



TAKOMA PARK

SQUARE 3357, WASHINGTON, D.C.

BZA SUBMISSION: SEPTEMBER 6, 2013

OWNER / DEVELOPER:
DOUGLAS DEVELOPMENT CORPORATION

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 17679
EXHIBIT NO. 69

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TAKOMA PARK - SQUARE 3357

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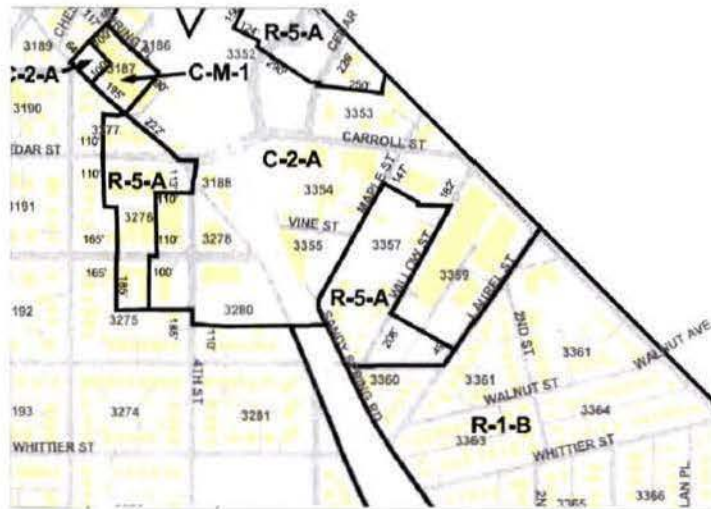
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Board of Zoning Adjustment
 District of Columbia
 CASE NO. 17679
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ZONING TABULATIONS

LOT DATA
SQUARE: 3357
LOTS: LOT 808, 811 & 818 TWO (2) EXISTING 2 STORY SINGLE FAMILY RESIDENCES
LOTS: 26, 27, 28, 29, 40, 814, 815, 819, 820, 824, 825, 840, & 843 FOURTEEN (14) EXISTING VACANT LOTS
ZONE: R-5-A



	REQUIRED/ALLOWED	MULTI-FAMILY BUILDINGS		RELOCATED EXISTING SINGLE FAMILY HOMES		TOTAL OF ALL LOTS
		MAPLE HOUSE (lot A)	WILLOW HOUSE (lot B)	6949 MAPLE (lot C)	6924 WILLOW (lot D)	
NUMBER OF UNITS		55	55	1	1	112
GROSS FLOOR AREA		47,744SF	47,744SF	1,107SF	1,136SF	97,731SF
LOT AREA	4,000 SF MIN	44,508SF	44,513SF	6,003SF	7,660SF	102,684SF
F.A.R.	0.90 MAX (1.08 MAX w/ INCLUSIONARY ZONING)	1.07	1.07	0.18	0.15	0.95
LOT WIDTH	40'-0"	361'-8"	343'-0"	65'-0"	60'-0"	
BUILDING FOOTPRINT		15,834SF	15,834SF	1,447SF	1,155SF	34,270SF
LOT OCCUPANCY	40%	35.6%	35.6%	24.1%	15.1%	33.4%
BUILDING HEIGHT (MEASURING HEIGHT FROM 0'-0" (+269.00))	40' MAX	40' MAX	40' MAX	+/- 22'-0"	+/- 20'-0"	
NUMBER OF STORIES	3 MAX	3	3	1	1	
REAR YARD SETBACK	20'-0" MIN	40'-9"	34'-9"	21'-6"	55'-5"	
SIDE YARD SETBACKS		17'-5" / 10'-10" (10'-0" MIN)	7'-3" / 7'-6" (10'-0" MIN)	20'-0" / 14'-0" (8'-0" MIN)	8'-1" / 17'-6" (8'-0" MIN)	
PARKING	1 per 1 dwelling unit	1 per 1 dwelling unit = 110 Spaces		1 per 1 dwelling unit	1 per 1 dwelling unit	112 Spaces
LOADING	1 - 55' Berth 1 - Service/Delivery	Loading zone provided Loading Dock Area = 12' x 30'	Loading zone provided Loading Dock Area = 12' x 30'	N/A	N/A	

ALL PLANS ARE SUBJECT TO CHANGE PENDING FINAL APPROVAL BY HPRB

TAKOMA PARK - SQUARE 3357 - ZONING AND TABULATION

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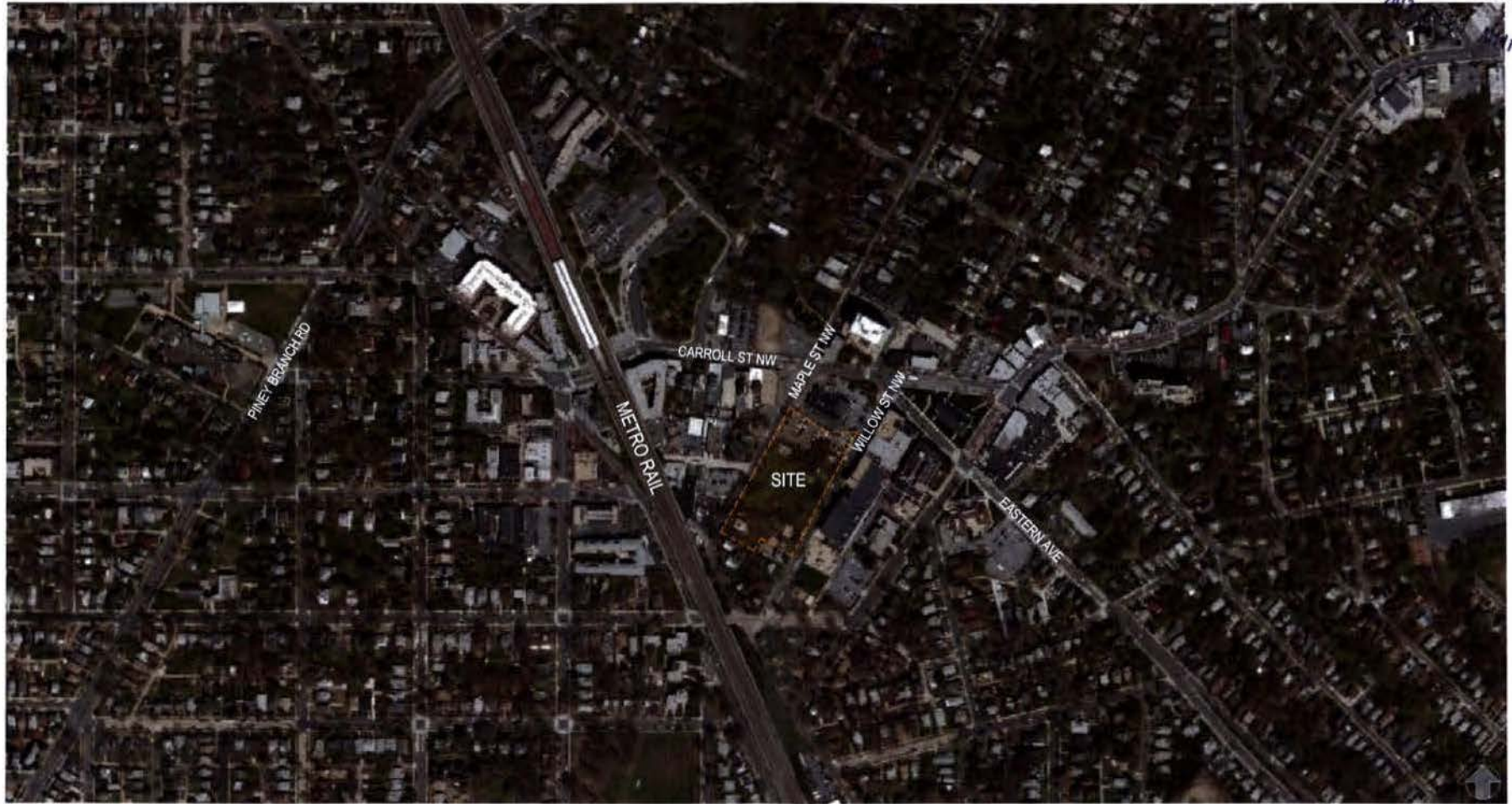
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PROPOSED STORM MH
CONNECT TO EX 18" SD
INV IN (N) = 55.70
INV IN (E) = 57.36
INV OUT = 55.70

MAPLE STREET, NW

MAPLE STREET, NW

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PROPOSED STORM
GRATE INLET
RIM = 64.5
INV = 63.5

PROPOSED STORM MH
RIM = 66.5
INV = 63.1

PROPOSED STORM
GRATE INLET
RIM = 65.4
INV = 61.4

PROPOSED STORM
GRATE INLET
RIM = 63.8
INV = 62.8

PROPOSED STORM MH
RIM = 69.2
INV = 62.0

PROPOSED STORM MH
RIM = 71.8
INV = 66.0

PROPOSED STORM
GRATE INLET
RIM = 71.5
INV = 67.5

ZONE R-5-A
SO 3357 LOT 003B
#6914

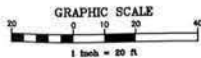
SO 3357 LOT 60
112 CARROLL ST, NW
ZONING TR OVERLAY/C-2-A

EXISTING LEGEND

- CONCRETE CURB/GUTTER
- OVERHEAD ELECTRIC LINES
- WATER LINE
- STORM DRAIN LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- DA DRAINAGE DEVICE
- CONTOUR
- ELEVATION
- TREE CANOPY
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TREE

WILLOW STREET, NW

WILLOW STREET, NW



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TAKOMA PARK - SQUARE 3357 DRAINAGE PLAN

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MAPLE STREET, NW

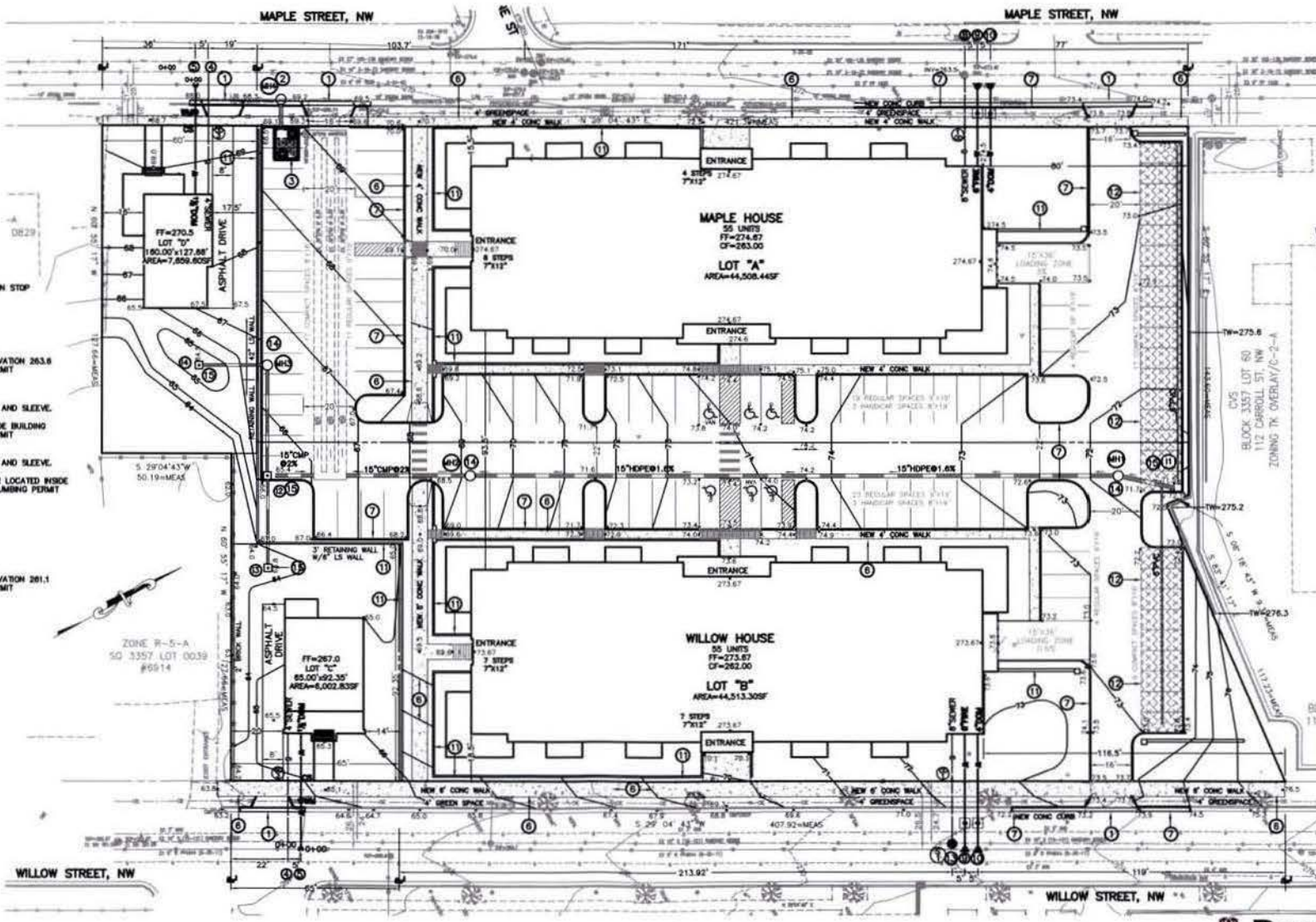
MAPLE STREET, NW

PROPOSED LEGEND

- 1 NEW DRIVEWAY/ENTRANCE TYPE "B"
- 2 DOGHOUSE STYLE STORM DRAIN MANHOLE
- 3 STORMWATER MANAGEMENT STRUCTURE
- 4 4" PVC SANITARY SEWER LATERAL
- 5 3" COPPER WATER HOUSE CONNECTION CONNECT TO EXISTING WATER WITH CORPORATION STOP
- 6 CONCRETE SIDEWALK
- 7 CONCRETE CURB/GUTTER
- 8 8" PVC SANITARY SEWER LATERAL INSTALL CLEANOUT AT PROPERTY LINE CONNECT TO EXISTING SEWER MANHOLE AT ELEVATION 263.9 CONNECTION TO BUILDING UNDER PLUMBING PERMIT EJECTOR PUMP LOCATED INSIDE BUILDING
- 9 8" FIRE CONNECT TO EXISTING 8" WATER WITH A 6"TEE AND SLEEVE. INSTALL THRUST BLOCK INSTALL 6" GATE VALVE. METER LOCATED INSIDE BUILDING CONNECTION TO BUILDING UNDER PLUMBING PERMIT
- 10 4" DOMESTIC CONNECT TO EXISTING 8" WATER WITH A 6"TEE AND SLEEVE. INSTALL THRUST BLOCK INSTALL 6" GATE VALVE, 6X4 REDUCER. METER LOCATED INSIDE BUILDING. CONNECTION TO BUILDING UNDER PLUMBING PERMIT
- 11 WALL
- 12 PERMEABLE PAVERS
- 13 DOGHOUSE STYLE SEWER MANHOLE 8" PVC SANITARY SEWER LATERAL INSTALL CLEANOUT AT PROPERTY LINE CONNECT TO EXISTING SEWER MANHOLE AT ELEVATION 261.1 CONNECTION TO BUILDING UNDER PLUMBING PERMIT
- 14 STANDARD MANHOLE FOR STORMWATER
- 15 STANDARD INLET FOR STORMWATER

EXISTING LEGEND

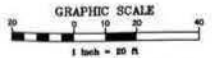
- CONCRETE CURB/GUTTER
- OVERHEAD ELECTRIC LINES
- WATER LINE
- STORM DRAIN LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- DA DRAINAGE DYKE
- CONTOUR
- ELEVATION
- TREE CANOPY
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TREE



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WILLOW STREET, NW

WILLOW STREET, NW



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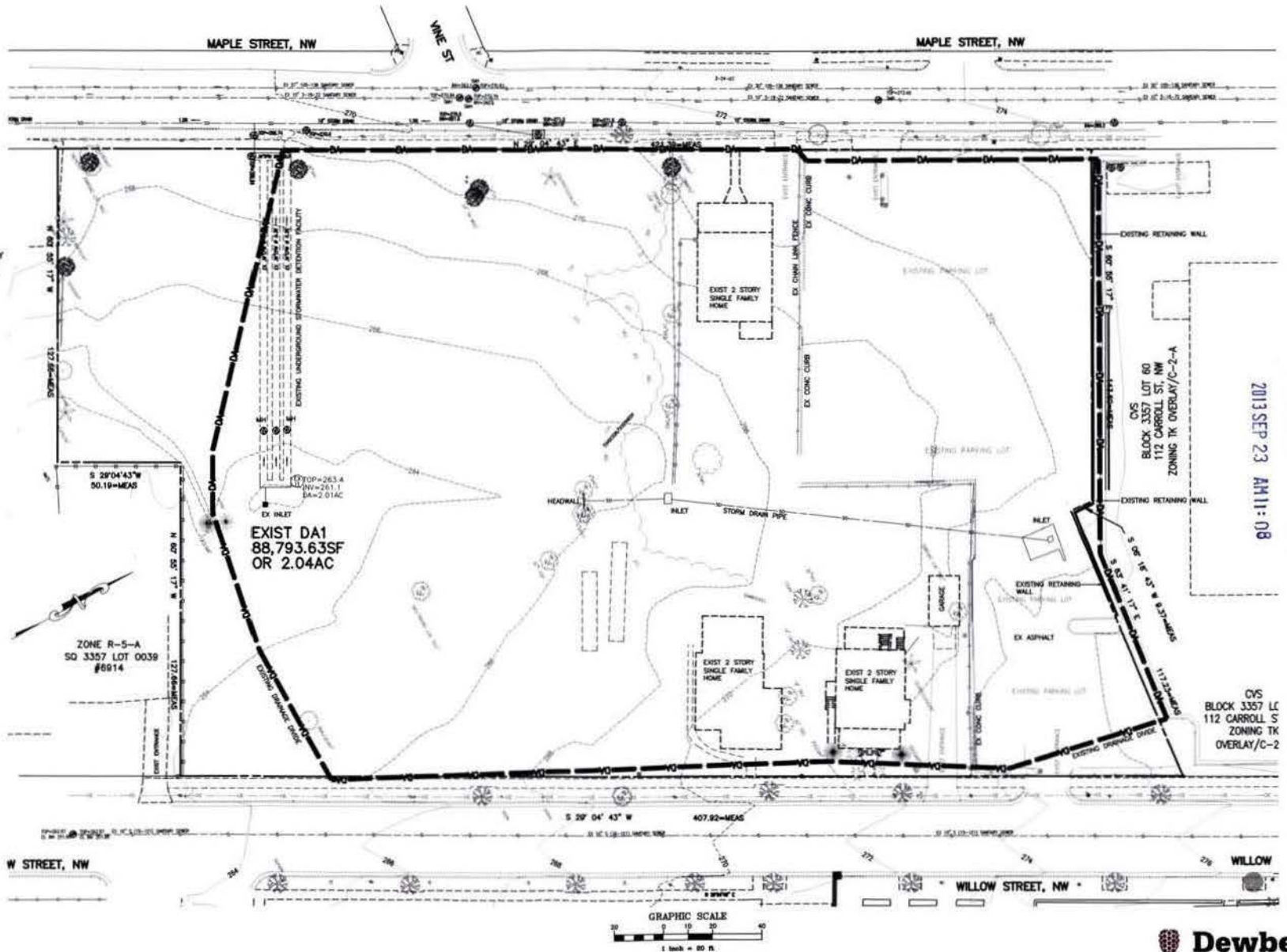
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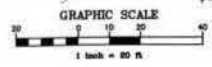
EXISTING LEGEND

- CONCRETE CURB/OUTLET
- OVERHEAD ELECTRIC LINE
- WATER LINE
- STORM DRAIN LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- DA----- DRAINAGE DIVIDE
- CONTOUR
- ELEVATION
- TREE CANOPY
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TREE
- SOILS BOUNDARY
- DRAINAGE AREA



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CYS
 BLOCK 3357 LC
 112 CARROLL ST
 ZONING TK
 OVERLAY/C-2

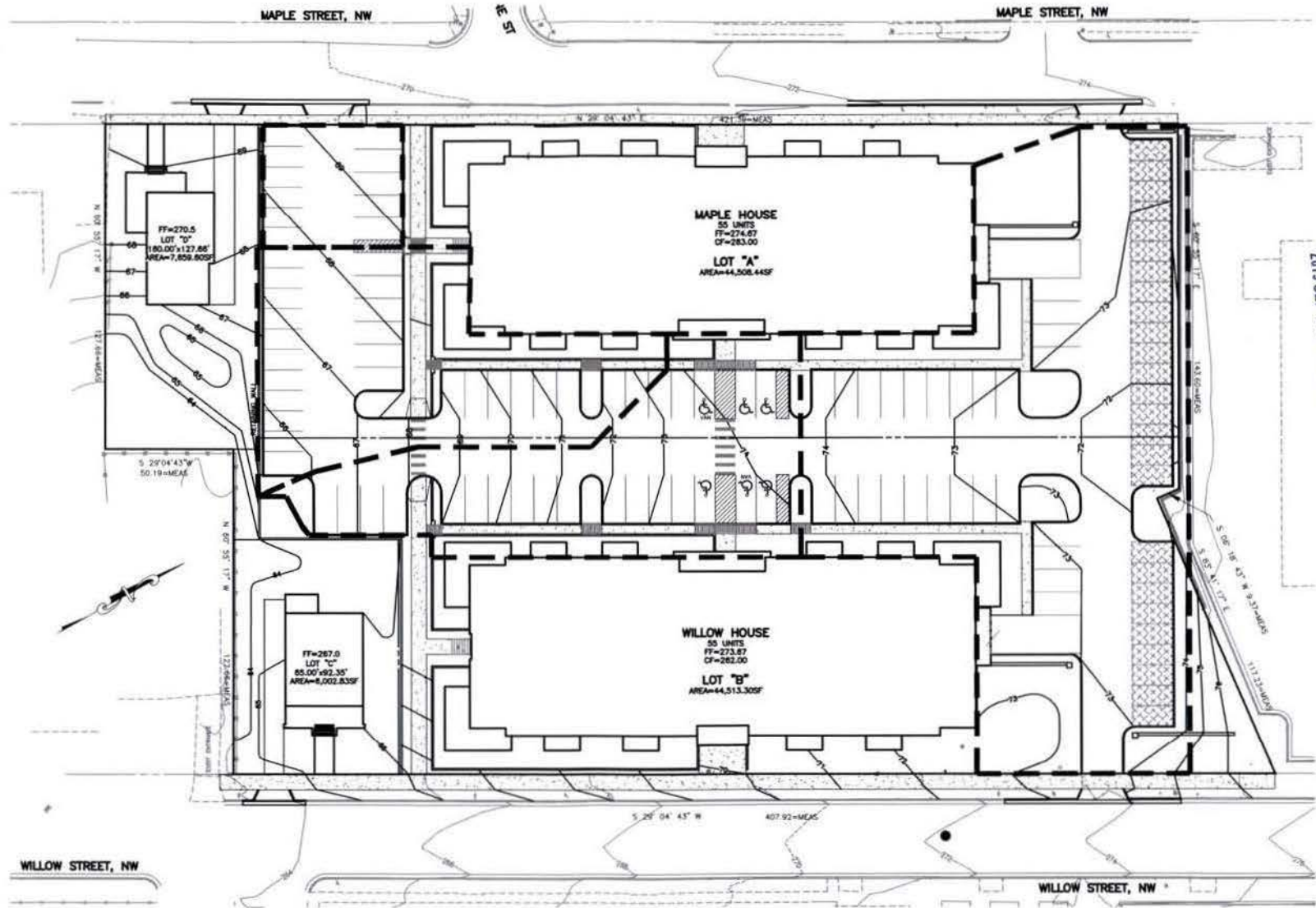


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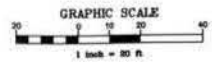
TAKOMA PARK - SQUARE 3357 PRE-DEVELOPMENT DRAINAGE AREA MAP

EXISTING LEGEND

- CONCRETE CURB/GUTTER
- OVERHEAD ELECTRIC LINES
- WATER LINE
- STORM DRAIN LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- ORAINAGE DIVIDE
- CONTOUR
- ELEVATION
- TREE CANOPY
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TREE



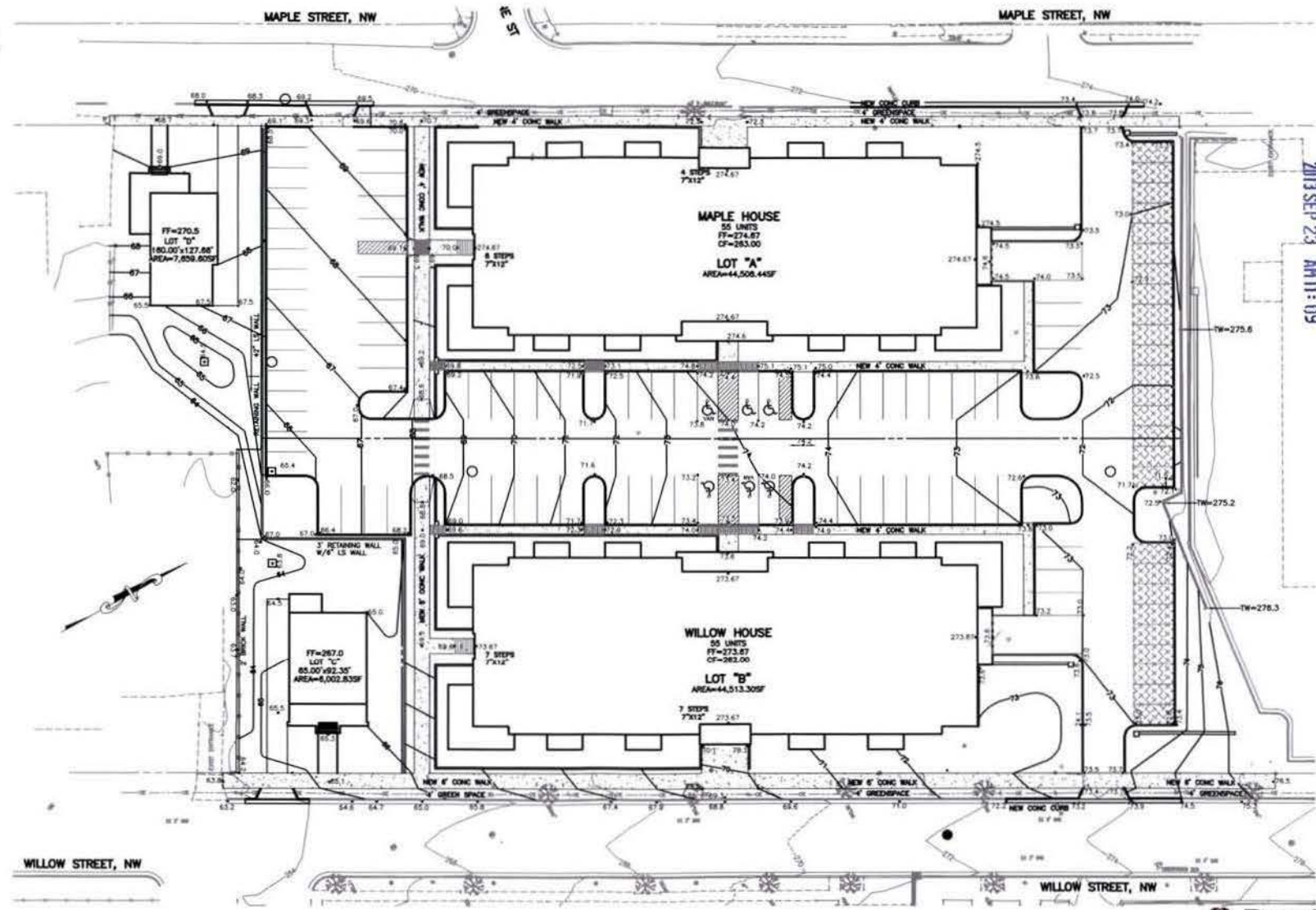
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TAKOMA PARK - SQUARE 3357 POST-DEVELOPMENT DRAINAGE AREA

- EXISTING LEGEND**
- CONCRETE CURB/GUTTER
 - OVERHEAD ELECTRIC LINES
 - WATER LINE
 - STORM DRAIN LINE
 - SEWER LINE
 - TELEPHONE LINE
 - GAS LINE
 - UNDERGROUND ELECTRIC
 - DRAINAGE DEVICE
 - CONTOUR
 - ELEVATION
 - TREE CANOPY
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - TREE



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TAKOMA PARK - SQUARE 3357 GRADING PLAN

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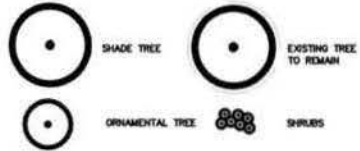
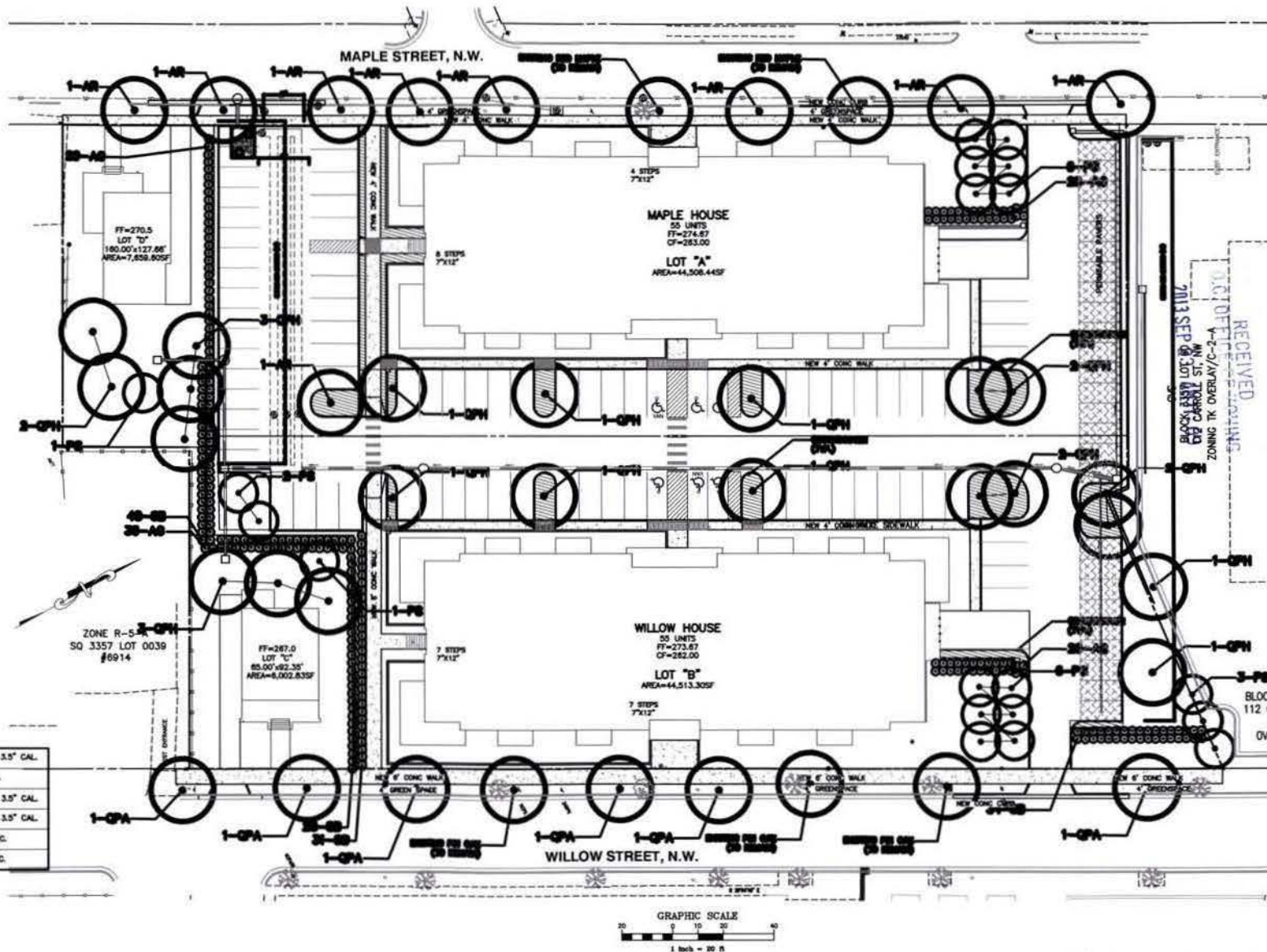


TAKOMA PARK - SQUARE 3357 LANDSCAPE PLAN RENDERING

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PLANTING SCHEDULE

AR 9	<i>Acer rubrum</i> 'October Glory' RED MAPLE 'OCTOBER GLORY'	BL	12' OA. HT., 3.5" CAL.
PS 18	<i>Prunus serrulata</i> 'Shanepoone' WHITE JAPANESE FLOWERING CHERRY	BL	8-7' OA. HT.
QPA 6	<i>Quercus pubescens</i> PIN OAK	BL	12' OA. HT., 3.5" CAL.
GPH 22	<i>Quercus phellos</i> WILLOW OAK	BL	12' OA. HT., 3.5" CAL.
AG 120	<i>Abutilon grandiflorum</i> GLOSSY ABELIA	3 Gal.	FULL 36" O.C.
SB 141	<i>Spiraea x bumalda</i> 'Goldflame' GOLDFLAME BURNING SPIREA	3 Gal.	FULL 36" O.C.

MISCELLANEOUS

SEED 50/50 Mix Annual Ryegrass & Cereal (Winter) Rye

SOD Tall Fescue

MULCH STRIP Double shredded hardwood mulch, natural (undyed)
Mulch between Ground Cover and Shrubs to Top of Curb.

TAKOMA PARK - SQUARE 3357 LANDSCAPE PLAN

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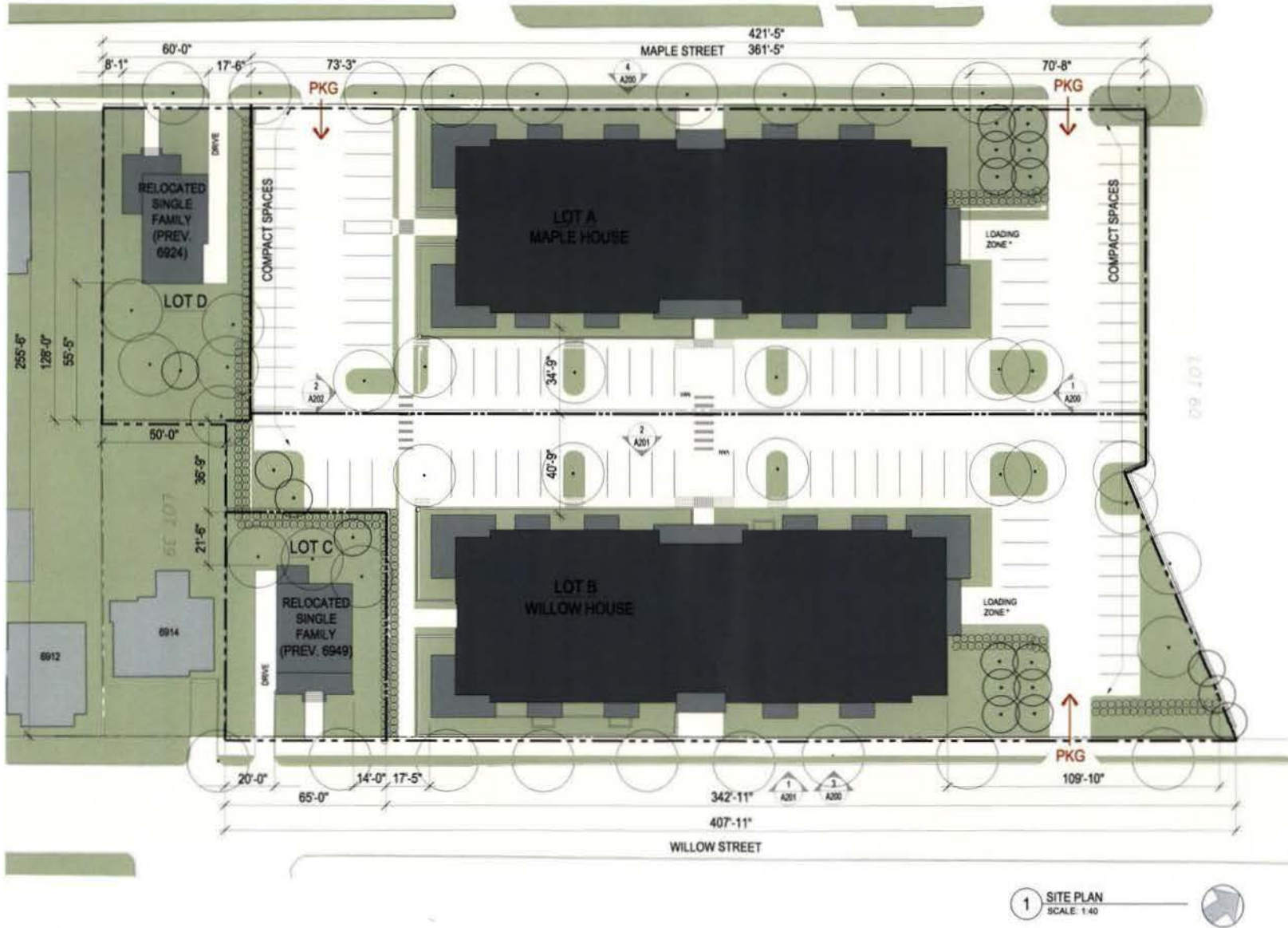


1 EXISTING SITE PLAN
SCALE: 1" = 60'-0"

TAKOMA PARK - SQUARE 3357 - EXISTING SITE CONDITIONS



GTM ARCHITECTS



BLDG SUMMARY (PER) MULTI-FAMILY BLDG	
FLOOR	UNIT COUNT
CELLAR/PKG	8
1	15
2	16
3	16
TOTAL	55

PARKING REQUIRED (TOTAL SITE)	
	UNIT COUNT
MAPLE HOUSE	55
WILLOW HOUSE	55
SINGLE FAMILY (LOT C)	1
SINGLE FAMILY (LOT D)	1
TOTAL	112

PARKING PROVIDED (TOTAL SITE)	
SPACES	#
STANDARD	61
COMPACT	43
ACCESSIBLE	6
VAN	2
TOTAL PROV.	112

GREEN SPACE:
 (PAVED PARKING AREA: 34,450 sf)
 REQ. GREEN SPACE (5%): 1,722 sf
 PROV. GREEN SPACE (7.7%): 2,650sf

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1 SITE PLAN
 SCALE: 1:40

TAKOMA PARK - SQUARE 3357 - SITE PLAN



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1 CELLAR FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTES:
 1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

TAKOMA PARK - SQUARE 3357 - CELLAR FLOOR PLAN

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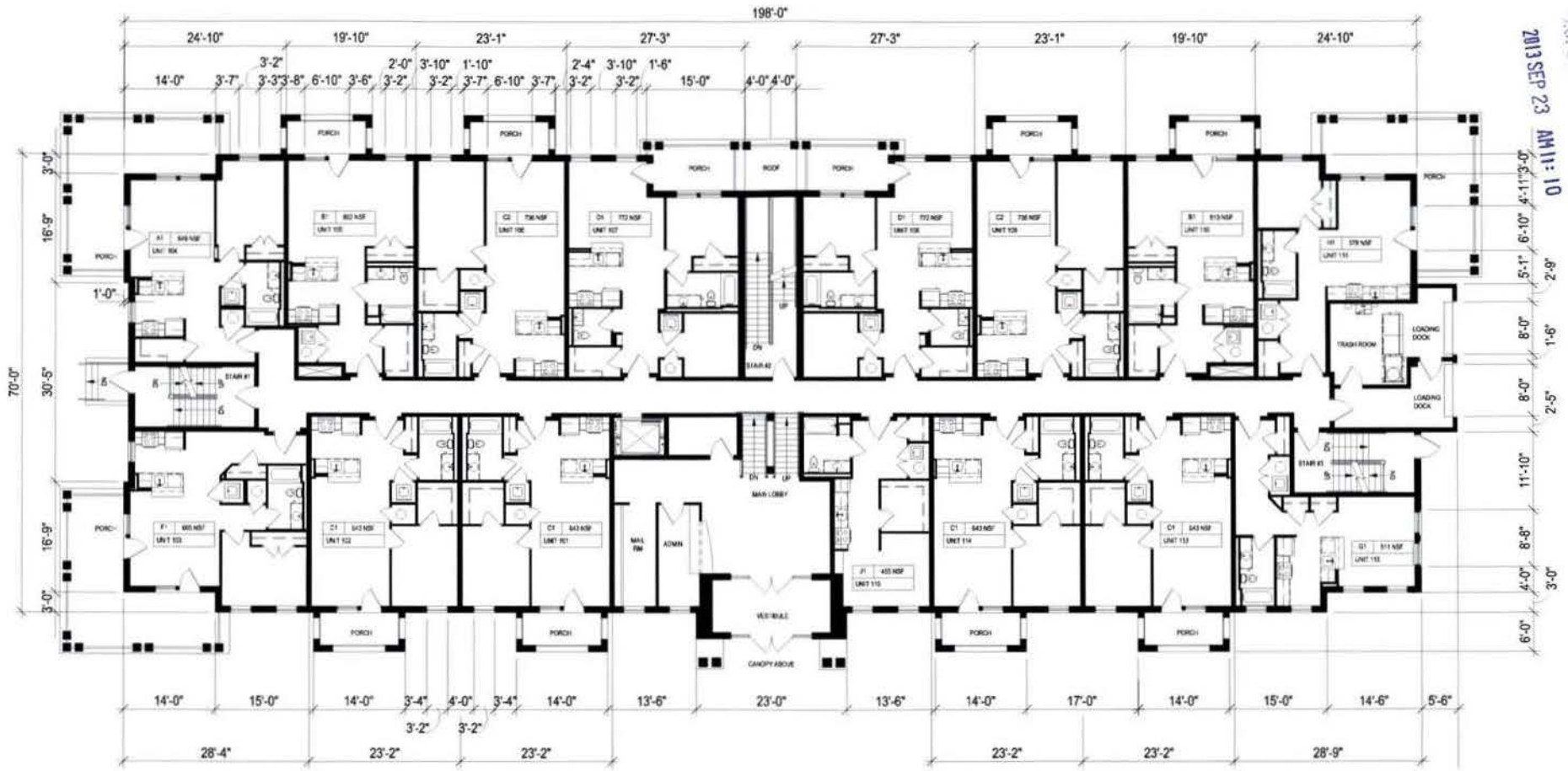
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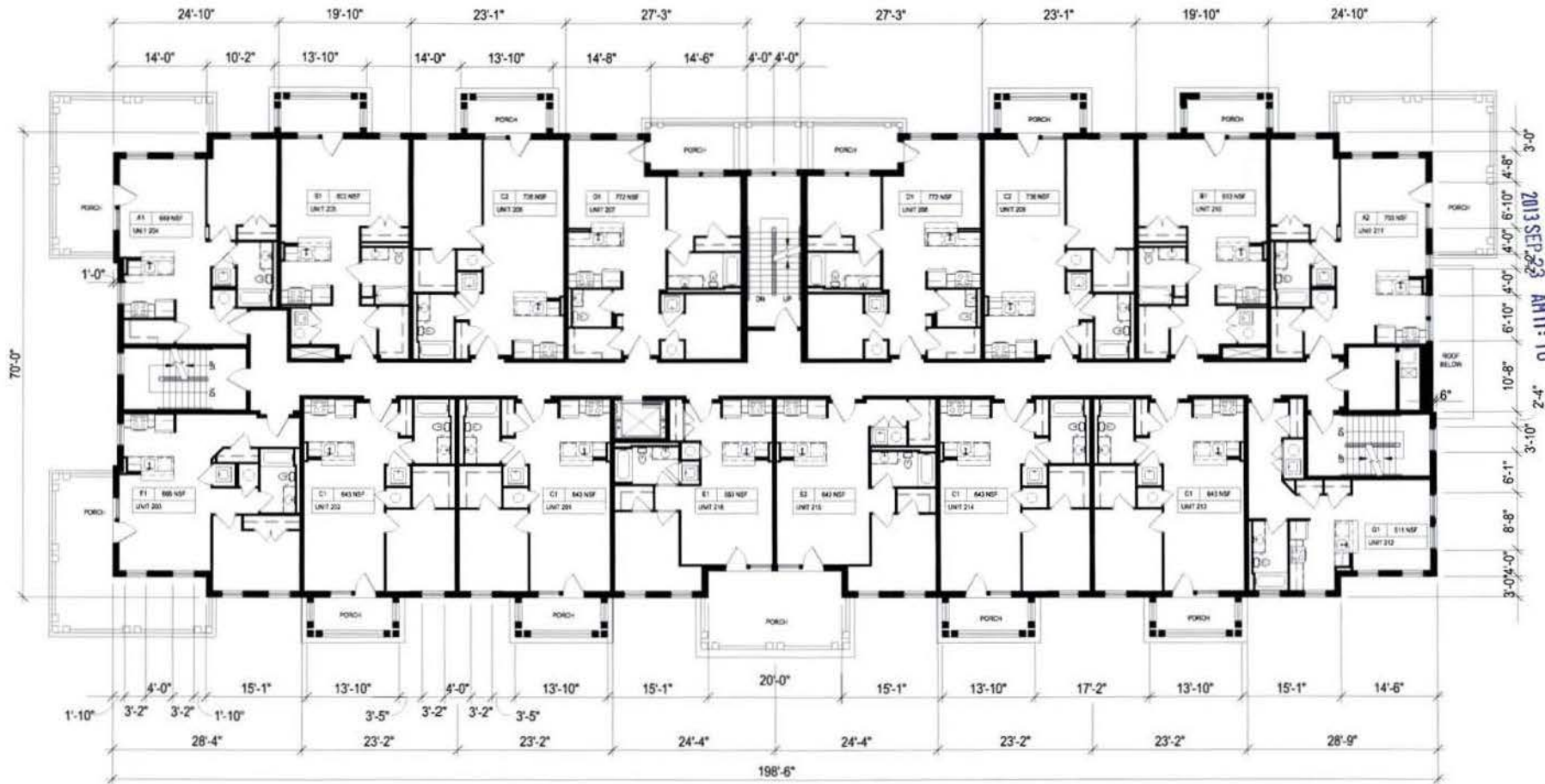
1 FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"

NOTES:
 1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

TAKOMA PARK - SQUARE 3357 - FIRST FLOOR PLAN



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1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

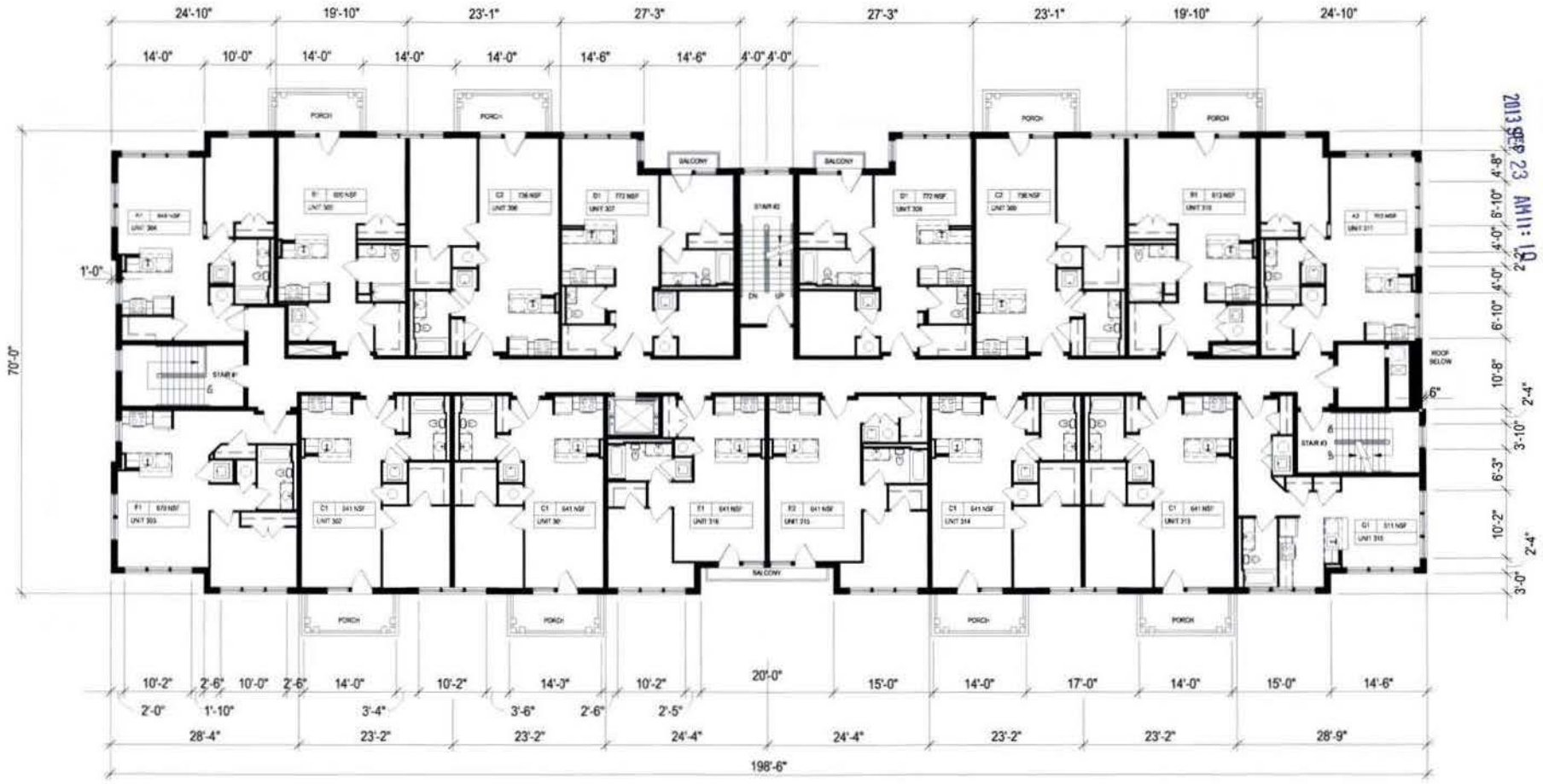
NOTES:

1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

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TAKOMA PARK - SQUARE 3357- SECOND FLOOR PLAN

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1 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

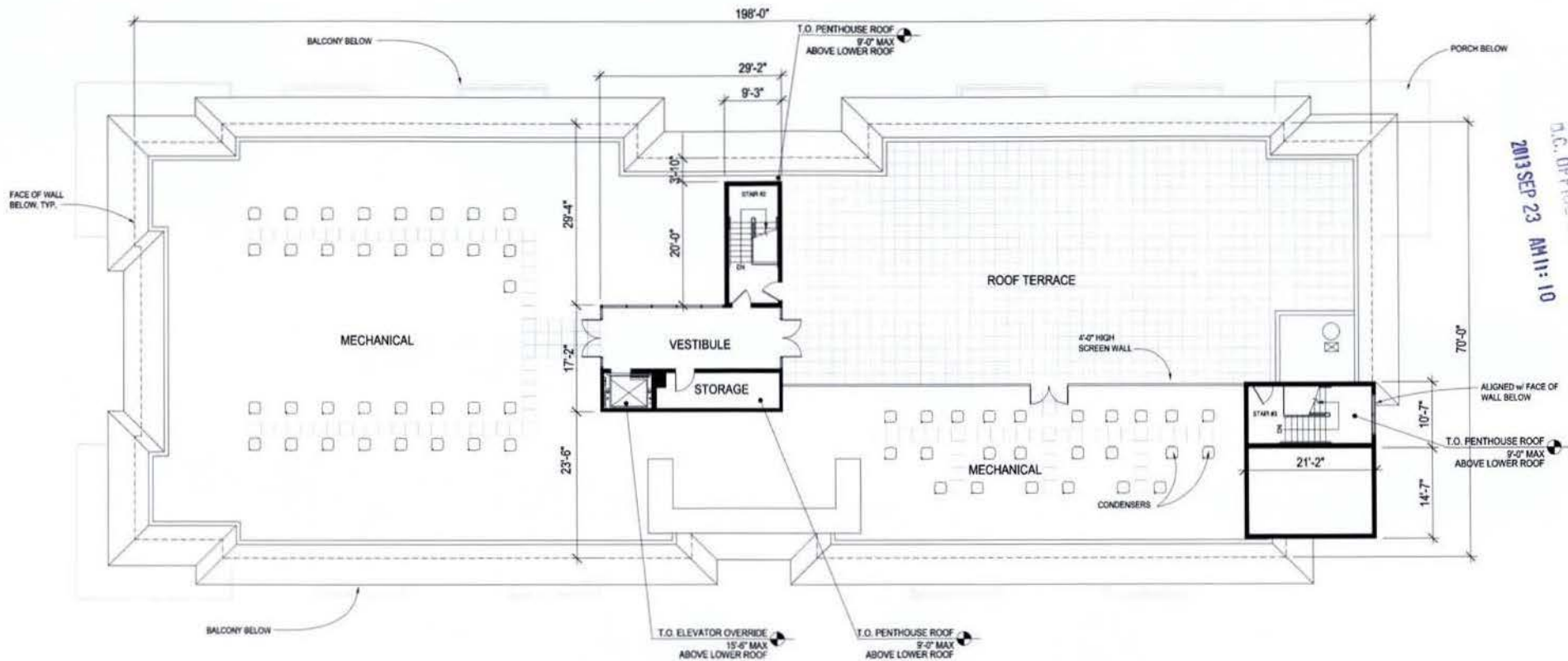
NOTES:
 1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

TAKOMA PARK - SQUARE 3357 - THIRD FLOOR PLAN



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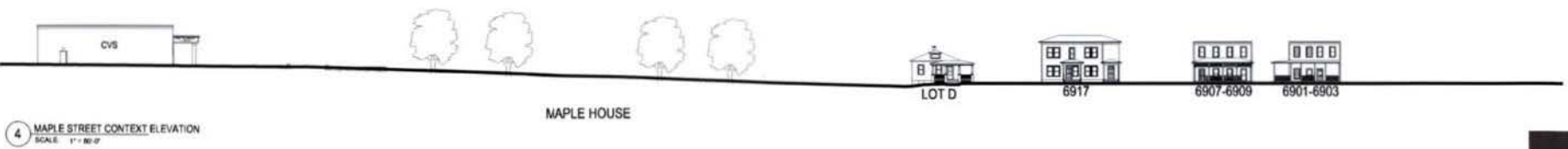
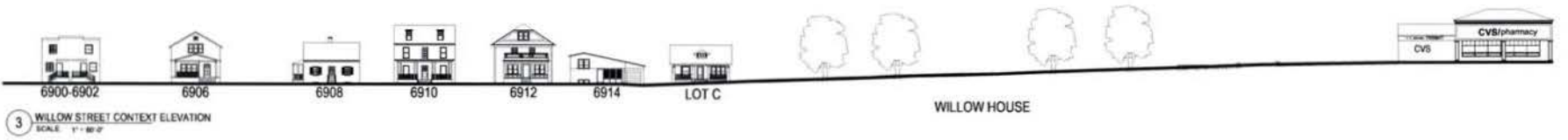
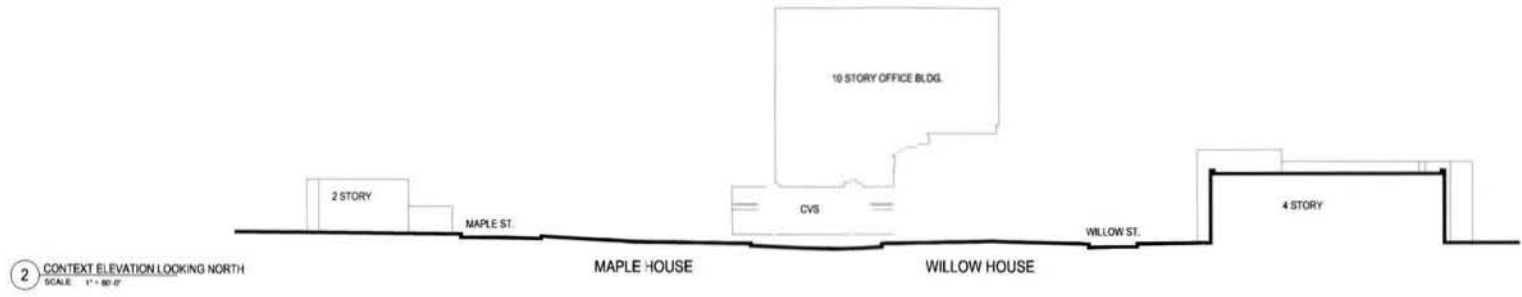
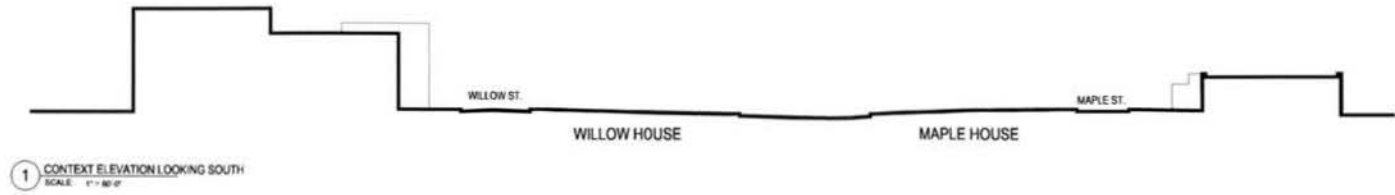
1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

NOTES:
 1. THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION MAY OCCUR.

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TAKOMA PARK - SQUARE 3357 - CONTEXT ELEVATIONS



EL. 321.83
T.O. ELEV OVERRIDE

EL. 307.33
ROOF LEVEL

EL. 296.0
THIRD LEVEL

EL. 284.83
SECOND LEVEL

EL. 273.67
FIRST LEVEL

EL. 270
LOBBY LEVEL

EL. 262.0
CELLAR LEVEL



1 STREETFRONT ELEVATION
SCALE: 1/8" = 1'-0"

EL. 321.83
T.O. ELEV OVERRIDE

EL. 307.33
ROOF LEVEL

EL. 296.0
THIRD LEVEL

EL. 284.83
SECOND LEVEL

EL. 273.67
FIRST LEVEL

EL. 270
LOBBY LEVEL

EL. 262.0
CELLAR LEVEL



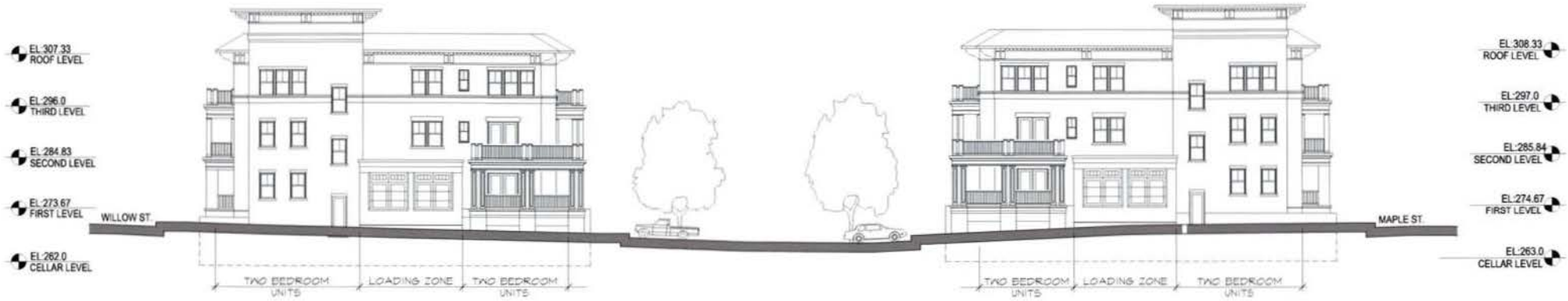
2 INTERIOR SITE ELEVATION
SCALE: 1/8" = 1'-0"

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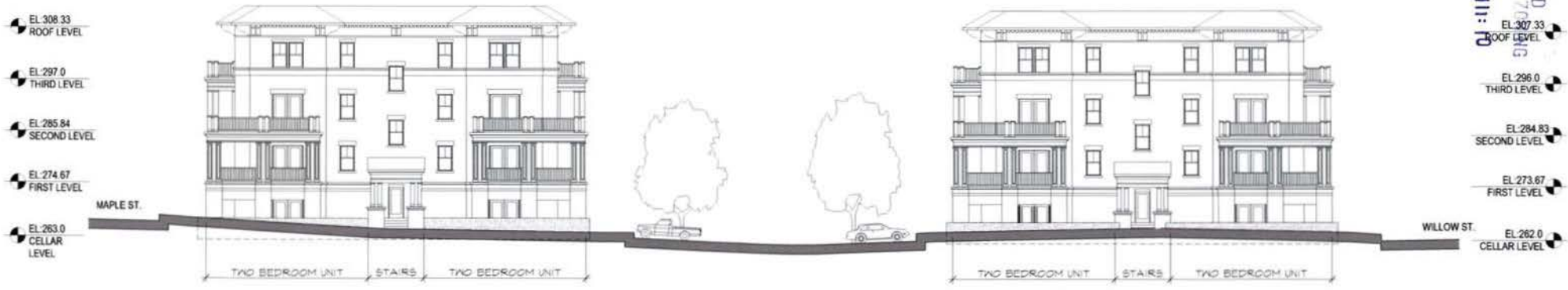
TAKOMA PARK - SQUARE 3357 - WILLOW HOUSE ELEVATIONS

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1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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TAKOMA PARK - SQUARE 3357 - BUILDING ELEVATIONS



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WILLOW STREET VIEW

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WILLOW STREET AERIAL VIEW

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VIEW OF PEDESTRIAN PATHWAY FROM WILLOW STREET

TAKOMA PARK - SQUARE 3357



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