

Holland & Knight

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Holland & Knight LLP | www.hklaw.com

Leila Marie Jackson Batties
(202) 419-2583
leila.batties@hklaw.com

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2013 DEC -5 PM 1:29

December 4, 2013

Via Hand Delivery

Board of Zoning Adjustment
for the District of Columbia
441 4th Street, N.W., Suite 210S
Washington, DC 20001

Re. **Jemal's TP Land, LLC | Amendment to BZA Application No. 18671**
6923 - 6953 Maple Street, NW and 6916 - 6926 Willow Street, NW
(Squire 3357, Lots 26 - 29, 40, 808, 811, 814, 815, 818 - 820, 824, 825, 840 and
843

Dear Board Members

On behalf of Jemal's TP Land, LLC (the "Applicant"), we submit this amendment and supporting materials for the above-referenced application, which is scheduled to be heard before the Board on February 11, 2014

Originally, the Applicant sought a special exception approval to permit a new residential development in the R-5-A District with two buildings on a single record lot and relief from the roof structure requirements, and a variance of the loading requirements in order to support the redevelopment of the subject property with a new residential development consisting of two multi-family buildings, each with 55 dwelling units

With this amendment, the Applicant seeks a modification of previously approved plans and variances of the parking and loading requirements in order to support the redevelopment of the subject property with a new residential development consisting of two multi-family buildings, each with 50 dwelling units

In support of the amended application, enclosed are one original and 10 copies of the following materials

- completed BZA Form 120 (application),
- completed BZA Form 135 (self-certification),

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 17679
EXHIBIT NO. 88

Atlanta | Boston | Chicago | Fort Lauderdale | Jacksonville | Lakeland | Los Angeles | Miami | New York | Northern Virginia | Orlando
Portland | San Francisco | Tallahassee | Tampa | Washington, D C | West Palm Beach

Board of Zoning Adjustment
District of Columbia
CASE NO. 17679
EXHIBIT NO. 88A1

- architectural drawings for the proposed project;
- statement of existing and intended uses of the subject property;
- preliminary statement explaining how the application meets the specific tests identified in the Zoning Regulations;

Additionally, we have included the following:

- The name and mailing address of the owners of all property within 200 feet in all directions from all boundaries of the subject property, in both list and mailing label format
- A completed BZA Form 126 (fee calculator) and a check in the amount of \$6552.00. This amount reflects the difference between the fees for the application as amended and what was previously paid with the submittal of the original application

We remain hopeful of the Board's favorable review of this case.

Very truly yours,

HOLLAND & KNIGHT LLP

By. *Leila M. Jackson Batties*
Leila M. Jackson Batties

Enclosures

cc: Ms. Jennifer Steingasser, Office of Planning (via hand delivery)
Mr. Joel Lawson, Office of Planning (via hand delivery)
Advisory Neighborhood Commission 4B c/o Sara Green, Chair (via email)
Commissioner Judi Jones, SMD Representative ANC 4B-07 (via email)

THIS CHECK IS VOID WITHOUT A BLUE BACKGROUND AND AN ARTIFICIAL WATERMARK ON THE BACK - HOLD AT ANGLE TO VIEW

Douglas Development Corporation
DDC Operating Account
702 H Street, NW
Suite 400
Washington, DC 20001

Eagle Bank
7815 Woodmont Avenue
Bethesda, Maryland 20814

65-329
550

Date	Check No.	Check Amount
12/4/2013	239979	\$6,552.00

Six Thousand Five Hundred Fifty Two AND 00/100 Dollars

Pay to the order of:

DC Treasurer

VOID IF NOT CASHED WITHIN 180 DAYS WITHIN DATE OF ISSUE



SIGNATURE HAS A COLORED BACKGROUND - BORDER CONTAINS MICROPRINTING



**BEFORE THE BOARD OF ZONING ADJUSTMENT
OF THE DISTRICT OF COLUMBIA**



FORM 120 - APPLICATION FOR VARIANCE/SPECIAL EXCEPTION

Before completing this form, please review the instructions on the reverse side.
Print or type all information unless otherwise indicated. All information must be completely filled out.

Pursuant to §3103.2 – Area/Use Variance and/or §3104.1 - Special Exception of Title 11 DCMR- Zoning Regulations,
an application is hereby made, the details of which are as follows:

Address(es)	Square	Lot No(s).	Zone District(s)	Type of Relief Being Sought	
				Area Variance Use Variance Special Exception	Section(s) of Title 11 DCMR - Zoning Regulations from which relief is being sought
6923-6953 Maple Street, N.W.	3357	See attached Ex. "A"	R-5-A	Area Variance	§ 2101.1; § 2201.1
6923-6953 Maple Street, N.W.	3357	See attached Ex. "A"	R-5-A		§ 3129
6916-6926 Willow Street, N.W.	3357	See attached Ex. "A"	R-5-A	Area Variance	§ 2101.1; § 2201.1
6916-6926 Willow Street, N.W.	3357	See attached Ex. "A"	R-5-A		§ 3129

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Present use(s) of Property: Residential, commercial parking lot.

Proposed use(s) of Property: Residential.

Owner of Property: Jemal's TP Land, LLC

Telephone No: 202-638-6300

Address of Owner: 702 H Street, N.W., Washington, DC 20001

Single-Member Advisory Neighborhood Commission District(s): ANC 4B07

Written paragraph specifically stating the "who, what, and where of the proposed action(s)". This will serve as the Public Hearing Notice:

Jemal's TP Land, LLC (the "Applicant") seeks (1) a modification of plans previously approved under BZA Application No. 17679 for special exception approval for a new residential development in the R-5-A District with more than one principal building on a single lot and special exception approval for roof structures; (2) a variance from the parking requirements under Section 2100; and (3) a variance from the loading requirements under Section 2201. The purpose of the foregoing requests is to permit the redevelopment of the 2.3+/- acre parcel located at 6923-6953 Maple Street, NW and 6916-6926 Willow Street, N.W., with two multiple dwellings, each containing 50 units, in the R-5-A District.

EXPEDITED REVIEW REQUEST (If interested, please select the appropriate category)

I waive my right to a hearing, agree to the terms in Form 128 - Waiver of Hearing for Expedited Review, and hereby request that this case be placed on the Expedited Review Calendar, pursuant to §3118.2 (CHOOSE ONE):

- A park, playground, swimming pool, or athletic field pursuant to §209.1, or
- An addition to a one-family dwelling or flat or new or enlarged accessory structures pursuant to §223

I/We certify that the above information is true and correct to the best of my/our knowledge, information and belief. Any person(s) using a fictitious name or address and/or knowingly making any false statement on this application/petition is in violation of D.C. Law and subject to a fine of not more than \$1,000 or 180 days imprisonment or both. (D.C. Official Code § 22 2405)

Date: December 4, 2013 Signature*: Leila Batties

To be notified of hearing and decision (Owner or Authorized Agent*):

Name: Leila Batties, Holland & Knight, LLP E-Mail: leila.batties@hklaw.com

Address: 800 17th Street, N.W., Suite 1100, Washington, DC 20006

Phone No(s): 202-419-2583

Fax No.:

* To be signed by the Owner of the Property for which this application is filed or his/her authorized agent. In the event an authorized agent files this application on behalf of the Owner, a letter signed by the Owner authorizing the agent to act on his/her behalf shall accompany this application.

ANY APPLICATION THAT IS NOT COMPLETED IN ACCORDANCE WITH THE INSTRUCTIONS ON THE BACK OF THIS FORM WILL NOT BE ACCEPTED.

FOR OFFICIAL USE ONLY

Exhibit No. 1

Case No. _____

EXHIBIT A
TO FORM 120

Lot Nos. for Property at 6923-6953 Maple Street: 26-29, 40, 811, 814, 815, 820 and 825

Lot Nos. for Property at 6916-6926 Willow Street: 808, 818, 819, 824, 840, 843



**BEFORE THE BOARD OF ZONING ADJUSTMENT
DISTRICT OF COLUMBIA**



FORM 135 – ZONING SELF-CERTIFICATION

Project Address(es)	Square	Lot(s)	Zone District(s)
6923-6953 Maple Street, N.W.	3357	40,26,27,28,29,825,814,811,820,815	R-5-A
6916-6926 Willow Street, N.W.	3357	840,819,824,818,808,843	R-5-A

Single-Member Advisory Neighborhood Commission District(s): **4B07**

CERTIFICATION

The undersigned agent hereby certifies that the following zoning relief is requested from the Board of Zoning Adjustment in this matter pursuant to:

Relief Sought	<input type="checkbox"/> §3103.2 - Use Variance	<input type="checkbox"/> §3103.2 - Area Variance	<input checked="" type="checkbox"/> §3104.1-Special Exception
Pursuant to Subsections	353.1, 2516.1, 2201.1, and 2101.1		

Pursuant to 11 DCMR §3113.2, the undersigned agent certifies that:

- (1) the agent is duly licensed to practice law or architecture in the District of Columbia;
- (2) the agent is currently in good standing and otherwise entitled to practice law or architecture in the District of Columbia; and
- (3) the applicant is entitled to apply for the variance or special exception sought for the reasons stated in the application.

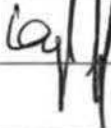

The undersigned agent and owner acknowledge that they are assuming the risk that the owner may require additional or different zoning relief from that which is self certified in order to obtain, for the above referenced project, any building permit, certificate of occupancy, or other administrative determination based upon the Zoning Regulations and Map. Any approval of the application by the Board of Zoning Adjustment (BZA) does not constitute a Board finding that the relief sought is the relief required to obtain such permit, certification, or determination.

The undersigned agent and owner further acknowledge that any person aggrieved by the issuance of any permit, certificate, or determination for which the requested zoning relief is a prerequisite may appeal that permit, certificate, or determination on the grounds that additional or different zoning relief is required.

The undersigned agent and owner hereby hold the District of Columbia Office of Zoning and Department of Consumer and Regulatory Affairs harmless from any liability for failure of the undersigned to seek complete and proper zoning relief from the BZA.

The undersigned owner hereby authorizes the undersigned agent to act on the owner's behalf in this matter.

I/We certify that the above information is true and correct to the best of my/our knowledge, information and belief. Any person(s) using a fictitious name or address and/or knowingly making any false statement on this form is in violation of D.C. Law and subject to a fine of not more than \$1,000 or 180 days imprisonment or both.
(D.C. Official Code § 22-2405)

	Owner's Name (Please Print) JEMAL'S TP LAND LLC		
	Agent's Name (Please Print) GEORGE MYERS		
Date 12/4/13	D.C. Bar No.	or	Architect Registration No. DC 4914

FOR OFFICIAL USE ONLY

Based upon review of the application and self-certification, the Office of Zoning determines, pursuant to 11 DCMR §3113.2, this application is

<input type="checkbox"/>	Accepted for filing.
<input type="checkbox"/>	Referred to the Office of the Zoning Administrator within DCRA, for determination of proper zoning relief required.
<input type="checkbox"/>	Rejected for failure to comply with the provisions of <input type="checkbox"/> 11 DCMR §3113.2; or <input type="checkbox"/> 11 DCMR - Zoning Regulations
Explanation _____	

Signature	Date
-----------	------

ANY APPLICATION THAT IS NOT COMPLETED IN ACCORDANCE WITH THE INSTRUCTIONS ON THE BACK OF THIS FORM WILL NOT BE ACCEPTED.

Case No. _____

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INSTRUCTIONS

Any request for self-certification that is not completed in accordance with the following instructions shall not be accepted.

1. All self-certification applications shall be made on this form. All certification forms must be completely filled out (front and back) and be typewritten or printed legibly. All information shall be furnished by the applicant. If additional space is necessary, use separate sheets of 8 1/2" x 11" paper to complete the form.
2. Complete one self-certification form for each application filed. Present this form with the Form 120 - Application for Variance/Special - Exception to the Office of Zoning, 441 4th Street, N.W., Suite 200-S, Washington, D.C. 20001. (All applications must be submitted before 3:00 p.m.)

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ITEM	EXISTING CONDITIONS	MINIMUM REQUIRED	MAXIMUM ALLOWED	PROVIDED BY PROPOSED CONSTRUCTION	VARIANCE Deviation/Percent
Lot Area (sq. ft.)	102,684 sf	4,000 sf	—	44,160 sf	—
Lot Width (ft. to the tenth)	—	40'-0"	—	313'-4"	—
Lot Occupancy (building area/lot area)	—	—	40%	35.9%	—
Floor Area Ratio (FAR) (floor area/lot area)	—	—	1.08	1.08	—
Parking Spaces (number)	—	50 (100-Lot A+B)	—	92	8 spaces total. Lots A+B combined
Loading Berths (number and size in ft.)	—	(1) 55' Berth (1) Serv./Deliv.	—	(1) 30' Berth	Berth size + Serv/Deliv. space
Front Yard (ft. to the tenth)	—	—	—	—	—
Rear Yard (ft. to the tenth)	—	20'-0"	—	39'-3"	—
Side Yard (ft. to the tenth)	—	10'-0"	—	25'-3"/70'-8"	—
Court, Open (width by depth in ft.)	—	—	—	—	—
Court, Closed (width by depth in ft.)	—	—	—	—	—
Height (ft. to the tenth)	—	—	40'-0"	40'-0"	—

If you need a reasonable accommodation for a disability under the Americans with Disabilities Act (ADA) or Fair Housing Act, please complete Form 155 - Request for Reasonable Accommodation.



LOT B

INSTRUCTIONS

Any request for self-certification that is not completed in accordance with the following instructions shall not be accepted.

1. All self-certification applications shall be made on this form. All certification forms must be completely filled out (front and back) and be typewritten or printed legibly. All information shall be furnished by the applicant. If additional space is necessary, use separate sheets of 8½" x 11" paper to complete the form.
2. Complete one self-certification form for each application filed. Present this form with the Form 120 - Application for Variance/Special - Exception to the Office of Zoning, 441 4th Street, N.W., Suite 200-S, Washington, D.C. 20001. (All applications must be submitted before 3:00 p.m.)

ITEM	EXISTING CONDITIONS	MINIMUM REQUIRED	MAXIMUM ALLOWED	PROVIDED BY PROPOSED CONSTRUCTION	VARIANCE Deviation/Percent
Lot Area (sq. ft.)	102,684 sf	4,000 sf	—	44,174 sf	—
Lot Width (ft. to the tenth)	—	40'-0"	—	351'-6"	—
Lot Occupancy (building area/lot area)	—	—	40%	35.8%	—
Floor Area Ratio (FAR) (floor area/lot area)	—	—	1.08	1.08	—
Parking Spaces (number)	—	50 (100 - Lot A+B)	—	92	e spaces total lots A+B combined
Loading Berths (number and size in ft.)	—	(1) - 55' Berth (1) - Serv./Deliv.	—	(1) 30' Berth	Berth size + Serv/Deliv Space.
Front Yard (ft. to the tenth)	—	—	—	—	—
Rear Yard (ft. to the tenth)	—	20'-0"	—	36'-4"	—
Side Yard (ft. to the tenth)	—	10'-0"	—	26'-9"/109'-10"	—
Court, Open (width by depth in ft.)	—	—	—	—	—
Court, Closed (width by depth in ft.)	—	—	—	—	—
Height (ft. to the tenth)	—	—	40'-0"	40'-0"	—

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LOT C

INSTRUCTIONS

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ITEM	EXISTING CONDITIONS	MINIMUM REQUIRED	MAXIMUM ALLOWED	PROVIDED BY PROPOSED CONSTRUCTION	VARIANCE Deviation/Percent
Lot Area (sq. ft.)	102,684 sf	4,000 sf	—	4,715 sf	—
Lot Width (ft. to the tenth)	—	40'-0"	—	56'-9"	—
Lot Occupancy (building area/lot area)	—	—	40%	24.5%	—
Floor Area Ratio (FAR) (floor area/lot area)	—	—	1.08	0.34	—
Parking Spaces (number)	—	1	—	1	—
Loading Berths (number and size in ft.)	—	—	—	—	—
Front Yard (ft. to the tenth)	—	—	—	—	—
Rear Yard (ft. to the tenth)	—	20'-0"	—	33'-11"	—
Side Yard (ft. to the tenth)	—	8'-0"	—	10'-6"/14'-0"	—
Court, Open (width by depth in ft.)	—	—	—	—	—
Court, Closed (width by depth in ft.)	—	—	—	—	—
Height (ft. to the tenth)	—	—	40'-0"	25'-0"	—

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LOT D

INSTRUCTIONS

Any request for self-certification that is not completed in accordance with the following instructions shall not be accepted.

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2. Complete one self-certification form for each application filed. Present this form with the Form 120 - Application for Variance/Special - Exception to the Office of Zoning, 441 4th Street, N.W., Suite 200-S, Washington, D.C. 20001. (All applications must be submitted before 3:00 p.m.)

ITEM	EXISTING CONDITIONS	MINIMUM REQUIRED	MAXIMUM ALLOWED	PROVIDED BY PROPOSED CONSTRUCTION	VARIANCE Deviation/Percent
Lot Area (sq. ft.)	102,684 sf	4,000 sf	—	4,715 sf	—
Lot Width (ft. to the tenth)	—	40'-0"	—	52'-10½"	—
Lot Occupancy (building area/lot area)	—	—	40%	30.7%	—
Floor Area Ratio (FAR) (floor area/lot area)	—	—	1.08	0.23	—
Parking Spaces (number)	—	1	—	1	—
Loading Berths (number and size in ft.)	—	—	—	—	—
Front Yard (ft. to the tenth)	—	—	—	—	—
Rear Yard (ft. to the tenth)	—	20'-0"	—	26'-0"	—
Side Yard (ft. to the tenth)	—	8'-0"	—	8'-0"/13'-1"	—
Court, Open (width by depth in ft.)	—	—	—	—	—
Court, Closed (width by depth in ft.)	—	—	—	—	—
Height (ft. to the tenth)	—	—	40'-0"	22'-0"	—

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LOT E

INSTRUCTIONS

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ITEM	EXISTING CONDITIONS	MINIMUM REQUIRED	MAXIMUM ALLOWED	PROVIDED BY PROPOSED CONSTRUCTION	VARIANCE Deviation/Percent
Lot Area (sq. ft.)	102,684 sf	4,000 sf	—	4,920sf	—
Lot Width (ft. to the tenth)	—	40'-0"	—	55'-2"	—
Lot Occupancy (building area/lot area)	—	—	40%	23.59%	—
Floor Area Ratio (FAR) (floor area/lot area)	—	—	1.08	0.23	—
Parking Spaces (number)	—	1	—	1	—
Loading Berths (number and size in ft.)	—	—	—	—	—
Front Yard (ft. to the tenth)	—	—	—	—	—
Rear Yard (ft. to the tenth)	—	20'-0"	—	26'-0"	—
Side Yard (ft. to the tenth)	—	8'-0"	—	8'-0"/17'-6"	—
Court, Open (width by depth in ft.)	—	—	—	—	—
Court, Closed (width by depth in ft.)	—	—	—	—	—
Height (ft. to the tenth)	—	—	40'-0"	20'-0"	—

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TAKOMA PARK

SQUARE 3357, WASHINGTON, D.C.

MODIFICATION OF BZA APPLICATION
ORDER NO. 17679

DECEMBER 4, 2013

OWNER / DEVELOPER:
DOUGLAS DEVELOPMENT CORPORATION

INDEX			
G100	PREVIOUSLY APPROVED - ZONING PLAN AND TABULATION	A102	CELLAR FLOOR PLAN
G100a	PROPOSED MODIFICATION - ZONING PLAN AND TABULATION	A103	FIRST FLOOR PLAN
G101	AERIAL SITE PHOTO	A104	SECOND FLOOR PLAN
G102	SITE PHOTOS	A105	THIRD FLOOR PLAN
		A106	ROOF PLAN
C400	PRE-DEVELOPMENT DRAINAGE AREA MAP	A200	CONTEXT ELEVATIONS
		A201	BUILDING ELEVATIONS
A100	EXISTING SITE CONDITIONS	A202	BUILDING ELEVATIONS
A101	PREVIOUSLY APPROVED - SITE PLAN AND PARKING	A300	RENDERING
A101a	PROPOSED MODIFICATION - SITE PLAN AND PARKING	A301	RENDERING
		A302	RENDERING

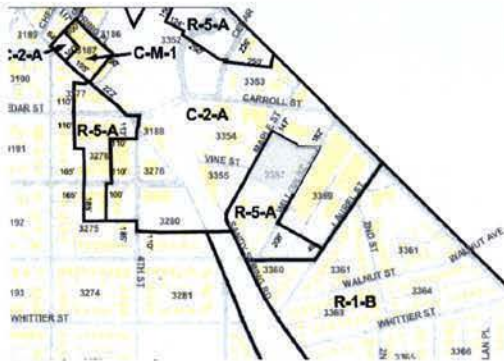
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ZONING TABULATIONS

LOT DATA

SQUARE: 3357
 LOTS: LOT 808, 811 & 818
 LOTS: 26, 27, 28, 29, 40, 814, 815, 819, 820, 824, 825, 840, & 843
 ZONE: R-5-A

THREE (3) EXISTING 2 STORY SINGLE FAMILY RESIDENCES
 THIRTEEN (13) EXISTING VACANT LOTS



	REQUIRED/ALLOWED	MULTI-FAMILY BUILDINGS		RELOCATED EXISTING SINGLE FAMILY HOMES (UNDER SEPARATE "CONCEPT" REVIEW 08-24-08)			TOTAL OF ALL LOTS
		MAPLE HOUSE (lot A)	WILLOW HOUSE (lot B)	6926 WILLOW (lot C)	6949 MAPLE (lot D)	6924 WILLOW (lot E)	
NUMBER OF UNITS		38	38	1	1	1	79
GROSS FLOOR AREA		47,744SF	47,744SF	1,592SF	1,107SF	1,136SF	99,323SF
LOT AREA	4,000 SF MIN	44,208SF	44,208SF	4,040SF	4,672SF	4,751SF	101,879SF
F.A.R.	0.90 MAX (1.08 MAX w/ INCLUSIONARY ZONING)	1.08	1.08	0.39	0.24	0.24	0.97
LOT WIDTH	At least 40% of required min width (50') and not less than 14 feet	323'-0"	347'-6"	50'-6"	50'-6"	51'-2"	
BUILDING FOOTPRINT		15,834SF	15,834SF	1,155SF	1,447SF	1,155SF	35,425SF
LOT OCCUPANCY	40%	35.8%	35.8%	28.6%	31.0%	24.3%	34.8%
BUILDING HEIGHT (MEASURING HEIGHT FROM 0'-0" (+269.00))	40' MAX	40' MAX	40' MAX	+/- 25'-0"	+/- 22'-0"	+/- 20'-0"	
NUMBER OF STORIES	3 MAX	3	3	2	1	1	
REAR YARD SETBACK	20'-0" MIN	41'-7"	41'-5"	31'-2"	27'-1"	20'-0"	
SIDE YARD SETBACKS	3' per foot of height of building, but not less than 8 feet	34'-0" / 82'-7" (10'-0" MIN)	34'-0" / 74'-2" (10'-0" MIN)	8'-0" / 8'-2" (8'-0" MIN)	8'-10" / 11'-6" (8'-0" MIN)	8'-1" / 8'-6" (8'-0" MIN)	
PARKING	1 per 1 dwelling unit	1 per 1 dwelling unit = 38 Spaces	1 per 1 dwelling unit = 38 Spaces	1 per 1 dwelling unit	1 per 1 dwelling unit	1 per 1 dwelling unit	79 Spaces
LOADING	None required since less than 50 dwelling units per building	Loading dock and zone provided Loading Dock Size = 12' x 30'	Loading dock and zone provided Loading Dock Size = 12' x 30'	N/A	N/A	N/A	

ALL PLANS ARE SUBJECT TO CHANGE PENDING FINAL APPROVAL BY HPRB

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ZONING TABULATIONS

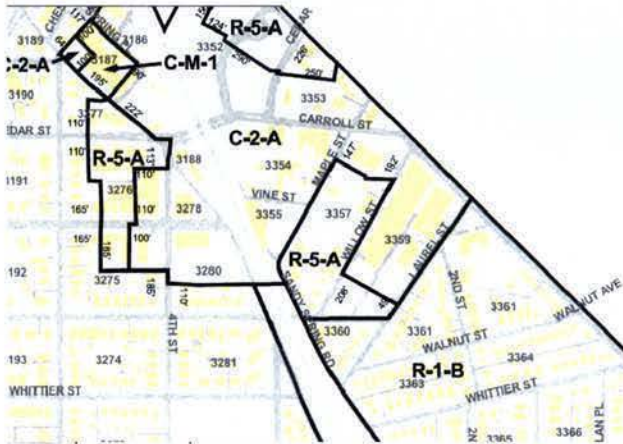
LOT DATA

SQUARE: 3357
 TWO (2) EXISTING 2 STORY SINGLE FAMILY RESIDENCES

LOTS: LOT 808, 811 & 818
 FOURTEEN (14) EXISTING VACANT LOTS

LOTS: 26, 27, 28, 29, 40, 814, 815, 819, 820, 824, 825, 840, & 843
 FOURTEEN (14) EXISTING VACANT LOTS

ZONE: R-5-A



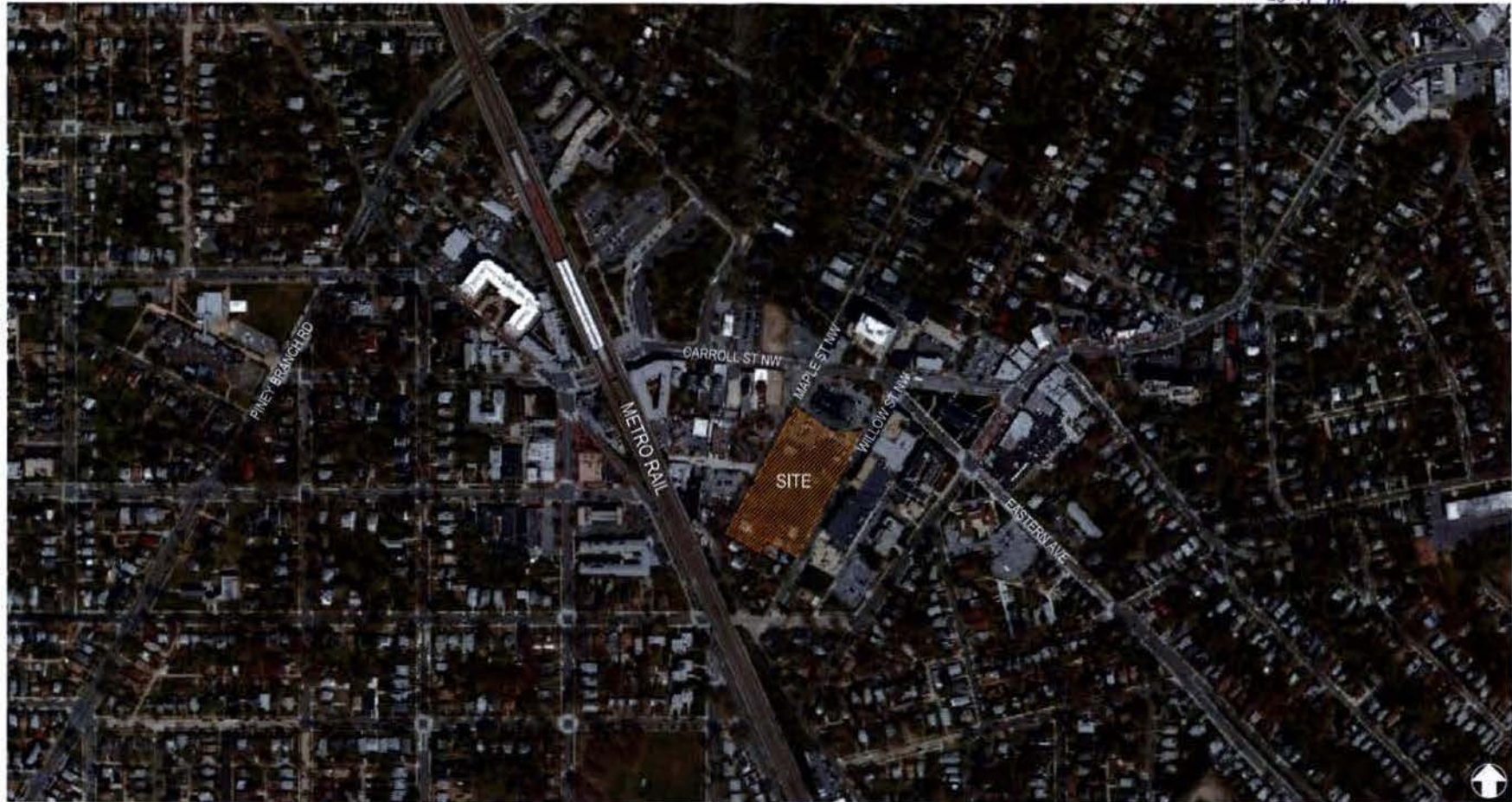
	REQUIRED/ALLOWED	MULTI-FAMILY BUILDINGS		RELOCATED EXISTING SINGLE FAMILY HOMES (UNDER SEPARATE "CONCEPT" REVIEW 08-24-06)			TOTAL OF ALL LOTS
		MAPLE HOUSE (lot A)	WILLOW HOUSE (lot B)	6926 WILLOW (lot C)	6949 MAPLE (lot D)	6924 WILLOW (lot E)	
NUMBER OF UNITS		50	50	1	1	1	103
GROSS FLOOR AREA		47,744SF	47,744SF	1,592SF	1,107SF	1,136SF	99,323SF
LOT AREA	4,000 SF MIN	44,160SF	44,174SF	4,715SF	4,715SF	4,920SF	102,684SF
F.A.R.	0.90 MAX (1.08 MAX w/ INCLUSIONARY ZONING)	1.08	1.08	0.34	0.23	0.23	0.97
LOT WIDTH	40'-0"	313'-4"	351'-6"	56'-5"	52'-10 1/2"	55'-2"	
BUILDING FOOTPRINT		15,834SF	15,834SF	1,155SF	1,447SF	1,155SF	35,425SF
LOT OCCUPANCY	40%	35.9%	35.8%	24.5%	30.7%	23.5%	34.5%
BUILDING HEIGHT (MEASURING HEIGHT FROM 0'-0" (+269.00))	40' MAX	40' MAX	40' MAX	+/- 25'-0"	+/- 22'-0"	+/- 20'-0"	
NUMBER OF STORIES	3 MAX	3	3	2	1	1	
REAR YARD SETBACK	20'-0" MIN	39'-3"	36'-4"	33'-11"	26'-0"	26'-0"	
SIDE YARD SETBACKS		25'-3" / 70'-6" (10'-0" MIN)	26'-9" / 109'-10" (10'-0" MIN)	10'-6" / 14'-0" (8'-0" MIN)	8'-0" / 13'-1" (8'-0" MIN)	8'-0" / 17'-6" (8'-0" MIN)	
PARKING	1 per 1 dwelling unit	92 Spaces		1 Space	1 Space	1 Space	94 Spaces
LOADING	1 - 55' Berth 1- Service/Delivery	Loading zone provided Loading Dock Area = 12' x 30'	Loading zone provided Loading Dock Area = 12' x 30'	N/A	N/A	N/A	

ALL PLANS ARE SUBJECT TO CHANGE PENDING FINAL APPROVAL BY HPRB

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TAKOMA PARK - SQUARE 3357 - ZONING AND TABULATION

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TAKOMA PARK - SQUARE 3357 - AERIAL SITE PHOTO

BZA MODIFICATION 12-04-13

JOB NO. 06.0069

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GT MARCHITECTS

G101



1 EXISTING SITE ALONG WILLOW STREET



2 INTERSECTION OF WILLOW STREET AND CARROLL AVENUE



3 MAPLE STREET LOOKING NORTH



4 HOUSE AT 6926 WILLOW STREET TO BE RELOCATED



5 HOUSE AT 6924 WILLOW STREET TO BE RELOCATED



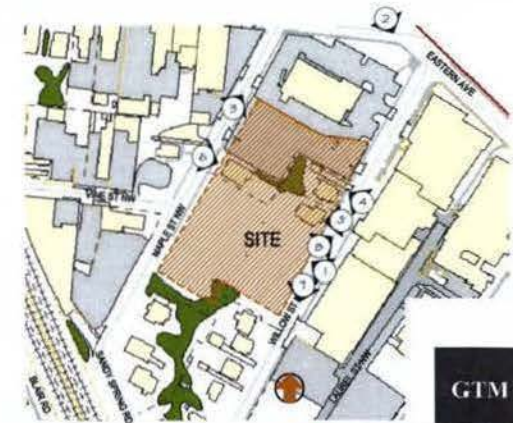
6 HOUSE AT 6949 MAPLE STREET TO BE RELOCATED



7 WILLOW STREET LOOKING NORTH



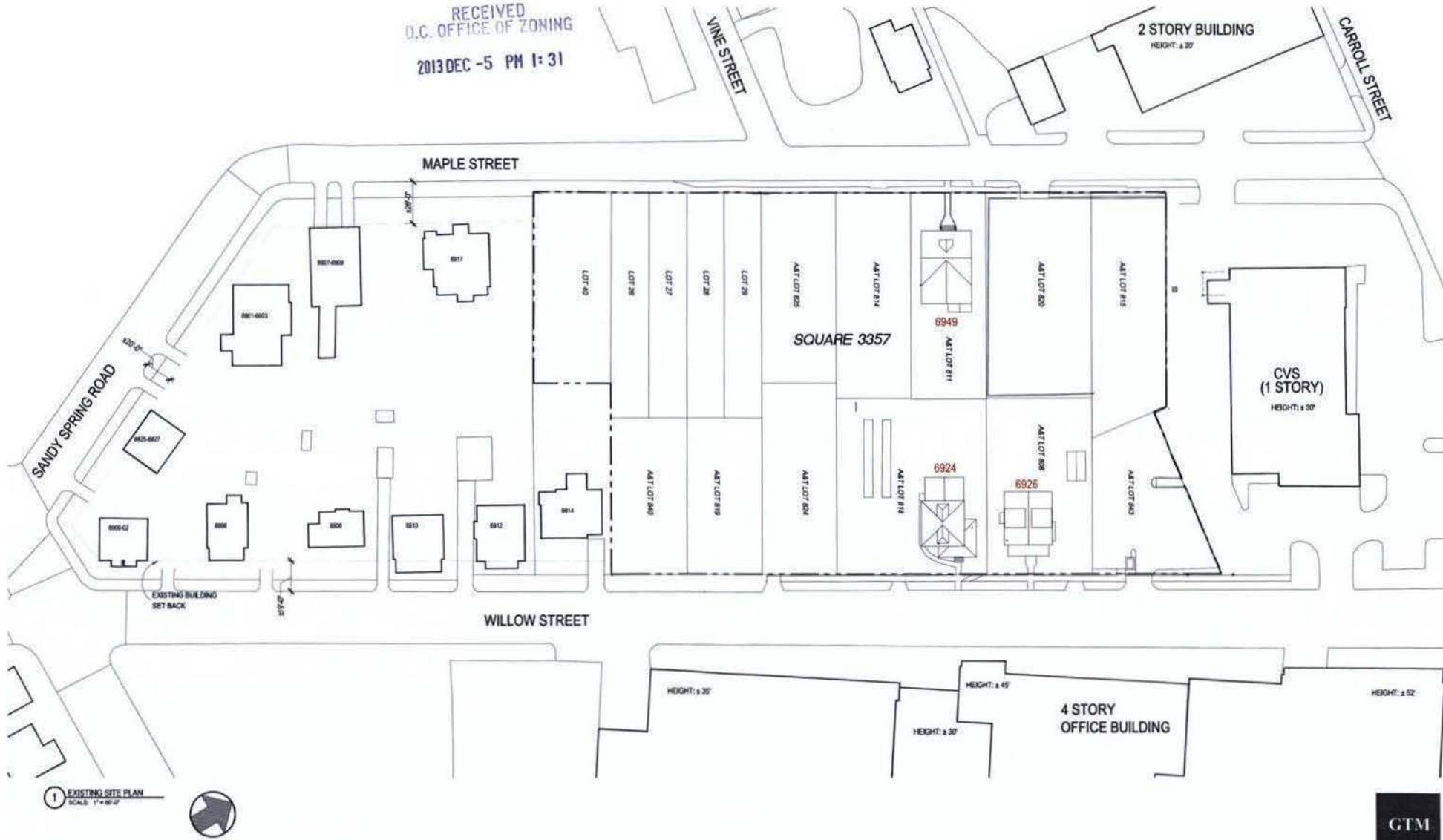
8 WILLOW STREET LOOKING SOUTH



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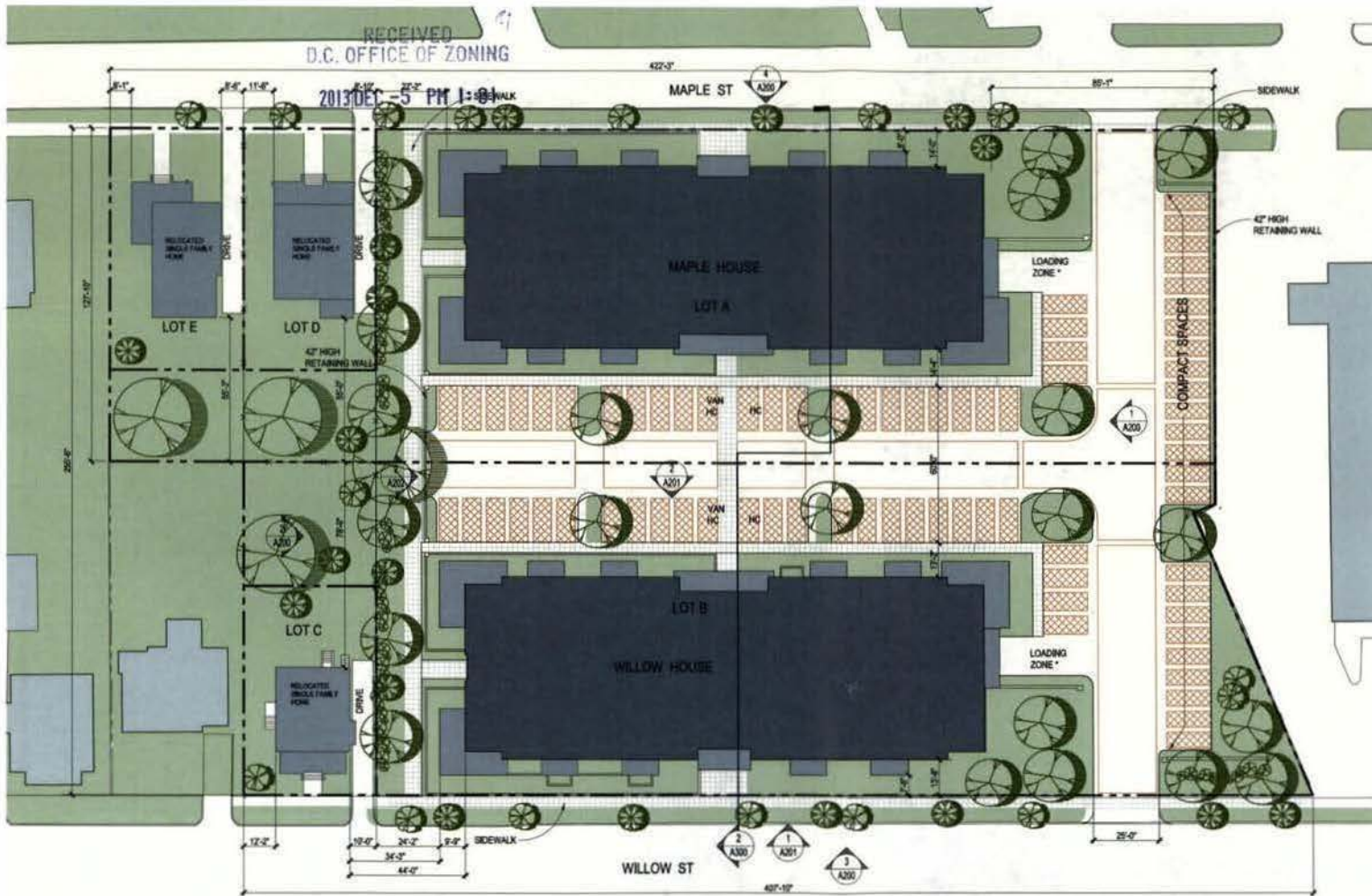


1 EXISTING SITE PLAN
SCALE: 1"=50'



TAKOMA PARK - SQUARE 3357 - EXISTING SITE CONDITIONS





PARKING COUNT	
STANDARD SPACES	48
COMPACT CARS	24
HANDICAPPED	2
VAN-ACCESSIBLE	2
TOTAL	76

PAVED PARKING AREA: 26,054sf
 REQUIRED GREEN SPACE (5%): 1,303sf
 PROVIDED GREEN SPACE (lot A&B): 25,611sf

1 SITE PLAN (PROPOSED)
SCALE: 1/8" = 1'-0"

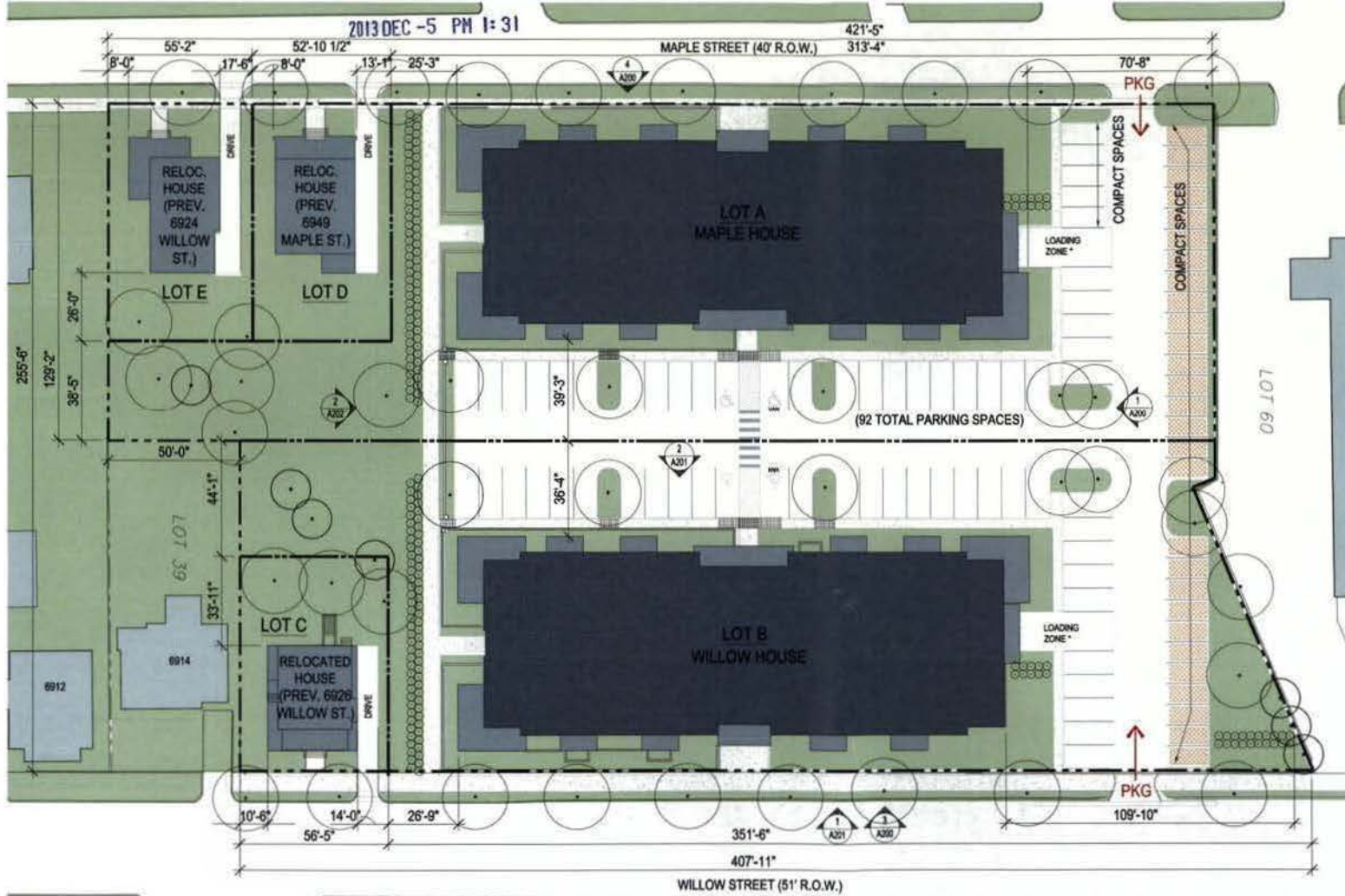


TAKOMA PARK - SQUARE 3357 - SITE PLAN AND PARKING

G T M ARCHITECTS

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PROPOSED MODIFICATION

PARKING REQUIRED	
	UNIT COUNT
MAPLE HOUSE	50
WILLOW HOUSE	50
SINGLE FAMILY (LOT C)	1
SINGLE FAMILY (LOT D)	1
SINGLE FAMILY (LOT E)	1
TOTAL	103

PARKING PROVIDED	
SPACES	#
STANDARD	54
COMPACT	33
ACCESSIBLE	2
VAN	2
SINGLE FAMILY	3
TOTAL PROV.	95*

*PARKING RELIEF REQ'D = 8 SPACES

LOADING		
	REQUIRED	PROVIDED
MAPLE HOUSE	1 - 55' BERTH, 1 - SERV./DELIV. ZONE	1 - 30' LOADING ZONE
WILLOW HOUSE	1 - 55' BERTH, 1 - SERV./DELIV. ZONE	1 - 30' LOADING ZONE

NOTE:
1) LOADING NOT REQ'D FOR SINGLE FAMILY HOUSES
2) LOADING RELIEF REQ'D FOR BOTH MAPLE AND WILLOW HOUSES

TAKOMA PARK - SQUARE 3357- SITE PLAN

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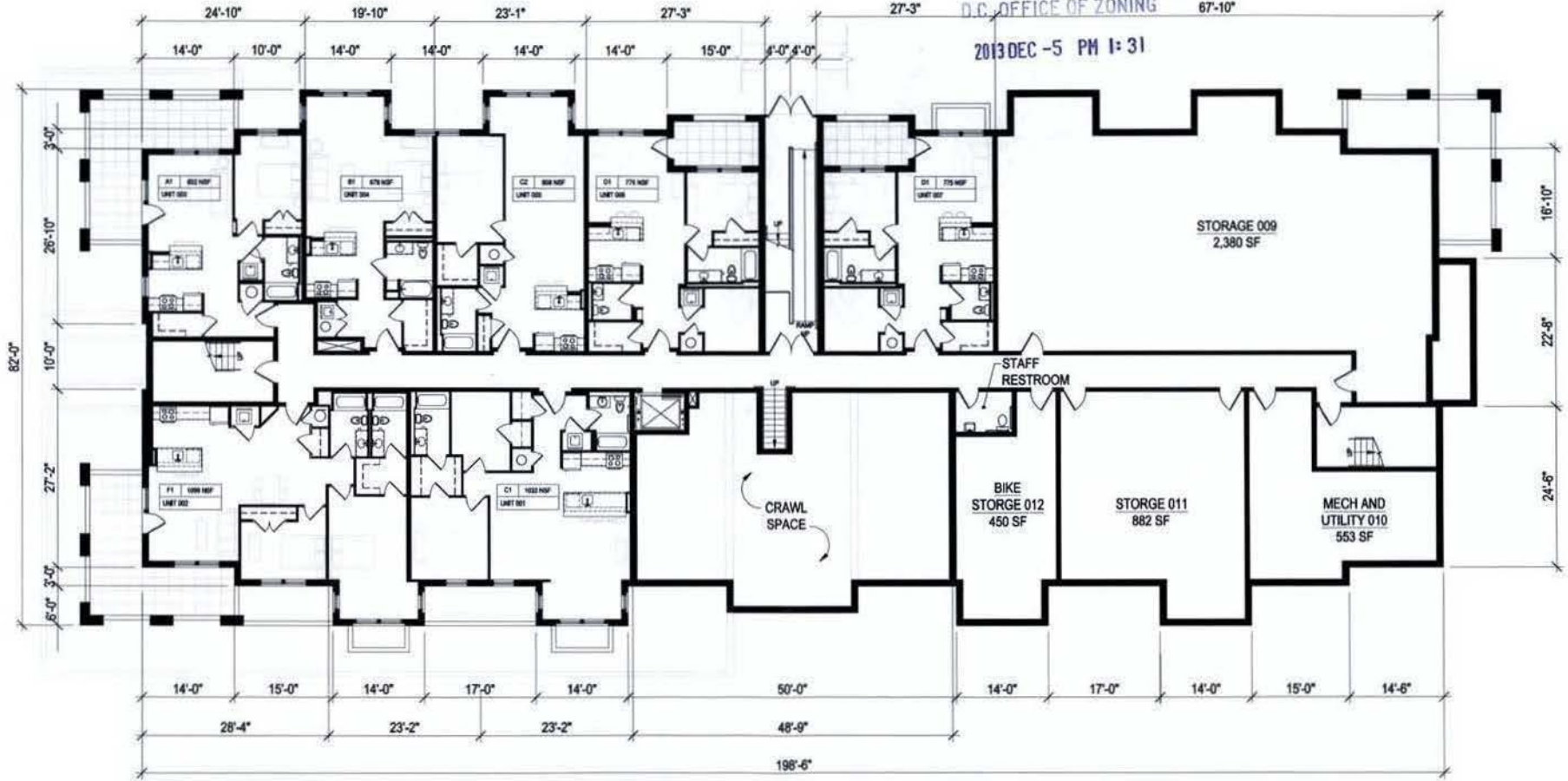


GTM

GTM ARCHITECTS

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1 CELLAR FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTES:
 1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

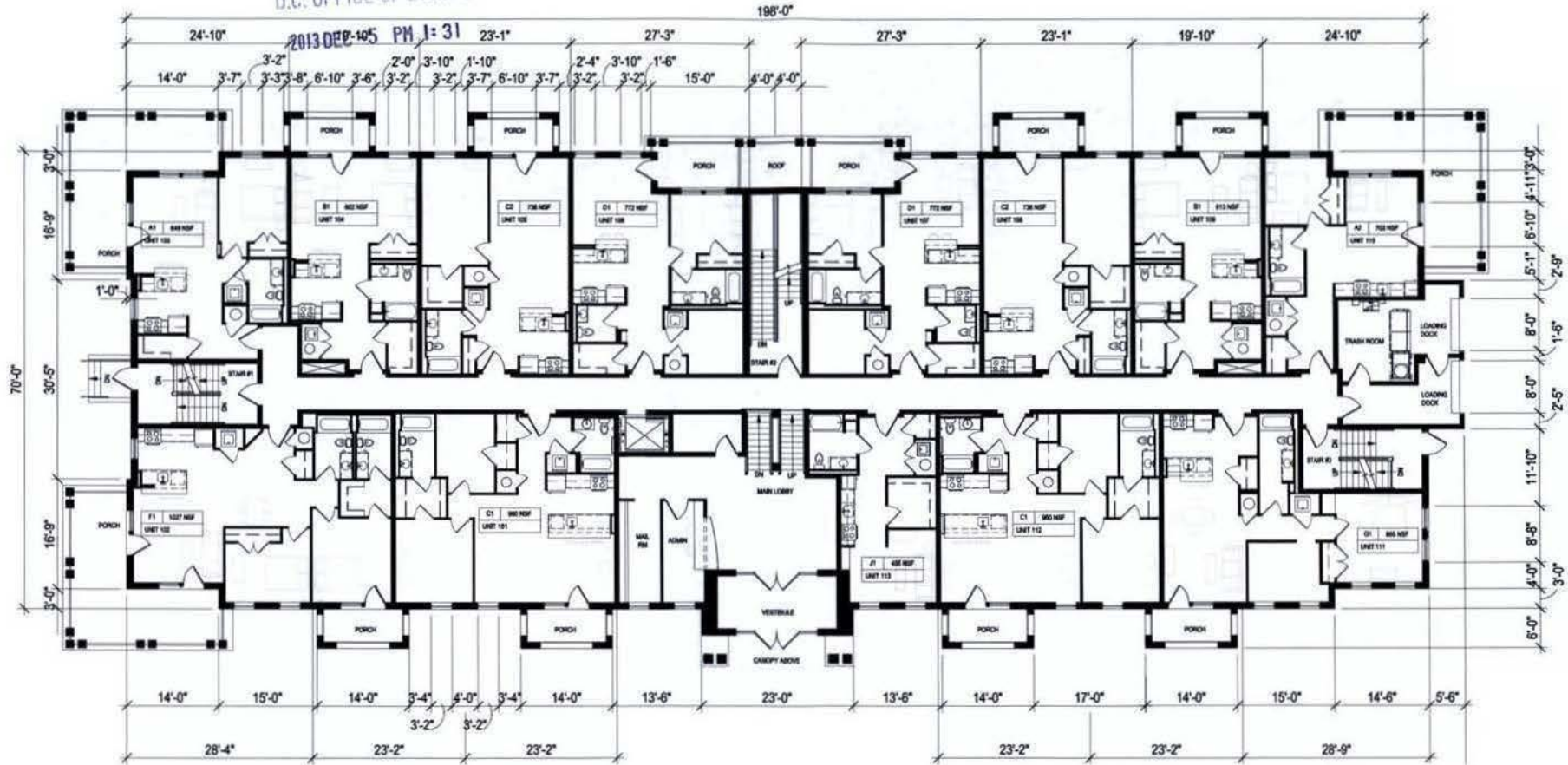
TAKOMA PARK - SQUARE 3357- CELLAR FLOOR PLAN



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2013028-105 PM 1:31



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

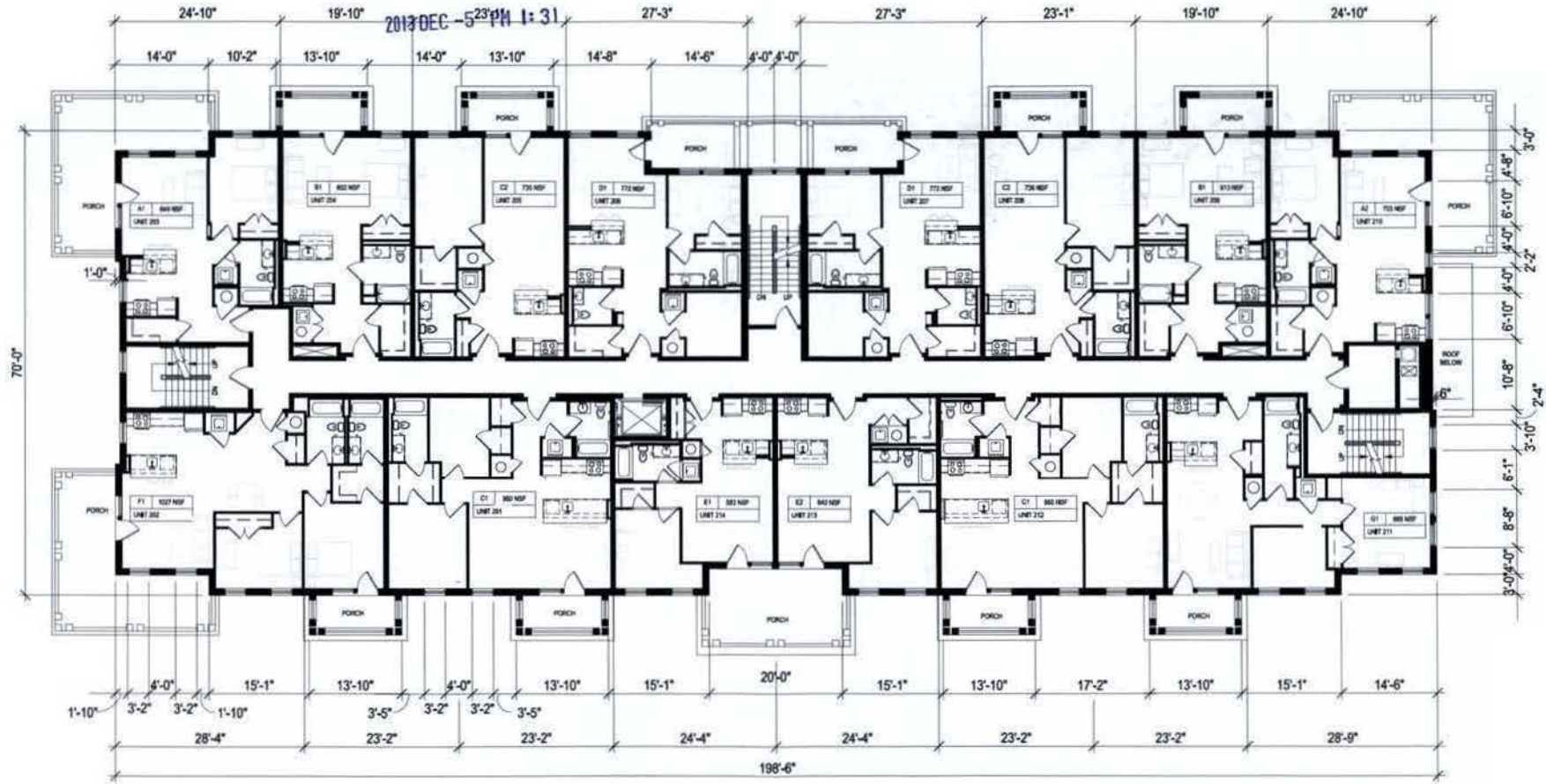


TAKOMA PARK - SQUARE 3357 - FIRST FLOOR PLAN

GTM ARCHITECTS

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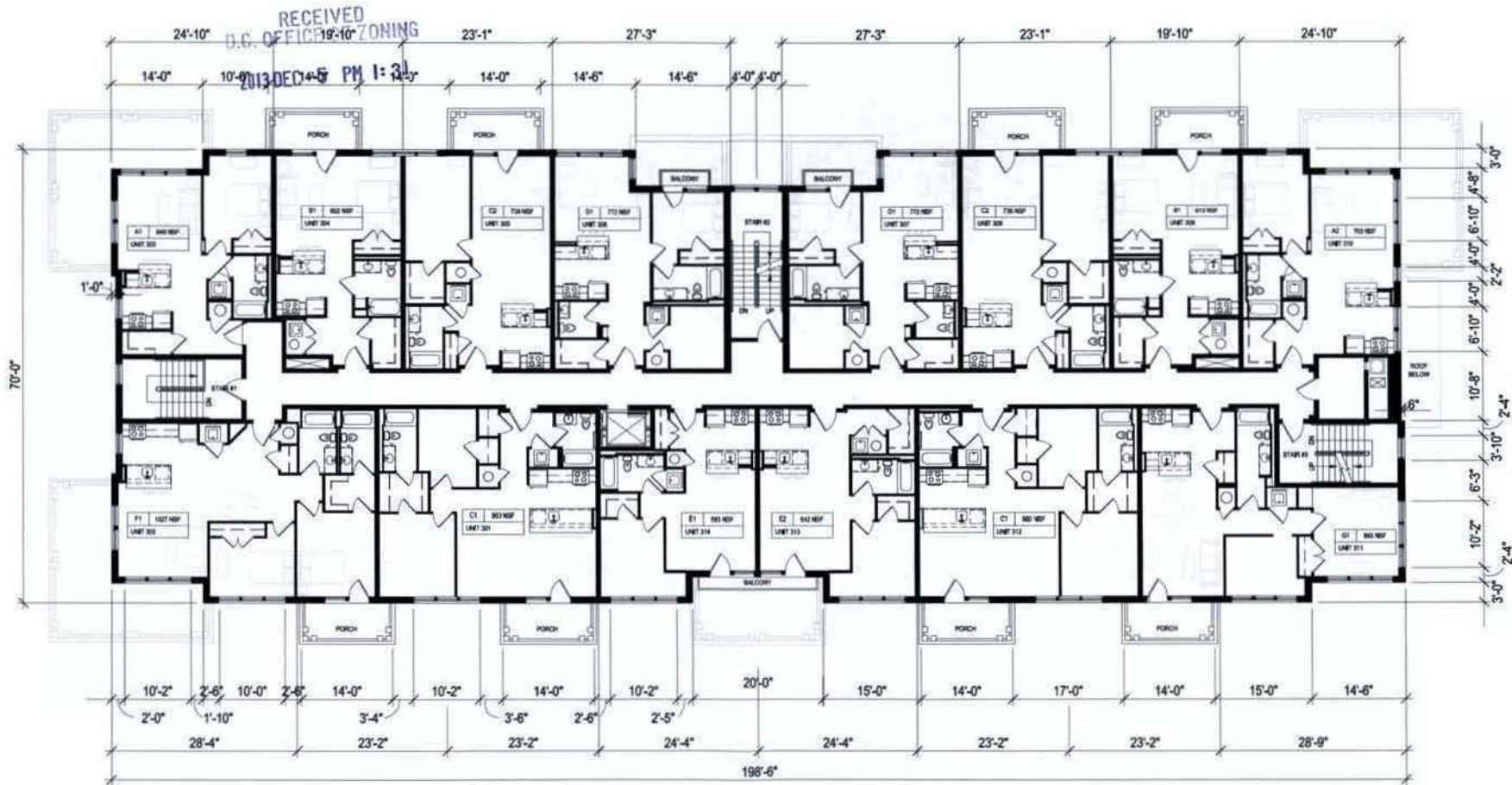
1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.



TAKOMA PARK - SQUARE 3357- SECOND FLOOR PLAN

GTM ARCHITECTS



1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:

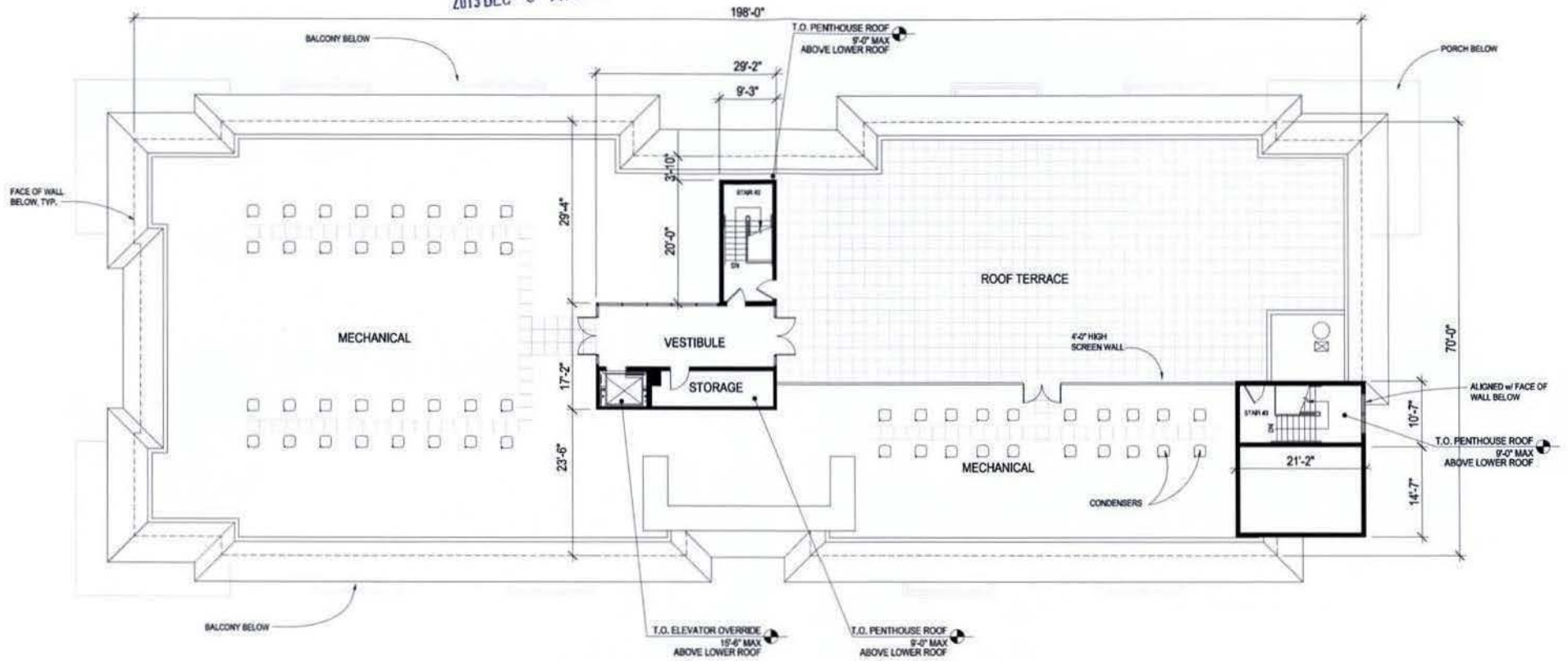
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.



TAKOMA PARK - SQUARE 3357 - THIRD FLOOR PLAN

GTM ARCHITECTS

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1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

NOTES:

1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

TAKOMA PARK - SQUARE 3357 - ROOF PLAN

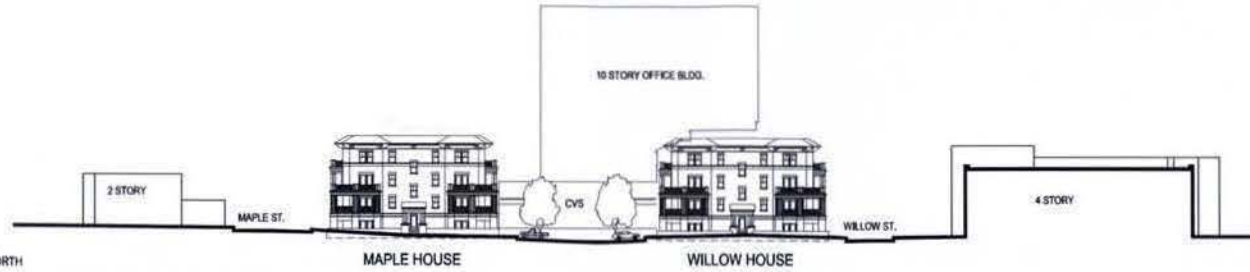


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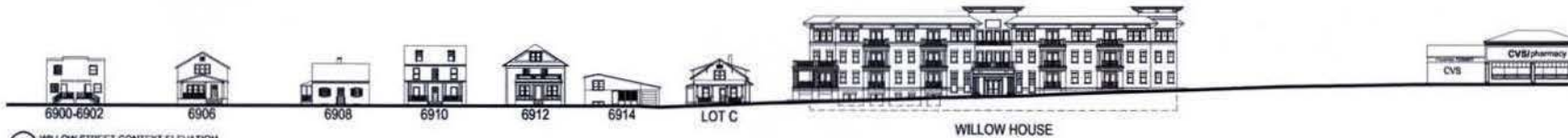
2013 DEC -5 PM 1:51



1 CONTEXT ELEVATION LOOKING SOUTH
SCALE: 1"=80'-0"



2 CONTEXT ELEVATION LOOKING NORTH
SCALE: 1"=80'-0"



3 WILLOW STREET CONTEXT ELEVATION
SCALE: 1"=80'-0"



4 MAPLE STREET CONTEXT ELEVATION
SCALE: 1"=80'-0"

TAKOMA PARK - SQUARE 3357 - CONTEXT ELEVATIONS



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- EL-321.83
T.O. ELEV OVERRIDE
- EL-307.33
ROOF LEVEL
- EL-296.0
THIRD LEVEL
- EL-284.83
SECOND LEVEL
- EL-273.67
FIRST LEVEL
- EL-270
LOBBY LEVEL
- EL-262.0
CELLAR LEVEL



1 STREET FRONT ELEVATION
SCALE: 1/16" = 1'-0"

- EL-321.83
T.O. ELEV OVERRIDE
- EL-307.33
ROOF LEVEL
- EL-296.0
THIRD LEVEL
- EL-284.83
SECOND LEVEL
- EL-273.67
FIRST LEVEL
- EL-270
LOBBY LEVEL
- EL-262.0
CELLAR LEVEL



2 INTERIOR SITE ELEVATION
SCALE: 1/16" = 1'-0"

TAKOMA PARK - SQUARE 3357 - WILLOW HOUSE ELEVATIONS

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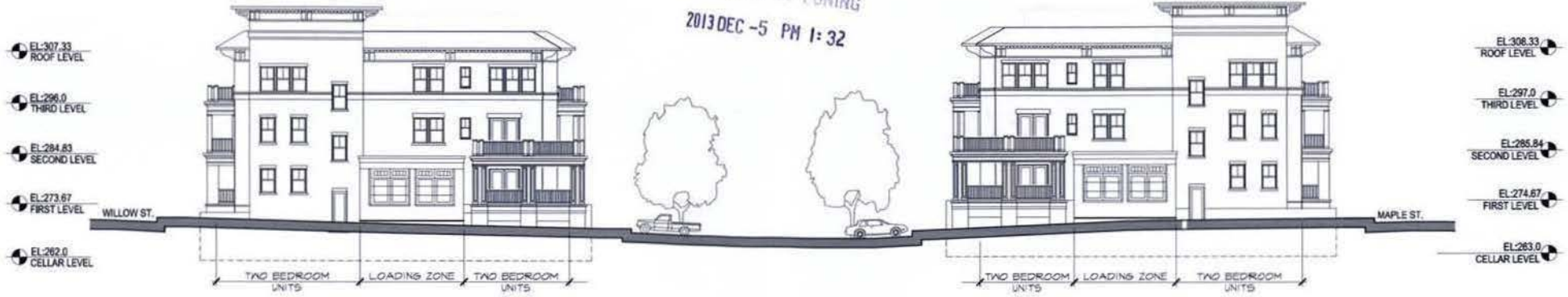
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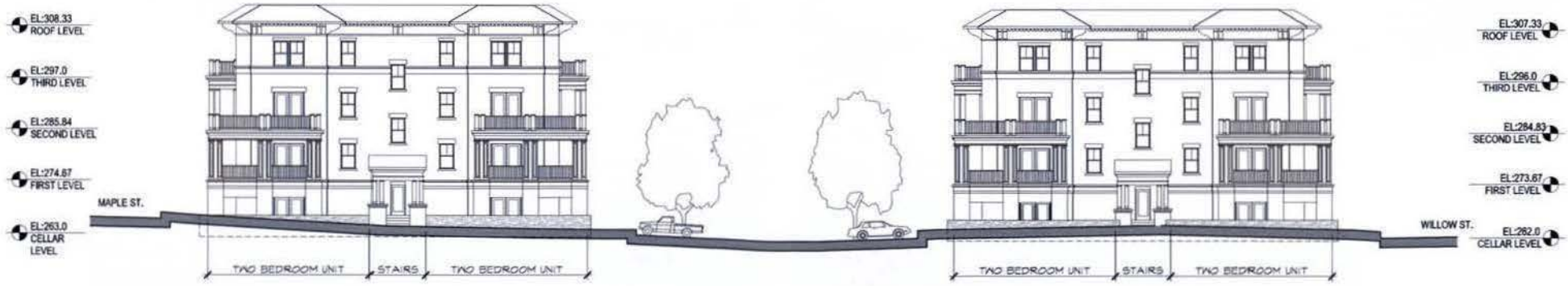


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1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TAKOMA PARK - SQUARE 3357 - BUILDING ELEVATIONS



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A300

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GT MARCHITECTS

A301



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Exhibit B



TAKOMA PARK

SQUARE 3357, WASHINGTON, D.C.
BZA SUBMISSION NOVEMBER 13, 2007
OWNER / DEVELOPER:
DOUGLAS DEVELOPMENT CORPORATION

INDEX			
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C100	DRAINAGE PLAN	A104	SECOND FLOOR PLAN
C200	DRAINAGE CALCULATIONS	A105	THIRD FLOOR PLAN
C300	DRAINAGE DETAILS	A106	ROOF PLAN
C400	PRE-DEVELOPMENT DRAINAGE AREA MAP	A200	CONTEXT ELEVATIONS
C500	POST-DEVELOPMENT DRAINAGE AREA MAP	A201	BUILDING ELEVATIONS
C600	GRADING PLAN	A202	BUILDING ELEVATIONS
		A300	RENDERING
L100	LANDSCAPE PLAN RENDERING	A301	RENDERING
L200	LANDSCAPE PLAN	A302	RENDERING

GTM

TAKOMA PARK - SQUARE 3357

G T M ARCHITECTS

ZONING TABULATIONS

LOT DATA

SQUARE: 3357
 LOTS: LOT 808, 811 & 818
 THREE (3) EXISTING 2 STORY SINGLE FAMILY RESIDENCES
 THIRTEEN (13) EXISTING VACANT LOTS
 LOTS: 26, 27, 28, 29, 40, 814, 815, 819, 820, 824, 825, 840, & 843
 ZONE: R-5-A



	REQUIRED/ALLOWED	MULTI-FAMILY BUILDINGS		RELOCATED EXISTING SINGLE FAMILY HOMES (UNDER SEPARATE "CONCEPT" REVIEW 08-24-06)			TOTAL OF ALL LOTS
		MAPLE HOUSE (lot A)	WILLOW HOUSE (lot B)	6926 WILLOW (lot C)	6949 MAPLE (lot D)	6924 WILLOW (lot E)	
NUMBER OF UNITS		38	38	1	1	1	79
GROSS FLOOR AREA		47,744SF	47,744SF	1,592SF	1,107SF	1,136SF	99,323SF
LOT AREA	4,000 SF MIN	44,208SF	44,208SF	4,040SF	4,672SF	4,751SF	101,879SF
F.A.R.	0.90 MAX (1.08 MAX w/ INCLUSIONARY ZONING)	1.08	1.08	0.39	0.24	0.24	0.97
LOT WIDTH	At least 40% of required min width (50') and not less than 14 feet	323'-0"	347'-6"	50'-6"	50'-6"	51'-2"	
BUILDING FOOTPRINT		15,834SF	15,834SF	1,155SF	1,447SF	1,155SF	35,425SF
LOT OCCUPANCY	40%	35.8%	35.8%	28.6%	31.0%	24.3%	34.8%
BUILDING HEIGHT (MEASURING HEIGHT FROM 0'-0" (+269.00))	40' MAX	40' MAX	40' MAX	+/- 25'-0"	+/- 22'-0"	+/- 20'-0"	
NUMBER OF STORIES	3 MAX	3	3	2	1	1	
REAR YARD SETBACK	20'-0" MIN	41'-7"	41'-5"	31'-2"	27'-1"	20'-0"	
SIDE YARD SETBACKS	3' per foot of height of building, but not less than 8 feet	34'-0" / 82'-7" (10'-0" MIN)	34'-0" / 74'-2" (10'-0" MIN)	8'-0" / 8'-2" (8'-0" MIN)	8'-10" / 11'-6" (8'-0" MIN)	8'-1" / 8'-6" (8'-0" MIN)	
PARKING	1 per 1 dwelling unit	1 per 1 dwelling unit = 38 Spaces	1 per 1 dwelling unit = 38 Spaces	1 per 1 dwelling unit	1 per 1 dwelling unit	1 per 1 dwelling unit	79 Spaces
LOADING	None required since less than 50 dwelling units per building	Loading dock and zone provided Loading Dock Size = 12' x 30'	Loading dock and zone provided Loading Dock Size = 12' x 30'	N/A	N/A	N/A	

ALL PLANS ARE SUBJECT TO CHANGE PENDING FINAL APPROVAL BY HPRB



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TAKOMA PARK - SQUARE 3357 - AERIAL SITE PHOTO

G T M A R C H I T E C T S



1 EXISTING SITE ALONG WILLOW STREET



2 INTERSECTION OF WILLOW STREET AND CARROLL AVENUE



3 MAPLE STREET LOOKING NORTH



4 HOUSE AT 6926 WILLOW STREET TO BE RELOCATED



5 HOUSE AT 6924 WILLOW STREET TO BE RELOCATED



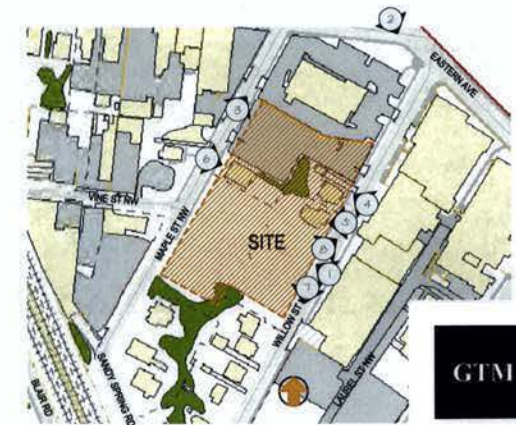
6 HOUSE AT 6949 MAPLE STREET TO BE RELOCATED



7 WILLOW STREET LOOKING NORTH

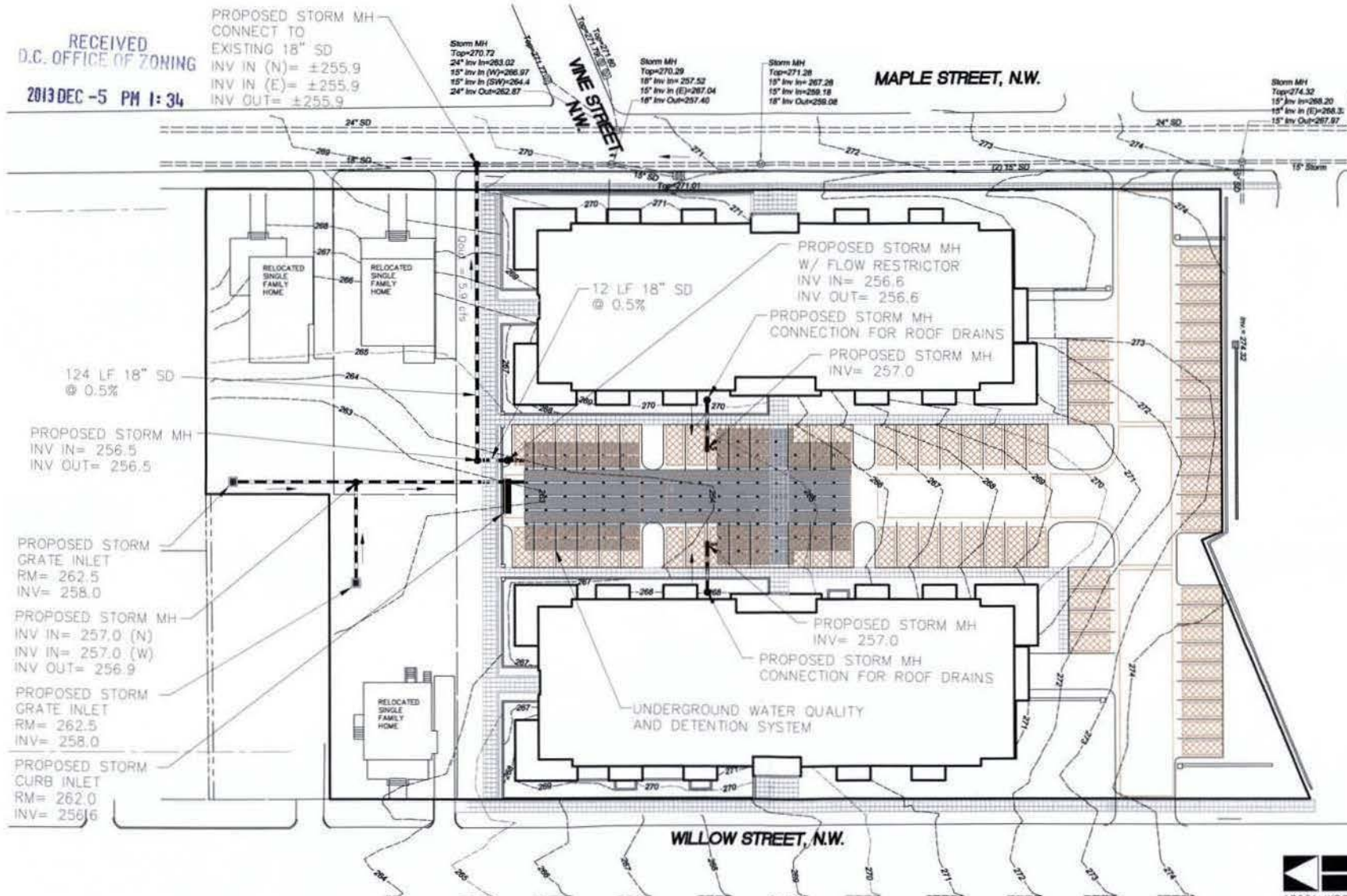


8 WILLOW STREET LOOKING SOUTH



TAKOMA PARK - SQUARE 3357 - SITE PHOTOS

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- LEGEND**
- EXISTING STORM PIPE
 - PROPOSED STORM PIPE
 - EXISTING STORM MANHOLE
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM GRATE INLET
 - PROPOSED STORM CURB INLET



TAKOMA PARK - SQUARE 3357 DRAINAGE PLAN

Kimley-Horn and Associates, Inc.
13221 WOODLAND PARK ROAD, SUITE 400
HERNDON, VA 20171
TEL: 703.674.1300 FAX: 703.674.1350

STORMWATER QUANTITY CONTROL

NRCS TR-55 Hydrology Method

Where: V_s = Storage Volume
 q_p = Peak Outflow Discharge
 V_r = Runoff Volume
 q_r = Peak Inflow Discharge

Pre-Development Run-Off
 2-Year Storm
 $Q_{p,2}$ = 4.2 cfs

Post-Development Run-Off
 2-Year Storm
 $Q_{p,2}$ = 6.9 cfs

15-Year Storm
 $Q_{p,15}$ = 5.9 cfs

15-Year Storm
 $Q_{p,15}$ = 9.8 cfs

Determine q_p/q_r

2-Year Storm
 q_p/q_r = 0.60

15-Year Storm
 q_p/q_r = 0.60

Determine V_s/V_r (from Figure 6-1 TR-55)

V_s/V_r = 0.24

Post-Development Curve Number

A_1 = 0.54 acres
 CN_1 = 98 (Roads and Parking Lot Pavement)

A_2 = 1.01 acres
 CN_2 = 90 (Medium Density Apartment House, assuming type C soils)

A_3 = 0.10 acres
 CN_3 = 90 (1/8 Acre Single Family Homes, assuming type C soils)

A_4 = 0.21 acres
 CN_4 = 79 (Open Space, assuming fair condition and type C soils)

A_5 = 0.51 acres
 CN_5 = 85 (Open Pavement)

Weighted Curve Number CN_w = 90

Determine Rainfall P

(From Table A.2 DOH Storm Water Management Guidebook)

Rainfall, P_{2-hr} (24-hour) = 2.17 in

Rainfall, P_{15-hr} (24-hour) = 6.79 in

Determine Runoff Q

$Q = (P-0.25)^2 / (P+0.85)$

Where: Q = Runoff (in)
 P = Rainfall (in)
 S = Potential Maximum Retention after Runoff Begins (in)

$S = (1000CN) - 10$

$S = 1.14$

Runoff $Q_{(2-hr)}$ = 1.22 in
 Runoff $Q_{(15-hr)}$ = 5.59 in

Determine Runoff Volume V_r

$V_r = 53.33Q(A_w)$

Where: V_r = Runoff Volume (acre-ft)
 Q = Runoff (in)
 A_w = Drainage Area (sq mi)
 53.33 = Conversion factor from (in-sq mi) to (acre-ft)

$V_{(2-hr)}$ = 0.24 acre-ft
 $V_{(15-hr)}$ = 1.10 acre-ft

Determine Storage Volume V_s

$V_s = V_r \times (V_s/V_r)$

Where: V_s = Storage Volume (ac-ft)
 V_r = Runoff Volume (ac-ft)

$V_{s(2-hr)}$ = 0.06 ac-ft 2527 cf
 $V_{s(15-hr)}$ = 0.27 ac-ft 11544 cf

WATER QUALITY

Water Quality Volume
 $V_w = (R \times I_p) / 12$

Where: V_w = Water Quality Volume (cubic feet)
 R = Runoff Depth (inches)
 I_p = Impervious Area (square feet)
 12 = Conversion Factor

Total Site Runoff Depth
 0.5 inches = Parking lots, city streets, highspeed roads
 0.3 inches = Rooftops, sidewalks, pedestrian plaza areas

A_1 = 0.75 acres
 R_1 = 0.50 (Parking lots, city streets, highspeed roads)

A_2 = 1.62 acres
 R_2 = 0.30 (Rooftops, sidewalks, pedestrian plaza areas)

Weighted Runoff Depth R_w = 0.36 inches

STORMWATER QUANTITY HYDROLOGY

Stormwater Rational Method

$Q = CIA$

Where: Q = Peak flow (cfs)
 C = Runoff Coefficient
 I = Rainfall Intensity (in/hr)
 A = Drainage Area (acres)
 T = Time of Concentration (hr)

Total Site Pre-Development Run-Off

T_c = 15 min

Pre-Development Runoff Coefficient

A_1 = 0.57 acres
 C_1 = 0.9 (Concrete Pavement)

A_2 = 0.12 acres
 C_2 = 0.65 (One-Family Detached Dwelling)

A_3 = 1.67 acres
 C_3 = 0.3 (Grass)

Weighted Runoff Coefficient C_w = 0.46

Pre-Development 2-Year Storm

$Q_{(2-hr)} = CIA$ C = Runoff Coefficient
 I = rainfall Intensity (in/hr) - 2-hr frequency 20min
 A = Area (acres)

C = 0.46 weighted runoff coefficient
 $I_{(2-hr)}$ = 3.83 in/hr
 A = 2.36 acres

$Q_{(2-hr)}$ = 4.2 cfs Peak Flow

Pre-Development 15-Year Storm

$Q_{(15-hr)} = CIA$ C = Runoff Coefficient
 I = rainfall Intensity (in/hr) - 15-hr frequency 20min
 A = Area (acres)

C = 0.46 weighted runoff coefficient
 $I_{(15-hr)}$ = 5.44 in/hr
 A = 2.36 acres

$Q_{(15-hr)}$ = 5.9 cfs Peak Flow

Total Site Water Quality Volume

$V_w = (R \times I_p) / 12$

Weighted R = 0.36 inches
 I_p = 103,237 square feet

V_w = 3,125 cubic feet

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Total Site Post-Development Run-Off

T_c = 9 min

Post-Development Runoff Coefficient

A_1 = 0.51 acres
 C_1 = 0.9 (Concrete Pavement)

A_2 = 0.10 acres
 C_2 = 0.65 (One-Family Detached Dwelling)

A_3 = 0.51 acres
 C_3 = 0.3 (Grass)

A_4 = 1.01 acres
 C_4 = 0.75 (Building)

A_5 = 0.21 acres
 C_5 = 0.6 (Open Cell Pavers)

Weighted Runoff Coefficient C_w = 0.67

Post-Development 2-Year Storm

$Q_{(2-hr)} = CIA$ C = Runoff Coefficient
 I = rainfall Intensity (in/hr) - 2-hr frequency 5min
 A = Area (acres)

C = 0.67 weighted runoff coefficient
 $I_{(2-hr)}$ = 4.44 in/hr
 A = 2.36 acres

$Q_{(2-hr)}$ = 6.9 cfs Peak Flow

Post-Development 15-Year Storm

$Q_{(15-hr)} = CIA$ C = Runoff Coefficient
 I = rainfall Intensity (in/hr) - 15-hr frequency 5min
 A = Area (acres)

C = 0.67 weighted runoff coefficient
 $I_{(15-hr)}$ = 6.3 in/hr
 A = 2.36 acres

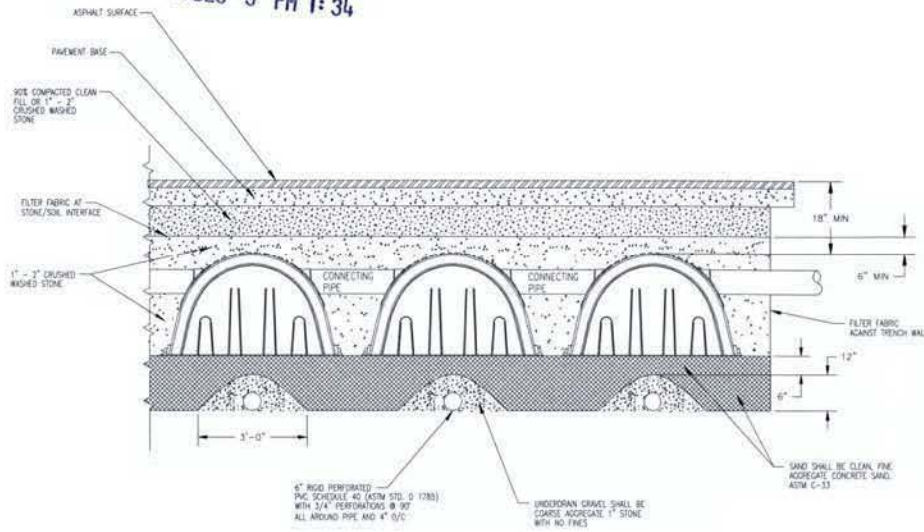
$Q_{(15-hr)}$ = 9.8 cfs Peak Flow

Required Water Quality Volume	3,125 cu ft
Required Storage Volume	11,544 cu ft
Total Volume Required	14,669 cu ft
Volume Provided	14,720 cu ft

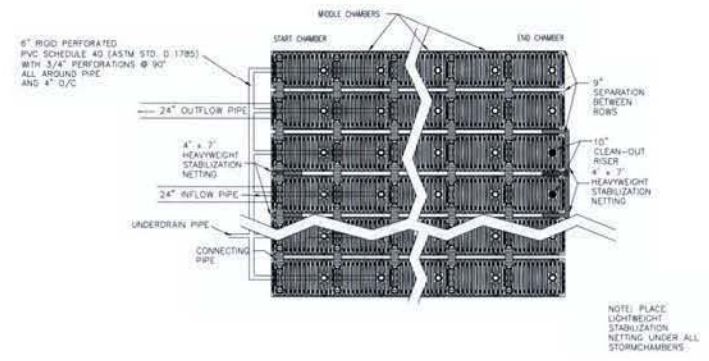
 **Kimley-Horn and Associates, Inc.**
 13221 WOODLAND PARK ROAD, SUITE 400
 HERNDON, VA 20171
 TEL: 703.674.1300 FAX: 703.674.1350

TAKOMA PARK - SQUARE 3357 DRAINAGE CALCULATIONS

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1 STORM CHAMBER SECTION
NOT TO SCALE



2 TYPICAL STORM CHAMBER LAYOUT
NOT TO SCALE

STORMCHAMBER SYSTEM CHART										
SYSTEM	NO. WIDE	NO. LONG	MIN. TRENCH DEPTH	MIN. TRENCH WIDTH	MIN. TRENCH LENGTH	MIN. SQUARE FT OF SYSTEM	NUMBER OF CHAMBERS	CUBIC FEET OF STORAGE	SIZE OF CONNECTING PIPES	NUMBER OF CHAMBER SECTIONS LONG WITH CONNECTING PIPES
A	10*	17**	5 FT	60 FT	133 FT	6,395	128	14,720	12"	17

NOTE: ALL SYSTEMS TO HAVE MINIMUM 6" OF STONE ABOVE AND 6" BELOW, IN ADDITION TO AN UNDERDRAIN SYSTEM
 * PORTIONS OF THE SYSTEM ARE 4 OR 8 CHAMBERS WIDE.
 ** 2 ROWS OF THE SYSTEM ARE ONLY 4 CHAMBERS LONG, 4 ARE ONLY 6 CHAMBERS LONG, AND ANOTHER 4 ARE ONLY 7 CHAMBERS LONG.

TAKOMA PARK - SQUARE 3357 DRAINAGE DETAILS

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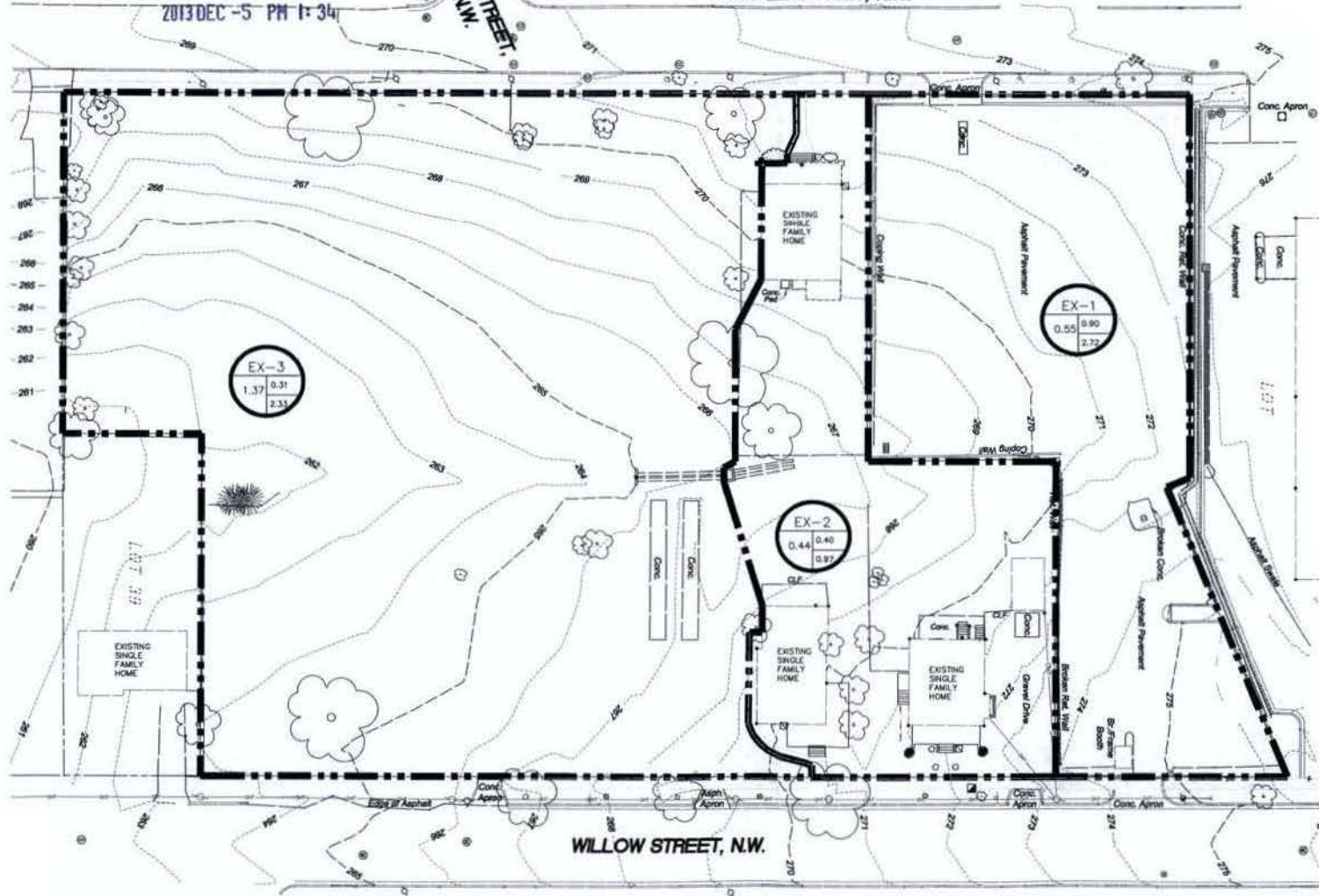
C300

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VINE STREET,
N.W.

MAPLE STREET, N.W.

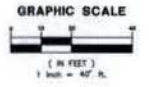


LEGEND



A = BASIN DESIGNATION
B = AREA IN ACRES
C = RUNOFF COEFFICIENT
D = PEAK RUNOFF IN CFS (15-YEAR)

--- DRAINAGE BASIN



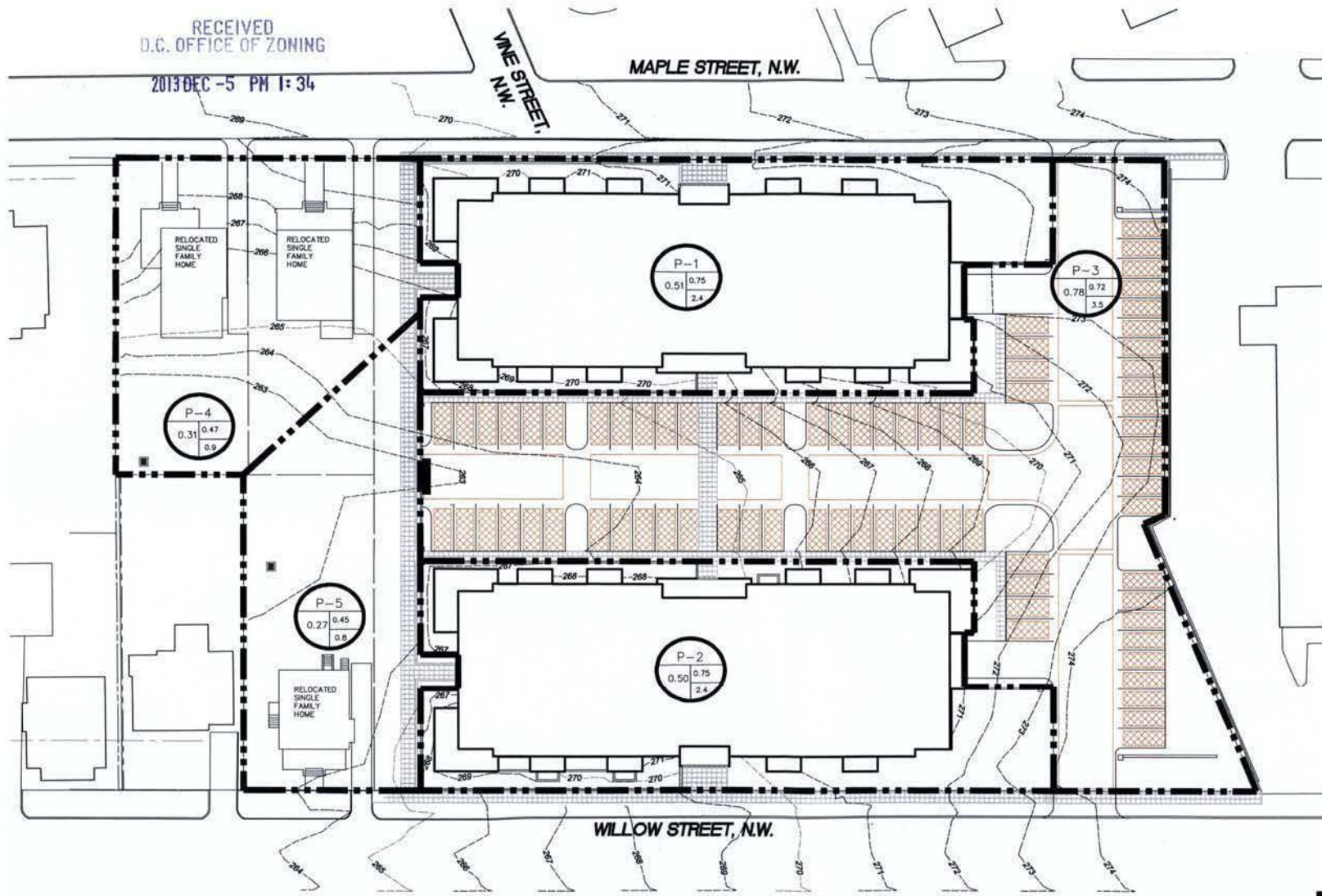
TAKOMA PARK - SQUARE 3357 PRE-DEVELOPMENT DRAINAGE AREA MAP

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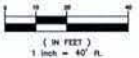


A = BASIN DESIGNATION
B = AREA IN ACRES
C = RUNOFF COEFFICIENT
D = PEAK RUNOFF IN CFS (15-YEAR)

--- DRAINAGE BASIN



GRAPHIC SCALE



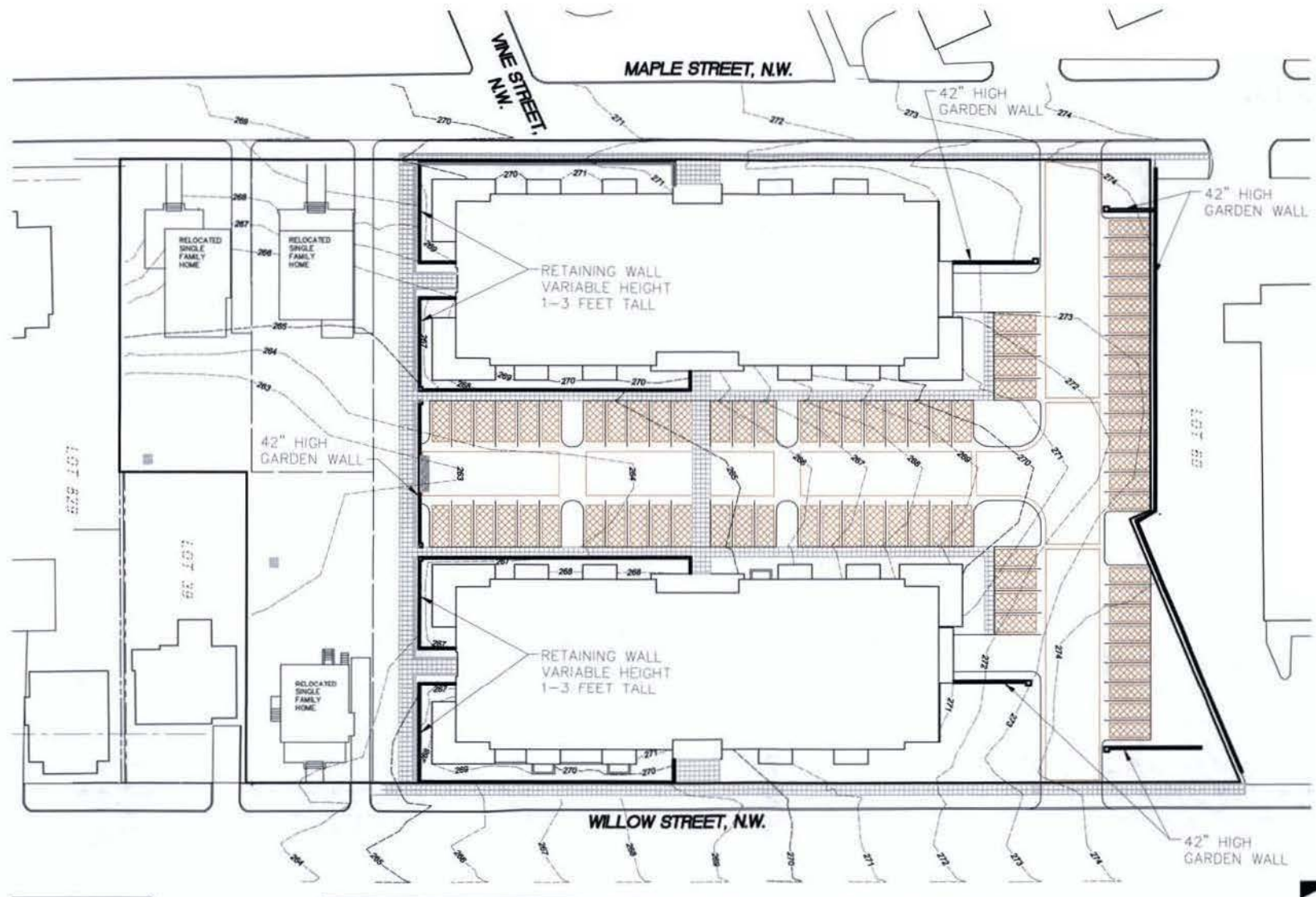
TAKOMA PARK - SQUARE 3357 POST-DEVELOPMENT DRAINAGE AREA MAP

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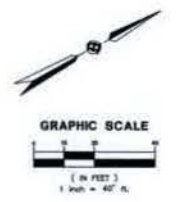
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LEGEND
— 208 — MINOR CONTOUR
— 270 — MAJOR CONTOUR



TAKOMA PARK - SQUARE 3357 GRADING PLAN

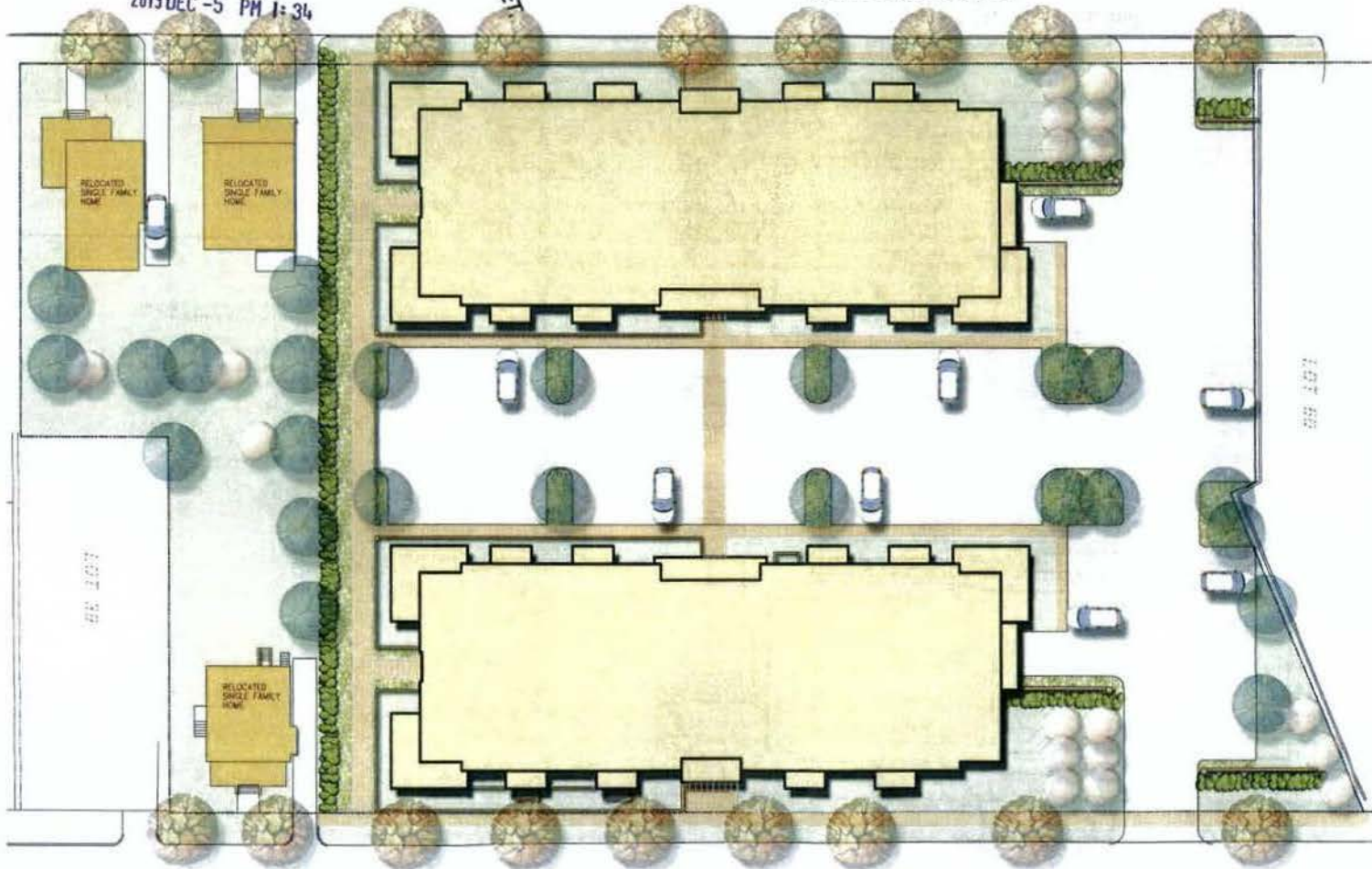
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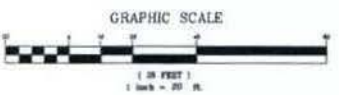
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VINE STREET
N.W.

MAPLE STREET, N.W.



WILLOW STREET, N.W.



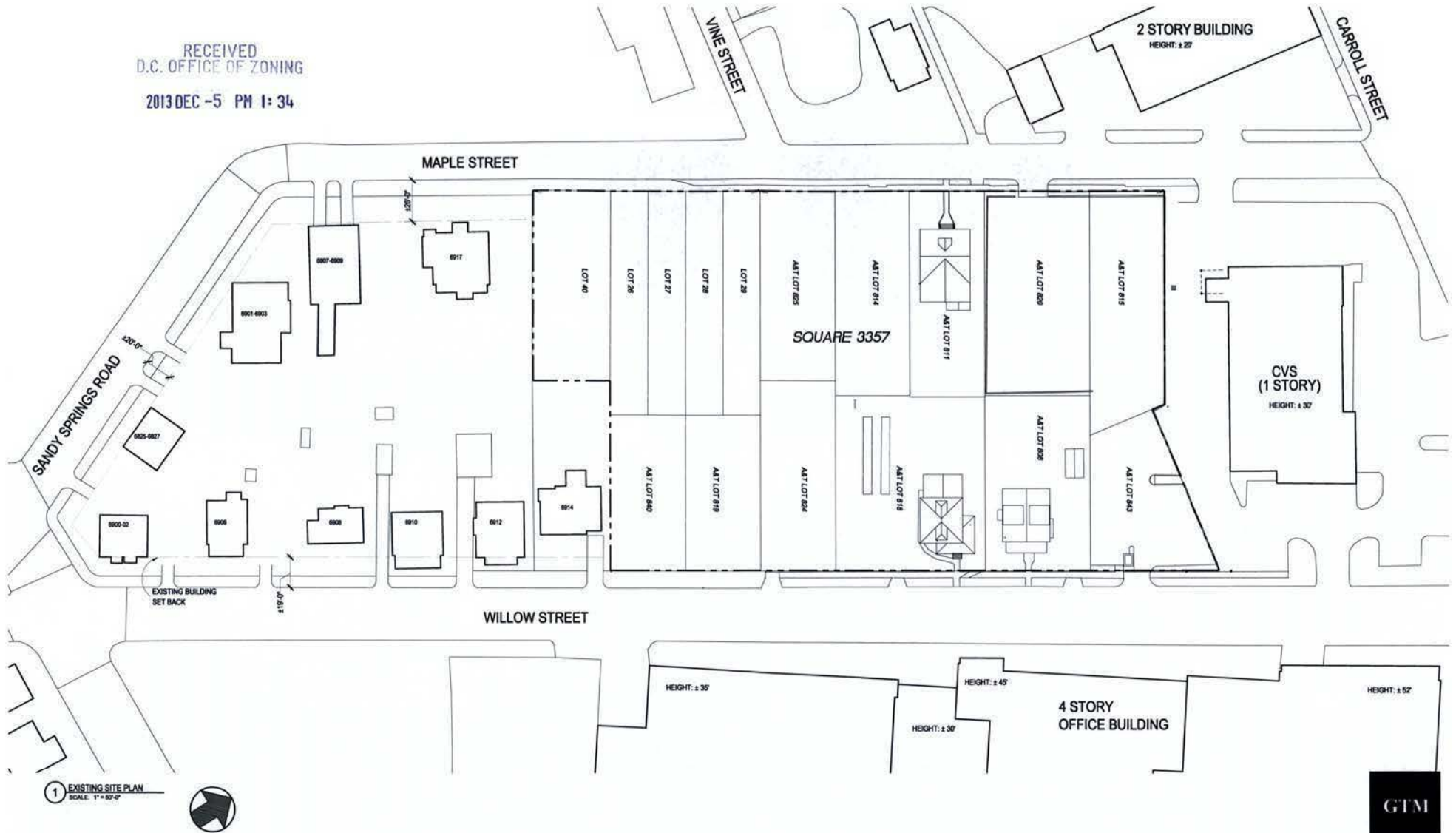
TAKOMA PARK - SQUARE 3357 LANDSCAPE PLAN RENDERING

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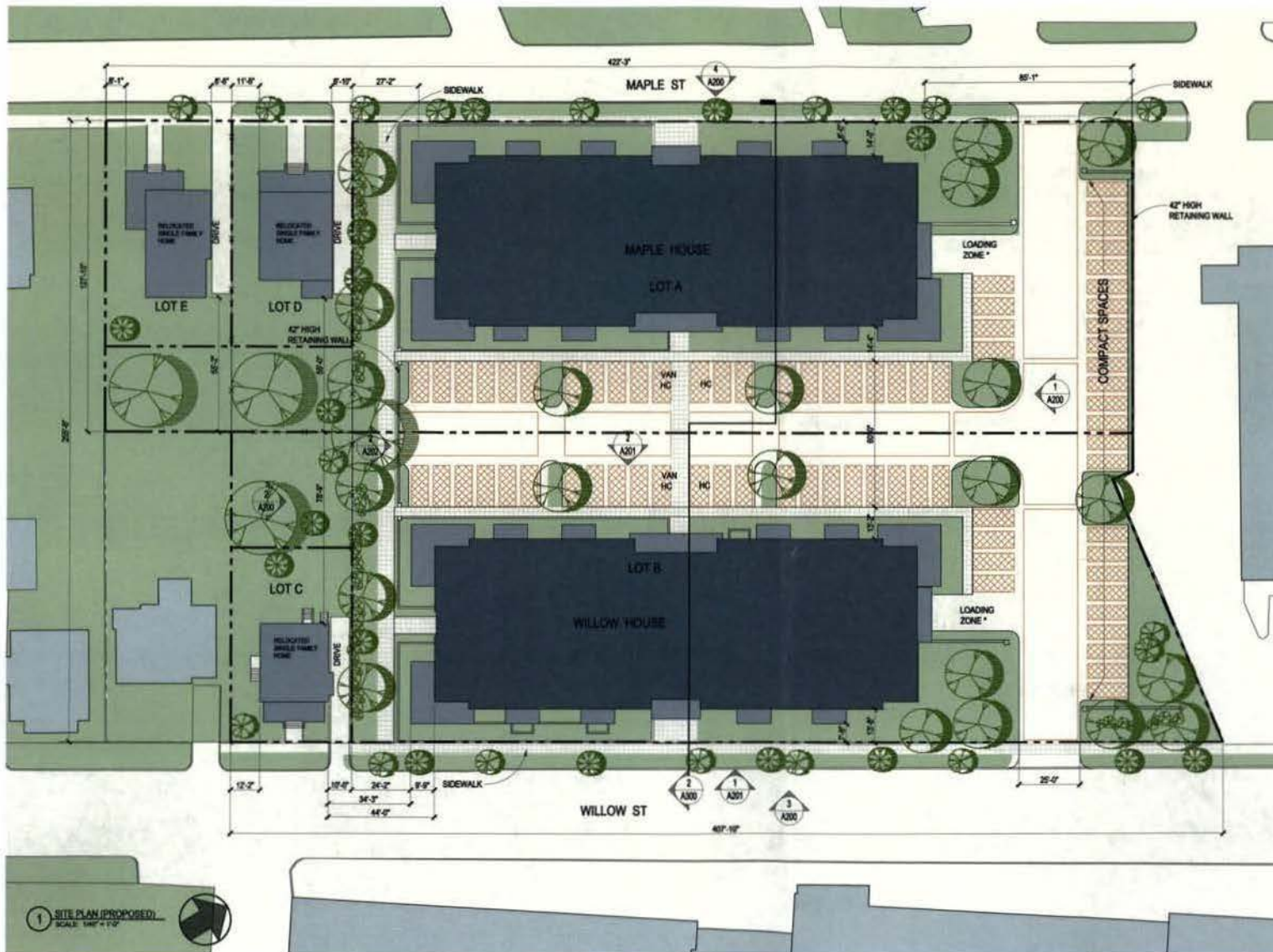
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TAKOMA PARK - SQUARE 3357 - EXISTING SITE CONDITIONS

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PARKING COUNT	
STANDARD SPACES	48
COMPACT CARS	24
HANDICAPPED	2
VAN-ACCESSIBLE	2
TOTAL	76

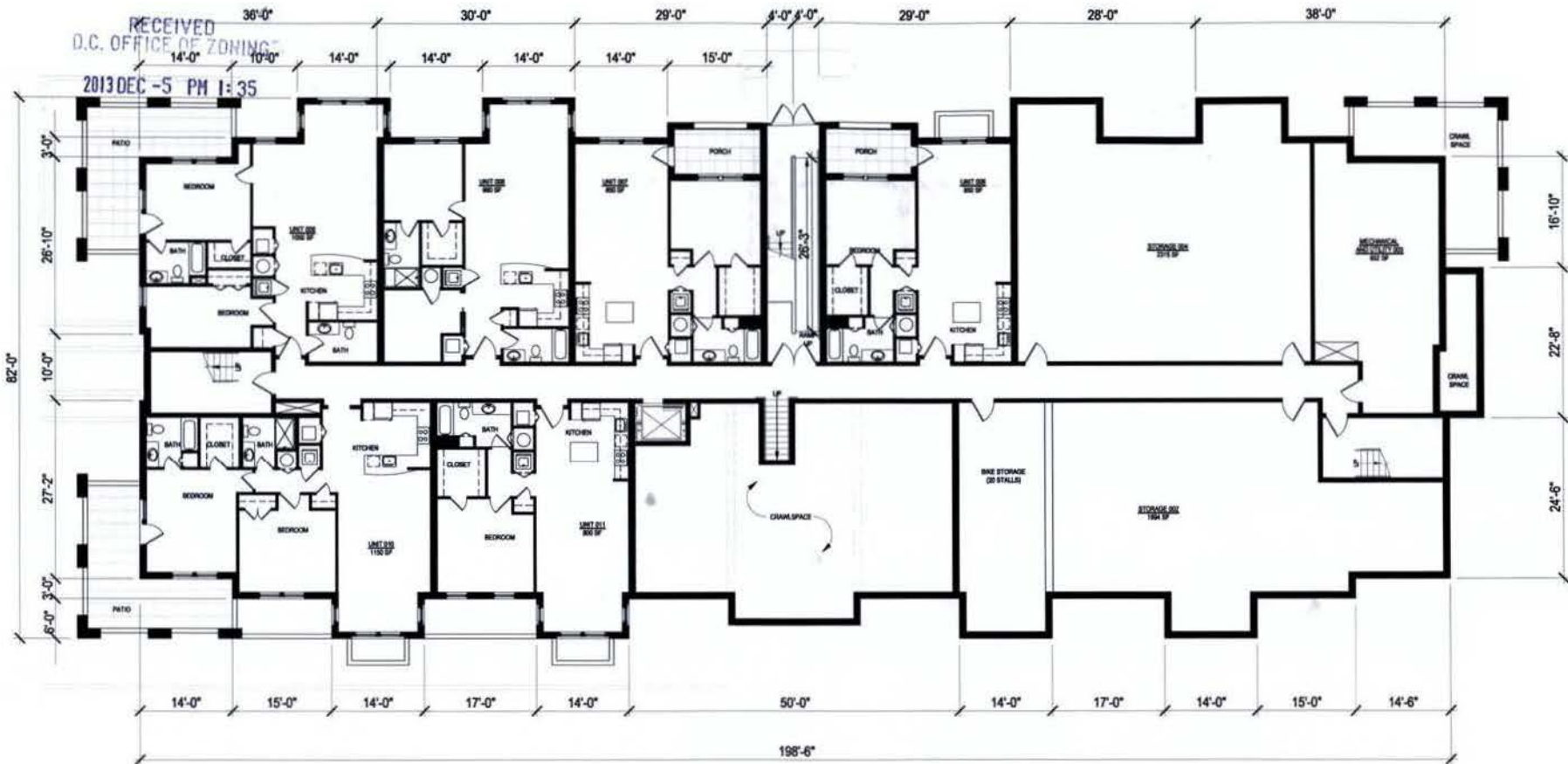
PAVED PARKING AREA: 26,054sf
 REQUIRED GREEN SPACE (5%): 1,303sf
 PROVIDED GREEN SPACE (lot A&B): 25,611sf

1 SITE PLAN (PROPOSED)
SCALE: 1/8" = 1'-0"



TAKOMA PARK - SQUARE 3357 - SITE PLAN AND PARKING

G T M ARCHITECTS



TAKOMA PARK - SQUARE 3357 - CELLAR FLOOR PLAN

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PROJECT NO: 06.0069

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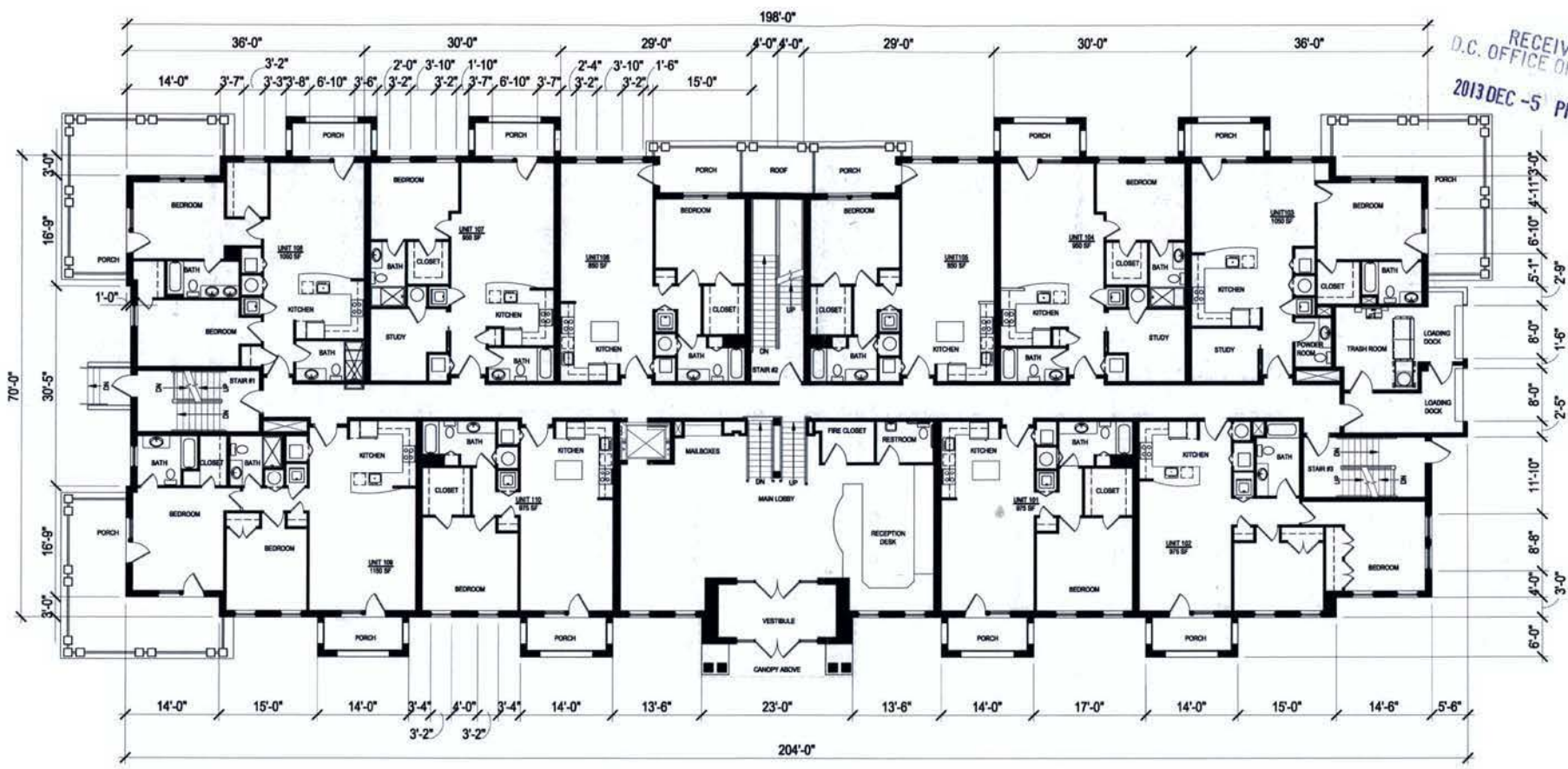
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1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



NOTES:
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.



TAKOMA PARK - SQUARE 3357- FIRST FLOOR PLAN

G T M ARCHITECTS

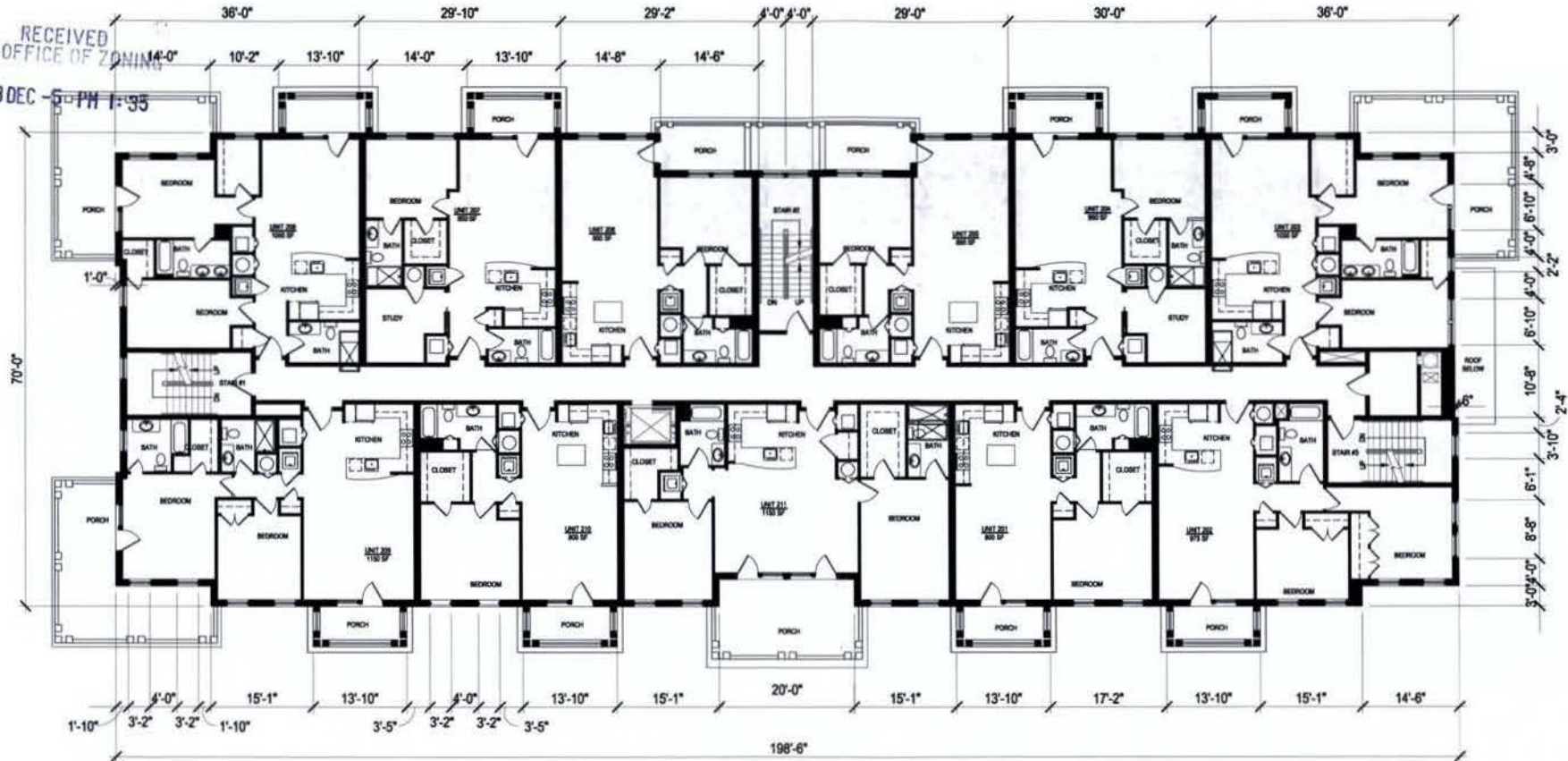
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1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



NOTES:
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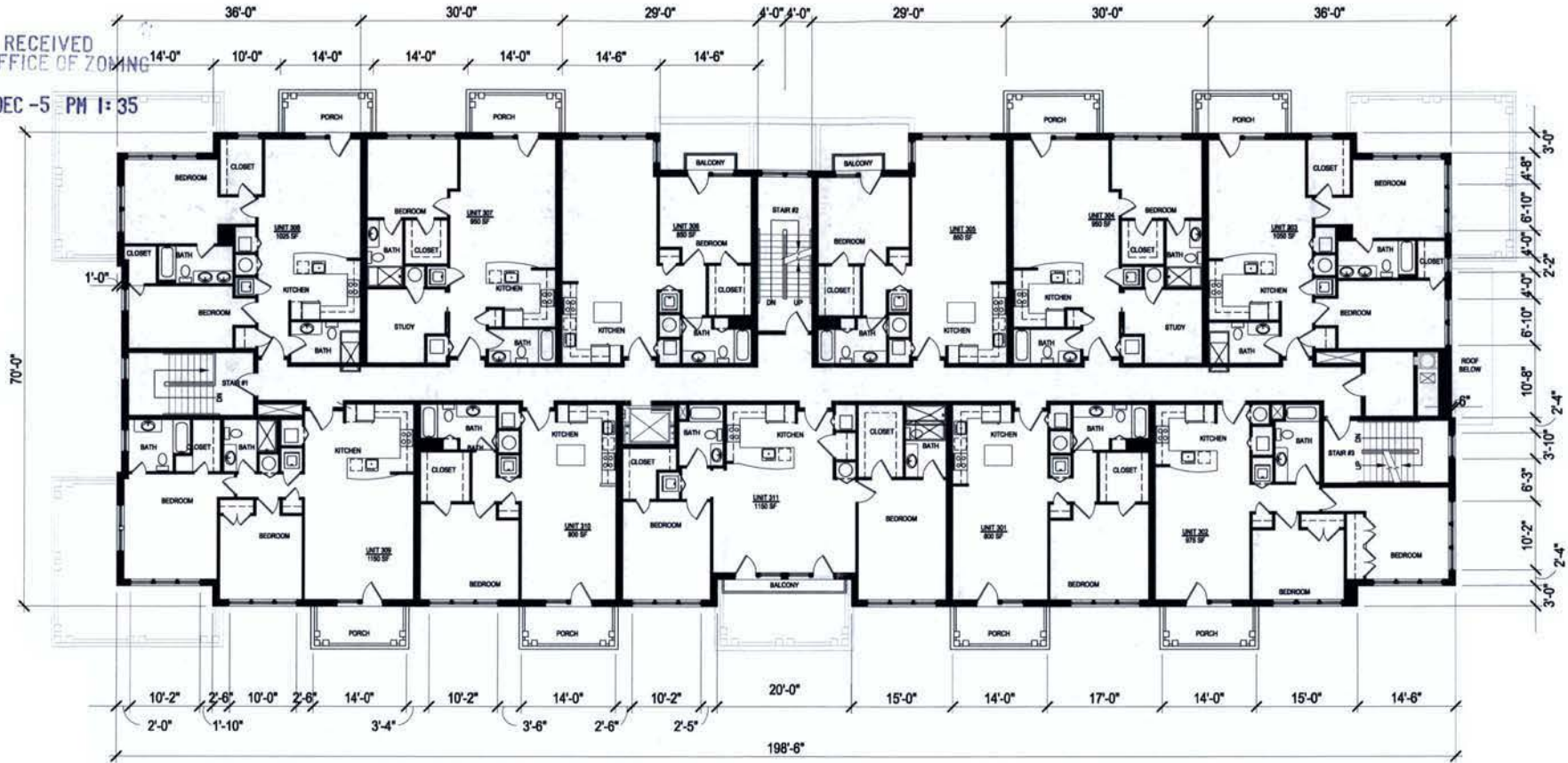


TAKOMA PARK - SQUARE 3357- SECOND FLOOR PLAN

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1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



NOTES:
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.



TAKOMA PARK - SQUARE 3357 - THIRD FLOOR PLAN

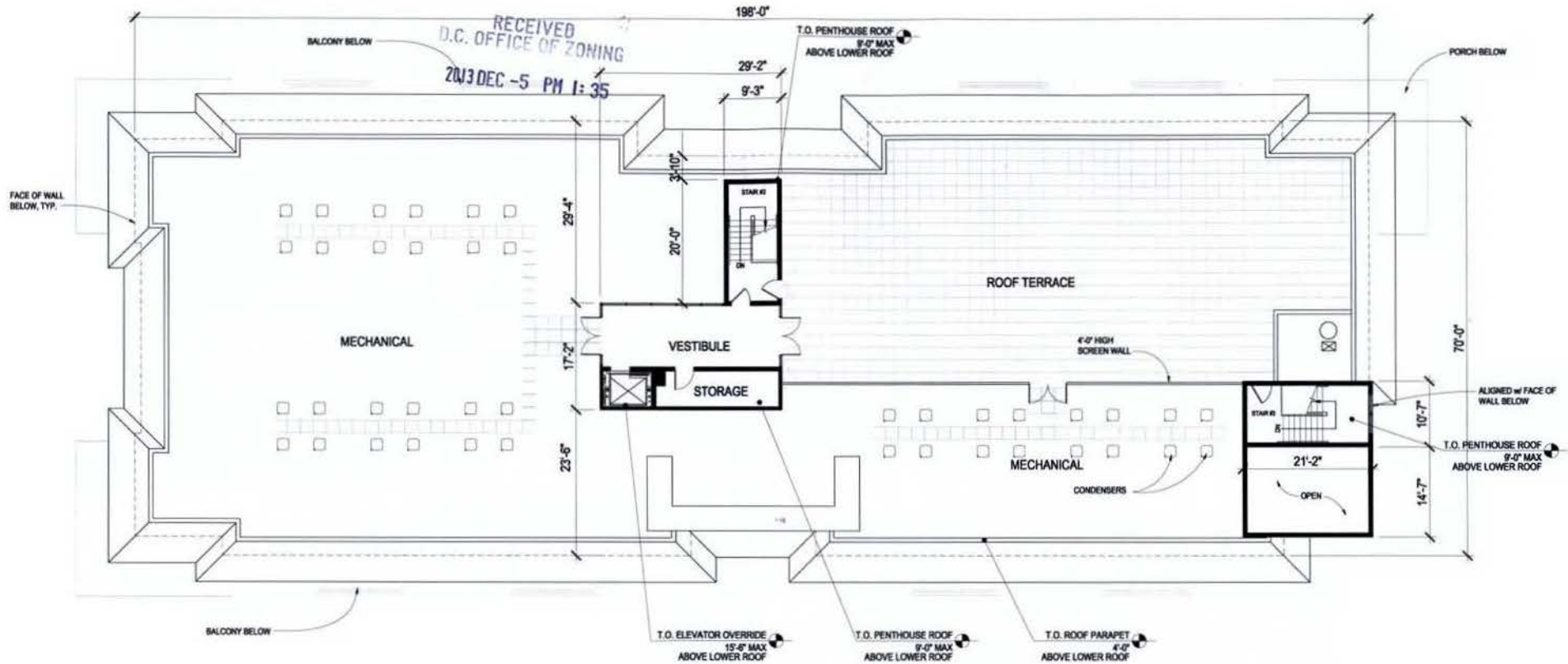
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1 ROOF PLAN
SCALE: 1/16" = 1'-0"



NOTES:
1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.



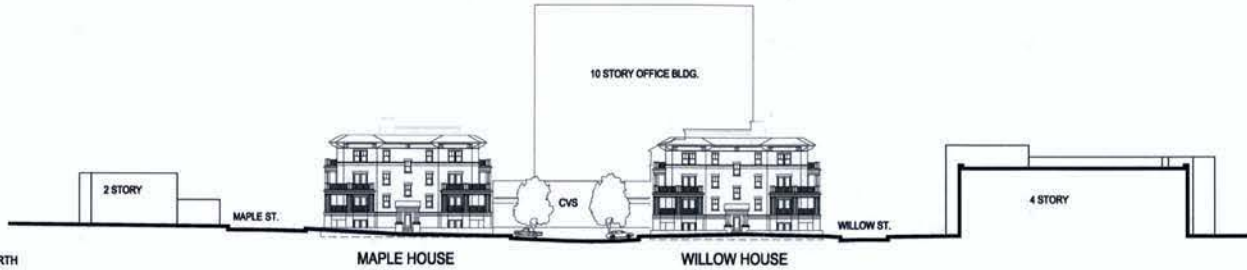
TAKOMA PARK - SQUARE 3357- ROOF PLAN

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1 CONTEXT ELEVATION LOOKING SOUTH
 SCALE: 1" = 80'-0"



2 CONTEXT ELEVATION LOOKING NORTH
 SCALE: 1" = 80'-0"



3 WILLOW STREET CONTEXT ELEVATION
 SCALE: 1" = 80'-0"



4 MAPLE STREET CONTEXT ELEVATION
 SCALE: 1" = 80'-0"

TAKOMA PARK - SQUARE 3357 CONTEXT ELEVATIONS



EL-321.83
T.O. ELEV OVERRIDE

EL-307.33
ROOF LEVEL

EL-296.0
THIRD LEVEL

EL-284.83
SECOND LEVEL

EL-273.67
FIRST LEVEL

EL-270
LOBBY LEVEL

EL-262.0
CELLAR LEVEL

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1 STREETFRONT ELEVATION
SCALE: 3/32" = 1'-0"

EL-321.83
T.O. ELEV OVERRIDE

EL-307.33
ROOF LEVEL

EL-296.0
THIRD LEVEL

EL-284.83
SECOND LEVEL

EL-273.67
FIRST LEVEL

EL-270
LOBBY LEVEL

EL-262.0
CELLAR LEVEL



2 INTERIOR SITE ELEVATION
SCALE: 3/32" = 1'-0"

TAKOMA PARK - SQUARE 3357 WILLOW HOUSE ELEVATIONS

G T M ARCHITECTS

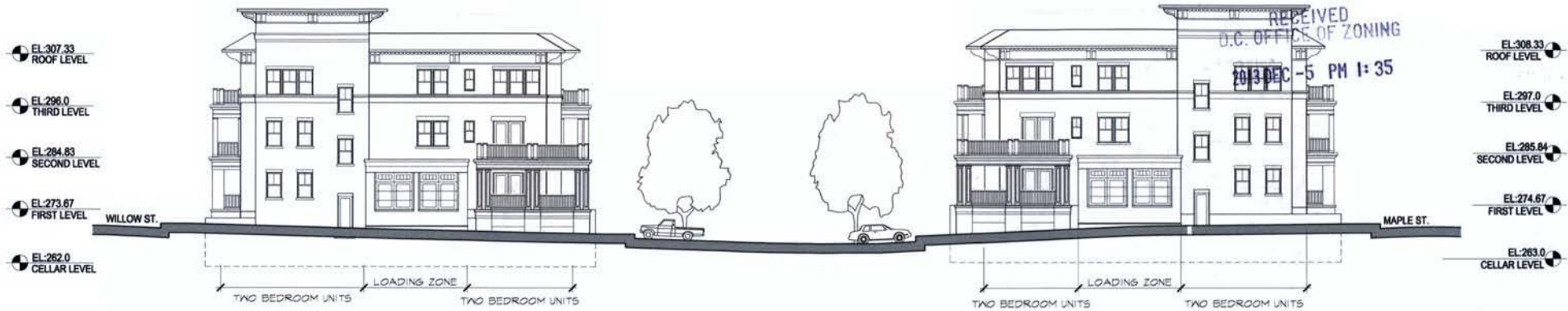
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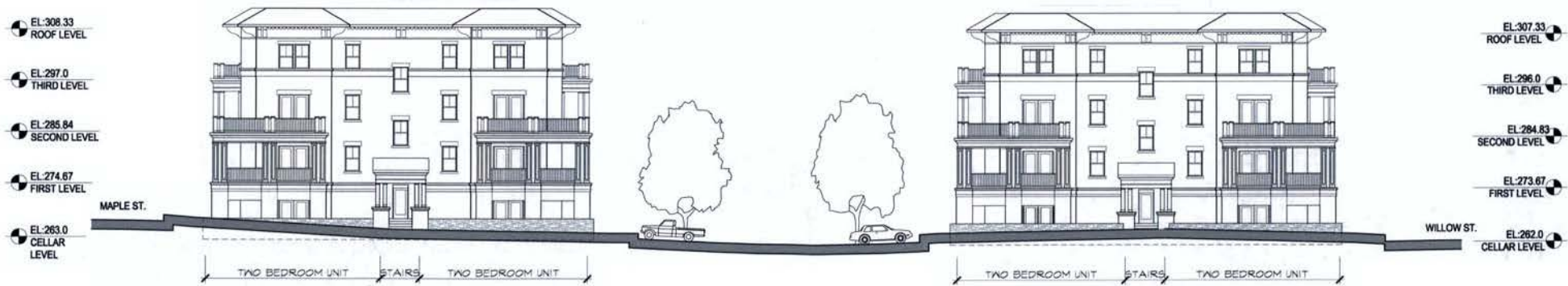
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1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



TAKOMA PARK - SQUARE 3357- BUILDING ELEVATIONS

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