awards for the designs and the marketing of its communities, including being a winner of the 1998 "ULI Award of Excellence" for best residential community in the country. The National Association of Home Builders and Builder Magazine awarded EYA the prestigious America's Best Builder Award for the Year in 2000. Mr. Youngentob grew up in the Washington area, graduated from Lehigh University and received an MBA from the Harvard Business School.

Robert Youngentob
EYA

OUTLINE OF TESTIMONY

I. Introduction

II. History of EYA and Development Experience

   A. Developments in the District of Columbia

   B. Developments in the Metropolitan Area

III. Overview of the Proposed Development

IV. Market Conditions

V. Conclusion

G

Mr. Lester is a Vice President of Land Acquisition and Development of EYA. His responsibilities include overseeing project development and site acquisition. Mr. Lester joined EYA in 2005 and came to the company with 13 years experience in real estate development and management, most recently as Managing Director for Clark Realty Capital where he developed apartments and military housing. Prior to joining Clark Realty Capital, Mr. Lester worked as a Senior Project Manager for one of the nation's largest home builders. In that capacity, he supervised a staff of Project Managers responsible for the day-to-day management of projects. Mr. Lester received his BS in Economics and Finance from Alfred University in 1986, and his MBA from The Kenan-Flagler Business School at the University of North Carolina in 1992.

Jack Lester
EYA

OUTLINE OF TESTIMONY

I. Introduction

II. Description of the Proposed Project and Site Constraints

III. History of Project and Discussions with the District Government

- A. Office of Planning
- B. District Department of Transportation
- C. District Department of the Environment

IV. Conclusion

H

Name: Aakash Thakkar
Position: Vice President, Acquisition and Development, EYA

Aakash Thakkar joined EYA in 2004 as a Development Executive and now is a Vice-President for Acquisition and Development with EYA. His responsibilities overall project stewardship and include new deal sourcing and acquisition, site selection, and project development through the design and governmental and community approval process. He led EYA's efforts to be selected as the developer for the 25-acre McMillan Sand Filtration Site in Washington, DC, one of the largest and most unique development sites in the region. EYA is leading a team the includes Jair Lynch Development Partners, McFarlane Partners, Street Sense, the Alexander Company, Smoot Construction, and Urban Service System Corporation. In addition to soliciting new business, he was responsible for garnering entitlements for portions of EYA's development at the Arthur Capper/Carrollsburg HOPE VI redevelopment in Washington DC. He is also the project executive for EYA's Arts District Hyattsville, a 25-acre mixed-use revitalization project, with a development program of over 600 residential units and an eclectic retail mix including Busboys & Poets and Tara Thai. Neither Tara Thai nor Busboys and Poets had ever executed deals for locations in Prince George's County and Mr. Thakkar courted them with the goal of bringing unique, high-quality retail that would continue the renaissance of downtown Hyattsville, MD.

Prior to joining EYA, Mr. Thakkar was a Senior Development Manager at the National Capital Revitalization Corporation (NCRC), where he worked with the development community, politicians, and community residents to facilitate and finance real estate development in Washington, DC's underserved neighborhoods. In addition, Mr. Thakkar has completed the Presidential Management Fellowship, a 2-year Federal Government appointed Fellowship during which he was a Development Manager for the HOPE VI Program at the Department of Housing and Urban Development and staff member of the House of Representatives Housing Sub-Committee. Mr. Thakkar is a member of and guest speaker for the Urban Land Institute and a member the District of Columbia Building Industry Association. He is a member of the Smart Growth Recognition Award jury and a member of the Riverdale Park Mixed-Use Town Center Committee. He is a co-founder (along with his wife) of the Thakkar/Giallourakis Scholarship Fund for St. John's College High School, a scholarship geared to assist at-risk District youth attend St. John's. Mr. Thakkar has a BS in Accounting and Political Science from LaSalle University and holds both an MBA and a Masters in City and Regional Planning from Rutgers University. Mr. Thakkar is a native Washingtonian and currently resides in Washington, DC.

Aakash Thakkar
EYA

OUTLINE OF TESTIMONY

I. Introduction

II. Community Outreach Process

   A. Advisory Neighborhood Commission 7B

   B. Community Meeting with Councilmember Alexander

   C. History of Discussions with the Community

III. Conclusion

I

JACK F. MCLAURIN, AIA
LESSARD GROUP, INC.
Principal–*Single Family + Town Homes*

Education: Bachelor of Architecture, 1987, Virginia Tech
Active Registration: District of Columbia, 2000, License no. ARC100077
Virginia, 1997, License No. 10264
Maryland, 2000, License No. 12325
Active Registration in 15 additional states

Jack F. McLaurin heads Lessard's Single Family and Town Home Group with projects ranging from large single family suburban residences to high-density urban infill developments. His understanding of residential construction combined with 20 years of architectural practice enables him to produce high-level design while maintaining cost-sensitivity. His project experience includes various Tax Credit and HUD financed mixed income communities.

Mr. McLaurin has thorough knowledge of market influences, competitive product, land values and socioeconomic factors. He helps developers position their product in the marketplace and maintain long-term value. As a result, he enjoys many repeat assignments from loyal clients. Among his current projects are various townhome single family communities in the greater Washington, D.C. metropolitan area, affordable high density infill sites in Richmond and the District of Columbia, and mixed use projects in the northeast and the south.

Mr. McLaurin actively participates in the National Association of Home Builders Design Education Sub-Committee and working with NAHB staff members has been an integral part of the program and speaker selection committees for the International Builder Show for the past five years. Mr. McLaurin has also been a quest speaker for the IBS as well as local building industry association events. He also is active in the American Institute of Architects, the Northern Virginia Builders' Industry Association and its' Finest for Family Living Awards Program.

Mr. McLaurin was the Principal in Charge of the following sampling of constructed projects:

Harrison Square, 98 units, District of Columbia, NW
Capper Carrollsburg, 277 units, Mixed Income w/ Public Housing, District of Columbia, SE
Bryan Square, 68 units, District of Columbia, NE
Arts District Hyattsville, approx. 300 units, City of Hyattsville, MD
Chatham Square, 152 units, Mixed Income w/ Public Housing, Alexandria, VA
Potomac Greens, 229 units, Alexandria, VA
Park Potomac, 150 units, Rockville, MD
Fallsgrove, 445 units, Rockville, MD
Wheaton Metro Brownstones, 75 units, Wheaton, MD
Grayson Hill, 220 units, Richmond, VA
Monument Square, 238 units, Richmond, VA
Staples Mill Centre, 2090 units, Richmond, VA

Local Projects Currently filed for zoning approvals:
St. Paul's College, 237 units, District of Columbia, NW
MacArthur Court, 37 units, District of Columbia, NW
Parkside, 118 units, District of Columbia, NE
Glebe Park, 80 units, Mixed Income w/ Public Housing, Alexandria, VA
James Bland, 395 units, Mixed Income w/ Public Housing, Alexandria, VA

Jack McLaurin
The Lessard Group

OUTLINE OF TESTIMONY

I. Introduction and Experience

II. Description of the Proposed Development

III. Architecture of the Proposed Dwellings and Compatibility with Surrounding Properties

IV. Compliance with Zoning Requirements

V. Necessary Areas of Relief from the Zoning Regulations

VI. Conclusion

J

JAMI L. MILANOVICH, P.E.
SENIOR ASSOCIATE

PROFILE: Ms. Milanovich has thirteen years of experience in a wide range of traffic and transportation projects including: traffic impact studies, corridor studies, parking analyses, traffic signal design, intersection improvement design, and signing and pavement marking design. She has worked for both public and private sector clients.

EXPERIENCE: **Traffic Impact Studies.** Conducted numerous traffic impact studies in support of rezoning, subdivision, and site plan approvals for large and small residential, commercial, office, retail, and institutional developments in the mid-Atlantic region. Her work includes experience in Pennsylvania, Virginia, Maryland, and Washington, D.C. Specific Washington, D.C. projects include the following:

- Rosemount Center Traffic and Parking Study
- Sidwell Friends School Transportation Study
- Traffic and Parking Study for the Broad Branch Market and Child Development Center
- Traffic Impact Study for the Emerson Street Townhouses
- Fort Totten Apartments Traffic Impact Study
- Square 486 Traffic Impact Study
- Squares 483 and N-515 Traffic Impact Study
- Traffic Impact Study for the Tilden Street PUD
- Fannie Mae Headquarters Transportation Impact Study
- Transportation Impact Study for Abdo New York Avenue Site
- Friends of Saint Patrick's Transportation Impact Study
- Traffic Impact Study for the Fort Lincoln New Town Townhomes
- Transportation Impact Study for the Village at Washington Gateway
- Transportation Impact Study for the School without Walls
- Transportation Impact Study for the George Washington University Campus Plan: 2005-2026
- Transportation Impact Study for Square 54
- 2201 M Street, NW Transportation Impact Study
- City Homes at Fort Lincoln Transportation Impact Study

Corridor Studies. Conducted several corridor studies, which have evaluated the effects of various geometric and traffic signal system improvements on specific corridors. She has utilized Synchro and SimTraffic software to both analyze the potential improvements and make presentations for agencies and the general public.

Traffic Signal Design. Prepared numerous traffic signal designs for new installations and modifications to existing installations, including the development of coordination timings for interconnected intersections. Her work has included preparation of signal permit drawings for state agencies and construction drawings for contractors.

Intersection Improvements. Prepared many intersection improvement plans throughout Pennsylvania, often in conjunction with traffic signal designs. Design of intersection improvements typically consists of roadway widening, drainage improvements, utility coordination, maintenance and protection of traffic considerations, and signing and pavement marking plans.

Traffic Calming Studies. Investigated traffic calming measures to reduce travel speeds and "through" traffic on residential streets. Alternatives included chicanes, chokers, diverters, speed tables, and one-way street options.

Interchange Justification Studies. Prepared Point of Access Study for the completion of the partial diamond interchange for submission to the Pennsylvania Department of Transportation and the Federal Highway Administration. Study included an origin-destination study and capacity/level of service analyses at eight intersections and an inventory of existing and approved developments within the study area. Data analyses were conducted for scenarios with and without the proposed interchange.

Origin-Destination Studies. Conducted several origin-destination studies as part of larger projects to determine travel patterns through specific areas. Methods used included license plate matching, post-card surveys, personal interviews, and car-following.

Speed Limit Studies. Conducted speed limit for two-lane, rural roadways in Pennsylvania. Methodology utilized was safe running speed method in accordance with ITE guidelines.

EDUCATION: Master of Engineering, The Pennsylvania State University, University Park, Pennsylvania, December 2000

Bachelor of Science, Civil Engineering, The Pennsylvania State University, University Park, Pennsylvania, May 1995

REGISTRATIONS: Registered Professional Engineer: Pennsylvania; Virginia; Washington, D.C.

AFFILIATIONS: Institute of Transportation Engineers

EMPLOYMENT HISTORY

2003 - Present

Wells & Associates, LLC
McLean, Virginia
Senior Associate

1997 - 2003

Herbert, Rowland & Grubic, Inc.
Harrisburg, State College, and Pittsburgh, Pennsylvania
Traffic Engineer

Ms. Milanovich was a project manager responsible for the preparation of traffic engineering studies, traffic signal design, and intersection improvement designs.

1995 - 1997

Transportation Resource Group, Inc.
York, Pennsylvania
Traffic Engineer-in-Training

Ms. Milanovich was responsible for data collection efforts and conducting traffic engineering studies. Her duties also including overseeing technical support staff.

Jami Milanovich
Wells & Associates

OUTLINE OF TESTIMONY

I. Introduction and Experience

II. Project Background

III. Discussion of Traffic Impact Study

IV. Conclusions and Recommendations

K

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT
(Complete on section E for each key person.)

12. NAME	13. ROLE IN THIS CONTRACT	14. YEARS EXPERIENCE	
		a. TOTAL	b. WITH CURRENT FIRM
Scott Delgado, PE	Project Manager	17	4

15. FIRM NAME AND LOCATION (City and State)

Bowman Consulting Group, Ltd., Alexandria, Virginia

16. EDUCATION (DEGREE AND SPECIALIZATION)	17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE)
Master of Science, Construction Engineering, Illinois Institute of Technology, 1996 Bachelor of Science, Civil Engineering, Syracuse University, 1992	PROFESSIONAL ENGINEER, WASHINGTON, D.C., Maryland and Virginia Erosion and Sedimentation Control Certified, Virginia

18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)

Mr. Delgado is the Director of Engineering for Bowman's Alexandria office, and is responsible for project management and supervision of civil engineering projects in Northern Virginia and the Washington D.C. area. He has extensive experience managing projects for federal, state, and municipal clients with a special emphasis on highways, airports and utilities. Additionally, Mr. Delgado is responsible for coordinating with clients; developing contracts and fee proposals; responding to client requests-for-proposals; preparing final contract documents; and overseeing quality design while meeting sensitive time constraints. He is a member of the American Society of Civil Engineers, The Society of American Military Engineers, and the American Council of Engineering Companies.

19. RELEVANT PROJECTS

a.

(1) TITLE AND LOCATION (City and State): Ashton Judiciary Square, Washington, DC

(2) YEAR COMPLETED — PROFESSIONAL SERVICES: | CONSTRUCTION (If applicable):

(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE — [X] Check if project performed with current firm

Director of Engineering for the redevelopment the site located at 724 to 730 3rd Street, NW in Washington, DC. The project includes developing this property "by-right" and consisting of a proposed building with 50 rental apartments with structured parking below. Significant project challenges included replacing approximately 515 lf of existing 8" water main, relocating an existing transformer; dry utility location and design services relative to the existing dry utility lines that are located along 3rd Street and within the adjoining alleyways, consolidation of existing subdivision lots into one unified record lot in order to submit and process a building permit.

b.

(1) TITLE AND LOCATION (City and State): Rhode Island Metro Redevelopment, Washington, DC

(2) YEAR COMPLETED — PROFESSIONAL SERVICES: | CONSTRUCTION (If applicable):

(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE — [X] Check if project performed with current firm

Project Director responsible for the planning, design, and construction engineering services for a new mixed-use urban center located at the Rhode Island Avenue Metro Station. The project involves extensive coordination with WMATA, DC Office of Planning, DDOT, and the community. The project includes a WMATA garage, two residential/retail parking garages with parking spaces, 274 residential units, and over 70,000 square feet of retail.

c.

(1) TITLE AND LOCATION (City and State): Emerson Park, Washington, DC

(2) YEAR COMPLETED — PROFESSIONAL SERVICES: | CONSTRUCTION (If applicable):

(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE — [X] Check if project performed with current firm

Project Director for a 6-acre 75-unit townhome community in NE DC that was a concrete manufacturing plant previously. Developed a detailed erosion and sediment control plan, provided utility coordination for both wet and dry utilities, and site layout. Strategize the grading design of a site with a 45-foot grade difference from one end of the site to the other to maintain a balance of cut & fill material in an area will poor soils.

d.

(1) TITLE AND LOCATION (City and State): Yale Laundry, Washington, DC

(2) YEAR COMPLETED — PROFESSIONAL SERVICES: | CONSTRUCTION (If applicable):

(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE — [X] Check if project performed with current firm

Project Director for a 300-unit condominium development which will include the renovation of the 1902 historic Yale Laundry landmark. Key design strategies include discharging stormwater into a combined sewer system, site grading, and obtaining approval through DC Department of Health and DC Water and Sewer Authority.

e.

(1) TITLE AND LOCATION (City and State): Senate Square, Washington, DC

(2) YEAR COMPLETED — PROFESSIONAL SERVICES: | CONSTRUCTION (If applicable):

(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE — [X] Check if project performed with current firm

Quality Control Engineer for project plans and computations. The project included transforming the existing vacant Children's Museum which is over 130 years old, into Senate Square, a 500 unit, luxury condominium community, introducing new residential and parking structures. This project is an example of the adaptive reuse of an historic building in Washington, DC.

Bowman CONSULTING

Scott Delgado
Bowman Consulting Group

OUTLINE OF TESTIMONY

I. Introduction and Experience

II. Existing Site Conditions and Topographical Constraints

III. Overall Site Planning Considerations

IV. Dedication of Land for Extension of Southern Avenue, S.E.

V. Conclusion

L

QUALIFICATIONS OF RICHARD R. HARPS, MAI, CRE

Academic: Bachelor of Arts, Economics, The American University, Washington, D.C. 1972.

American Institute of Real Estate Appraisers courses and/or examinations: IA - Basic Principles, Methods and Techniques - 1972; IB - Capitalization Theory and Techniques - 1972; II - Urban Properties - 1973; IV - Condemnation - 1973; VI - Investment Analysis - 1980; IBA - Capitalization Theory & Techniques - 1987; 2-1 Case Studies - 1991, Highest and Best Use and Market Analysis – 1993, Advance Sales Comparison and Cost Approach – 2000, Advanced Income Capitalization - 2006

Seminars presented by AIREA, AI, GWCAR, WBR, WDCAR and other organizations.

General: 1971-1983 - John R. Pinkett, Inc., Vice President of Appraisals.

1984 to Present - HARPS & HARPS, INC., President

1996 to 2004 – HARPS & SCALLAN, LLC/INC.

Qualified as Expert in: District of Columbia Zoning Commission; District of Columbia Board of Zoning Adjustment; District of Columbia Office of Tax and Revenue Board of Real Property Assessments and Appeals; District of Columbia Alcohol Beverage Control Board; Superior Court of the District of Columbia; United States District Court for the District of Columbia; United States Bankruptcy Court for the District of Columbia; Mayor's Agent for Historic Preservation-Chief Administrative Law Judge of the District of Columbia; United States Bankruptcy Court, District of Maryland; United States District Court, District of Maryland.

District of Columbia Certified General Real Property Appraiser Certificate #10003.

Maryland Certified General Real Property Appraiser Certificate #10177

Virginia Certified General Real Estate Appraiser Certificate #003181

Appraisal/Consulting Experience: Assignments since 1971 include: houses, stores, shopping centers, office buildings, apartment buildings, hotels, unimproved land, air rights, special purpose properties; full and partial takings from office buildings, power plants, stores, houses, railroad rights-of-way, and apartment buildings; condominium conversion, relocation assistance studies, planned unit development analyses, lease analyses, fair rental studies, urban renewal re-use parcels, planned unit development and zoning studies, and assessment consulting, valuation and equalization studies.

Partial Client List: , United State National Park Service, Washington Metropolitan Area Transit Authority, U.S. General Services Administration, U.S. Dept. of Justice, District of Columbia Department of Housing and Community Development, District of Columbia National Capital Revitalization Corporation, Potomac Electric Power Company, Washington Gas Light Company, Verizon, Howard University, International Monetary Fund, International Bank for Reconstruction and Development (World Bank), attorneys, financial institutions, developers and individuals.

Organizations

Appraisal Institute, successor to American Institute of Real Estate Appraisers, MAI designation - Voluntary re-certification through December 31, 2012
Minority Relations Subcommittee, 1980-1981, Vice Chairman 1981; National Education Committee, 1983-1984; Division of Courses, 1985; Division of Curriculum, 1981-1982; Board of Examiners - Examinations 1987-1989; and General Comprehensive Examination Subcommittee/General Comprehensive Examination Panel 1983-2008, Chairman 1987-1989

Washington Metropolitan Area Chapter Appraisal Institute (formed January 1991 by merger of Wash Metro Chapter # 18 AIREA and Wash Metro Chapter of SREA): President-1994

Counselors of Real Estate - CRE designation

District of Columbia Building Industry Association

Washington D.C. Association of REALTORS®: New Development/Zoning Committee 1975-90, Chrm 1981-82; Board of Directors, 1981 to 1986, 1990-1994, 1998; President, 1985

Real Estate Education Foundation (WDCAR) - President 1989

Lambda Alpha International – International Land Economics Fraternity, Treasurer George Washington Chapter 2008

Real Estate Counseling Group of America – President 2005-2007

National Association of REALTORS®: Board of Directors 1985-1987, 1992; Executive Committee 1986-1987; REALTORS® Legislative Committee: 1989 Chairman Housing Subcommittee, 1990 Chairman Federal Tax Subcommittee, 1991 Vice Chairman RLC, 1992 Chairman RLC; Real Estate Finance Committee 1989-92; State and Municipal Legislative Committee 1990; Building Advisory Committee/Real Property Operations Committee 1988, 1990-1993, 2004, 2007-2008; RPAC Trustee 1989, 1992; Real Estate Lending Working Group Chairman 1991; Public Policy Oversight Group 1993

Greater Washington Board of Trade - Board of Directors, 1985

Richard R. Harps
Harps & Harps, Inc.

OUTLINE OF TESTIMONY

I. Introduction and Experience

II. Description of Proposed Project

III. Description of Surrounding Area

IV. Expected Impact of Proposed Project on the Value of Surrounding Properties

V. Conclusion

m

Holland+Knight

Tel 202 955 3000
Fax 202 955 5564

Holland & Knight LLP
2099 Pennsylvania Avenue, N.W.
Suite 100
Washington, D.C. 20006-6801
www.hklaw.com

PROFESSIONAL QUALIFICATIONS

STEVEN EDWARD SHER
DIRECTOR OF ZONING AND LAND USE SERVICES
HOLLAND & KNIGHT, LLP

EDUCATION:

Brooklyn College of the City University of New York, 1969, Bachelor of Arts (Urban Studies and Political Science)
Cornell University, 1971, Master of Regional Planning

PROFESSIONAL EXPERIENCE:

Director of Zoning and Land Use Services, Holland & Knight, LLP
2000 - present
Director of Zoning Services, Wilkes, Artis, Hedrick & Lane, Chartered
1985 - 2000
Executive Director, Zoning Secretariat, District of Columbia
1977 - 1985
Deputy Director, Zoning Division, Municipal Planning Office, District of Columbia
1975 - 1977
Acting Secretary to the Board of Zoning Adjustment, District of Columbia
1976
Urban Planner, D.C. Zoning Commission, D.C. Office of Planning and Management, D.C. Municipal Planning Office
1972 - 1975
Renewal Coordinator, District of Columbia Zoning Commission
1972 - 1973
Acting Secretary to the District of Columbia Zoning Commission
1972
Project Planner, District of Columbia Zoning Commission
1971 - 1972

Planning Intern, Frederick P. Clark Associates, Planning and Development Consultants
1970
Research Intern, Brooklyn Linear City Development Corporation
1969

APPEARED AS EXPERT WITNESS:

District of Columbia Zoning Commission
District of Columbia Board of Zoning Adjustment
District of Columbia Historic Preservation Review Board
District of Columbia Mayor's Agent for D.C. Law 2-144
Zoning Hearing Examiner, Montgomery County, Maryland
Montgomery County (Maryland) Planning Board
U.S. Bankruptcy Court for the District of Columbia
Superior Court of the District of Columbia

AREAS OF INTEREST AND/OR SPECIALIZATION:

Land use planning
Zoning, subdivision and other control of land use
Urban design
Urban transportation planning

ORGANIZATIONS:

American Planning Association (1971-present)
Greater Washington Board of Trade (1986-2000)
- Planning and Development Committee (Vice-Chairman for Zoning and Regulatory Affairs) (1987-8)
- Community Development Bureau Steering Committee (1987-9)
- PUD Task Force (Chairman) (1987)
- Comprehensive Plan Task Force (1987-8)
- Downtown Revitalization Committee Housing Team (1988)

Mayor's Commission on Downtown Housing (1988-89)
Downtown Partnership Downtown Development District Task Force (1989-90)
Lambda Alpha (honorary land economics society) (1990-present)
Metropolitan Washington Council of Governments Metropolitan Development Citizens Advisory Committee (1997-2004)

District of Columbia Comprehensive Plan Assessment Task Force (2002-2003)
District of Columbia Comprehensive Plan Revision Task Force (2004-2006)
District of Columbia Zoning Advisory Committee (2003-present)
District of Columbia Zoning Review Task Force (2007-present)

LECTURES/SEMINAR PRESENTATIONS:

District of Columbia Association of Realtors
District of Columbia Building Industry Association
D.C. Bar/Georgetown University Law School Continuing Legal Education
Capitol Hill Realtors
American University Real Estate Alumni
District of Columbia Apartment and Office Building Association

22316083_v1

Steven E. Sher
Director of Zoning and Land Use Services
Holland & Knight LLP

OUTLINE OF TESTIMONY

I. Introduction and Experience

II. Site Location and Description

III. Description of Surrounding Area

IV. Current Zoning of the Property

V. Requested Relief and Compliance with Regulatory Requirements

VI. Conclusion

N

Form 145
(Revised 04/29/02)

Case No. 17837

BEFORE THE BOARD OF ZONING ADJUSTMENT
OF THE DISTRICT OF COLUMBIA

AFFIDAVIT OF POSTING

Notice: Click Here for Affidavit Form Instructions

DISTRICT OF COLUMBIA, ss:

*, being first duly sworn, do hereby depose and say that:

I,* Freda Hobar , posted* 2 zoning poster(s)

("Notice of Public Hearing") furnished by the Director of the Office of Zoning on private property known as*

Northside of Southern Ave SE West of Branch Ave SE on* 10-29-08 at* 3:45

The zoning posters were placed in plain view of the public on the street frontages as listed on this affidavit below. I have maintained the posting notice by checking the signs every five days, and by posting new notices as necessary.

I have taken, or authorized to be taken,* 2 photograph(s) of the zoning posters where they have been placed.

The photographs (not to exceed 8 ½" X 11"), attached hereto, clearly show each zoning poster as seen by the public.

The photographs, are numbered and correspond to the following street frontages:

Photograph No.*	Street Frontage*
1.	Northside of Southern Ave SE and
2.	West of Branch Ave SE.

Signature: Freda Hobar

Subscribed and sworn to before me this 30th day of Oct. 2008

Gwendolyn E Marrow

Notary Public, D.C.

Gwendolyn E. Marrow
Notary Public, District of Columbia
My Commission Expires 4-14-2009

My commission expires on:

Seal

Jerrily R. Kress, FAIA – Director
District of Columbia Office of Zoning

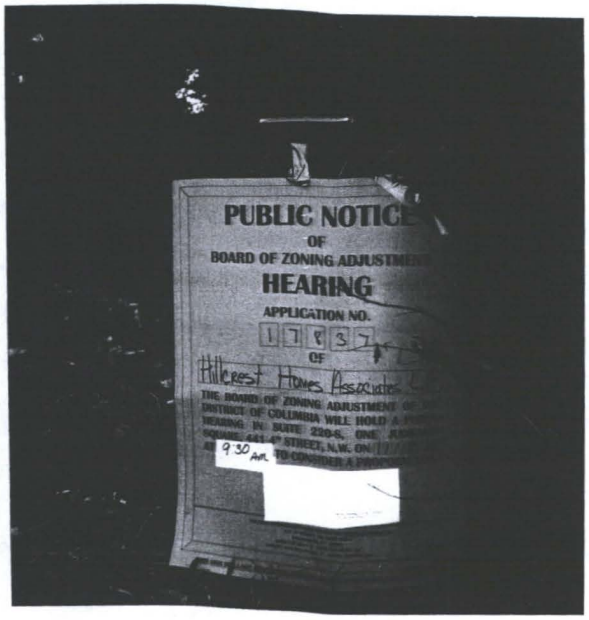
441 4th Street, N.W. Ste. 210-S, Washington, D.C. 20001
(202) 727-6311 * (202) 727-6072 fax * www.dcoz.dc.gov

RECEIVED
D.C. OFFICE OF ZONING
2008 OCT 30 PM 1:06

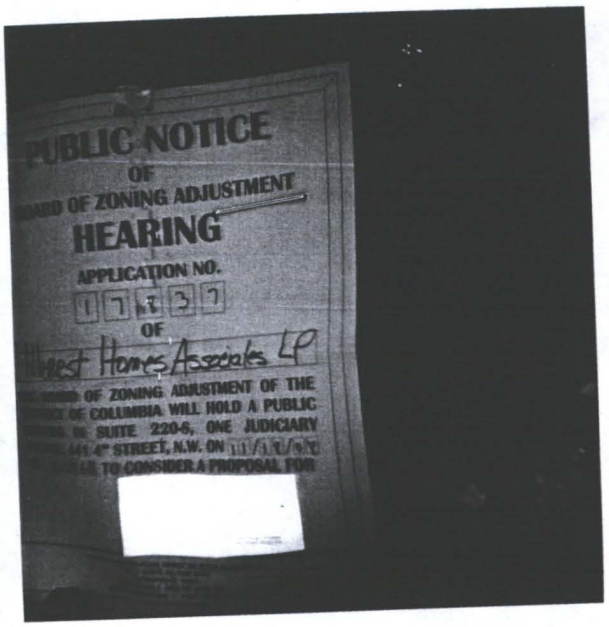
Print Preview | Clear Form

BZA 17837

1.



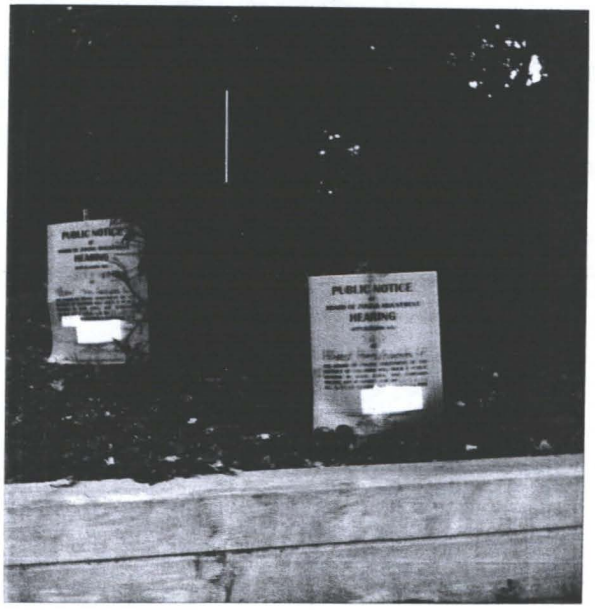
2.



North Side of Southern Avenue, S.E.

West of Branch Avenue, S.E.

(1+2.)



North Side of Southern Avenue, SE. and West of Branch Avenue, S.E.

0

GOVERNMENT OF THE DISTRICT OF COLUMBIA

District Department of the Environment

MEMORANDUM

TO: Paul Goldstein,
Development Review Specialist
District of Columbia Office of Planning

FROM : Shane Farthing
Land Use & Development Coordinator
District Department of the Environment

DATE: October 3, 2008

SUBJECT: Comments on Hillcrest Submission for Large Tract Review (2008-04) and Board of Zoning Adjustment
Applicant: Hillcrest Homes Association LP
Parcels: 208/04, 208/61, 208/63, 208/64, 208/65, and 215/27

The District Department of the Environment (DDOE) has reviewed the documentation forwarded from the Office of Planning (OP) regarding the above-cited case and submits the following comments:

1. DDOE recognizes that the current submission is the result of numerous planning sessions, and we appreciate the willingness of the applicant to discuss the potential environmental impacts of such development on the site.

2. DDOE recognizes the topographic challenges presented by the site, and encourages the applicant to diligently address stormwater runoff concerns. The combination of (a) relatively steep slopes; (b) a substantial increase in impervious surfaces, and (c) significant removal of existing trees merit increased focus by the applicant on erosion and sediment control practices during construction and stormwater management techniques both during and after construction. This might include efforts to encourage individual lot-level stormwater management, in addition to the development-level minimum stormwater, sediment, and erosion control practices required for permitting.

3. DDOE commends the applicant's decision to maintain the northern portion of the site in its heavily wooded state. We recommend that this decision be formalized, and that conditions be put in place to ensure that the area is geographically defined and remains wooded for a meaningful period of time.

4. While recognizing the existence of barriers to fully transit-oriented development on this site, DDOE encourages the applicant to take full advantage of the site's location within 1,500 feet of a Metrorail station served by both rail and multiple bus routes. Given this access to both Metrorail and twelve Metrobus routes, DDOE suggests that the inclusion of 119 parking spaces should be adjusted downward, toward the 54 spaces required by the Zoning Regulations. Further, DDOE would fully support higher density uses of this transit-served space. If, however, the single-family home concept is shown to be the most appropriate overall use of the site, DDOE would support relief from minimum lot size requirements in order to limit the development footprint and disturbance of wooded areas.

We appreciate your willingness to consider these comments, and look forward to working with you throughout the review process as needed. Please note, these comments are based on the planning documents provided to DDOE, and do not exempt the development from compliance with the District of Columbia Environmental Policy Act or any existing environmental laws or regulations.

P

GOVERNMENT OF THE DISTRICT OF COLUMBIA
FIRE AND EMERGENCY MEDICAL SERVICES DEPARTMENT
WASHINGTON, D.C. 20001

MEMORANDUM

TO: Paul Goldstein
Development Review Specialist
D.C. Office of Planning

FROM: Gary L. Palmer, Jr.
Fire Marshal
Deputy Fire Chief
D.C. Fire and EMS Department

DATE: September 15, 2008

SUBJECT: Large Tract Review No. 2008-04 - Branch Avenue, S.E. and Southern Avenue, S.E.

The D.C. Fire and EMS Department has reviewed the above request.

Based on the site plans submitted, the D.C Fire and EMS Department has no objection to this request as long as construction is in compliance with the International Fire Code (2000 Edition) and all applicable D.C. Laws.

If you have questions concerning this review, please contact Captain Chris Roggerson at 727-1614.

GRAPHIC SCALE

60 0 30 60 120 240

(IN FEET)
1 inch = 60 ft.

HILLCREST

SCALE 1" = 60'

WASHINGTON, DISTIRCT OF COLUMBIA

OCOTBER 2008

Bowman
CONSULTING

R

Client: Neighborhoods of EYA
Project: Hillcrest-Private

Project Number: EYA133a
Date: October 13, 2008 (rev.)

Bulding Height Lot Matrix

Lot No.	Spot Grade Elevation at Front Face of Building	FF Elevation (per BCG grading plan)	Building Height: Dimension Measured from FF to b.o. Upper Ceiling	Building Height: Building Height Elevation	Building Height (per zoning)
Front Load Units					
1	173.93	184.40	27.74 '	212.14	38.21 '
2	176.12	186.80	27.74 '	214.54	38.42 '
3	177.93	188.60	27.74 '	216.34	38.41 '
4	180.09	190.80	27.74 '	218.54	38.45 '
5	182.95	193.60	27.74 '	221.34	38.39 '
6	185.88	196.80	27.74 '	224.54	38.66 '
7	187.85	198.60	27.74 '	226.34	38.49 '
8	189.23	200.00	27.74 '	227.74	38.51 '
9	190.01	200.80	27.74 '	228.54	38.53 '
10	190.72	201.50	27.74 '	229.24	38.52 '
11	191.51	202.30	27.74 '	230.04	38.53 '
12	192.25	203.00	27.74 '	230.74	38.49 '
13	193.04	203.80	27.74 '	231.54	38.50 '
14	193.83	204.60	27.74 '	232.34	38.51 '
15	194.62	205.40	27.74 '	233.14	38.52 '
16	195.35	206.10	27.74 '	233.84	38.49 '
17	196.14	206.90	27.74 '	234.64	38.50 '
18	196.92	207.70	27.74 '	235.44	38.52 '
19	197.64	208.40	27.74 '	236.14	38.50 '
20	198.08	208.90	27.74 '	236.64	38.56 '
Rear Load Units					
21	182.20	189.10	27.74 '	216.84	34.64 '
22	186.03	188.10	27.74 '	215.84	29.81 '
23	186.98	187.80	27.74 '	215.54	28.56 '
24	187.75	188.60	27.74 '	216.34	28.59 '
25	188.54	189.20	27.74 '	216.94	28.40 '
26	189.33	196.40	27.74 '	224.14	34.81 '
27	190.12	191.60	27.74 '	219.34	29.22 '
28	190.91	192.80	27.74 '	220.54	29.63 '
29	191.59	193.80	27.74 '	221.54	29.95 '
30	192.45	195.00	27.74 '	222.74	30.29 '
31	193.25	196.00	27.74 '	223.74	30.49 '
32	190.90	197.80	27.74 '	225.54	34.64 '
Surface Parked Units					
33	169.65	175.50	27.74 '	203.24	33.59 '
34	170.37	177.50	27.74 '	205.24	34.87 '
35	169.81	177.20	27.74 '	204.94	35.13 '
36	167.54	175.00	27.74 '	202.74	35.20 '
37	167.70	174.90	27.74 '	202.64	34.94 '
38	168.10	175.30	27.74 '	203.04	34.94 '
39	168.89	177.20	27.74 '	204.94	36.05 '
40	171.90	179.10	27.74 '	206.84	34.94 '
41	171.92	179.20	27.74 '	206.94	35.02 '
42	173.89	181.20	27.74 '	208.94	35.05 '
43	175.11	181.70	27.74 '	209.44	34.33 '
44	176.69	183.30	27.74 '	211.04	34.35 '
45	178.87	183.60	27.74 '	211.34	32.47 '
46	180.50	185.10	27.74 '	212.84	32.34 '
47	181.87	186.50	27.74 '	214.24	32.37 '
Front Load Units					
48	192.00	202.80	27.74 '	230.54	38.54 '
49	189.00	199.80	27.74 '	227.54	38.54 '
50	186.00	196.80	27.74 '	224.54	38.54 '
No Parking Units					
51	189.89	197.20	27.74 '	224.94	35.05 '
52	190.68	198.00	27.74 '	225.74	35.06 '
53	191.90	199.40	27.74 '	227.14	35.24 '
54	194.83	202.00	27.74 '	229.74	34.91 '

Note: *Civil Information from drawings dated 5/21/08 "1ST SUBMISSION"*

5

RECEIVED
D.C. OFFICE OF ZONING
2008 NOV -4 PM 3:03

BOARD OF ZONING ADJUSTMENT SITE PLAN

HILLCREST

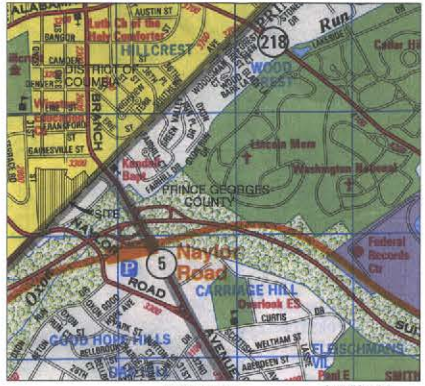
WASHINGTON (S.E.), DISTRICT OF COLUMBIA

PROJECT DESCRIPTION

ZONING CLASSIFICATION: R-1-B
SITE AREA TABULATION:

PARCEL	AREA (ACRES)
02080004	2.20
02080061	1.42
02080064	4.81
02080065	0.51
02150027	3.73

TOTAL SITE AREA: 547,592 SQUARE FEET (12.57 ACRES)



VICINITY MAP
SCALE: 1"=200'

SHEET INDEX

Exhibit No. 28

OWNER/DEVELOPER:

EYA
4800 HAMPTON LANE SUITE 300
BETHESDA, MD 20814
ATTN: BOB YOUNGENTOB
JACK LESTER

ARCHITECTS:

LESSARD GROUP
8521 LEESBURG PIKE, SUITE 700
VIENNA, VA 22182
ATTN: JACK McLAURIN, AIA

CIVIL ENGINEER:

BOWMAN CONSULTING
2121 EISENHOWER AVE.
ALEXANDRIA, VA 22314
ATTN: MARK S. STIRES, P.E.
HECTOR DIAZ

LANDSCAPE ARCHITECT

BOWMAN CONSULTING
2121 EISENHOWER AVE.
ALEXANDRIA, VA 22314
ATTN: SARAH GOODENOW, PLA

NOTE:
ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZING, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

Bowman CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Suite 300
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-7293
www.bowmanconsulting.com
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PAR 02/08 (0004, 0061 & 0065) PAR 02/15 (0027) 2601 BRANCH AVENUE SE
COVER SHEET
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS
11/04/08 BZA APPLICATION

DATE	DESCRIPTION

MSO DESIGN | DMD DRAWN | MSO CHKD.
SCALE: H: AS SHOWN V:
JOB No. 6010-01-001
DATE: APRIL 2008
FILE No. 6010-D-PR-001
SHEET C1.00

LEGEND

EXISTING	DESCRIPTION	PROPOSED
250	INDEX CONTOUR	250
	INTERMEDIATE CONTOUR	252
EX. E.P.	EDGE OF PAVEMENT	PROP. E.P.
EX. C & G	CURB AND GUTTER	
	TRANSITION	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	CLEARING AND GRADING (LIMITS OF DISTURBANCE)	LOD
	FENCE LINE	
	EASEMENT	
EX. 6" W.M.	WATER LINE	6" WM W.M.
EX. W.V.	WATER VALVE	
	REDUCER	
EX. 18" SAN.	SANITARY SEWER	18" SAN.
EX. 15" RCP	STORM SEWER	15" RCP
CATV	CABLE TV	CATV
	ELECTRIC SERVICE-UNDERGROUND	
	ELECTRIC SERVICE-OVERHEAD	
	OVERHEAD TELEPHONE	
	TELEPHONE SERVICE	
	GAS LINE	
+ 25.52	SPOT ELEVATION	25.52
	UTILITY POLE	
	GUY POLE	
	TRANSFORMER	T
	SIGN	
EX.	SANITARY SEWER IDENTIFIER	A
EX.	STORM DRAIN IDENTIFIER	2
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR INDICATES THE NUMBER OF TYPICAL PARKING SPACES	10
	PARKING METER	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	2,500 VPD
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	HANDICAP RAMP	
	DENOTES CLEAR SIGHT TRIANGLE	
15" OAK	TREE	
	BENCHMARK	BM #1 112.41 (DRIVER)
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	STOP SIGN	
	STREET SIGN	
	HANDICAP PARKING SPACE (VAN)	VAN
	RIP RAP	

ABBREVIATIONS

A	AREA OF ARC
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS
AC	ACRE
ADJ	ADJACENT
AGGR	AGGREGATE
AHD	AHEAD
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
B	BREADTH
BC	BACK OF CURB
BF	BASEMENT FLOOR
BLDG	BUILDING
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)
BOV	BLOW OFF VALVE
BRG	BEARING
BRL	BUILDING RESTRICTION LINE
BVCE	BEGINNING VERTICAL CURVE ELEVATION
BVCS	BEGINNING VERTICAL CURVE STATION
BW	BOTTOM OF WALL
c,e	CENTER CORRECTION ON VERTICAL CURVE
C	RUNOFF COEFFICIENT
C&G	CABLE TELEVISION
CATV	CURB AND GUTTER
CB	CATCH BASIN
CBR	CALIFORNIA BEARING RATIO
CC	CENTER TO CENTER
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CG(R)	CURB AND GUTTER (REVERSE SLOPE)
CH	CHORD
CHBRG	CHORD BEARING
CIP	CAST IRON PIPE
CL	CENTERLINE OR CLASS
℄	CENTERLINE
CLR	CLEAR
CM	CUBIC METERS
CMP	CORRUGATED METAL PIPE
CMS	CUBIC METERS PER SECOND
CN	RUNOFF CURVE NUMBER
CONT	CONTINUOUS
CO	CLEAN OUT
CONC	CONCRETE
CS	CURB STOP
CT	COURTS
CTR	CENTERLINE
CY	CUBIC YARD
D	DEPTH
DA	DRAINAGE AREA
DB	DEED BOOK
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DI	DROP INLET
DIST	DISTANCE
DL	DOMESTIC LINE
DM	DROP MANHOLE
DOM	DOMESTIC
DR	DRIVE
DRN	DRAINAGE AREA
DS	DOWN SPOUT
DU	DWELLING UNITS
DWG	DRAWING
D/W	DRIVEWAY
Δ	DELTA
E	RATE OF SUPER ELEVATION
EA	EACH
EBL	EAST BOUND LANE
EC	EROSION CONTROL
EG	EDGE OF GUTTER
EGL	ENERGY GRADIENT LINE
El	ELEVATION
ELEC	ELECTRIC
ELEV	ELEVATION
ENGR	ENGINEER
ENT	ENTRANCE
EP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
ES	END SECTION
ESMT	EASEMENT
ETD	EXISTING TO BE DEMOLISHED
ETR	EXISTING TO REMAIN
ETRL	EXISTING TO BE RELOCATED
ETRP	EXISTING TO BE REPLACED
EVCE	ENDING VERTICAL CURVE ELEVATION
EVCS	ENDING VERTICAL CURVE STATION
EW	END WALL
EX	EXISTING
EQC	ENVIRONMENTAL QUALITY CORRIDOR
F	FIRE LINE
FAR	FLOOR AREA RATIO
FC	FACE OF CURB
FD	FLOOR DRAIN
FF	FIRST FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FND	FOUNDATION
FOY	FOYER
FP	FLOOD PLAIN
FPS	FEET PER SECOND
FS	FIRE SERVICE OR FACTOR OF SAFETY
FT	FOOT / FEET
G	GAS
GAR	GARAGE
GFA	GROSS FLOOR AREA
GR	GUARD RAIL OR GRATE INLET
H	HEAD
HC	HANDICAP
HB	HORIZONTAL BEND
HCL	HYDRAULIC GRADE LINE
HORZ	HORIZONTAL
HP	HIGH POINT
HR	HAND RAIL
HT	HEIGHT
HW	HEADWATER
I	RAINFALL INTENSITY
ID	INSIDE DIAMETER OR IDENTIFICATION
IE	INVERT ELEVATION
IN	INCH
INV	INVERT
IP	IRON PIPE
IPF	IRON PIPE FOUND
IPS	IRON PIPE SET
JB	JUNCTION BOX
JNT	JOINT
K	SIGHT DISTANCE COEFFICIENT
Ke	CULVERT ENTRANCE LOSS COEFFICIENT
L	LENGTH
LAT	LATERAL
LCG	LIMITS OF CLEARING & GRADING
LF	LINEAR FEET
LL	LOWER LEVEL
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LOADING SPACE
LT	LEFT
M	MONUMENT FOUND
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MI	MILE
MIN	MINIMUM
MISC	MISCELLANEOUS
MPH	MILES PER HOUR
MS	MEDIAN STRIP
MSL	MEAN SEA LEVEL
NA OR N/A	NOT APPLICABLE
NBL	NORTH BOUND LANE
N/F	NOW OR FORMERLY
NFA	NET FLOOR AREA
NO. OR #	NUMBER
OC	ON CENTER
OBJ	OBJECT
OD	OUTSIDE DIAMETER
OH	OVERHANG
O/H	OVERHEAD
OHC	OVERHEAD CABLE
OHE	OVERHEAD ELECTRIC
OHT	OVERHEAD TELEPHONE
P	PERIMETER
PAP	PLAN AND PROFILE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVE
PCTC	POINT OF CURVATURE TOP OF CURB
PCEP	POINT OF CURVE EDGE OF PAVEMENT
PFM	PUBLIC FACILITIES MANUAL
PG	PAGE
PGL	POINT OF GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PE	PROPERTY LINE
PRC	POINT OF REVERSE CURVE
PRELIM	PRELIMINARY
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVRC	POINT OF VERTICAL REVERSE CURVE
PVT	POINT OF VERTICAL TANGENT
Q (cfs)	AMOUNT OF RUNOFF (FLOW RATE)
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR	REINFORCED CONCRETE PIPE/RUBBER GASKET
RD	ROAD OR ROOF DRAIN
REINF	REINFORCED
REQD	REQUIRED
RET	RETAINING
REV	REVISION
RGP	ROUGH GRADING PLAN
RMA	RESOURCE MANAGEMENT AREA
ROM	REMOTE OUTSIDE MONITOR
RPA	RESOURCE PROTECTION AREA
RR	RAILROAD
RT	RIGHT
RTE	ROUTE
R/W	RIGHT OF WAY
S	SPEED OR SLOPE
SAN	SANITARY
SBL	SOUTH BOUND LANE
SCH	SCHEDULE
SD	SIGHT DISTANCE
SEC	SECTION
SECT	SECTION
SEW	SEWER
SF	SQUARE FEET
SH	SHOULDER
SP	SPACE OR SITE PLAN
SPEC	SPECIFICATIONS
STA	STATION
STD	STANDARD
STK	STACK
STM	STORM
STR	STRUCTURE
SWC	SIDEWALK
S/W	SIDEWALK
SWM	STORM WATER MANAGEMENT
Sx	CROSS SLOPE
SY	SQUARE YARD
T	TANGENT
TB	TOP OF BANK OR TEST BORING
TC	TOP OF CURB
Tc	TIME OF CONCENTRATION
TEL	TELEPHONE
TEMP	TEMPORARY
TH	TEST HOLE
TP	TEST PIT OR TREE PROTECTION
TRANSP	TRANSPORTATION
TW	TOP OF WALL OR TAILWATER
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UGT	UNDERGROUND TELEPHONE
UGC	UNDERGROUND CABLE
UD	UNDERDRAIN
UL	UPPER LEVEL
UP	UTILITY POLE
USGS	US GEOLOGICAL SURVEY
V	VOLUME
V OR VEL	VELOCITY
VA	VIRGINIA
VAN	HANDICAPPED VAN PARKING SPACE
VB	VERTICAL BEND
VC	VERTICAL CURVE
VDOT	VA DEPT OF TRANSPORTATION
VF	VERTICAL FOOT
W	WEIGHT OR WIDTH
WBL	WEST BOUND LANE
WL	WATER LINE
WM	WATER METER
W/M OR WM	WATER MAIN
WQIA	WATER QUALITY IMPACT ASSESMENT
WV	WATER VALVE
XF	TRANSFORMER
YI	YARD INLET
YR	YEAR
Z	SIDE SLOPES

NOTE:
THIS IS A STANDARD SHEET. THEREFORE, SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE PROJECT.

GENERAL NOTES

1. NOTIFY DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION: MR. TED DYSON, ACTING CHIEF ENGINEERING INSPECTION BRANCH 202-787-2377.
2. CONTACT "MISS UTILITY" 1-800-257-7777 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE EXCAVATOR MUST NOTIFY ALL PUE COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
3. CONTACT DEPARTMENT OF PUBLIC WORKS – PUBLIC SPACE MAINTENANCE ADMINISTRATION 48 HOURS PRIOR TO START OF CONSTRUCTION ON 202-645-6030 OR 6031.
4. SEWER AND WATER D.M. TO BE USED FOR CONSTRUCTION.
5. ALL PROPOSED WATER AND SEWER WORK TO BE PERFORMED UNDER THE INSPECTION OF THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY.
6. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY.
7. USE MANHOLE ENTRY SEALS WHERE REQUIRED.
8. THIS PLAN DOES NOT IMPLY THAT ALL UNDERGROUND UTILITIES AND THOSE SHOWN ARE NECESSARILY APPROPRIATE. THE CONTRACTOR SHALL TAKE ALL AND WHATEVER STEPS NECESSARY TO ACCURATELY LOCATE AND PROTECT ALL EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO ENSURE THAT THE PLANS CAN BE EXECUTED. IN THE EVENT OF CONFLICT, THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.
9. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITIONS OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUALITY, AND QUANTITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED INCLUDING ALL PIPING ON PRIVATE PROPERTY.
11. CONTRACTOR SHALL COORDINATE UTILITY POLE AND UNDERGROUND CONDUIT RELOCATIONS WITH PEPCO, WASHINGTON GAS, BELL ATLANTIC AND DISTRICT CABLE VISION.
12. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR, CALL (202) 535-2240 FOR APPOINTMENT.
13. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACKFILLING, REPAIRING, RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALK CUTS. FOR NEW UTILITIES, CONNECTIONS AND TAPS. REMOVALS, ABANDONMENTS, OF SERVICES MUST BE PERFORMED BY THE CONTRACTOR, AT THE WATER AND SEWER LINE WITHIN THE PUBLIC SPACE AND REPAIRED UNDER DCWASA INSPECTION. DCWASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THE CONTRACTOR OR DEVELOPER.
14. NOTIFY DCWASA ONE WEEK PRIOR TO START OF CONSTRUCTION:
    UTILITY INSPECTION STATION (202) 787-2377
    WATER SERVICES (202) 612-3400 OR 3460
    SEWER SERVICES (202) 264-3824 OR 3604
15. ALL WATER MAINS TO BE DUCTILE IRON PIPE, MEETING AWWA C11 REQUIREMENTS. PROVIDE DUCTILE IRON RETAINER GLANDS FOR JOINT RESTRAINT ON ALL WATER MAIN, PIPE AND FITTINGS, INCLUDING VALVES AND FIRE HYDRANTS. RETAINER GLANDS SHALL NOT BE USED ON EXISTING CAST IRON PIPE.
16. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL. UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDONED IN PUBLIC SPACE. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATIONS AND RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.
17. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE, RM 203 AND THE WATER AND SEWER DESIGN SECTION A1. 5000 OVERLOOK AVENUE, S.W., 5TH FLOOR, WASHINGTON, DC.
18. THE BUILDING INFORMATION (DIMENSIONS, UTILITY CONNECTIONS AND SIZES, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM PLANS BY: LESSARD ARCHITECTS.
19. IT IS CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MEP PLAN AND COORDINATE SAME WITH THIS SITE PLAN PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
20. PERMANENT WATER CONNECTIONS MUST BE INSTALLED FOR ALL CONSTRUCTION PURPOSES.
21. ALL WATER DISTRIBUTION AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST DCWASA SPECIFICATIONS AND DETAILS.
22. ALL PUBLIC UTILITIES AND ROAD CONSTRUCTION SHALL CONFORM TO THE LATEST DDOT SPECIFICATIONS AND DETAILS.
23. EXISTING SURVEY PERFORMED BY BOWMAN C.O. ON FEBRUARY 7, 2008.
24. PERMISSION FOR OFFSITE CONSTRUCTION IS REQUIRED.

Bowman CONSULTING
Bowman Consulting Group, Ltd.
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Fairfax, Virginia 22030
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Fax: (703) 648-0788
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© Bowman Consulting Group, Ltd.

PAR 0209 (0014, 0026 & 0062-0065) PAR 0215 0227 2801 BRANCH AVENUE SE

NOTES, ABBREVIATIONS AND LEGEND

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	B/A APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	EB DRAWN	MSD CHKD

SCALE: N.T.S.

JOB No. 6010-01-001

DATE: APRIL 2008

FILE No. 6010-D-PR-001

SHEET C2.00

Bowman
CONSULTING

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12101 Tech Center Drive
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Manassas, Virginia 20112
Phone: (703) 243-3388
Fax: (703) 243-3171
www.bowmanconsulting.com
e: [illegible]

PAR 0708 (0004, 0091 & 0065-0086) | PAR 0215 0327 2001 BRANCH AVENUE SE

CONTEXTUAL PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS

31/BA/0/0/ETA APPLICATION	

DATE	DESCRIPTION

MSD DESIGN	SDO DRAWN	MSD CHKD

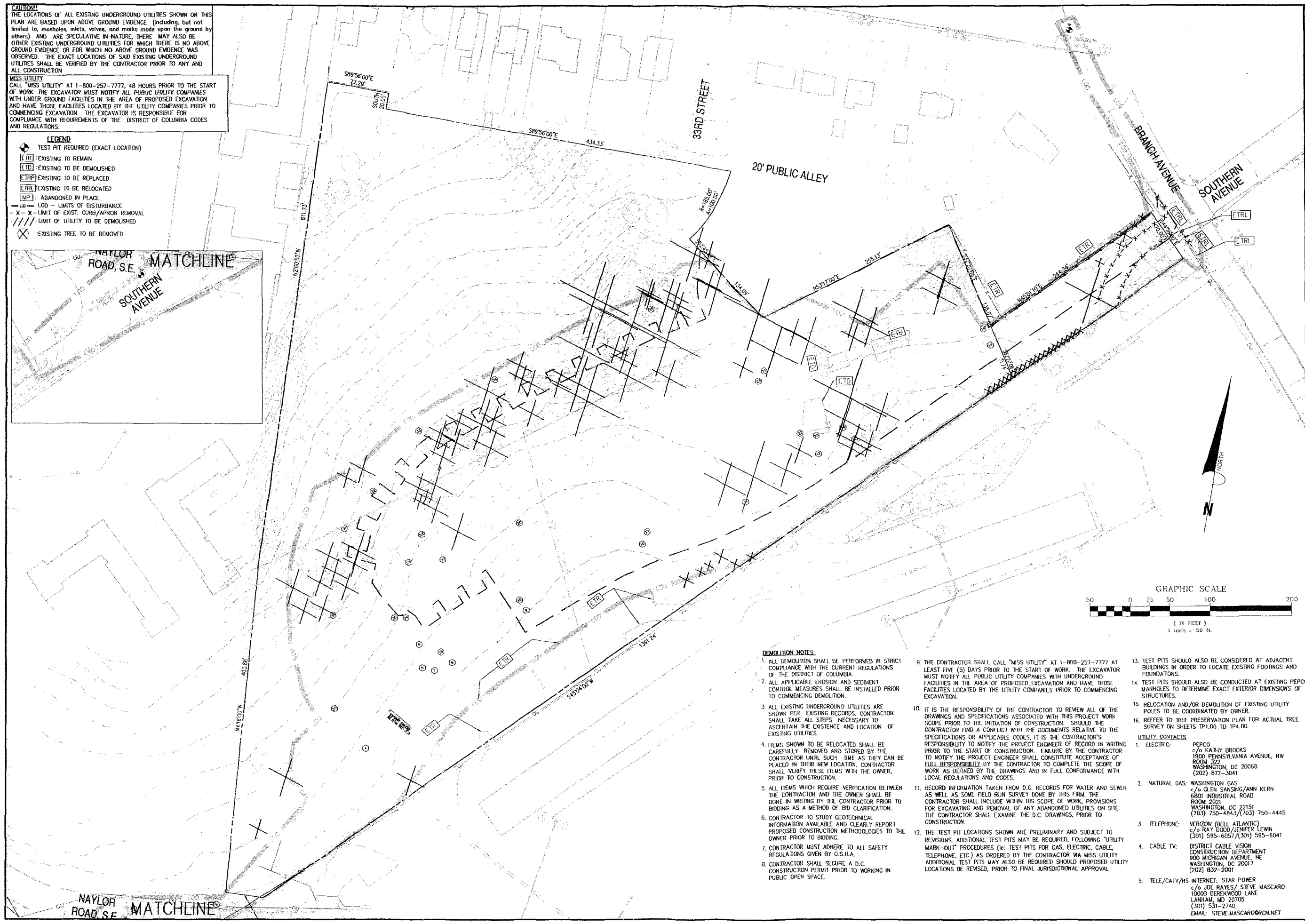
SCALE 1" = 1/16"

JOB No. 5010-01-001

DATE APRIL 2008

FILE No. 5010-D-PR-001

SHEET C3.00



CAUTION!!
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE, THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION

MISS UTILITY
CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. *THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES* WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

LEGEND

⊕	TEST PIT REQUIRED (EXACT LOCATION)
ETR	:EXISTING TO REMAIN
ETD	:EXISTING TO BE DEMOLISHED
ETRP	:EXISTING TO BE REPLACED
ETRL	:EXISTING TO BE RELOCATED
AIP	: ABANDONED IN PLACE
— LOD —	LOD - LIMITS OF DISTURBANCE
– X – X –	LIMIT OF EXIST. CURB/APRON REMOVAL
/////	LIMIT OF UTILITY TO BE DEMOLISHED
⊗	:EXISTING TREE TO BE REMOVED

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
4. ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
5. ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
6. CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
7. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
8. CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC OPEN SPACE.
9. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
11. RECORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER AS WELL AS SOME FIELD RUN SURVEY DONE BY THIS FIRM. THE CONTRACTOR SHALL INCLUDE WITHIN HIS SCOPE OF WORK, PROVISIONS FOR EXCAVATING AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS, PRIOR TO CONSTRUCTION.
12. THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (ie: TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED, PRIOR TO FINAL JURISDICTIONAL APPROVAL.
13. TEST PITS SHOULD ALSO BE CONSIDERED AT ADJACENT BUILDINGS IN ORDER TO LOCATE EXISTING FOOTINGS AND FOUNDATIONS.
14. TEST PITS SHOULD ALSO BE CONDUCTED AT EXISTING PEPCO MANHOLES TO DETERMINE EXACT EXTERIOR DIMENSIONS OF STRUCTURES.
15. RELOCATION AND/OR DEMOLITION OF EXISTING UTILITY POLES TO BE COORDINATED BY OWNER.
16. REFFER TO TREE PRESERVATION PLAN FOR ACTUAL TREE SURVEY ON SHEETS TP1.00 TO TP4.00.

UTILITY CONTACTS

1. ELECTRIC: PEPCO
c/o KATHY BROOKS
1900 PENNSYLVANIA AVENUE, NW
ROOM 322
WASHINGTON, DC 20068
(202) 872-3041

2. NATURAL GAS: WASHINGTON GAS
c/o GLEN SANSING/ANN KERN
6801 INDUSTRIAL ROAD
ROOM 2021
WASHINGTON, DC 22151
(703) 750-4843/(703) 750-4445

3. TELEPHONE: VERIZON (BELL ATLANTIC)
c/o RAY DODD/JENIFER LEWIN
(301) 595-6057/(301) 595-6041

4. CABLE TV: DISTRICT CABLE VISION
CONSTRUCTION DEPARTMENT
900 MICHIGAN AVENUE, NE
WASHINGTON, DC 20017
(202) 832-2001

5. TELE/CATV/HS INTERNET: STAR POWER
c/o JOE RAYES/ STEVE MASCARO
10000 DEREKWOOD LANE
LANHAM, MD 20706
(301) 531-2740
EMAIL: STEVE.MASCARO@RCN.NET

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

EXISTING CONDITIONS AND DEMOLITION PLAN

HILLCREST

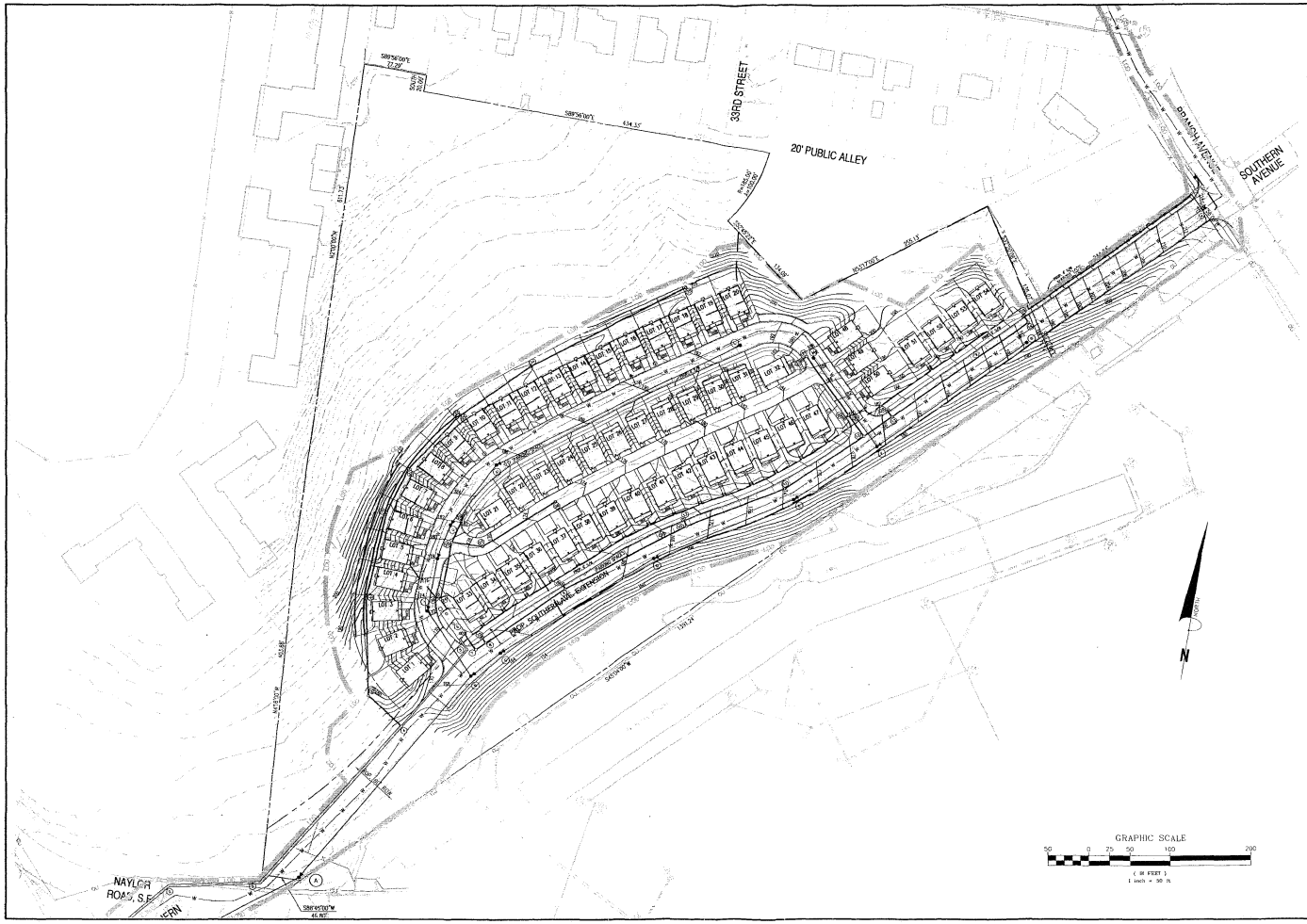
BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION
DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD
SCALE	H: 1" = 50' V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	C4.00	

Cad file name : P:\6010 - EYA-Hillcrest\6010-01-001-Eng\Engineering\Prelim Plans\TP\6010-D-PP-001-C4.00-XFT-EX-[illegible].dwg



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PAR 0208 (0004, 0081 & 0093-0095) PAR 0215 0027 2801 BRANCH AVENUE SE

OVERALL SITE PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
01/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE: H: 1" = 50' V:

JOB No. 6010-01-001

DATE: APRIL 2008

FILE No. 6010-D-PR-001

SHEET C5.00

Cad file name: 6010-D-PR-001 - 11-Hillcrest 6010-D-PR-001 Grading Plan.dwg, 6010-D-PR-001 - 11-Hillcrest 6010-D-PR-001 Grading Plan.dwg

NOTES:

1. ALL STEPS ARE 8.25" UNLESS OTHERWISE NOTED.

2. LOW WALL IN FRONT OF LOTS 33 TO 47 AND LOTS 52 AND 53 IS MAXIMUM 2.5' HIGH.

3. RETAINING WALLS IN BACK OF LOTS 3 TO 9 IS MAXIMUM 5' HIGH.

GRAPHIC SCALE

30 0 15 30 60 120

1 in. HEIGHT 1 inch = 30 ft.

N

NAYLOR ROAD, S.E.

SOUTHERN AVENUE

PROP. SOUTHERN AVE. EXTENSION

LOT 1 LOT 2 LOT 3 LOT 4 LOT 5 LOT 6 LOT 7 LOT 8 LOT 9 LOT 10 LOT 11 LOT 12 LOT 13 LOT 21 LOT 22 LOT 23 LOT 24 LOT 25 LOT 33 LOT 34 LOT 35 LOT 36 LOT 37 LOT 38 LOT 39 LOT 46

PROP. STREET LIGHT (PRIVATE STREET LIGHT)

PROP. STREET LIGHT (SOUTHERN AVENUE T.P.)

S45°04'00"W

1361.34'

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PAR 0208 (0004, 0081 & 0093-0095) PAR 0215 (0027)
DETAILED SITE AND GRADING PLAN (SHEET 1 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE H: 1"=30' V:		

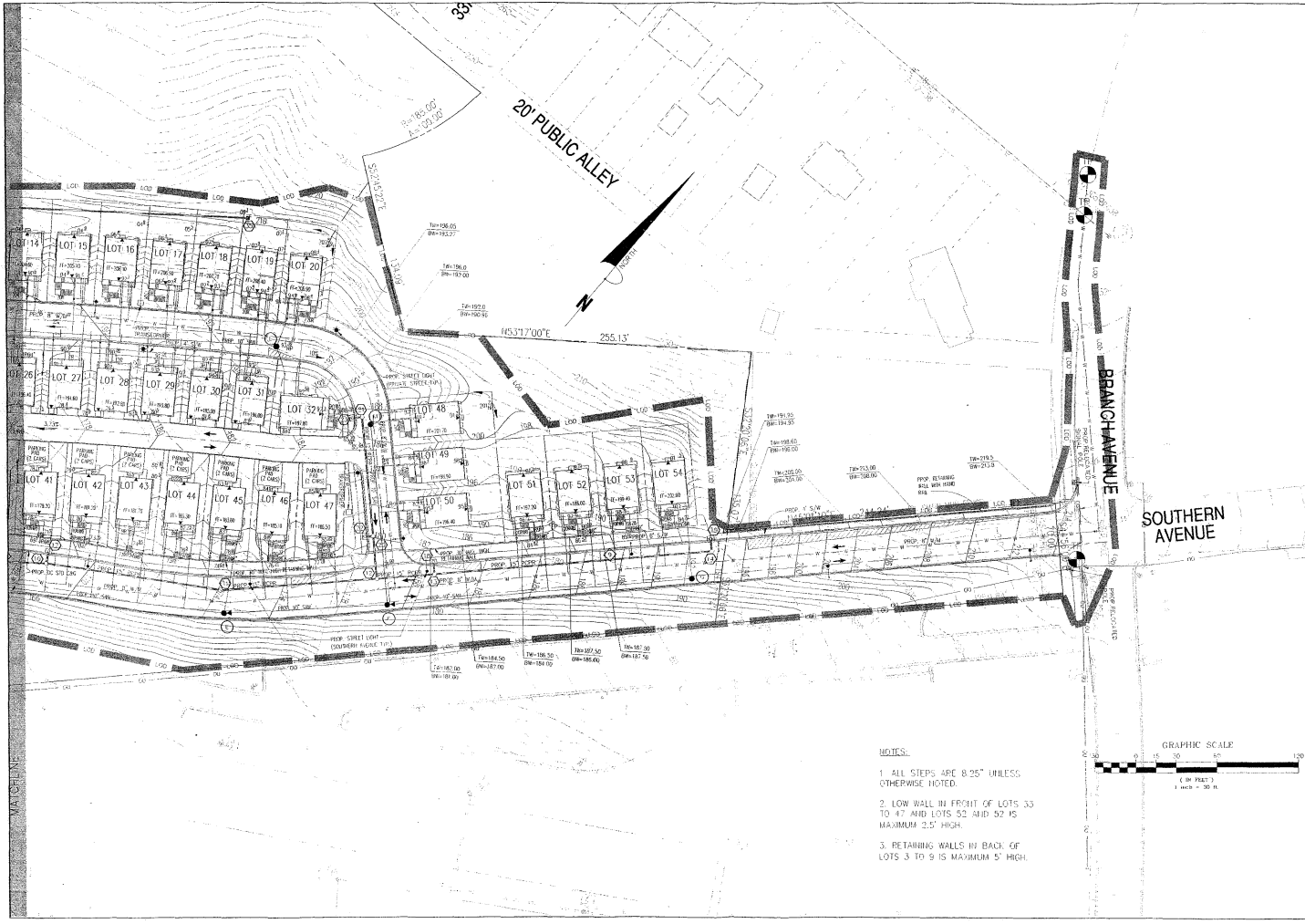
JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET C5.10

MATCHLINE



NOTES:

1. ALL STEPS ARE 8.25" UNLESS OTHERWISE NOTED.

2. LOW WALL IN FRONT OF LOTS 33 TO 47 AND LOTS 52 AND 53 IS MAXIMUM 2.5' HIGH.

3. RETAINING WALLS IN BACK OF LOTS 3 TO 9 IS MAXIMUM 5' HIGH.

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e: bowman@bowmanlaw.us

PAR 0208 (0004, 0061 & 0082-0085) PAR 0215 0027 2801 BRANCH AVENUE SE

DETAILED SITE AND GRADING PLAN (2 OF 2)

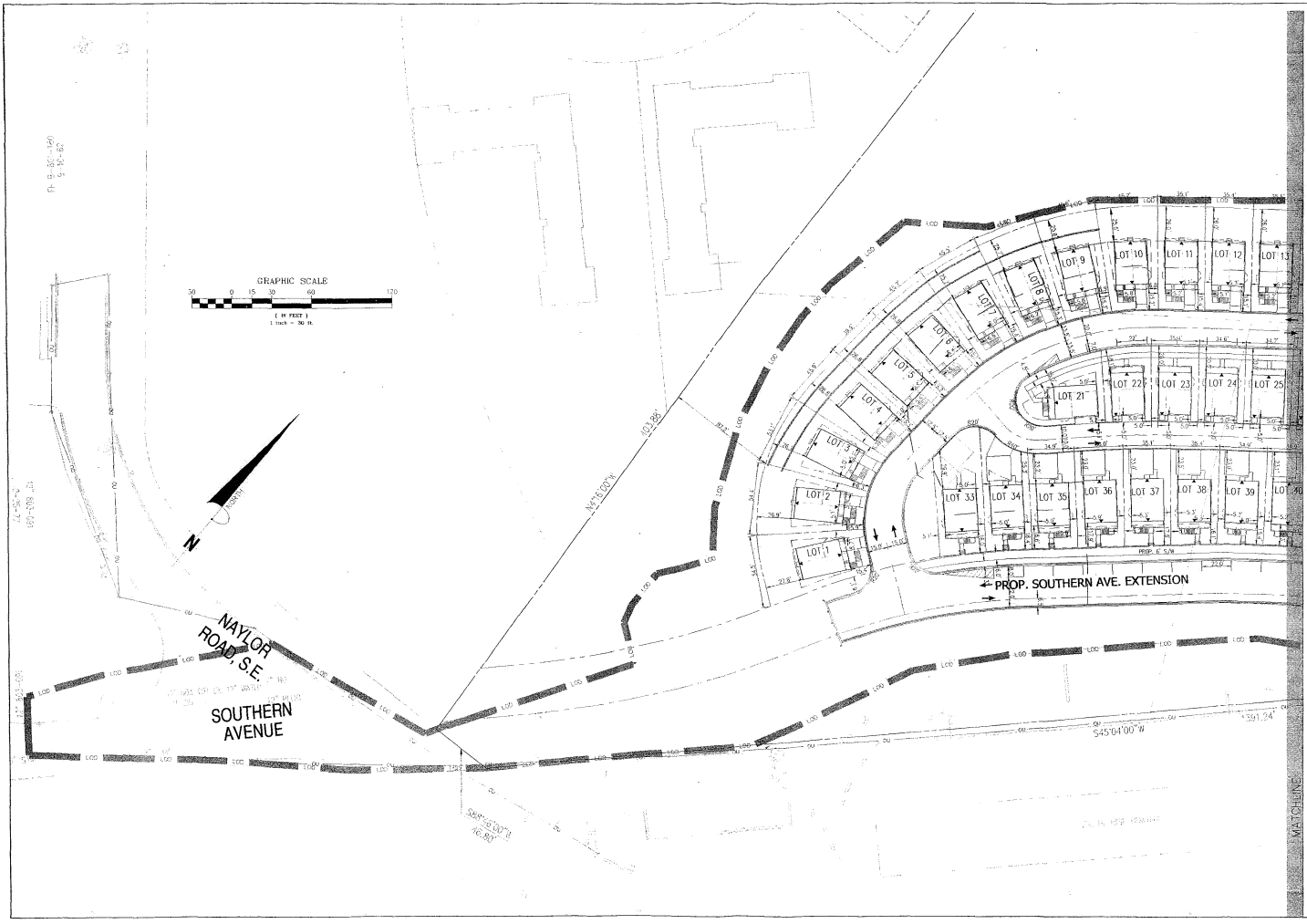
HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
7/04/08	BZA APPLICATION
DATE	DESCRIPTION

MSD DESIGN	DAD. DRAWN	MSD CHKD.
SCALE	H: 1"=30' V:	
JOB No.	6010-01-001	
DATE	APRIL 2008	
FILE No.	6010 D-PR-001	
SHEET	C5.20	



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DETAILED SITE GEOMETRIC PLAN (SHEET 1 OF 2)

HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD	DAD	MSD
DESIGN	DRAWN	CHKD

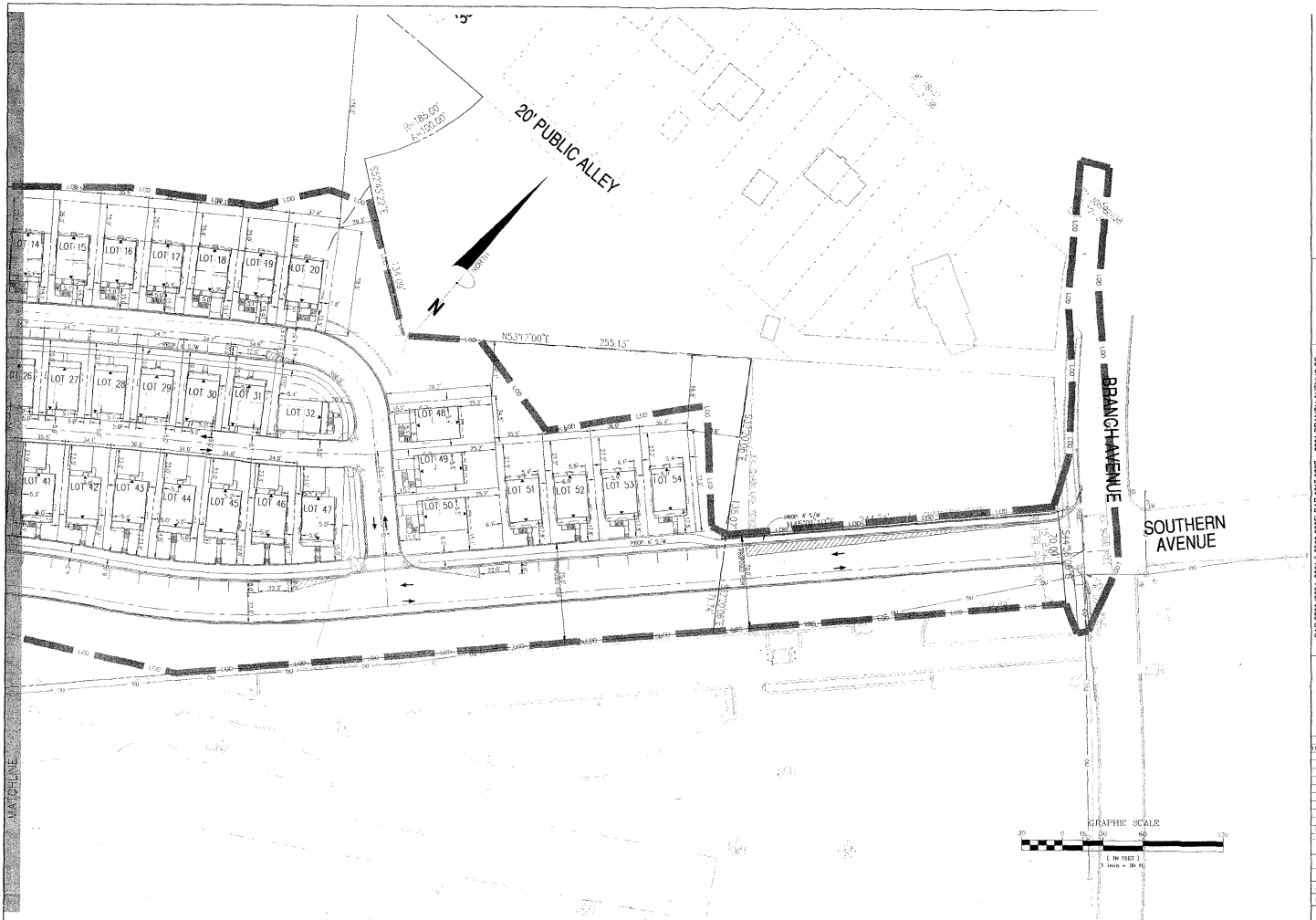
SCALE H: 1"=30' V:

JOB No. 6010-01-001

DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C5.30



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PAR 0208 (0004, 0061 & 0053-0055) PAR 0215 0027 2801 BRANCH AVENUE SE
DETAILED SITE GEOMETRIC PLAN (SHEET 2 OF 2)

HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
01.04.08	B.Z.A. APPLICATION

DATE	DESCRIPTION

MSD	DAD	MSD
DESIGN	DRAWN	CHKD

SCALE 1" = 30'

JOB No. 6010-01-001

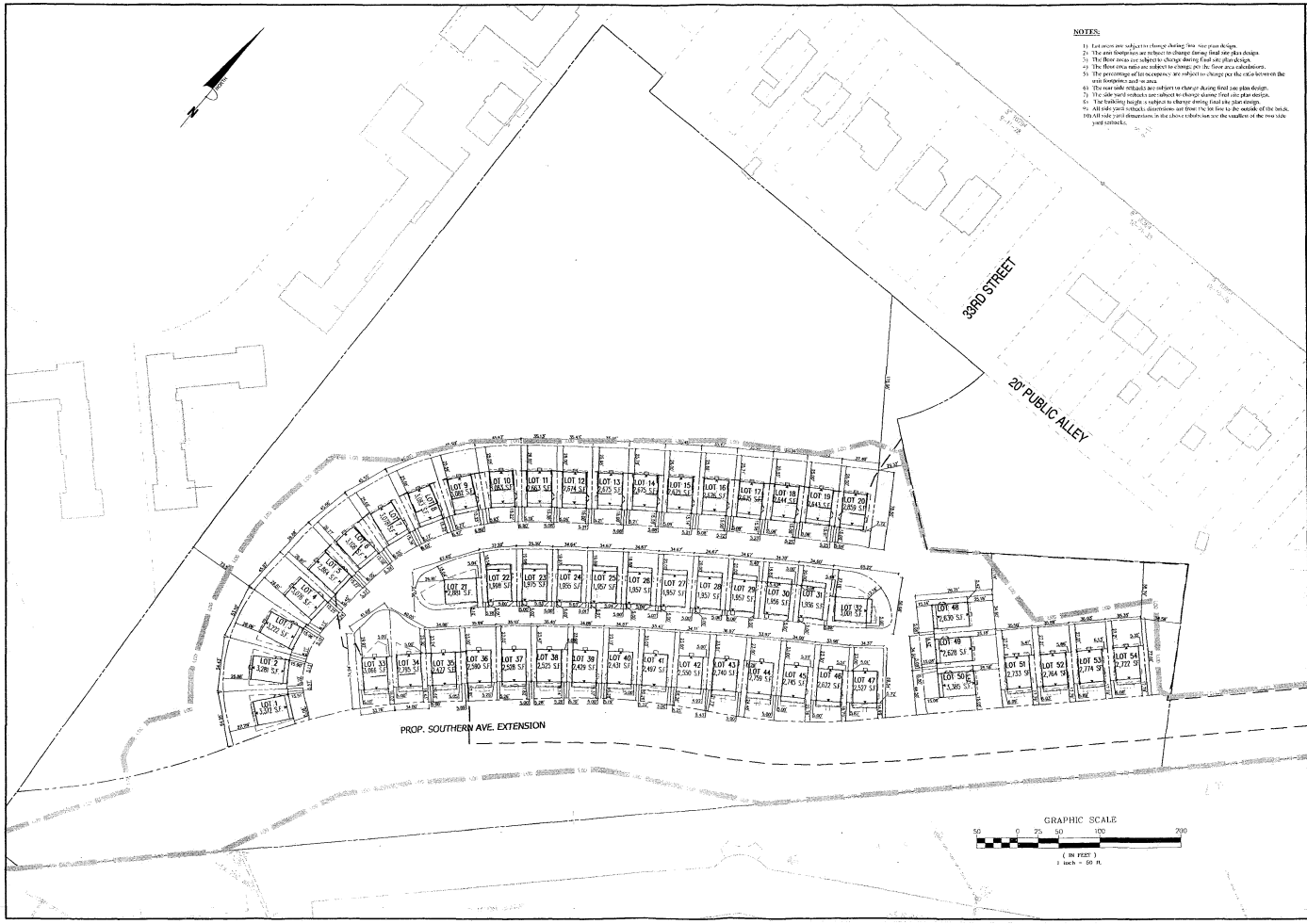
DATE APRIL 2008

FILE No. 6010 D PR-001

SHEET C5.40

NOTES:

1) Lot sizes are subject to change during final site plan design.
2) The unit footprints are subject to change during final site plan design.
3) The floor areas are subject to change during final site plan design.
4) The floor area ratio are subject to change per the floor area calculations.
5) The percentage of lot occupancy are subject to change per the ratio between the unit footprints and lot area.
6) The rear side setbacks are subject to change during final site plan design.
7) The side yard setbacks are subject to change during final site plan design.
8) The building height is subject to change during final site plan design.
9) All side yard setback dimensions are from the lot line to the outside of the brick.
10) All side yard dimensions in the above tabulation are the smallest of the two side yard setbacks.



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PAR 0208 (0004, 0081 & 0082-0085) PAR 0215 0027 2801 BRANCH AVENUE SE

SITE TABULATION

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
1/04/08	BZA APPLICATION

DATE	DESCRIPTION
MSD DESIGN	RM DRAWN
	MSD CHKD

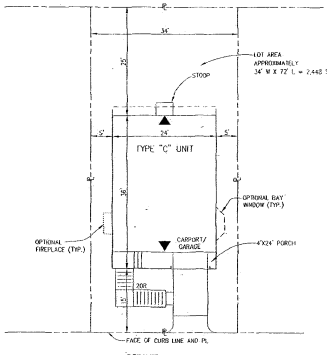
SCALE H: 1" = 50'
V:

JOB No. 6010-01-001

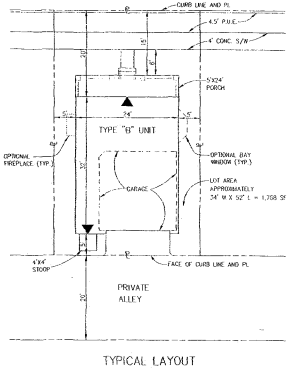
DATE : APRIL 2008

FILE No. 6010-D-PR-001

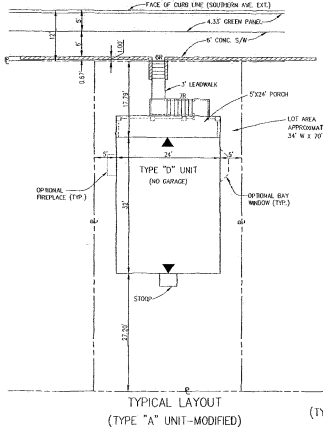
SHEET C6.00



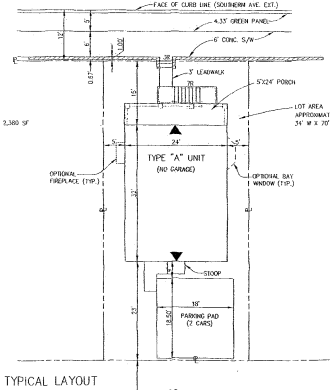
TYPICAL LAYOUT
(TYPE "B" UNIT-FRONT LOADED)
LOTS 1 TO 20 AND TO 48 TO 50
SCALE: 1"=10'



TYPICAL LAYOUT
(TYPE "A" UNIT-REAR LOADED WITH GARAGE)
LOTS 22 TO 31
(LOTS 21, AND 32 WILL BE
SPECIAL HYBRIDS OF THIS UNIT)
SCALE: 1"=10'



TYPICAL LAYOUT
(TYPE "A" UNIT-MODIFIED)
LOTS 51 TO 54
SCALE: 1"=10'



TYPICAL LAYOUT
(TYPE "A" UNIT-REAR LOADED)
LOTS 33 TO 47
SCALE: 1"=10'

Detailed Conceptual Site Plan Tabulation-FOR VARIANCE PURPOSES

Zone: R-8																							
Lot #	Area (sf)	Min. Lot Area Required (sf)	Variance (sf)	Side Yard Setback (ft)	Min. Side Yard Required (ft)	Variance (ft)	Front Yard Setback (ft)	Front Yard Required (ft)	Variance (ft)	Rear Yard Setback (ft)	Min. Rear Yard Required (ft)	Variance (ft)	Unit Footprint (sf)	Lot Occupancy (%)	Max. Lot Occupancy (%)	Variance (ft)	Lot Width (ft)	Min. Lot Width (ft)	Variance (ft)
2	3,181	5,000	1,719	5.10	8.00	0.00	15.90	25.00	9.10	26.88	25.00	0.00	862.00	36.9%	60.0%	0.0%	54.45	50.00	0.00
4	3,076	5,000	1,924	5.34	8.00	2.76	15.25	25.00	9.75	25.81	25.00	0.00	862.00	38.0%	60.0%	0.0%	45.87	50.00	4.13
6	3,196	5,000	1,804	6.05	8.00	3.95	15.06	25.00	9.94	24.77	25.00	0.00	862.00	37.8%	60.0%	0.0%	45.96	50.00	4.04
8	3,083	5,000	1,917	6.17	8.00	1.83	15.32	25.00	9.68	25.66	25.00	0.00	862.00	38.0%	60.0%	0.0%	45.61	50.00	4.39
10	4,083	5,000	1,017	5.83	8.00	2.17	15.22	25.00	9.78	25.55	25.00	0.00	862.00	28.0%	60.0%	0.0%	45.67	50.00	4.33
12	2,676	5,000	2,324	5.09	8.00	2.91	15.05	25.00	9.95	26.00	25.00	0.00	862.00	32.2%	60.0%	0.0%	45.45	50.00	4.55
14	2,675	5,000	2,325	5.08	8.00	2.92	15.05	25.00	9.95	25.78	25.00	0.00	862.00	32.2%	60.0%	0.0%	45.46	50.00	4.54
16	2,676	5,000	2,324	5.09	8.00	2.91	15.05	25.00	9.95	25.80	25.00	0.00	862.00	32.2%	60.0%	0.0%	45.47	50.00	4.53
18	3,641	5,000	1,359	5.08	8.00	3.00	15.08	25.00	9.92	25.55	25.00	0.00	862.00	32.6%	60.0%	0.0%	44.54	50.00	5.46
20	3,639	5,000	1,361	5.00	8.00	3.00	15.08	25.00	9.92	26.00	25.00	0.00	862.00	30.2%	60.0%	0.0%	37.40	50.00	12.60
21	3,768	5,000	1,232	5.00	8.00	3.00	18.14	25.00	6.86	5.00	25.00	19.99	768.00	20.4%	60.0%	0.0%	37.20	50.00	12.80
24	3,855	5,000	1,145	5.00	8.00	3.00	19.47	25.00	5.53	5.00	25.00	20.00	768.00	19.9%	60.0%	0.0%	34.64	50.00	15.36
26	3,557	5,000	1,443	5.00	8.00	3.00	19.06	25.00	5.94	5.00	25.00	20.00	768.00	19.2%	60.0%	0.0%	34.67	50.00	15.33
28	3,567	5,000	1,433	5.00	8.00	3.00	20.00	25.00	5.00	5.00	25.00	20.00	768.00	19.2%	60.0%	0.0%	34.67	50.00	15.33
30	3,566	5,000	1,434	5.00	8.00	3.00	19.82	25.00	5.18	5.00	25.00	20.00	768.00	19.3%	60.0%	0.0%	34.70	50.00	15.30
32	3,001	5,000	1,999	5.40	8.00	3.00	17.10	25.00	7.90	5.46	25.00	19.55	768.00	25.6%	60.0%	0.0%	38.98	50.00	0.00
34	2,791	5,000	2,209	5.00	8.00	3.00	16.43	0.00	0.00	23.50	25.00	1.50	705.00	27.5%	60.0%	0.0%	34.00	50.00	16.00
36	2,590	5,000	2,410	5.15	8.00	2.85	17.95	0.00	0.00	23.00	25.00	2.00	705.00	29.7%	60.0%	0.0%	33.99	50.00	16.01
38	2,525	5,000	2,475	5.16	8.00	2.84	18.54	0.00	0.00	23.42	25.00	1.58	705.00	30.8%	60.0%	0.0%	33.99	50.00	16.00
40	2,431	5,000	2,569	5.00	8.00	3.00	15.28	0.00	0.00	23.33	25.00	1.50	705.00	31.6%	60.0%	0.0%	34.67	50.00	15.33
42	2,559	5,000	2,450	5.00	8.00	3.00	15.18	0.00	0.00	23.00	25.00	2.00	705.00	30.1%	60.0%	0.0%	34.33	50.00	15.67
44	2,759	5,000	2,241	5.00	8.00	3.00	20.48	0.00	0.00	23.00	25.00	2.00	705.00	27.8%	60.0%	0.0%	33.97	50.00	16.03
46	2,622	5,000	2,378	5.00	8.00	3.00	18.75	0.00	0.00	23.30	25.00	1.70	705.00	29.3%	60.0%	0.0%	33.98	50.00	16.02
48	2,608	5,000	2,392	5.08	8.00	2.92	15.34	25.00	9.66	25.18	25.00	0.00	862.00	33.0%	60.0%	0.0%	34.50	50.00	15.50
50	3,385	5,000	1,615	5.50	8.00	2.50	15.48	25.00	9.52	25.28	25.00	0.00	862.00	25.5%	60.0%	0.0%	34.50	50.00	5.50
52	3,564	5,000	1,436	5.40	8.00	2.60	17.79	0.00	0.00	27.21	25.00	0.00	862.00	31.2%	60.0%	0.0%	34.89	50.00	14.11
54	3,702	5,000	1,298	5.35	8.00	2.65	17.79	0.00	0.00	27.21	25.00	0.00	862.00	30.2%	60.0%	0.0%	35.35	50.00	14.65
Average	2,834		2,166	5.19		2.76	17.06		5.44	20.72		10.22		31.5%			38.02		13.32
Prop. Building Height	40'																		
Min. Building Height	40'																		
Variance	0'																		

NOTES:

1. WHEN SOUTHERN AVENUE IS EXTENDED, DEDICATED LOTS 33 TO 47 AND 51 TO 54 WILL NOT REQUIRE A FRONT YARD.

2. UNIT CONDENSERS ARE NOT SHOWN. THEY SHALL EITHER BE LOCATED WITHIN THE UNIT OR ATTACHED TO THE FOUNDATION WALL OF THE RESPECTIVE UNITS.

3. PER TITLE 11, SECTION 2516.6 (a), THE LOT AREAS PROPOSED EXCLUDE ANY FORM OF COVENANTED MEANS OF INGRESS OR EGRESS.

4. THE LOTS PROPOSED SHALL BE A&T (ASSESSMENT &TAXATION) LOTS AND WILL THEREFORE BE CONSIDERED "THEORETICAL LOTS."

5. PER TITLE 11, SECTION 2516.6 (b) TWENTY-FIVE (25FT) IN WIDTH IS PROVIDED FOR MEANS OF VEHICULAR INGRESS OR EGRESS TO ANY PRINCIPAL STRUCTURE AT EACH THEORETICAL LOT.

6. PER TITLE 11, SECTION 2516.6 (c) TWO (2) ENTRANCES OR EXITS ARE PROPOSED FROM SOUTHERN AVENUE EXTENSION AND A "T" THAWAROUND" IS PROVIDED AT THE SOUTHERN END OF THE SOUTHERN AVENUE EXTENSION.

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PAR 0208 (0004, 0081 & 0083-0085) PAR 0215 0027 2901 BRANCH AVENUE SE

TYPICAL UNITS AND VARIANCES

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE H: 1" = 10' V:

JOB No. 6010-01-001

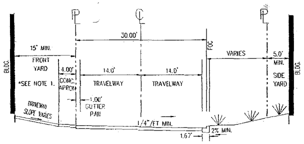
DATE : APRIL 2008

FILE No. 6010-D-PR-001

SHEET C6.10

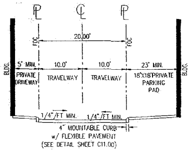
Cad file name : P:\6010 - 1 Hillcrest\6010-01-001-Hill-Dev\Engineering\Plans\Hill-D-PR-001-C6.10-TYP-UNITS.dwg

℄ = CENTER LINE
℘ = PROPERTY LINE
FOC = FACE OF CURB
S/W = SIDEWALK
GP= GUTTER PAN



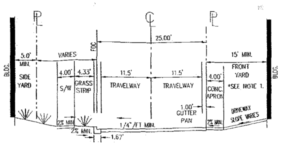
SECTION A-A' NOT TO SCALE

TYPICAL ROADWAY SECTION/BANKED/NO PARKING
(PRIVATE)



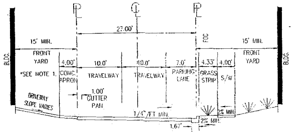
SECTION C-C' NOT TO SCALE

TYPICAL ALLEY ROADWAY SECTION/INVERTED/NO PARKING
(PRIVATE)



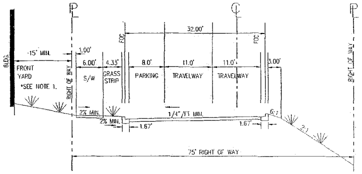
SECTION E-E' NOT TO SCALE

TYPICAL ROADWAY SECTION/BANKED/NO PARKING
(PRIVATE)



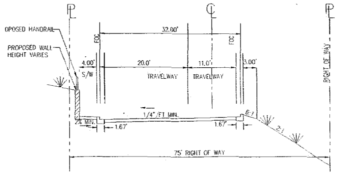
SECTION B-B' NOT TO SCALE

TYPICAL ROADWAY SECTION/BANKED/PARKING ONE SIDE
(PRIVATE)



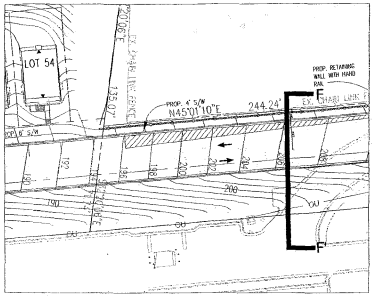
SECTION D-D' NOT TO SCALE

TYPICAL ROADWAY SECTION/BANKED/PARKING ONE SIDE
SOUTHERN AVENUE EXTENSION



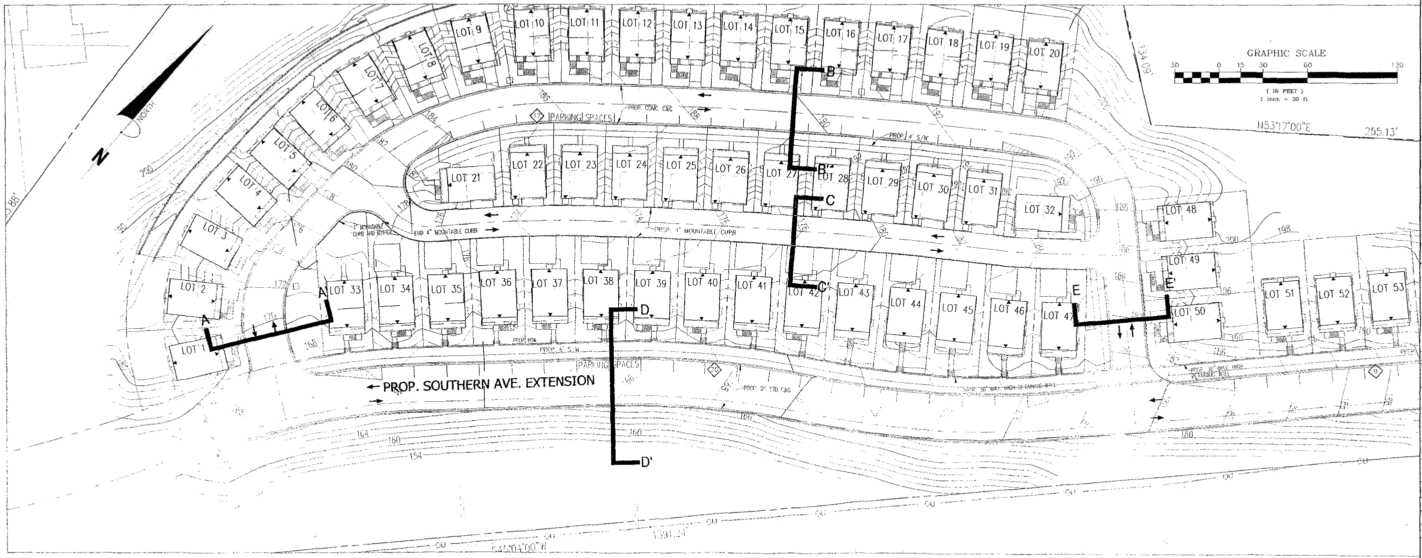
SECTION F-F' NOT TO SCALE

TYPICAL ROADWAY SECTION/BANKED/WALL
SOUTHERN AVENUE EXTENSION



NOTES:
1. FRONT PORCH, STAIRS, & STOOPS MAY BE IN THE FRONT YARD.

2. PER SECTION C-C', A MINIMUM OF 25' IS PROVIDED. CLEAR OF ANY BUILDINGS, IN ACCORDANCE WITH TITLE 11, SECTION 2516.6 (b).



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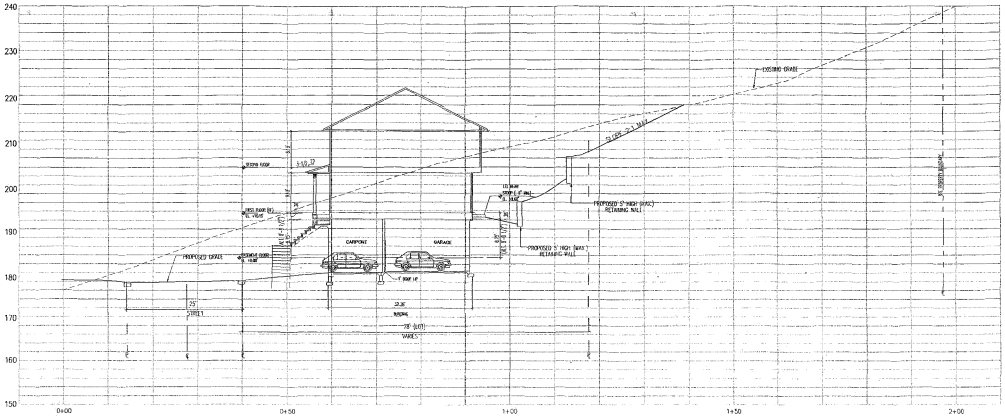
PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE
TYPICAL ROADWAY SECTIONS
HILLCREST
BOARD OF ZONING ADJUSTMENT
WASHINGTON DISTRICT OF COLUMBIA

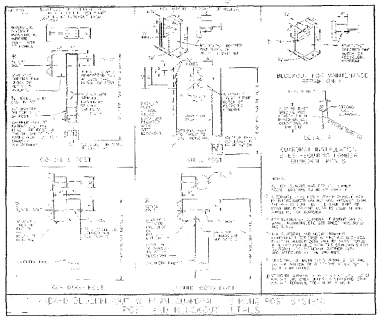
PLAN STATUS
04 08 BZA APPLICATION
DATE DESCRIPTION

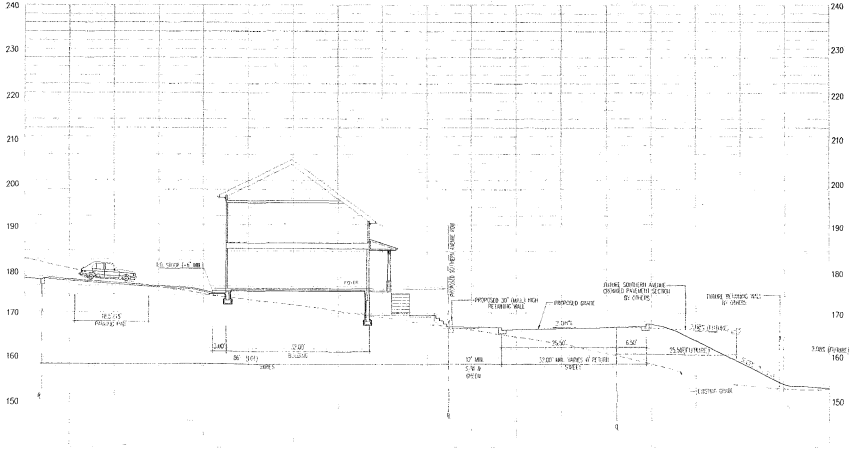
MSD	STC	MSD
DESIGN	DRAWN	CHKD

SCALE H: 1"=30' V:
JOB No. 6010-01-001
DATE: APRIL 2008
FILE No. 6010-D-PR-001
SHEET: C7.00



Ⓒ TYPICAL SITE SECTION





Ⓐ TYPICAL SITE SECTION

TYPICAL SITE SECTIONS

NOTES

1. FOOTINGS AND FOUNDATIONS OF RETAINING WALLS AND BUILDINGS MAY EXTEND BELOW EXISTING GRADE AND BE SUBJECT TO FINAL GEOTECHNICAL REPORTS AND FINAL STRUCTURAL DESIGN.

2. GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR EVALUATION OF EXISTING SOILS RELATED TO PROPOSED GRADING AND WALL DESIGNS (BUILDING, RETAINING AND OTHERS).

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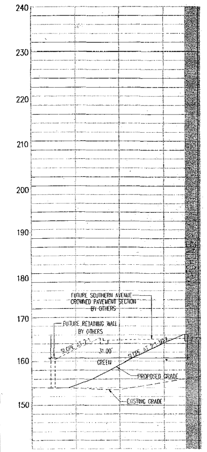
SITE SECTIONS

HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
01/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: 1"=10' V: 1"=10'	
JOB No.	6010-01-001	
DATE	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	C7.20	



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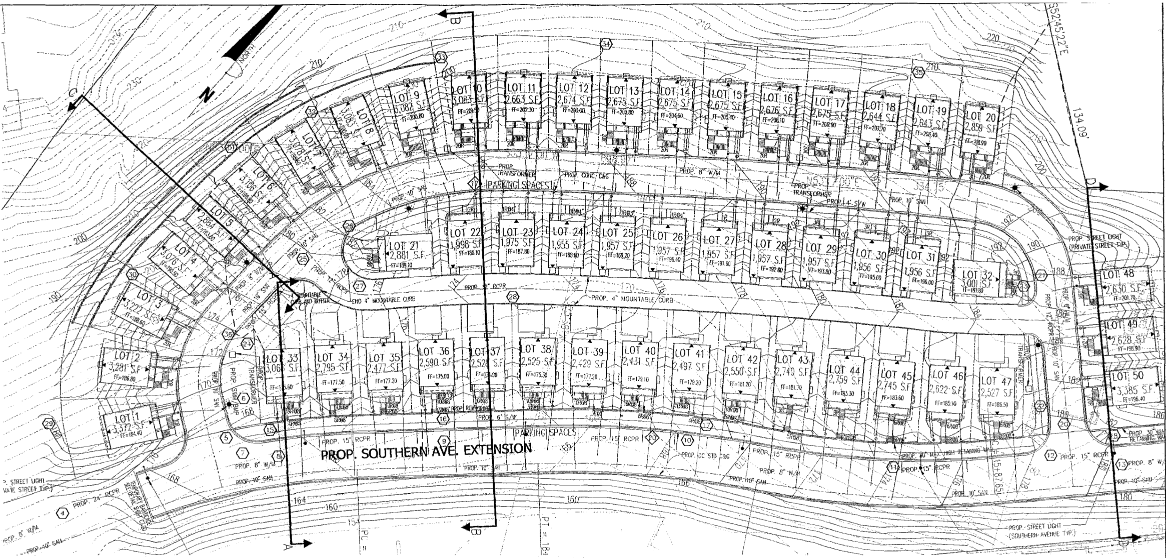

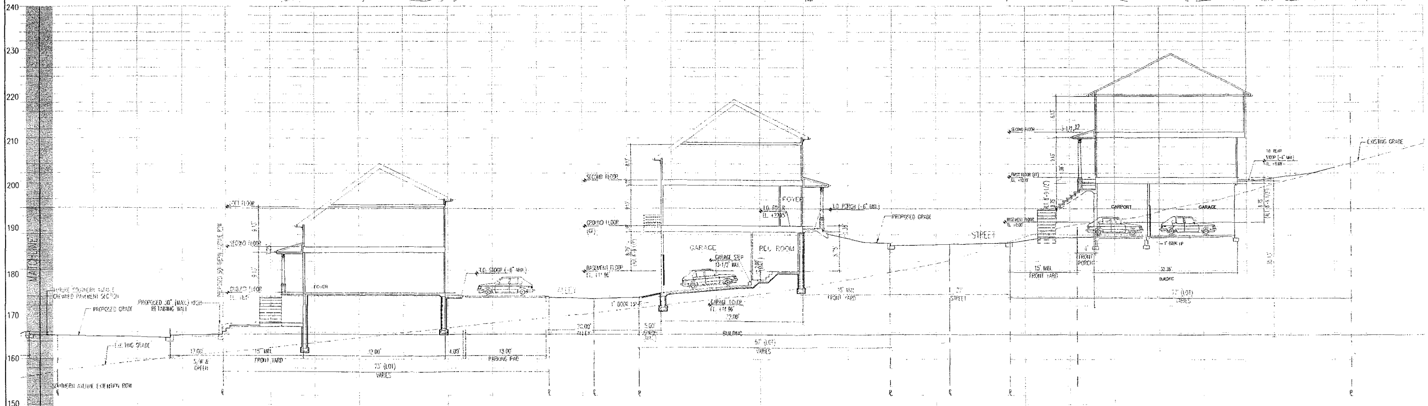

(B) TYPICAL SITE SECTION **TYPICAL SITE SECTION**

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SITE SECTIONS

HILLCREST
BOARD OF ZONING ADJUSTMENT

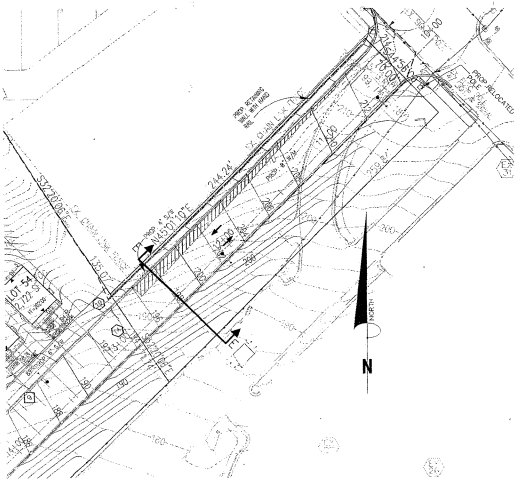
WASHINGTON DISTRICT OF COLUMBIA

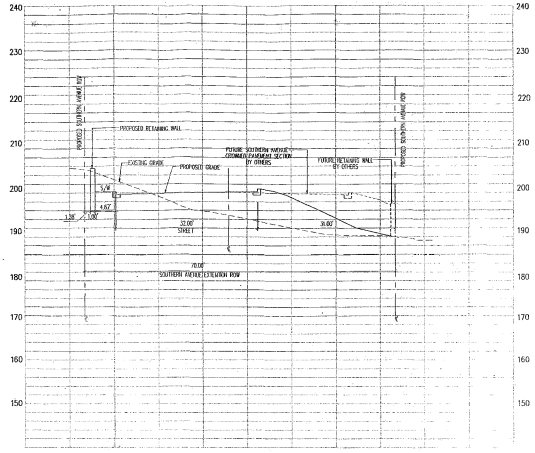
PLAN STATUS	
1.24.08	BZA APPLICATION
DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD

SCALE H: 1"=10' V: 1"=10'
JOB No. 6010-01-001
DATE APRIL 2008
FILE No. 6010-D-PR-001
SHEET C7.10

Cad file name: P:\6010 - E\4-Hillcrest\6010-01-001-Eng\Engineering\[illegible]\6010-D-PR-001-C7.10-SITE SECTION.dwg





Ⓔ TYPICAL SITE SECTION

Ⓓ TYPICAL SITE SECTION

TYPICAL SITE SECTIONS

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SITE SECTIONS

HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS
INITIAL ISSUE DATE APRIL 2008

DATE	DESCRIPTION

MSD	DAD	MSD
DESIGN	DRAWN	CHKD

SCALE 1" = 10'

JOB No. 6010-01-001
DATE APRIL 2008
FILE No. 6010-D-PR-001
SHEET C7.30

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

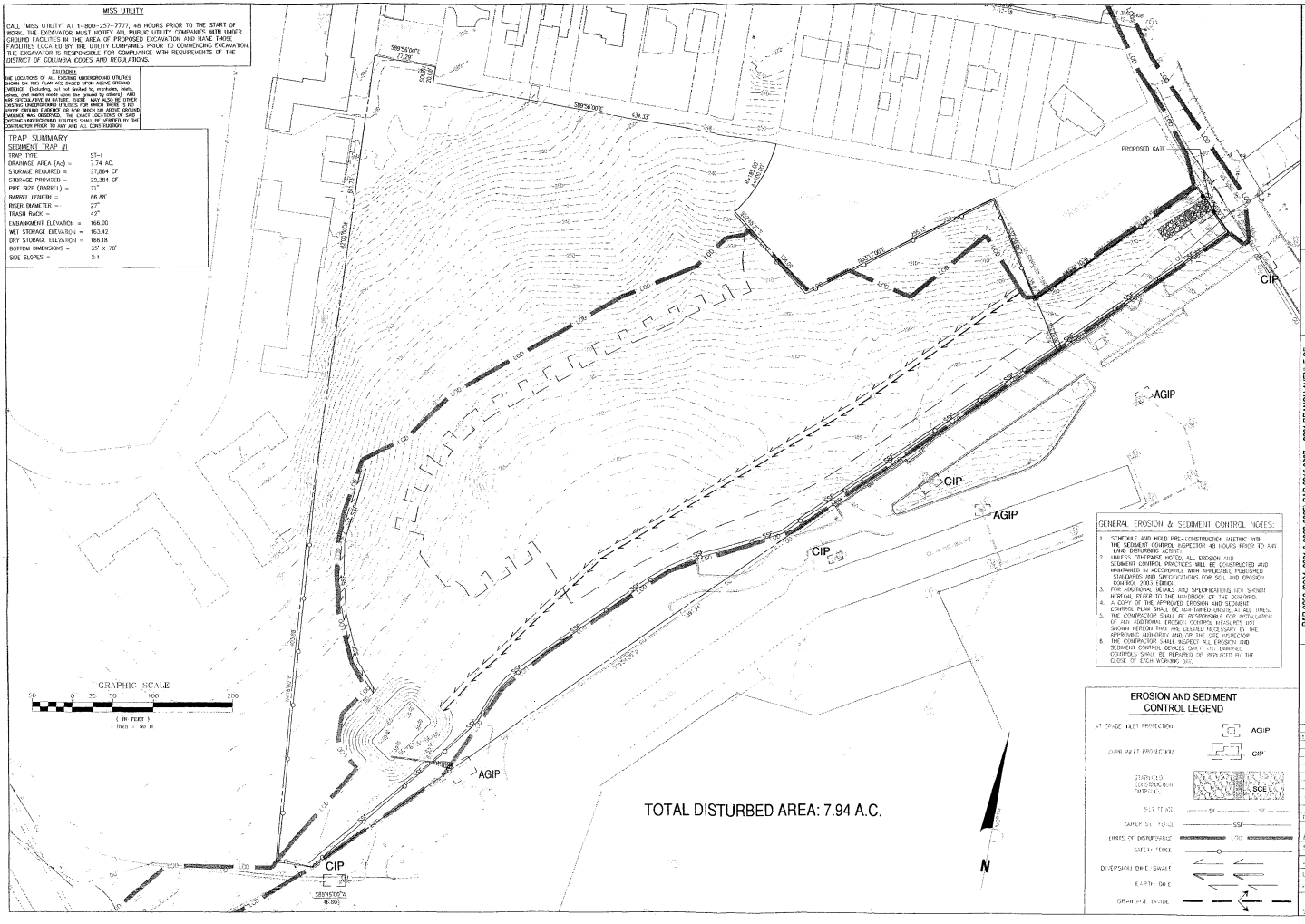
CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE OR FOR WHICH WE HAVE RECEIVED INFORMATION. SUCH INFORMATION MAYBE HAVE BEEN OBTAINED BY OTHERS AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONTRUCTION.

TRAP SUMMARY

SEDIMENT TRAP #1

TRAP TYPE	ST-1
DRAINAGE AREA (Ac) =	7.74 AC.
STORAGE REQUIRED =	17,864 CF
STORAGE PROVIDED =	25,384 CF
PIPE SIZE (BARREL) =	21"
BARREL LENGTH =	66.88'
RISER DIAMETER =	27"
TRASH RACK =	42"
EMBANKMENT ELEVATION =	166.00
WET STORAGE ELEVATION =	163.42
DRY STORAGE ELEVATION =	166.18
BOTTOM DIMENSIONS =	35' X 70'
SIDE SLOPES =	2:1



GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL (2003 EDITION).
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREON, REFER TO THE HANDBOOK OF THE DCMS WPD.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREON THAT ARE DEEMED NECESSARY BY THE APPROPRIATE AUTHORITY AND/OR THE SITE INSPECTOR.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.

EROSION AND SEDIMENT CONTROL LEGEND

AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
STABILIZED CONSTRUCTION ENTRANCE	SCE
SILT FENCE	SF
SUPER SILT FENCE	SSF
LIMITS OF DISTURBANCE	LOD
SAFETY FENCE	
DIVERSION DIKE/SWALE	
EARTH DIKE	
DRAINAGE DIVIDE	

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0327 2801 BRANCH AVENUE SE

EROSION AND SEDIMENT CONTROL PHASE 1

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON

DISTRICT OF COLUMBIA

PLAN STATUS

DATE	DESCRIPTION
1/10/08	BZA APPLICATION

MSD	XXX	MSD
DESIGN	DRAWN	CHKD

SCALE H 1" = 50'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

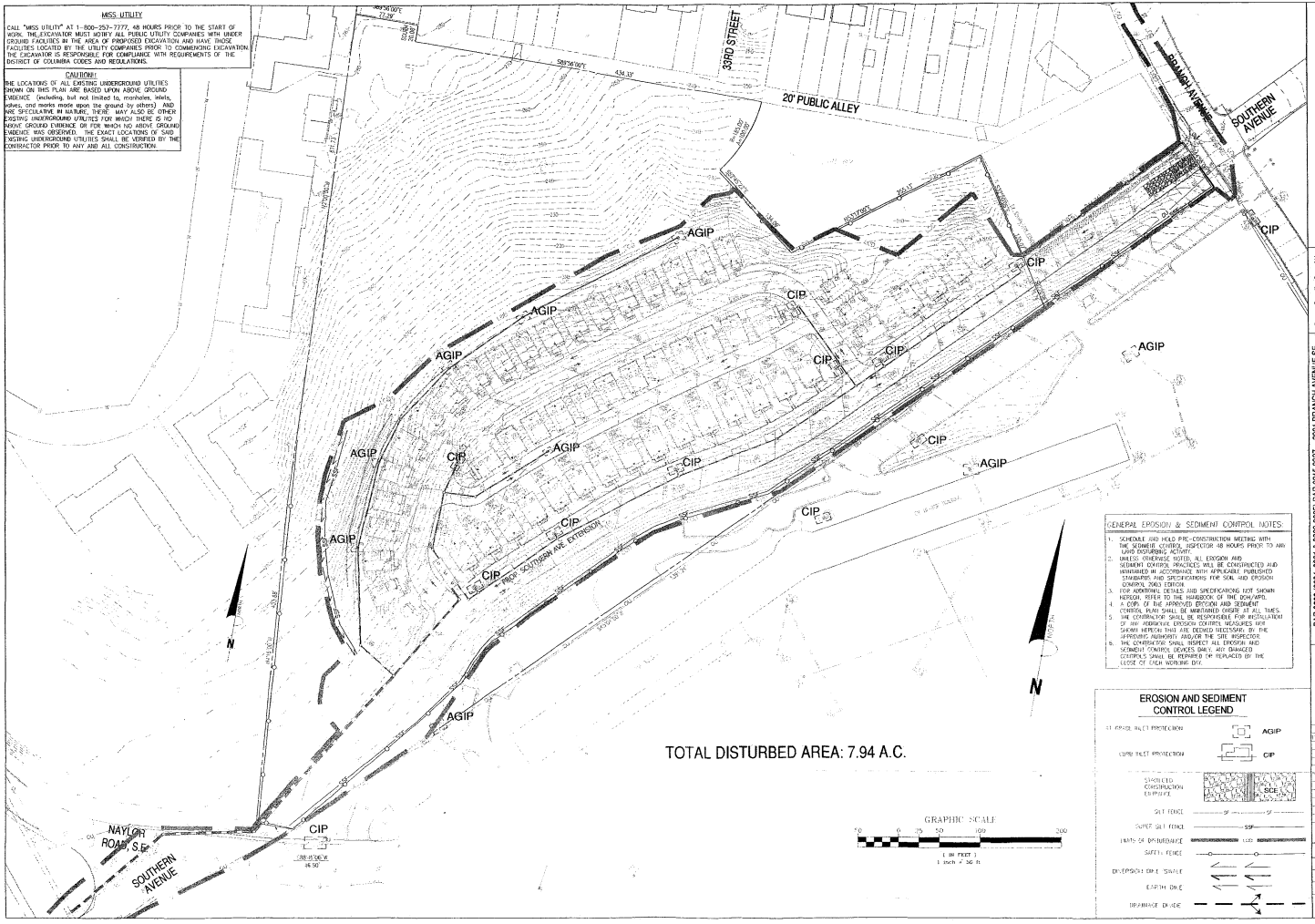
SHEET C8.00

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

CAUTION!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.



GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL (SAC) EDITION.
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREON, REFER TO THE HANDBOOK OF THE DCMA/PEI.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREON THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR THE SITE INSPECTOR.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.

EROSION AND SEDIMENT CONTROL LEGEND

SILT FENCE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
STABILIZED CONSTRUCTION ENTRANCE	SCE
SILT FENCE	SF
SUPER SILT FENCE	SSF
LIMITS OF DISTURBANCE	LOD
SAFETY FENCE	
DIVERSION DIKE/SWALE	
EARTH DIKE	
DRAINAGE DIKE	

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EROSION AND SEDIMENT CONTROL PHASE 2

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11.04.08	B.O.A. APPLICATION
DATE	DESCRIPTION

MSD	CDP	MSD
DESIGN	DRAWN	CHKD

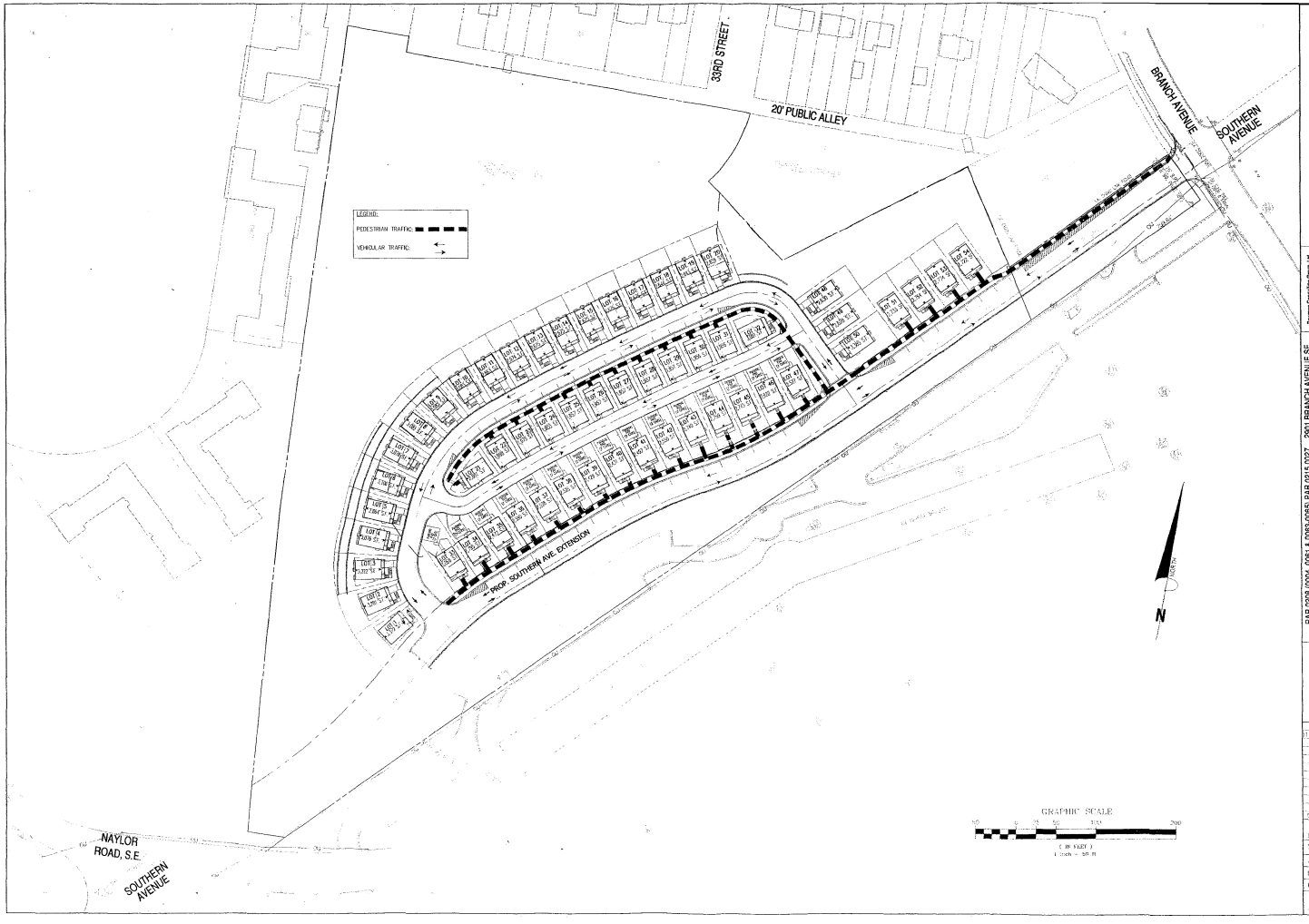
SCALE 1" = 50'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET C8.10



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PAR 0209 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

CIRCULATION PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04, 08	BZA APPLICATION

DATE	DESIGN PHASE	
MSD DESIGN	RM DRAWN	MSD CHKD

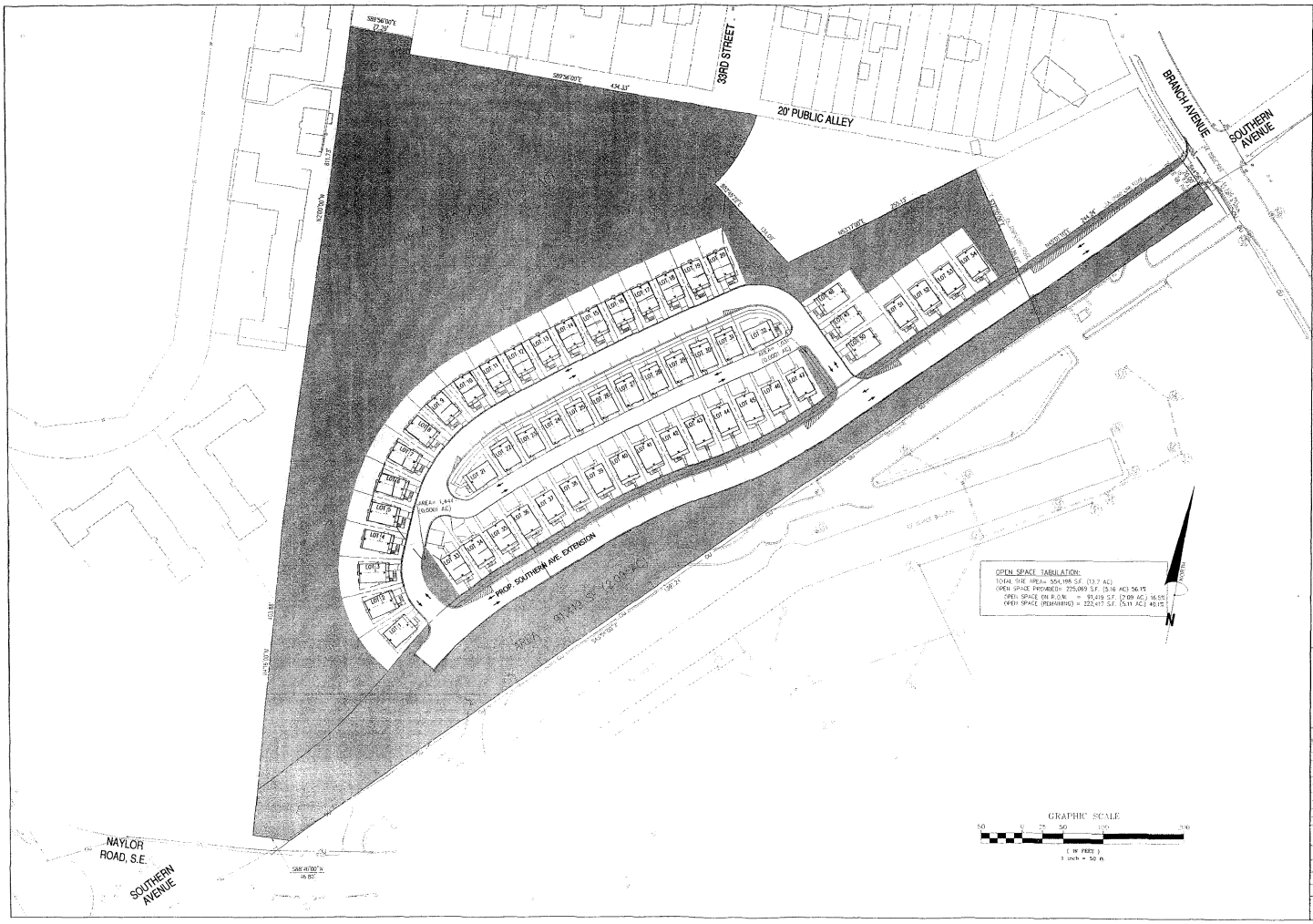
SCALE 1" = 50'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET C9.00



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P-AR 02-08 (0004, 0061 & 0063-0065) P-AR 02-15 (0027 2901 BRANCH AVENUE SE

OPEN SPACE PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11.04.08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHK'D

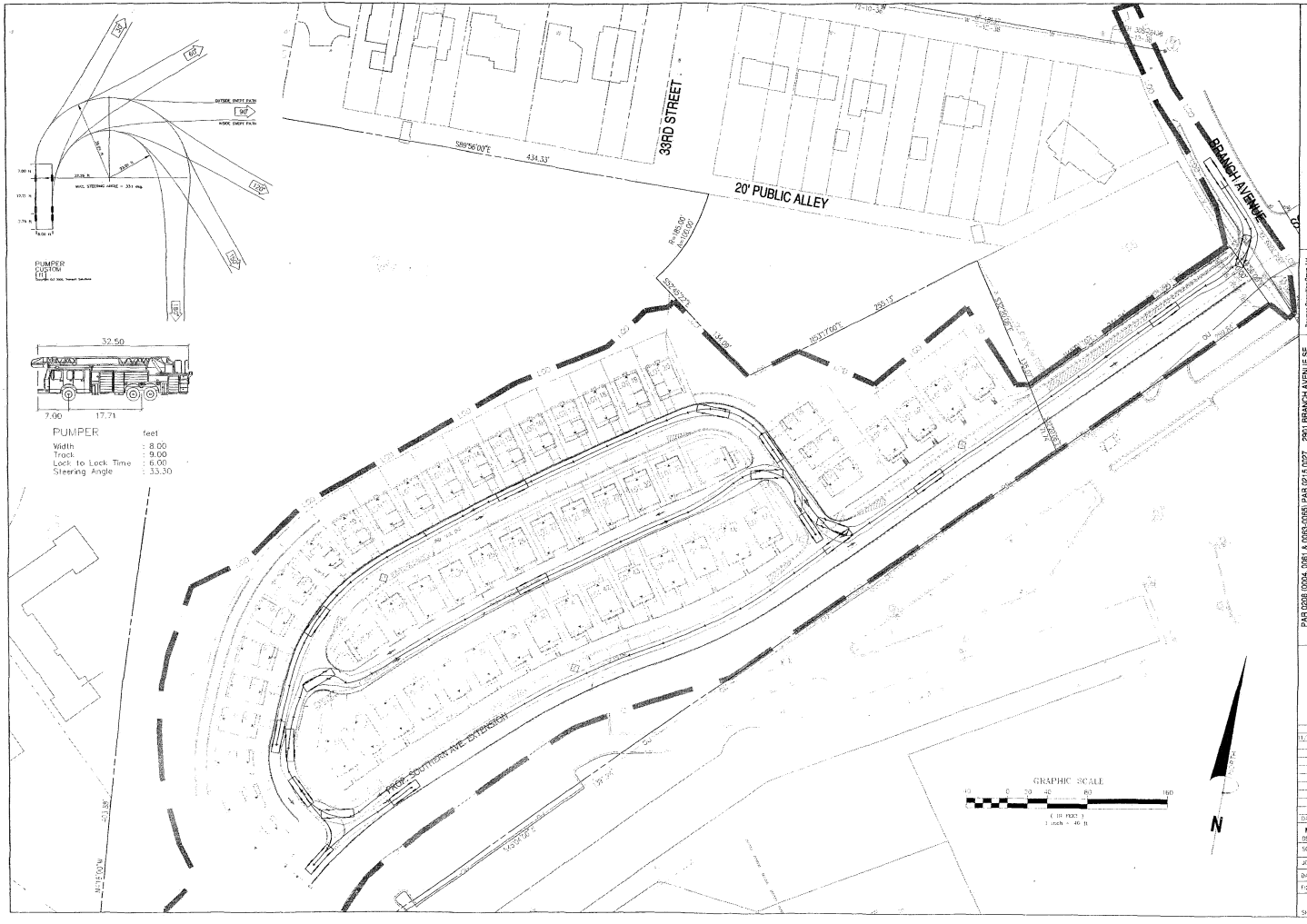
SCALE 1" = 50'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010 D-PR-001

SHEET C10.00



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P-AR 0208 (0004, 0061 & 0063-0065) / P-AR 0215 0027 2901 BRANCH AVENUE SE

FIRE TRUCK TURNING MOVEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
11.03.08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	RM DRAWN	MSD CHKD

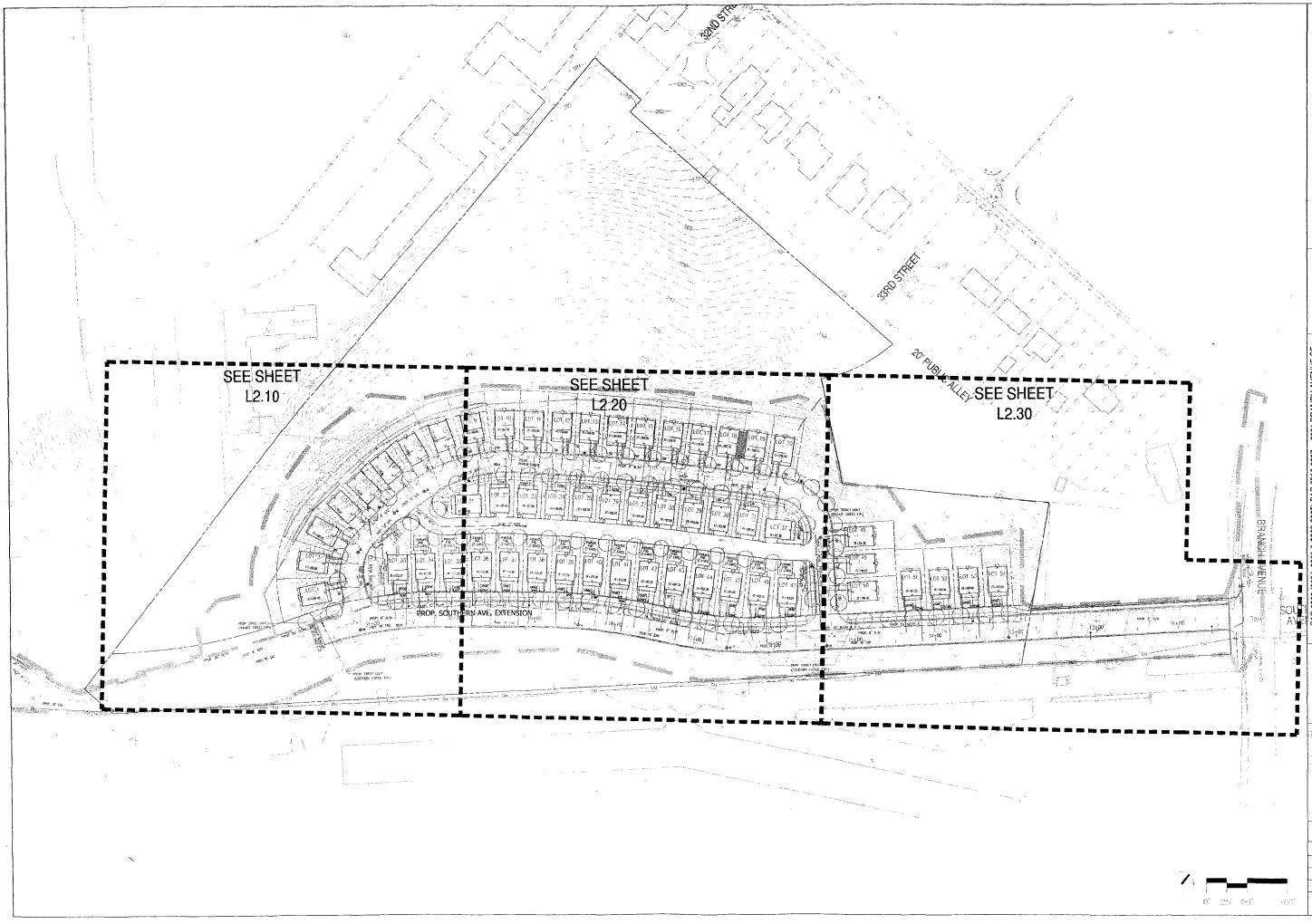
SCALE 1" = 40'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET C11.00



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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2801 BRANCH AVENUE SE

OVERALL LANDSCAPE PLAN

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

ISSUE STATUS

DATE	DESCRIPTION
01.30.08	1st APPLICATION

MSD	BCS	MSD
DR-WHEE	DRD	DRD

SCALE 1" = 50'

JOB No. 6010-01-001

DATE APRIL 2008

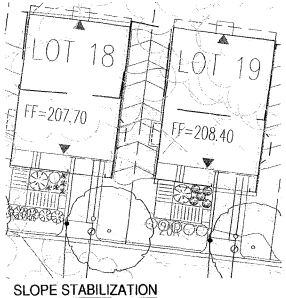
DWG. No. 6010-D-PR-001

SHEET: L1.10

LEGEND

- STREET TREE
- SMALL EVERGREEN TREE
- LARGE SHRUBS
- MEDIUM SHRUBS
- SMALL SHRUBS
- GROUNDCOVER
- PLANT CALLOUT
- WASHINGTON GLOBE #16 STREETLIGHT
- TEARDROP STREETLIGHT
- LIMITS OF DISTURBANCE

NOTES:
1. FOR EXISTING TREE INVENTORY AND PRESERVATION SEE SHEETS TP 1.00 - TP 3.00



SLOPE STABILIZATION

NOTES:
ALL SLOPED GREATER THAN 3:1 TO BE PLANTED WITH GROUNDCOVER INCLUDING BUT NOT LIMITED TO:
- PACHYSANDRA TERMINALIS
- VINCA MINOR
- COTONEASTER DAMNERI
- JUNIPERUS HOIZONTALIS 'WILTONII'
- EUONYMUS FORTUNEI

0' 10' 20' 40'

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P-AR 0208 (0004, 0061 & 0065-0068) / P-AR 0215 0007 2601 BRANCH AVENUE SE

LANDSCAPE ENLARGEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

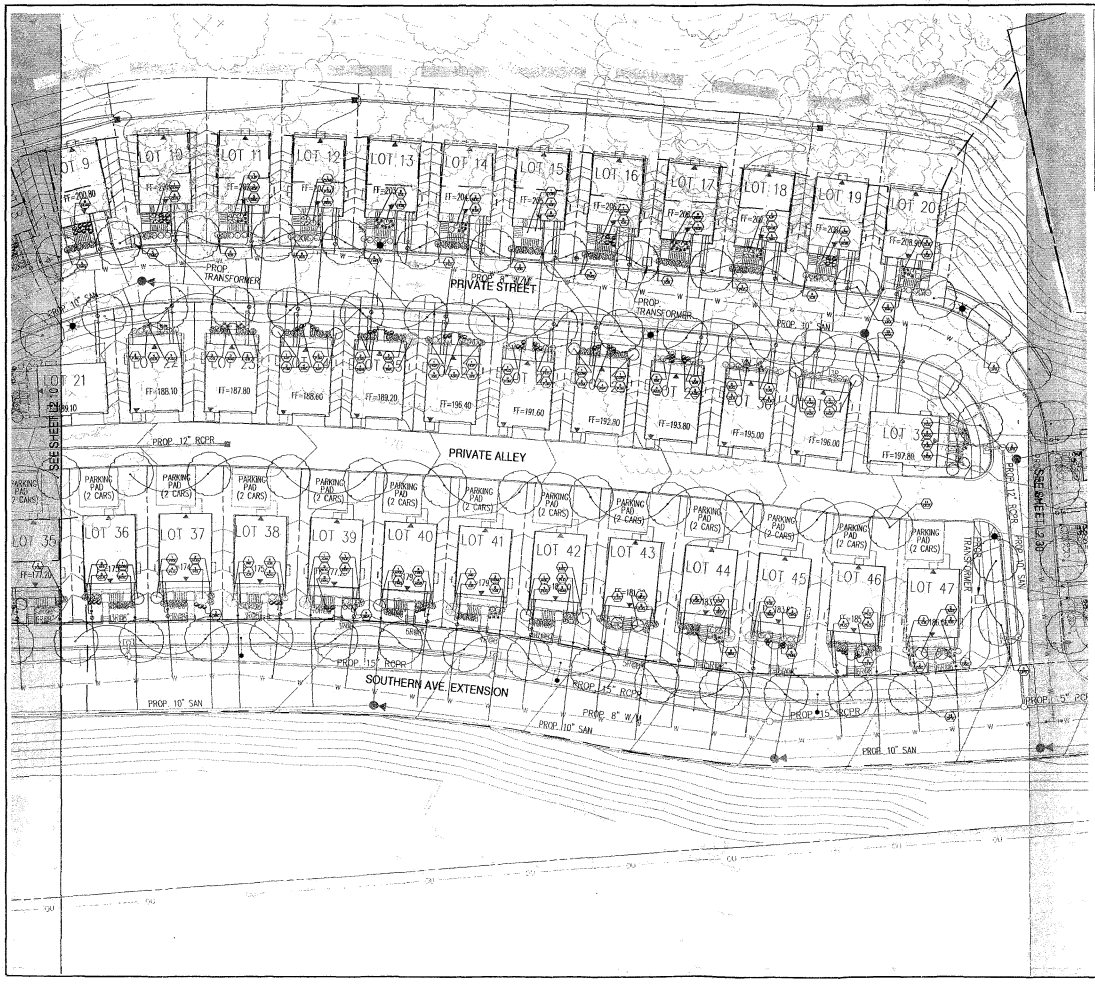
WASHINGTON

PLAN STATUS	
11/04/08	07A APPLICATION

DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD
SCALE	H: 1" = 20' V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	L2.10	

Job file name: T:\jobs\6010\6010-01\drawings\Site Plans\6010-D-PR-001.dwg



LEGEND

- STREET TREE
- PLANT CALLOUT
- SMALL EVERGREEN TREE
- WASHINGTON GLOBE #16 STREETLIGHT
- LARGE SHRUBS
- TEARDROP STREETLIGHT
- MEDIUM SHRUBS
- LIMITS OF DISTURBANCE
- SMALL SHRUBS
- GROUNDCOVER

NOTES:
1. FOR EXISTING TREE INVENTORY AND PRESERVATION SEE SHEETS TP 1.00 - TP 3.00

0' 10' 20' 40'

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LANDSCAPE ENLARGEMENT

HILLCREST

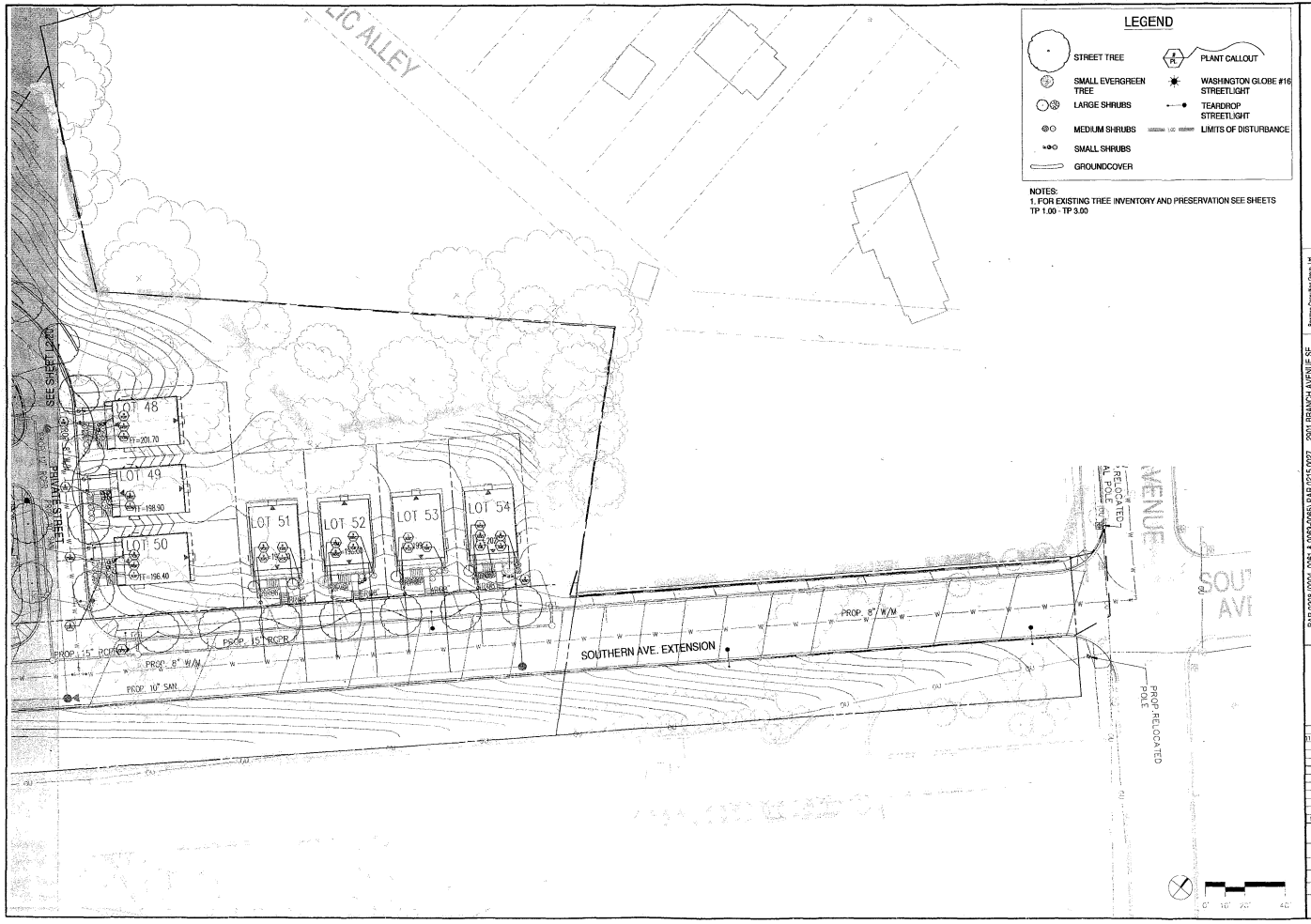
BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	BCS DRAWN	MSD CHKD
SCALE	H: 1" = 20' V:	
JOB No.	6010-01-001	
DATE	APRIL 2008	
REF No.	6010-D-PR-001	
SHEET	L2.20	



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LANDSCAPE ENLARGEMENT

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
01/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	BCS DRAWN	MSD CHKD

SCALE 1" = 20'

JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET L2.30

PLANT SCHEDULE

SHADE TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	COVERAGE
ARA	x	Acer rubrum 'Armstrong'	Armstrong Red Maple	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
QCX	x	Quercus coccinea	Scarlet Oak	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
QPX	x	Quercus phellos	Willow Oak	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-
UPX	x	Ulmus parvifolia	Chinese Elm	B&B, 3 - 3 1/2" cal.	Nursery-grown,full.	-

SMALL EVERGREEN TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	COVERAGE
INS	x	Ilex var. 'Nelly R. Stevens'	Nelly Stevens Holly	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-
JCM	x	Juniperus chinensis 'Spearmint'	Spearmint Juniper	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-
TOE	x	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	B&B, 6' ht.,	Nursery-grown,full,symmetrical.	-

LARGE SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
AGE	x	Abelia x grandiflora 'Edward Goucher'	Edward Goucher Glossy Abelia	3 gal., 18"x24"	Full.	-
AJP	x	Aucuba japonica 'Picturata'	Picturata Aucuba	3 gal., 30"x30"	Full.	-
COW	x	Camellia oleifera 'Winter's Star'	Winter's Star Camellia	3 gal., 30"x30"	Full.	-
VRX	x	Viburnum rhytidophyllum	Leatherleaf Viburnum	3 gal., 30"x30"	Full.	-
VCK	x	Viburnum carlesii	Korean Spice Viburnum	3 gal., 24"x30"	Full.	-

MEDIUM SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
EJG	x	Euonymus japonicus 'Greenspire'	Greenspire Euonymus	3 gal., 18"x24"	Full.	-
HQF	x	Hydrangea quercifolia	Oak Leaf Hydrangea	3 gal., 30"x24"	Full.	-
IGB	x	Ilex crenata 'Bullfrog'	Bullfrog Holly	3 gal., 18"x24"	Full.	-
IGS	x	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal., 24"x18"	Full.	-
NDC	x	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	3 gal., 30"x18"	Full.	-
PJM	x	Pieris japonica 'Mountain Fire'	Mountain Fire Japanese Andromeda	3 gal., 18"x24"	Full.	-
PLO	x	Prunus laurocerasus 'Otto Luyken'	Otto Luyken's Laurel	3 gal., 18"x24"	Full.	-
TMG	x	Taxus media 'Greenwave'	Greenwave Taxus	3 gal., 24"x36"	Full.	-

SMALL SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	MISC
AGD	x	Abelia x grandiflora 'Dwarf Purple'	Dwarf Purple Glossy Abelia	3 gal., 18"x24"	Full.	-
CLR	x	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet Clethra	3 gal., 18"x18"	Full.	-
DBC	x	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Flowering Daphne	3 gal., 24"x24"	Full.	-
ICB	x	Ilex crenata 'Hellen'	Hellen Holly	3 gal., 12"x18"	Full.	-
NDM	x	Nandina domestica 'Moonbay'	Moonbay Nandina	3 gal., 18"x18"	Full.	-
PJP	x	Pieris japonica 'Prelude'	Nocturne Japanese Andromeda	3 gal., 18"x24"	Full.	-
PMM	x	Pinus mugo 'Mops'	Mops Mugo Pine	3gal., 24" ht.	Full.	-
SBA	x	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	3 gal., 18"x24"	Full.	-

GROUNDCOVERS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE-CONDITION	NOTES	SPACING
ANM	x	Varies	Mixed Annuals	6" pots	Full.	12" o.c.
COX	x	Cotoneaster dammeri	Cotoneaster	3 gal.	Full.	18" o.c.
EFX	x	Euonymus fortunei	Wintercreeper	1 qt.	Full.	8" o.c.
HCK	x	Hypericum calycinum	St. Joan's Wort	1 qt.	Full.	8" o.c.
JHW	x	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	1 qt.	Full.	12" o.c.
LSX	x	Liriope spicata	Lilyturf	1 qt.	Full.	12" o.c.
PTX	x	Pachysandra terminalis	Japanese Pachysandra	1 qt.	Full.	12" o.c.
VMX	x	Vinca minor	Periwinkle	4" pots	Full.	12" o.c.

*NOTE: THE PLANT PALETTE IS INTENDED AS AN INDICATION OF THE TYPE OF PLANT MATERIAL THAT WILL BE USED. ADDITIONAL SPECIES MAY BE INCORPORATED IN THE FINAL LANDSCAPE DESIGN.

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PLANT SCHEDULE

HILLCREST

BOARD OF ZONING ADJUSTMENT

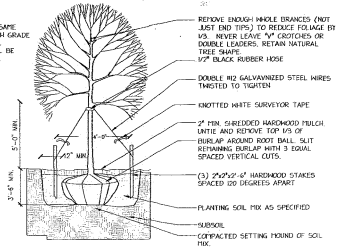
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

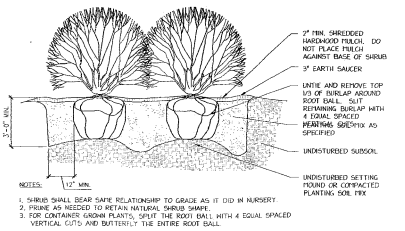
DATE	DESCRIPTION

MSD DESIGN	BCS DRAWN	MSD CHKD
SCALE	H: NA V:	
JOB No.	6010-01-001	
DATE	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	L3.10	

NOTES:
1. TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT DID IN NURSERY.
2. ALL PRUNING SHALL BE DONE AFTER PLANTING.

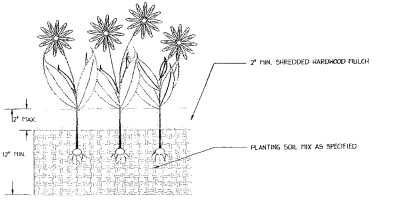


1 L3.20 SHADE/SINGLE-STEM TREE
SECTION N.T.S.



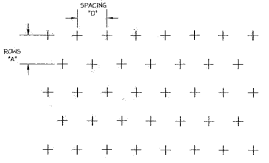
NOTES:
1. SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
2. PRUNE AS NEEDED TO RETAIN NATURAL SHRUB SHAPE.
3. FOR CONTAINER GROWN PLANTS, SPLIT THE ROOT BALL WITH 4 EQUAL SPACED VERTICAL CUTS AND BUTTERFLY THE ENTIRE ROOT BALL.

2 L3.20 SHRUB
SECTION N.T.S.

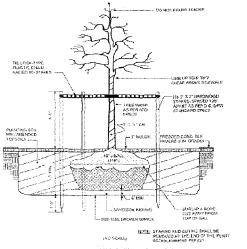


3 L3.20 GROUNDCOVER/PERENNIAL/ANNUAL
SECTION N.T.S.

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20" O.C.	4.61
8" O.C.	6.93" O.C.	2.60
10" O.C.	8.66" O.C.	1.66
12" O.C.	10.40" O.C.	1.15
15" O.C.	13.00" O.C.	0.73
18" O.C.	15.60" O.C.	0.51
24" O.C.	20.80" O.C.	0.29



4 L3.20 GROUNDCOVER SPACING
SECTION N.T.S.



TYPICAL CONIFEROUS TREE PLANTING DETAIL

FIGURE 8

5 L3.20 STREET TREE
PLAN N.T.S.

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PLANTING DETAILS

HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
03/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	SEG DRAWN	MSD CHKD

SCALE H: N/A V:

JOB No. 6010-01-001
DATE : APRIL 2008
FILE No. 6010-D-PR-001
SHEET L3.20

GENERAL/PLANTING NOTES:

1. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH INSTALLATION GUIDELINES FOR LANDSCAPE PLANTINGS IN THE NATIONAL CAPITAL AREA, AS PUBLISHED BY THE (LCA) LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA (4TH EDITION) UNLESS COMPLETE LANDSCAPE SPECIFICATIONS ARE PROVIDED BY THE APPLICANT.

2. ALL PLANT MATERIAL SHALL BE GRADED AND HANDLED IN COMPLIANCE WITH ANSI Z60.1 – THE AMERICAN STANDARD FOR NURSERY STOCK (CURRENT AND MOST UP TO DATE EDITION). SIZES TO CONFORM TO ANSI Z60.1 CALIPER AND HEIGHT MEASUREMENTS.

3. MAINTENANCE AFTER INSTALLATION, OTHER THAN WARRANTY REPLACEMENTS, IS THE RESPONSIBILITY OF THE OWNER. MAINTENANCE, PRIOR TO APPROVAL OF THE WORK, IS THE RESPONSIBILITY OF THE CONTRACTOR.

4. THE CONTRACTOR SHALL WARRANTY ALL WORK SHOWN ON THE DRAWINGS AND NOTED HEREON FOR THE PERIOD OF ONE YEAR AFTER INSTALLATION APPROVAL. WARRANTY REPLACEMENTS SHALL BE THE SAME SPECIES AND SIZE AS PREVIOUSLY INSTALLED, AND SHALL CARRY A 100% WARRANTY REPLACEMENT FOR THE PERIOD OF ONE YEAR AFTER REPLACEMENT.
X

LANDSCAPE SPECIFICATIONS

1. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND TO "HORTUS THIRD" (1977 EDITION) FOR BOTANICAL AND COMMON NAMES.
2. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL-ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED.
. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION.
. ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT AND DURING ON SITE STORAGE. 5. ANTI-DESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUE WHILE IN FOLIAGE.
MULCH MATERIAL SHALL BE MOTHER SHREDDED HARDWOOD MULCH, PINE BARK OR APPROVED EQUAL. MATERIAL SHALL BE MULCHING GRADE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
TOPSOIL MIXTURE SHALL BE TWO PARTS EXISTING TOPSOIL MIXED EVENLY WITH ONE PART SPHAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING TOPSOIL SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1-1/2 INCHES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
8. PLANTING PROCEDURES FOR TREES AND SHRUBS:
A. PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
B. TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT, BY LIFTING FROM THE BALL (NEVER FROM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
C. THE TREE OR SHRUB PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE, AS PER #7 OF THESE SPECIFICATIONS. THE PIT SHALL BE FILLED HALFWAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING THE PLANT PIT AND TAMP FIRMLY. BACKFILL SOILS SHALL NOT COVER THE TOP OF THE ROOTBALL. MULCH THE ROOTBALL AND SAUCER WITH A MINIMUM OF 3" SHREDDED HARDWOOD OR PINE BARK MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED WITHIN ONE HOUR OF PLANTING.
9. FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

SEEDING SPECIFICATIONS

1. SEEDING ALL SEEDING SHALL BE PERFORMED PER SEEDING CHART. NO SEEDING SHALL BE DONE ON FROZEN GROUND OR WHEN TEMPERATURE IS 32° FAHRENHEIT OR LOWER.
II. MULCHING FOLLOWING SEEDING, APPLY A ONE INCH LAYER OF STRAW TO HASTEN GERMINATION. STRAW MULCH SHALL BE ANCHORED BY EITHER A MULCH TILLER, ASPHALT EMULSION, CHEMICAL MULCH BINDER, TWINE OR NETTING.
III. FINAL ACCEPTANCE FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR. SITE TABULATION FOR LAWNS WITHOUT SOIL TESTING FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER #2 AND #3 BELOW.

1. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL VEGETATION, TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH THE PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
2. WHERE THE SOIL IS ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET.
3. SLOW RELEASE NITROGEN AT THE RATE OF 3.5 POUNDS PER 1,000 SQUARE FEET SHALL BE APPLIED TO THE PREPARED SOIL JUST PRIOR TO SOD INSTALLATION. THIS MATERIAL SHALL BE APPROXIMATELY 1/3 IMMEDIATELY AVAILABLE AND 2/3 WATER INSOLUBLE NITROGEN. UREA FORMALDEHYDE (UF) AN ISOBUTYLIDENE UREA (IBUD) MEET THESE STANDARDS.

SOIL PREPARATION FOR SEEDING OR SODDING

1. EXISTING SOIL OR TOP SOIL STORED ON SITE AND SPREAD AT A 3"-4" DEPTH OVER AREAS TO BE SEEDED SHALL BE USED FOR ESTABLISHMENT OF TURF. ALL SUBGRADE AREAS TO BE SEEDED, SHALL BE LOOSENED BY DISCING OR BY SCARIFYING TO A DEPTH OF NO LESS THAN 4 INCHES. ALL ESTABLISHED/EXISTING SITE GRADES MUST BE MAINTAINED. ANY ALTERATION OF EXISTING GRADES COULD CAUSE DRAINAGE PROBLEMS. THE AREA TO BE SEEDED SHALL BE FREE FROM ROOTS, BRUSH, STONES AND TRASH LARGER THAN 1-1/2" IN DIAMETER OR LENGTH.
2. SOIL TESTS SHALL BE CONDUCTED TO DETERMINE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. SOIL TESTS SHALL BE CONDUCTED BY A STATE LABORATORY OR RECOGNIZED COMMERCIAL LABORATORY.

A. FERTILIZER: ALL FERTILIZER SHALL BE UNIFORM IN COMPOSITION FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT. FERTILIZER APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. FERTILIZER SHALL BE DISTRIBUTED EVENLY OVER THE ENTIRE AREA TO BE SEEDED.
B. LIME: LIME MATERIAL SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE) APPLICATION RATES FOR LIMING MATERIALS SHALL BE DETERMINED BY SOIL TESTS. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER THE ENTIRE AREA TO BE SEEDED.
3. ALL LIME AND FERTILIZER SHALL BE UNIFORMLY MIXED INTO THE TOP 4 INCHES OF SOIL BY DISCING, HARROWING OR OTHER APPROVED METHODS. ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM FERTILIZING, TILLING OR OTHER CAUSES SHALL BE LEVELED PRIOR TO SEEDING.

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2801 BRANCH AVENUE SE

PLANTING NOTES

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION	
MSD DESIGN	SEG DRAWN	MSD CHKD

SCALE H: NA V:

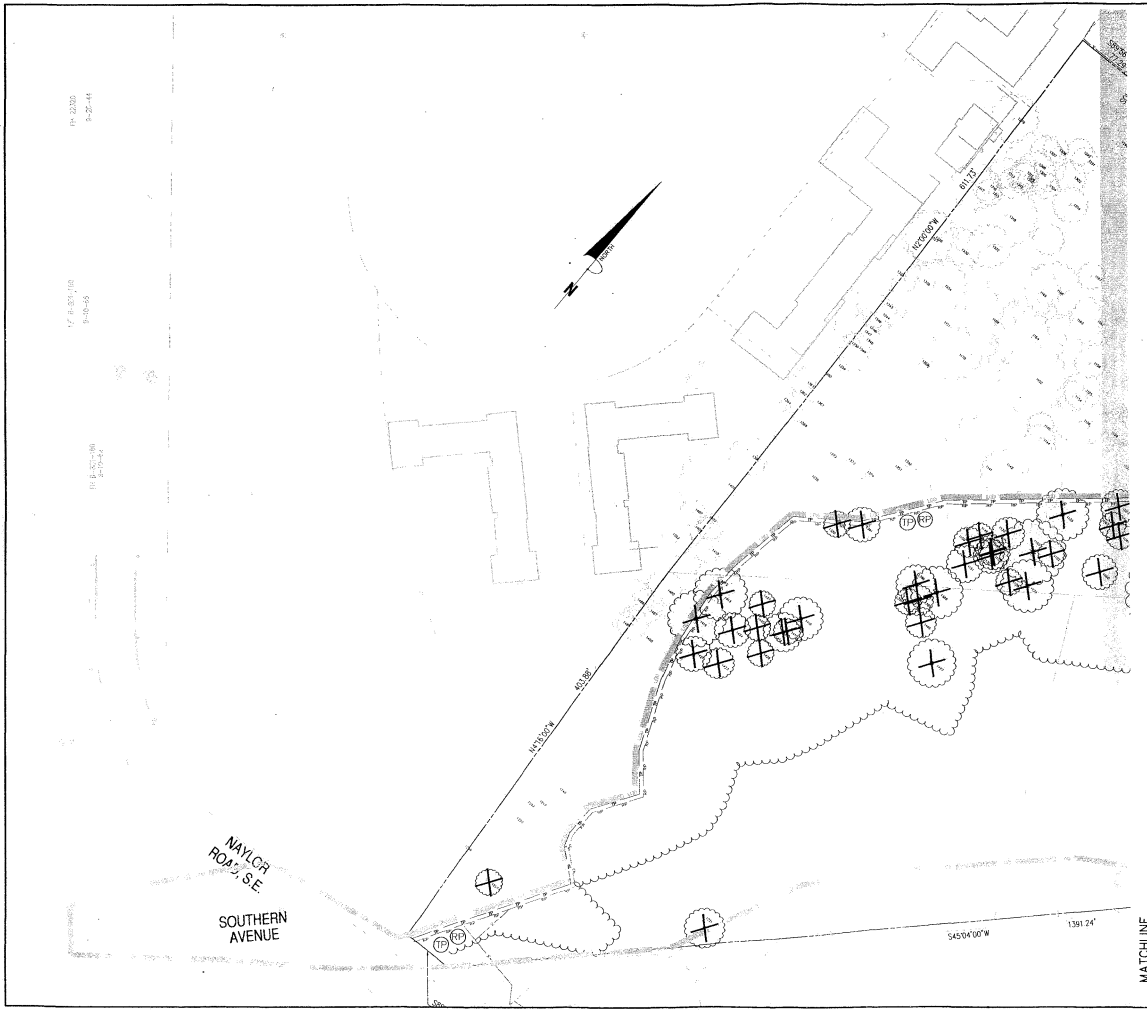
JOB No. 6010-01-001

DATE APRIL 2008

FILE No. 6010-D-PR-001

SHEET L3.30

Cad file name: 6010-D-PR-001 Layout name: L3.30 User: jbb Plot by: Friday, November 14, 2008 9:57:00 AM



LEGEND

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- EXISTING "SPECIAL TREE" TO BE REMOVED
  NOTE: SPECIAL TREE AS DEFINED BY WASHINGTON D.C. URBAN FOREST PRESERVATION ACT OF 2002. (SEE TREE INVENTORY)
- EXISTING TREELINE
- LOD — LIMITS OF CLEARING AND GRADING
- TP — TREE PROTECTION FENCE
- RP — ROOT PRUNING TRENCH

NOTE:

1. BASED ON THE DATA COLLECTED, THE FOREST WITHIN THE LIMITS OF THE PROPERTY IS CHARACTERIZED BY THE SWEETGUM–YELLOW POPLAR FOREST COVER TYPE (107), AS DESCRIBED IN THE FOREST COVER TYPES OF THE UNITED STATES AND CANADA (1980). THIS TYPE IS A PART OF THE MIXED BOTTOMLAND FOREST IN WHICH SWEETGUM AND YELLOW–POPLAR COMPRISE A MAJORITY OF THE OVERSTORY STOCKING. THIS MATURE STAND CONTAINS RED MAPLE, LOBLOLLY PINE, WHITE PINE, BOXELDER, SYCAMORE, RIVER BIRCH, ASH, WILLOW OAK, BLACKGUM, AND AMERICAN ELM. UNDERSTORY TREES INCLUDE THE ELMS, ASHES, RED MAPLE, OAK, HICKORY, AMERICAN HOLLY, AMERICAN HOPHORNBEAM, FLOWERING DOGWOOD, AND RED MULBERRY.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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PAR 02038 (0004, 0061 & 0083-0086) PAR 02015 0027 2801 BRANCH AVENUE SE

TREE PRESERVATION PLAN (1 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
11/04/08	BZA APPLICATION

DATE	DESCRIPTION

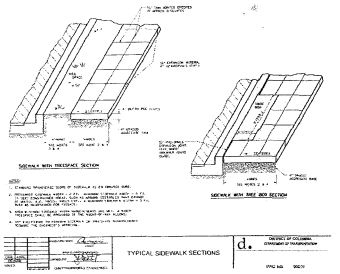
MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE: H: 1" 40' V:		

JOB No. 6010-01-001

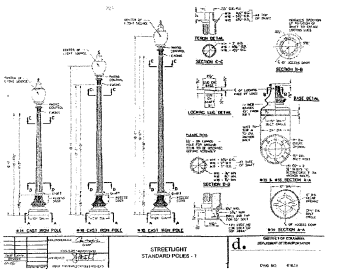
DATE : APRIL 2008

FILE No. 6010-D-PR-001

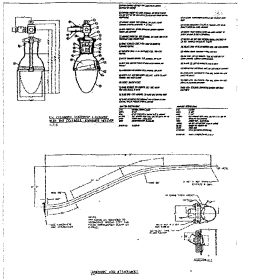
SHEET TP 1.00



1 / L5.10 DC STANDARD TREE PIT
SECTION
AS SHOWN



2 / L5.10 # 16 WASHINGTON GLOBE STREETLIGHT
SECTION
AS SHOWN



3 / L5.10 TEARDROP STREETLIGHT
SECTION
AS SHOWN

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PAR 0208 (0004, 0061 & 0063-0065) PAR 0215-0027 2801 BRANCH AVENUE SE
HARDSCAPE DETAILS

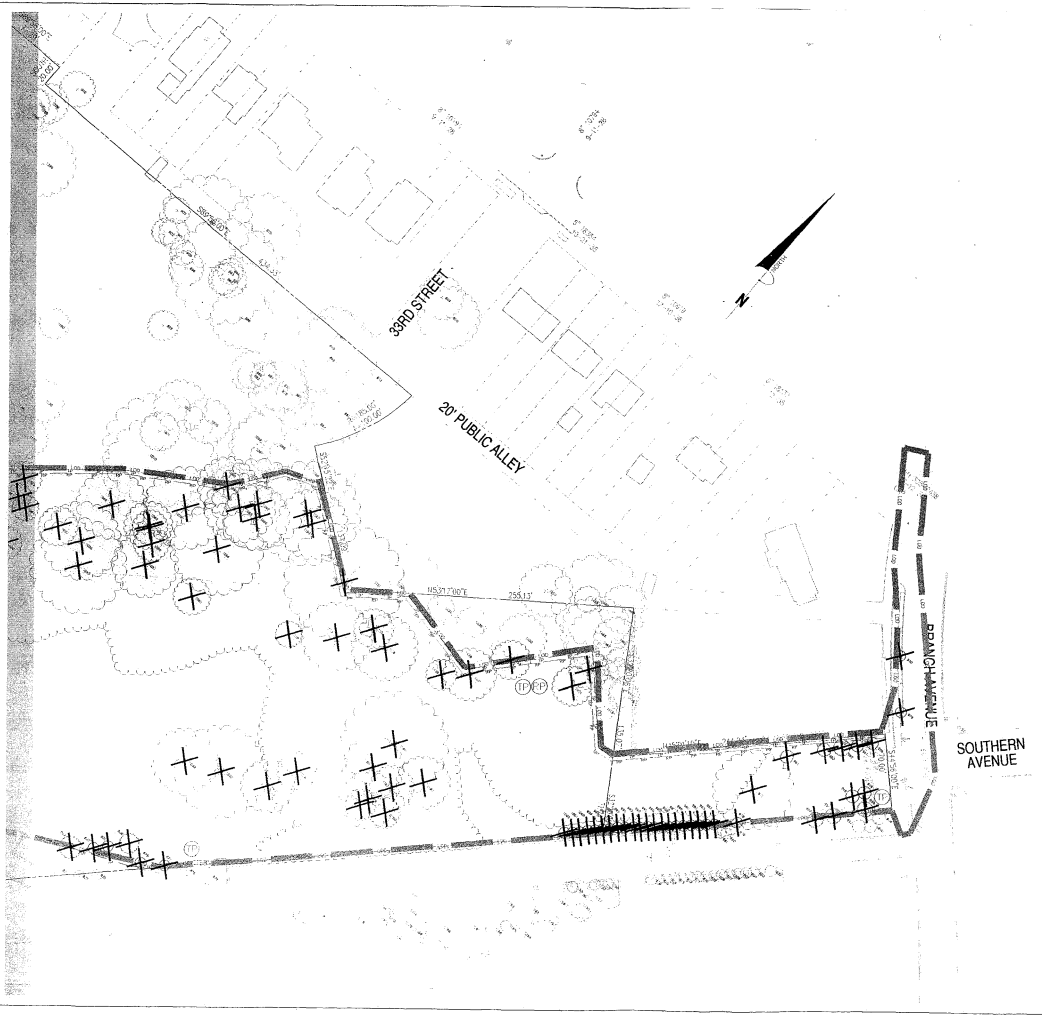
HILLCREST
BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA
WASHINGTON

PLAN STATUS	
01/04/08	BZA APPLICATION

DATE	DESCRIPTION

MSD DESIGN	SEG DRAWN	MSD CHKD
SCALE	H: AS SHOWN V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	
SHEET	L5.10	

P:\6010 - ETA-Hillcrest\6010-01-001 Eng\Engineering\Design Plans\TS\6010-D-PR-001-L5.dwg, 1/12/2008 9:31:06 AM, lemmons



LEGEND

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- EXISTING "SPECIAL TREE" TO BE REMOVED
  NOTE: SPECIAL TREE AS DEFINED BY WASHINGTON D.C. URBAN FOREST PRESERVATION ACT OF 2002. (SEE TREE INVENTORY)
- EXISTING TREELINE
- LOD — LIMITS OF CLEARING AND GRADING
- TP — TREE PROTECTION FENCE
- PP — ROOT PRUNING TRENCH

NOTE:

1. BASED ON THE DATA COLLECTED, THE FOREST WITHIN THE LIMITS OF THE PROPERTY IS CHARACTERIZED BY THE SWEETGUM-YELLOW POPLAR FOREST COVER TYPE (97), AS DESCRIBED IN THE FOREST COVER TYPES OF THE UNITED STATES AND CANADA (1980). THIS TYPE IS A PART OF THE MIXED BOTTOMLAND FOREST IN WHICH SWEETGUM AND YELLOW-POPLAR COMPRISE A MAJORITY OF THE OVERSTORY STOCKING. THIS MATURE STAND CONTAINS RED MAPLE, LOBLOLLY PINE, WHITE PINE, BOX-ELDER, SYCAMORE, RIVER BIRCH, ASH, WILLOW OAK, BLACKGUM, AND AMERICAN ELM. UNDERSTORY TREES INCLUDE THE CLAYS, ASHES, RED MAPLE, OAK, HICKORY, AMERICAN HOLLY, AMERICAN HORNBEAM, FLOWERING DOGWOOD, AND RED MULBERRY.

GRAPHIC SCALE

30 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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TREE PRESERVATION PLAN (2 OF 2)

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS
FOR DISTRICT APPROVAL

DATE	04/24/2008	
MSD	DAD	MSD
DESIGN	DRAWN	CHKD

SCALE 1" = 40'

JOB NO. 6010-01-001

DATE APRIL 2008

FILE NO. 6010-D-PR-001

SHEET TP 2.00

HILLCREST ESTATES TREE INVENTORY

Date of site visit (s): April 18, 2008

Certified Arborist: Gregg D. Eberly, MA-4616A

Shading = Special Tree as defined by the Washington D.C. Urban Forest Preservation Act of 2002. See Note 5 [illegible]

Tree Number	Caliper (DBH)	Botanical Name	Common Name	Condition Rating	Species Rating	Preserve/Remove
826	5	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	0.8	0.55	Remove
827	3	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	0.8	0.55	Remove
830	9	PINUS STROBUS	WHITE PINE	0.8	0.5	Remove
831	5	PINUS STROBUS	WHITE PINE	0.8	0.5	Remove
832	5	PINUS STROBUS	WHITE PINE	0.8	0.5	Remove
833	10	PINUS STROBUS	WHITE PINE	0.8	0.5	Remove
929	3					Remove
930	3					Remove
948	6	BETULA PAPYRIFERA	PAPER BIRCH	0.8	0.6	Remove
949	6	BETULA PAPYRIFERA	PAPER BIRCH	0.8	0.6	Remove
950	7	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	0.8	0.55	Remove
951	7	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	0.8	0.55	Remove
952	7	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	0.8	0.55	Remove
958	3	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
961	3	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
962	7	PINUS STROBUS	WHITE PINE	0.8	0.5	Remove
963	6	QUERCUS PALUSTRIS	PIN OAK	0.8	0.65	Remove
964	6	QUERCUS PALUSTRIS	PIN OAK	0.8	0.65	Remove
[illegible]	[illegible]	QUERCUS PALUSTRIS	PIN OAK	[illegible]	0.65	Remove
978	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
982	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
983	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
984	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
985	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
986	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
987	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
988	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
989	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
990	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
991	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
992	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
993	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
994	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
995	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
996	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
997	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
998	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
999	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
1000	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
1001	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
1002	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
1003	2	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	0.8	0.6	Remove
[illegible]	[illegible]	GLEDITSIA TRIACANTHOS	HONEY LOCUST	[illegible]	[illegible]	Remove
[illegible]	[illegible]	TILIA CORDATA	LITTLELEAF LINDEN	[illegible]	[illegible]	Remove
[illegible]	[illegible]	TILIA CORDATA	LITTLELEAF LINDEN	[illegible]	[illegible]	Remove
[illegible]	[illegible]	QUERCUS ALBA	WHITE OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	ACER SACCHARINUM	SILVER MAPLE	[illegible]	0.45	Remove
1060	16	QUERCUS RUBRA	RED OAK	0.48	0.75	Remove
1061	12	CARPINUS CAROLINIANA	HORNBEAM	0.52	0.8	Remove
1062	12	CARPINUS CAROLINIANA	HORNBEAM	0.56	0.8	Remove
1063	16	QUERCUS RUBRA	RED OAK	0.62	0.75	Remove
[illegible]	[illegible]	FRAXINUS AMERICANA	WHITE ASH	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
1080	16	ACER RUBRUM	RED MAPLE	0.72	0.7	Remove
1081	16	ACER RUBRUM	RED MAPLE	0.64	0.7	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1085	17	ACER SACHARINUM	SILVER MAPLE	0.64	0.45	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
~~1095~~	~~14~~	~~LIRIODENDRON TULIPIFERA~~	~~TULIP POPLAR~~	~~0.8~~	~~0.7~~	~~Remove~~
1097	14	QUERCUS RUBRA	RED OAK	0.56	0.75	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1110	12	QUERCUS RUBRA	RED OAK	0.52	0.75	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	QUERCUS ALBA	WHITE OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
1122	12	QUERCUS RUBRA	RED OAK	0.48	0.75	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1128	12	ACER RUBRUM	RED MAPLE	0.6	0.7	Remove
1130	16	LIRIODENDRON TULIPIFERA	TULIP POPLAR	0.8	0.7	Remove
1131	16	QUERCUS RUBRA	RED OAK	0.64	0.75	Remove
1132	12	ULMUS AMERICANA	AMERICAN ELM	0.62	0.55	Remove
1133	15	ULMUS AMERICANA	AMERICAN ELM	0.68	0.55	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1149	12	ULMUS AMERICANA	AMERICAN ELM	0.52	0.55	Remove
1150	14	ULMUS AMERICANA	AMERICAN ELM	0.6	0.55	Remove
1151	17	QUERCUS RUBRA	RED OAK	0.72	0.75	Remove
[illegible]	[illegible]	TSUGA CANADENSIS	EASTERN HEMLOCK	[illegible]	[illegible]	Remove
1177	14	ILEX OPACA	AMERICAN HOLLY	0.68	0.7	Remove
[illegible]	[illegible]	QUERCUS PHELLOS	WILLOW OAK	[illegible]	[illegible]	Remove
1180	14	FRAXINUS AMERICANA	WHITE ASH	0.48	0.6	Remove
[illegible]	[illegible]	PINUS STROBUS	WHITE PINE	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1257	12	ULMUS AMERICANA	AMERICAN ELM	0.6	0.55	Remove
1380	12	QUERCUS RUBRA	RED OAK	0.52	0.75	Remove
1381	16	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
1389	14	ACER RUBRUM	RED MAPLE	0.52	0.7	Remove
1390	12	ACER RUBRUM	RED MAPLE	0.52	0.7	Remove
~~1408~~	~~14~~	~~FRAXINUS AMERICANA~~	~~WHITE ASH~~	~~0.6~~	~~0.6~~	~~Remove~~
~~1410~~	~~12~~	~~FRAXINUS AMERICANA~~	~~WHITE ASH~~	~~0.48~~	~~0.6~~	~~Remove~~
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
[illegible]	[illegible]	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	[illegible]	[illegible]	Remove
1421	16	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	0.56	0.7	Remove
1423	14	ACER RUBRUM	RED MAPLE	0.6	0.7	Remove
1424	16	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove
1425	12	ACER RUBRUM	RED MAPLE	0.56	0.7	Remove
1427	12	ACER RUBRUM	RED MAPLE	0.56	0.7	Remove
1429	12	ACER RUBRUM	RED MAPLE	0.48	0.7	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
1439	14	LIRIODENDRON TULIPIFERA	TULIP POPLAR	0.6	0.7	Remove
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
[illegible]	[illegible]	QUERCUS RUBRA	RED OAK	[illegible]	[illegible]	Remove
[illegible]	[illegible]	ACER RUBRUM	RED MAPLE	[illegible]	[illegible]	Remove
[illegible]	[illegible]	ACER RUBRUM	RED MAPLE	[illegible]	[illegible]	Remove
~~1432~~	~~16~~	~~QUERCUS RUBRA~~	~~RED OAK~~	~~0.56~~	~~0.75~~	~~Remove~~
~~1487~~	~~16~~	~~QUERCUS RUBRA~~	~~RED OAK~~	~~0.72~~	~~0.75~~	~~Remove~~
[illegible]	[illegible]	LIRIODENDRON TULIPIFERA	TULIP POPLAR	[illegible]	[illegible]	Remove
1496	14	QUERCUS RUBRA	RED OAK	0.6	0.75	Remove
[illegible]	[illegible]	[illegible]	RED OAK	[illegible]	[illegible]	Remove

Note:

1. Condition Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
2. All trees indicated are to be cleared from the site due to construction impacts.
3. Trees included in this inventory had critical root zones located in or near the proposed limits of disturbance for the subject property.
4. NEITHER THE PROJECT ARBORIST NOR BOWMAN CONSULTING CONDONE THE IMPLEMENTING OF ANY SUGGESTED REMOVAL TECHNIQUES WITHOUT THE AGREEMENT OF THE ADJACENT PROPERTY OWNER.
5. Special Tree as defined by the Washington D.C. Urban Forest Preservation Act of 2002, is a tree within the District of Columbia that has a minimum circumference of fifty-five inches or a diameter of 17.50 inches. Special trees must get a removal permit in order to be removed. Special trees must be replaced by a quantity of saplings whose aggregated circumference equals or exceeds the circumference of the Special Tree to be removed, by paying into a Tree Fund, a tree replacement fee of $35 per inch of circumference of each Special Tree to be removed, or a combination of both.
6. Trees with a line trough them are now to be preserved due to revisions to the proposed limits of clearing.

PAR 0208 (0004, 0061 & 0063-0065) PAR 0215 0027 2901 BRANCH AVENUE SE

TREE INVENTORY

HILLCREST

BOARD OF ZONING ADJUSTMENT

WASHINGTON DISTRICT OF COLUMBIA

Bowman Consulting Group, Ltd.
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Alexandria, Virginia 22314

Phone: (703) 548-2188
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PLAN STATUS	
11/04/08	BZA APPLICATION
DATE	DESCRIPTION

MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	H: N.T.S. V:	
JOB No.	6010-01-001	
DATE :	APRIL 2008	
FILE No.	6010-D-PR-001	

SHEET TP 3.00

Cad file name : P:\6010 - EYA-Hillcrest\6010-01-001-Eng\Engineering\Prelim Plans\LTR\6010-01-006 TPP.dwg

PRE TO POST CONSTRUCTION TREE PRESERVATION NOTES:

PRE-CONSTRUCTION REQUIREMENTS/TREATMENTS:

1. The services of a certified arborist shall be retained prior to any construction activity to ensure the proper implementation of the Arbor Management Plan. A "certified arborist" is defined as an arborist who has demonstrated their proficiency by obtaining a certification through a recognized arboricultural institution. This person shall be referred to as the "Project Arborist".

2. Tree protection shall be installed prior to demolition activities where indicated on the Arbor Management Plan. In areas where super silt fence and tree protection coincide, as shown on the Erosion and Sediment Control Plan, super silt fence may be utilized for tree protection purposes. The Project Arborist shall monitor the installation of tree protection fencing to verify its proper installation.

3. Root pruning shall be completed in a single operation where indicated on this plan under the supervision of the Project Arborist. Trenches shall be a minimum 18 inches deep and backfilled immediately. In areas where super silt fence is utilized as tree protection, a root pruning trench shall be used for silt fence installation.

4. Existing asphalt and concrete within the Critical Root Zone (CRZ) of trees to be preserved shall be removed by hand. Motorized equipment including Bobcats, bulldozers, and tractrixes are to be limited to paved and concrete areas.

5. Three days prior to commencement of any clearing and grading, the Project Arborist shall be notified and given the opportunity to inspect the site to ensure that all tree protective devices have been correctly installed.

6. All fencing shall be maintained throughout construction of the proposed phase/project. Fencing shall not be removed or relocated without the consent of the the Project Arborist upon completion of construction.

7. "Tree Preservation Area" signs are to be secured to the tree protection fencing no more than 10-feet apart. Signs shall be re-secured as needed throughout construction (See tree protection sign detail on this sheet).

8. Mulch shall be applied to a depth of 3-4", 5' on the side of the protective fences to be be left undisturbed. Any variety of hardwood or pine bark mulch can be used in addition to any mulch that has been chipped onsite from unsaved trees or dead limbs. All mulch is to be placed by hand.

DURING CONSTRUCTION REQUIREMENTS/ TREATMENTS:

9. Under no circumstances shall storage of construction materials, dumping of construction debris, and traffic by construction equipment and personnel occur within the tree preservation area without the consent of the Project Arborist. Should damage occur, every effort shall be made to have a licensed arborist attempt to amend the problem as soon as possible.

9. Any necessary tree planting within the LOD will be observed and amended if necessary onsite by the Project Arborist.

10. All required pruning, bracing, and/ or cabling shall be done in accordance with the American National Standards Institute (ANSI) A300-2000 pruning standards.

11. Trees to be removed shall not be felled, pushed, or pulled into the tree preservation area. Trees on the edge of the limits of clearing and grading shall be cut down by hand with a chain saw. Remaining stumps within the tree preservation area shall be left in place, remaining stumps inside the limits of clearing and grading shall either be left in place or ground down 12" deep from the soil surface with a stump grinder.

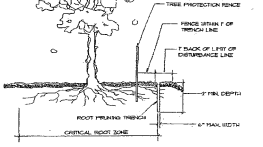
12. Subsequent removal of individual trees or tree preservation areas shown on the Arbor Management Plan must be approved by the Project Arborist.

13. Project Arborist shall conduct visits at least once a month to ensure that the activities are conducted in accordance with the Arbor Management Plan.

POST-CONSTRUCTION REQUIREMENTS/ TREATMENTS:

14. Total completion of the site shall be indicated by careful removal of all tree preservation fencing and the spreading of existing mulch over the remainder of the root systems to a depth of 2-3

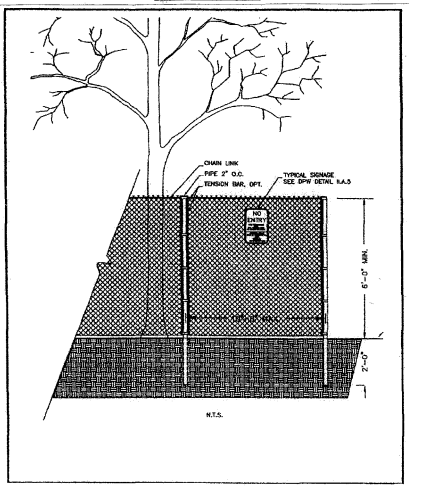
ROOT PRUNING DETAIL



NOTE:

1. Retention areas will be set as part of the rezoning process.
2. Boundaries of Retention areas should be stained and flagged prior to trenching
3. Exact location of trench should be identified.
4. Trench should be immediately backfilled with soil removed or other high organic soil
5. Roots should be cleanly cut using vibration, knife or other acceptable equipment.

TREE PROTECTION FENCE DETAIL



TREE PRESERVATION AREA

KEEP OUT!

NONE OF THE FOLLOWING ACTIVITIES ARE TO BE CONDUCTED WITHIN THE TREE PRESERVATION AREA

- **NO VEHICLES, EQUIPMENT, MATERIALS, OR CHEMICALS ARE TO BE DRIVEN INTO/STORED.**
- **NO CHEMICALS ARE TO BE MIXED WITHIN 50' OF THE PROTECTIVE FENCE.**
- **NO EXCESS MOVEMENT WITHIN THE FENCE IS TO BE CONDUCTED (IE: NO LUNCH UNDER THE PROTECTED TREES).**
- **IN CASE OF NECESSARY TRESPASS, EVERY EFFORT WILL BE MADE TO INCUR NO DAMAGE TO ROOTS, TRUNK, AND/ OR CANOPY.**

PENALTIES MAY OCCUR PENDING ANY EVIDENT DAMAGE DURING A POST-CONSTRUCTION VISIT TO THE SITE BY THE PROJECT ARBORIST IN COMPARISON TO PRE-CONSTRUCTION CONDITION.

SPECIFICATIONS:

- DIMENSIONS:	LENGTH=17 INCHES WIDTH=11 INCHES	
- BACKGROUND/TEXT COLOR	RED/WHITE OR WHITE/BLACK	
- LETTER SIZE:	"TREE PRESERVATION AREA"	= 0.60"
	"KEEP OUT"	= 1.00"
	"NONE OF THE FOLLOWING"	= 0.32"
	"REQUIREMENTS"	= 0.22"
	"PENALTIES MAY OCCUR"	= 0.28"

- LETTERS ARE ALWAYS TO BE IN CAPITALS AND ALWAYS BOLD.

TREE PRESERVATION SIGN DETAIL

SEE NOTES FOR SIGN TREATMENT/CONSTRUCTION

Bowman CONSULTING

Bowman Consulting Group, Ltd.
3101 Eastlake Avenue
Alexandria, Virginia 22314

Phone: (703) 548-5150
Fax: (703) 683-0791
www.bowmanconsulting.com
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PAR 0208 (0004, 0061 & 0065-0085) PAR 0215 0027 2801 BRANCH AVENUE SE

TREE PRESERVATION NOTES & DETAILS

HILLCREST

BOARD OF ZONING ADJUSTMENT

DISTRICT OF COLUMBIA

WASHINGTON

PLAN STATUS	
DO NOT BEGIN APPROVED	
DATE	DESCRIPTION
MSD DESIGN	DAD DRAWN	MSD CHKD
SCALE	N.T.S.
JOB No	6010-01-001
DATE	APRIL 2008
FILE No	6010-D-PR-001
SHEET	TP 4.00

Cad file name: J:\6010 - Hillcrest\Hillcrest-Dev\Exhibits\Plan Sets\TP4.dwg

LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

Streetscape Perspective

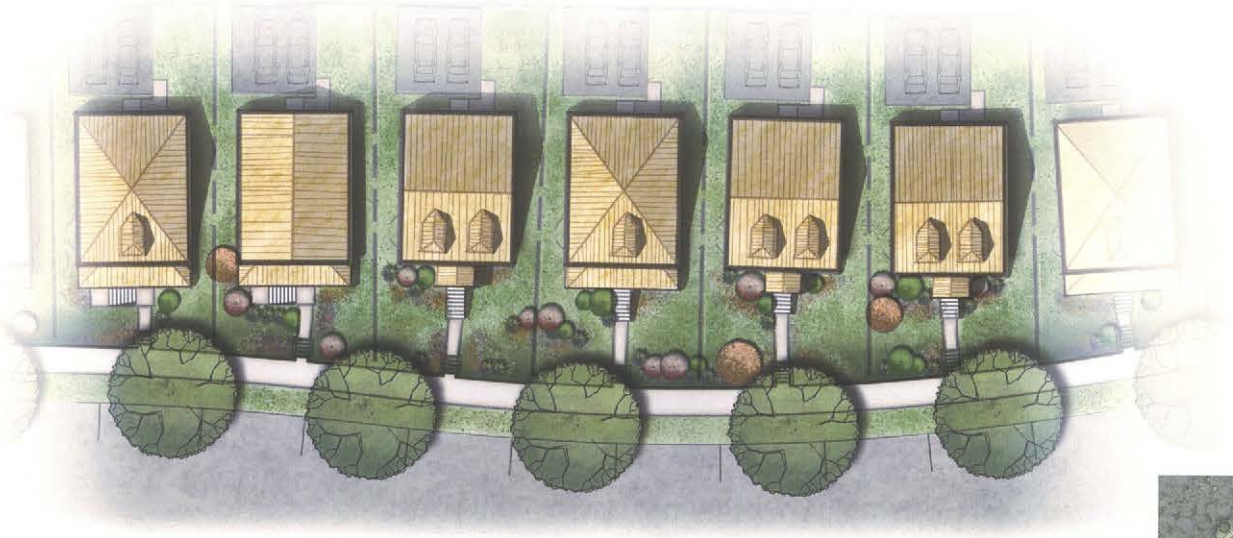
November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0
NTS

A-1



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Partial Site Plan w/ Typical Front Yards

November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

0 10' 20'
1" = 20'

A-2

Unit A Slab On Grade
w/ No Garage

Unit A Slab On Grade
w/ No Garage

Unit A Front Loaded

Unit A Front Loaded

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Conceptual Elevations

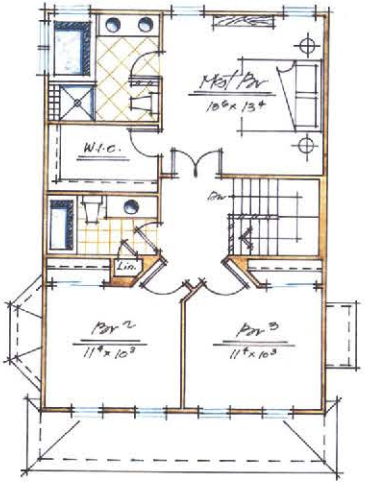
November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

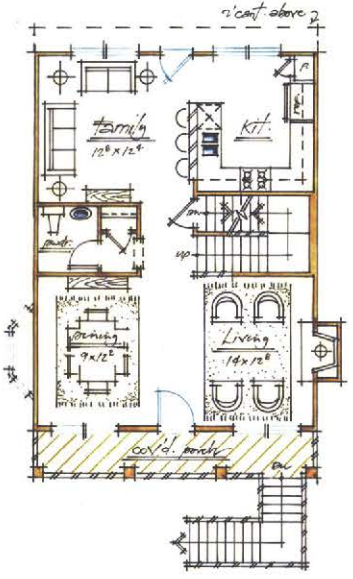
0 4' 8' 16'
1/16" = 1'

A-3



SECOND FLOOR

826 ft²



GROUND FLOOR

768 ft²

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Floor Plans
Typical Single Family w/ Surface parking

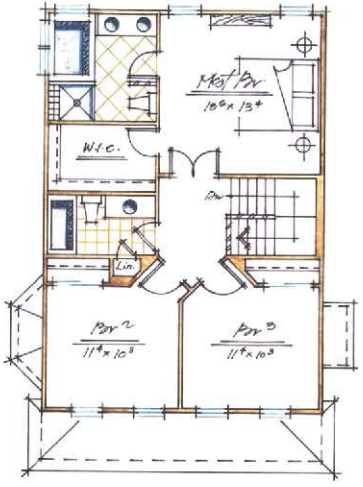
November 3, 2008

Hillcrest
Washington DC

The Neighborhoods of EYA
EYA.133a.00

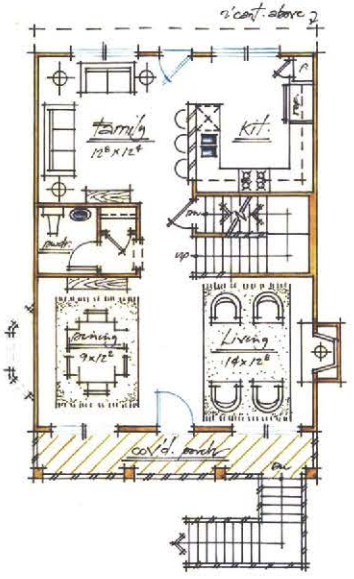
0 2' 4' 8'
1/8" = 1'

A-4



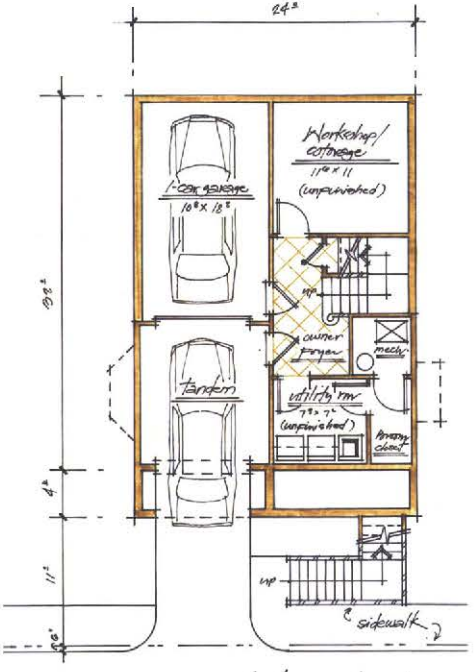
THIRD FLOOR

816 ± ft



SECOND FLOOR

768 ± ft



GROUND FLOOR

TOTAL = 1710 ± 126 ± ft

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Floor Plans

Typical Single Family Front Load

November 3, 2008

Hillcrest

Washington DC

The Neighborhoods of EYA

EYA.133a.00

0 2' 4' 8'

1/8" = 1'

A-5

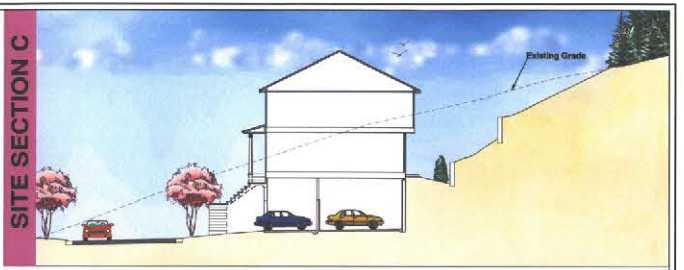
Bowman
CONSULTING

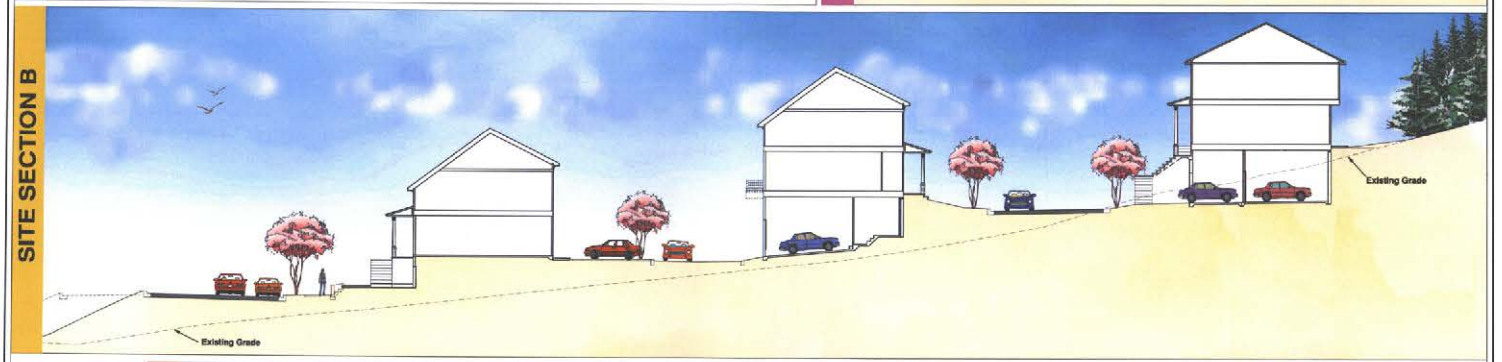
HILLCREST
Typical Site Sections
DISTRICT OF COLUMBIA

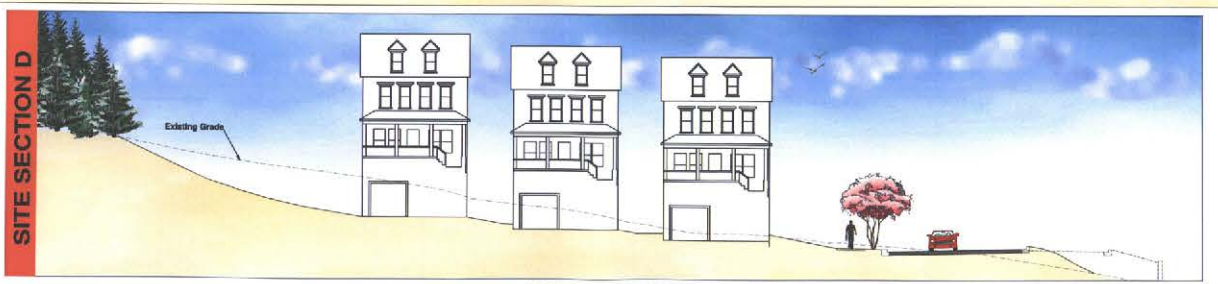
Scale: 1" = 40'

40' 0' 40' 80' 160'

OCTOBER 2008







Bowman
CONSULTING

HILLCREST
Typical Site Sections
DISTRICT OF COLUMBIA

OCTOBER 2008
GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.