

28

**DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

In re:

1231 Morse Street, Inc.,

Appellant,

v.

District of Columbia Department of
Consumer and Regulatory Affairs,

Appellee.

BZA Appeal No. 17657

**DISTRICT OF COLUMBIA'S
SUPPLEMENTAL WITNESS AND EVIDENCE LIST**

Appellee, the District of Columbia Department of Consumer and Regulatory Affairs, ("District"), by and through undersigned counsel, hereby Supplements its October 2, 2007 Witness and Evidence Lists in BZA Appeal No. 17657 to include the following:

Witnesses:

- 1) Lenny Douglas, Acting Deputy Director of Licensing and Permitting
- 2) Neil Letren, Acting Supervisor of Illegal Construction Unit
- 3) William Davidson, Chief Electrical Inspector and Acting Program Manager
- 4) Yvonne Rockett, Zoning Inspector
- 5) Colonial Anderson, Electrical Inspector
- 6) Robert Shelton, Building Inspector

Documents:

- 1) Notice to Revoke Building Permit Numbers B477039 and B478240
- 2) Letter dated February 24, 2006 to Mr. Taiwo Demuren from Lennox Douglas.
- 2) Letter dated March 31, 2006 to Mr. Blanchard from Lennox Douglas
- 3) Photographs (43)

**BOARD OF ZONING ADJUSTMENT
District of Columbia**

CASE NO. 17657

EXHIBIT NO. 27

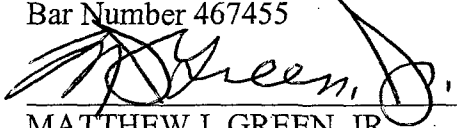
Board of Zoning Adjustment
District of Columbia
CASE NO. 17657
EXHIBIT NO. 27

- 4) Building Permit Application #1908-B dated April 12, 2005 was incorrectly submitted as Zoning Application #1908-B (4/12/05)
- 5) Site Plan
- 6) Erosion and Sediment Control Plan dated March 24, 2005
- 7) Storm Water Management Plan dated August 11, 2005
- 8) 1233 Morse Street Map and Aerial Photos.

Respectfully Submitted,

JILL STERN
General Counsel
Department of Consumer and
Regulatory Affairs

15/
LORI S. PARRIS
Deputy General Counsel
Bar Number 467455


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Assistant Attorney General
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15/
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DORIS PARKER-WOOLRIDGE

Assistant Attorney General

Bar Number 433963

941 N. Capitol Street, NE

Suite 9400

Washington, DC 20002

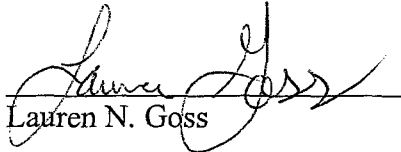
(202) 442-8407

(202) 442-9447 (fax)

E-mail: doris.parker-woolridge@dc.gov

CERTIFICATE OF SERVICE

I hereby certify that on October 12, 2007 a copy of the foregoing Supplemental Witness and Evidence Lists and its attachments were personal served and sent first class mail to John Patrick Brown, Esq. at 1620 L Street, N.W., Suite 900, Washington, D.C. 20036, William Shelton, Chairperson, ANC 5B at 1437 Montana Avenue, N.E., Suite 5, Washington, D.C. 20018 and Commissioner Elise Bernard, ANC 5B08, at 1220 Florida Avenue, N.E., Washington, D.C. 20002.


Lauren N. Goss

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS



Building and Land Regulation Administration
Office of the Administrator

March 31, 2006

Mr. Lyle M. Blanchard
Greenstein Delorme & Luchs, P. C.
1620 L Street, NW—Suite 900
Washington DC 20036-5605



Subject: Stop Work Order – 1233 Morse Street, NE

Dear Mr. Blanchard:

This is in response to the appeal forwarded to this office, dated March 10, 2006 regarding the Stop Work Order (SWO) placed at 1233 Morse Street, NE.

Regarding the allegedly improper, incorrect, invalid Stop Work Order (SWO), the SWO was issued pursuant to the DCMR Title 12 Section 114A, which clearly states that a Stop Work Order is necessary *“when work on any building or structure is being performed contrary to the provisions of the Construction Codes or in an unsafe and dangerous manner, the property shall be posted and such work shall be immediately stopped until the situation is corrected.”*

Mr. Demuren was issued a permit on September 5, 2005 to “Build an addition to the existing single family dwelling (SFD) and to convert the SFD to an 11 unit apartment.” However, based upon inspection conducted on February 27, 2006, the existing building was razed without the proper permits; thus, creating a condition of constructing a new building without the proper permits.

A second permit was issued on December 14, 2005, as an emergency demolition. The actual permit indicated the date of issuance is December 14, 2006, evidently in error. This permit was only to remove a partial exterior wall and bring the building to a safe height.

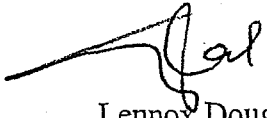
Since the ongoing construction is to build a new building the proper permits must be acquired to ensure compliance with the District of Columbia Building Codes and Zoning Regulations. Thus this work was not stopped based upon “mere speculation,” but on the fact the permit was issued for an addition and a new four (4) story is being constructed.

EXHIBIT "E"

Therefore, based on the aforementioned, the SWO remains in effect until the conditions of the SWO are met.

If you have additional questions regarding this matter, please contact me at (202) 442-4542.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lennox Douglas', with a long horizontal stroke extending to the left.

Lennox Douglas, Acting
Administrator

cc: Neil Stanley
David Janifer
Hardat Mahase

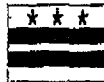
10-05-2007 10:21am From-

T-210 P.024/026 F-398



**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS**

Licensing & Permitting Division
Permit Operations



**VIA PERSONAL SERVICE AND
U.S. FIRST CLASS MAIL**

Paul Henry, Registered Agent
1231 Morse Street, Inc.
1625 Morris Road, S.E.
Washington, D.C. 20020

1231 Morse Street, Inc.
1405 H Street, N.E.
Washington, D.C. 20002

1231 Morse Street, Inc.
3203 Shortridge Lane
Mitchellville, MD 20721

Taiwo Demuren
3203 Shortridge Lane
Mitchellville, MD 20721

Rec'd 7-20-07

**NOTICE TO REVOKE BUILDING PERMIT NUMBER B477039 AND
EMERGENCY DEMOLITION PERMIT NUMBER B478240.**

This is an official notice from the Department of Consumer and Regulatory Affairs ("District") that Building Permit Number B477039 and Emergency Demolition Permit Number B478240 are revoked effective ten (10) days (excluding Saturdays, Sundays, and legal holidays) from the date of service of this Notice. This action is taken pursuant to Title 12A of the District of Columbia Municipal Regulations (DCMR) § 105.6(1), which authorizes the Director to revoke a permit "[w]here there is a false statement or misrepresentation of fact, or other significant inaccuracy, in the application or on the plans on which a permit or approval was based" and 12A DCMR § 105.6(6), which authorizes the Director to revoke a permit that was "issued in error."

On September 6, 2005, the District issued Building Permit Number B477039 to you to construct an addition to an existing single family dwelling and convert that single family dwelling to an eleven unit apartment building at 1233 Morse Street, N.E., Washington, D.C. in compliance with Chapter 3, Title 11 of the Zoning Regulations. This structure is located in an R-4 district. Your permit application specifically stated your intent to construct the apartment building as an addition to an existing structure, and the plan that

you submitted with your application included the existing single family dwelling that was to be converted into the eleven-unit apartment building.

On February 27, 2006, the District conducted an inspection at 1233 Morse Street, N.E., Washington, DC. The inspection revealed that the single family dwelling had been razed without a permit,¹ and that you had commenced constructing an eleven-unit apartment building without a proper building permit, in violation of 12A DCMR § 105.1(1) and 105.1.4(1). The building permit only authorized conversion of the existing building to an eleven-unit apartment building, not the construction of a new building. Therefore, your construction activity was outside the scope of your permit in violation of 12A DCMR § 105.1.

On March 6, 2007, the Zoning Administrator notified you that, pursuant to 11 DCMR § 330.5(c), there can be no conversion of a building or structure to an apartment building in an R-4 Residential District without an existing structure.² Once the existing structure has been razed, no conversion can occur.

Your permit application clearly expressed your intent to construct the apartment building as an addition to an existing structure. Your expressed intent was an essential element of the District's approval of your application. Had you indicated on your application that you planned to raze the existing structure and construct a new one; the District would have denied your application because the construction would have been in violation of the Zoning Regulations. Your building permit application contained a "false statement or misrepresentation of fact, or other significant inaccuracy . . . that substantively affected DCRA's approval" of the application.³ Therefore, Building Permit Number B477039 must be revoked. Additionally, based on your violation of the zoning regulations, the District has concluded that it issued the permit "in error," 12A DCMR § 105.6(6), and, on this independent ground, the District must revoke Building Permit Number B477039.

On December 14, 2005, you obtained Emergency Demolition Permit Number B478240 to *demolish a wall* of the same single family dwelling that you razed without a raze permit prior to the February 27, 2006 inspection. Razing the building was outside of the scope of your demolition permit and in violation of 12A DCMR § 105.1.7.⁴ Furthermore, your statement that you intended only to demolish one wall of the single family dwelling did not accurately represent your plans. Your demolition permit application contained a "false statement or misrepresentation of fact, or other significant inaccuracy . . . that substantively affected the approval" of the application, therefore, Emergency Demolition Permit Number B478240 must be revoked.⁵

¹ 12A DCMR §§ 105.1.7 and 105.1.7.1 provides that "[a] raze permit is required to secure the right to remove a building or structure down to the ground."

² 11 DCMR § 330.5(c) provides that "[t]he following uses shall be permitted as a matter of right in an R-4 District: . . . The conversion of a building or other structure existing before May 12, 1958, to an apartment house as limited by §§ 350.4(c) and 401.3 . . ."

³ 12A DCMR § 105.6(1).

⁴ "A raze permit is required to secure the right to remove a building or structure down to the ground."

⁵ 12A DCMR § 105.6(1).

Finally, plumbing inspections must be "performed before installation of any concealing materials."⁶ DCRA's February, 2006 inspection also revealed that you engaged in plumbing work without a permit and without the required inspections during the construction of this structure, in violation of 12A DCMR §§ 105.1.16, 109.3 and 109.3.8.1.

As a result of the foregoing, the District has concluded that Permits Numbers B477039 and B478240 must be revoked.

RIGHT TO APPEAL

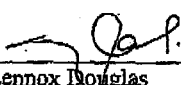
You have the right to appeal the revocation of your building permit within ten (10) days (excluding Saturdays, Sundays, and legal holidays) of receipt of this notice to the Office of Administrative Hearings⁷. Should you wish to appeal the District's decision, your appeal must be mailed to the Office of Administrative Hearings at P.O. Box 77718, Washington, DC 20002. Alternatively, you may hand-deliver your appeal for a hearing to the Office of Administrative Hearings at 941 North Capitol Street, NE, Suite 9100, Washington, DC 20002.

If you waive your right to a hearing by failing to request one within the time and manner specified in this notice, the revocation will immediately become final without further written notice.

Any questions about this notice may be directed to the Office of Licensing and Permits at (202) 442-4541.

Date

7-19-07


Lennox Douglas
Acting Deputy Director for Licensing
and Permits

⁶ 12A DCMR § 109.3.8.1.

⁷ "Revocations . . . are proposed actions and shall become final . . . if the respondent's right to a hearing is waived by failing to request a hearing within ten (10) business days of receipt of the proposed order; or . . . as the result of a hearing requested by the respondent pursuant to Section 105.6.4." 12A DCMR § 105.6.1(1).

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS



Building and Land Regulation Administration
Office of the Administrator

ISSUANCE OF STOP WORK ORDER
1233 MORSE STREET, NE

February 24, 2006

U.S. FIRST CLASS MAIL and
U.S. FIRST CLASS CERTIFIED MAIL W/RETURN RECEIPT

Taiwo Demuren
3203 Shortridge LN
Mitchellville, MD 20721-2574

Subject: 1233 Morse Street, NE

Dear Mr. Demuren:

Effective immediately a Stop Work Order (SWO) is being placed on the on-going construction at 1233 Morse Street, NE due to the permit being issued as an addition to an existing structure; however it was discovered that the existing structure was razed. Thus, a new application must be submitted for a new building.

You are required to submit new plans (4 sets) and application for the new building to be reviewed by the various disciplines in the Technical Review Section of the Department of Consumer and Regulatory Affairs.

Pursuant to Title 12, District of Columbia Municipal Regulations §112.1, you have a right to appeal the SWO served upon you. In order to exercise this right you must request an appeal by completing the enclosed Appeal Request Form and depositing it in the mail to the address provided on the form within fifteen (15) calendar days after service of this SWO.

If you have any questions regarding this matter, please contact me at (202) 442-4589.

Sincerely,

A handwritten signature in black ink, appearing to read "Lennox Douglas".

Lennox Douglas
Acting Administrator



cc: ~~Theresa Lewis, Chief of Staff~~
Lelia Franklin, Integrity Officer
Nick Majett, Deputy Director for Compliance and Enforcement
Bill Crews, Zoning Administrator
David Janifer, Chief, BID

**APPEAL REQUEST FORM
STOP WORK ORDER**
Building and Land Regulation Administration
Department of Consumer and Regulatory Affairs
941 North Capitol Street, N.E., Suite 2000
Washington, D.C. 20002
Telephone (202) 442-9557



Pursuant to Title 12, District of Columbia Municipal Regulations, § 112.1

_____, request an Appeal of the Department's Stop Work Order dated _____.

Address: _____

Telephone: _____ (H)
_____ (W)

Grounds for Appeal:

_____ The true intent of the Construction Code/Zoning Regulations or the rules has been incorrectly interpreted.

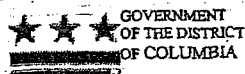
_____ The provisions of the construction Code/Zoning Regulations do not fully apply.

_____ An equally good or better form of construction/Zoning can be used.

Explanation:

Signature: _____ Date: _____

| | | | | | |
|------------------|----------|-----------------|-------------|---------------|-------------|
| PRE-FILE NUMBERS | | ZONING DISTRICT | FILE NUMBER | PERMIT NUMBER | |
| N.C.P.C. No: | O.G. No: | R-4 | | | By: |
| H.P.A. No: | S.L. No: | Ward No: | Receipt No: | Date: | Receipt No: |



DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
 BUILDING AND LAND REGULATION ADMINISTRATION PERMIT SERVICE CENTER
 Tel 202-442-4589 Fax 202-442-4862

APPLICATION FOR CONSTRUCTION PERMITS ON PRIVATE PROPERTY
 (PRINT IN INK OR TYPE, DO NOT WRITE IN SHADED AREAS OR ON PAGE 4)

BLRA-33
(Rev. 2/04)

CLEARANCE TO FILE

By _____ Date _____

ERASING, CROSSING OUT, WHITING OUT, OR OTHERWISE ALTERING ANY ENTERED INFORMATION WILL VOID THIS APPLICATION

(A) ALL APPLICANTS MUST COMPLETE ITEMS 1 THRU 27

| | | | | | |
|---|---------------------------------------|---|-------------------------------------|---|--------------------------------|
| 1 Address of Proposed Work: 1233 Monroe St. NE | | Suite No. | 2 Lot 130 | 3. Square 4069 | 4. Application Date 4/12/05 |
| 5 Owner of Building or Property TAWO DEMUREN | | 6 Address (include Zip Code) | | | 7 Phone 240-832-4315 |
| 8 Agent for Owner: (if applicable) | | 9. Address (include Zip Code) | | | 10. Phone |
| 11. Type of Proposed Work (check all applicable boxes) | | | | | |
| <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration and Repair <input type="checkbox"/> Raze Building <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Fence <input type="checkbox"/> Shed <input type="checkbox"/> Awning <input type="checkbox"/> Garage <input type="checkbox"/> Sign <input type="checkbox"/> Projection <input type="checkbox"/> Other (Specify) _____ | | | | | |
| 12. Description of Proposed Work BUILDING PERMIT FOR ADDITION TO SINGLE FAMILY DWELLING AND CONVERT TO APARTMENT 11-UNIT BUILDING AS PER PLANS. | | | | | |
| 13 Existing Use(s) of Building or Property SFD | | 14 Ex. No of Stories of Bldg 2 + cellar | 15 Ex No of Dwelling Units 1 | Official Use Only Miscellaneous FEE \$ _____ | |
| 16 Proposed Use(s) of Building or Property APARTMENT - 11 Units | | 17 Prop No of Stories of Bldg 3 + cellar | 18 Prop. No of Dwelling Units 11 | By: _____ Date: _____ | |
| 19 Starting Date 5/25/05 | 20 Completion Date of work 8/30/05 | 21 Method of Removing Construction Debris <input type="checkbox"/> Pick-up Truck <input checked="" type="checkbox"/> Dumpster <input type="checkbox"/> Other (specify) _____ | | 22 Does the proposed work involve disturbing the earth or razing a building? <input type="checkbox"/> Yes, answer q. 23 <input checked="" type="checkbox"/> No, SKIP q. 23-27 | |
| 23. Is the area of disturbed earth more than 50 sq. ft? <input checked="" type="checkbox"/> Yes, answer q. 24-25 <input type="checkbox"/> No, SKIP q. 24-25 | 24. Soil Erosion Control Methods | | 25. Area of Offsite Drainage | 26. No of Footings or Columns | 27 Size of Footings or Columns |

ALWAYS SIGN THE APPLICATION ON PAGE 3 (SECTION I)

Complete Section B if the proposed work is new building, addition or alteration. (Page 2)
 Complete Section C if the proposed work is razing a building. (Page 2)
 Complete Section D if the proposed work is a retaining wall. (Page 2)
 Complete Section E if the proposed work is a fence. (Page 3)
 Complete Section F if the proposed work is a shed/garage. (Page 3)
 Complete Section G if the proposed work is an awning. (Page 3)
 Complete Section H if the proposed work is a sign. (Page 3)

OFFICIAL USE ONLY

| | | | |
|---|---|---|--|
| R | P | H | |
| M | | | |
| P | | | |
| E | | | |
| F | | | |
| W <input type="checkbox"/> Yes <input type="checkbox"/> No | | | |
| PLANS | | | |
| <input type="checkbox"/> No <input type="checkbox"/> Sm <input type="checkbox"/> Lg | | | |

DCRA'S

EXHIBIT

tabbles

EXHIBIT

(B) NEW BUILDING, ADDITION & ALTERATION (COMPLETE ITEMS 28 THRU 60)

| | | | | | | | |
|--|--|--|--|---|--|---|--|
| 28. Architect's Name: KE AGBM | | 29. D.C. Lic. No.: | | 30. Architect's Address: (include Zip Code) | | 31. Phone: 276-7796 | |
| 32. Engineer's Name: | | 33. D.C. Lic. No.: | | 34. Engineer's Address: (include Zip Code) | | 35. Phone: | |
| 36. Building Contractor's Name: | | 36A. D.C. Lic. No. | | 37. Contractor's Address | | 38. Phone: | |
| 39. Type of Construction <input checked="" type="checkbox"/> Masonry <input type="checkbox"/> Steel <input checked="" type="checkbox"/> Wood <input type="checkbox"/> Other <input type="checkbox"/> Concrete | | 40. Fire Suppression: <input checked="" type="checkbox"/> Fully Sprinklered <input type="checkbox"/> Standpipe System <input type="checkbox"/> Partially Sprinklered <input type="checkbox"/> None <input type="checkbox"/> Other | | 41. Booster Pump <input type="checkbox"/> New <input type="checkbox"/> Existing <input checked="" type="checkbox"/> None | | 42. Total Lot Area 10,421 sq. ft. | |
| 44. Present Gross Floor Area of Bldg. sq. ft. | | 45. Proposed Gross Floor Area of Bldg. sq. ft. | | 46. Floors involved in this permit <input type="checkbox"/> All <input type="checkbox"/> Floors | | 43. Breakdown of Lot Area (= 100 %) a. building <input type="checkbox"/> % b. paved area <input type="checkbox"/> % c. greenery <input type="checkbox"/> % | |
| 48. Number and type of projection: | | 49. Distance of projection: | | 50. Width of projection: | | 51. Width of building frontage ft. | |
| | | | | | | 52. Signature of Owner (projection only): | |
| 53. Water or Sewer Excavation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 54. Driveway Construction? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 55. Sheeting/Shoring Necessary? <input type="checkbox"/> Yes <input type="checkbox"/> No | | 56. Elevators Involved? <input type="checkbox"/> Yes, answer q. 57 <input type="checkbox"/> No | |
| | | | | | | 57. No and type of elevator | |
| | | | | | | 58. Plans Certified by Engineer? <input type="checkbox"/> Yes, cert. attached <input type="checkbox"/> No | |
| 59. Estimated Cost of Work | | OFFICIAL USE ONLY | | | | | |
| (a) New/Add.: \$ 255,000.00 | | Alter/Repair FEE | | New Const. FEE | | Filing Fee | |
| (b) Alt/Repair \$ 77 | | | | | | TOTAL PERMIT FEE | |
| Total \$ 255,000.00 | | \$ 4530- | | \$ | | \$ 225- | |
| | | By: AL 9/6/05 | | Date: | | By: AL 9/6/05 | |
| | | Date: | | By: AL 9/6/05 | | Date: | |
| 60. Volume of New Bldg. or Addition cubic ft. | | | | | | | |

(C) RAZING A BUILDING (COMPLETE ITEMS 61 THRU 83)

| | | | | | |
|---|--|--|--|---|--|
| 61. Raze Contractor's Name: | | 62. Contractor's Address: (include Zip Code) | | 63. Phone: | |
| 64. Insurance Company | | 65. Policy or Cert. Number | | 66. Expiration Date | |
| 67. Raze Method | | | | | |
| 68. Building Material | | 69. Raze Entire Building? <input type="checkbox"/> Yes <input type="checkbox"/> No | | 70. Building Condemned? <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 70A. Building Vacant? <input type="checkbox"/> Yes <input type="checkbox"/> No | | 71. Public Space Vault? <input type="checkbox"/> Yes <input type="checkbox"/> No | | 72. Disconnect Water and/or Sewer? <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 73. Size of Water Connection in. | | 74. Plumber's Name: | | 75. D.C. Lic. No. | |
| 76. Length ft. | | 77. Width ft. | | 78. Height ft. | |
| 79. Volume ft. | | 80. Party Wall? <input type="checkbox"/> Yes <input type="checkbox"/> No | | | |
| 81. Asbestos in the Building? <input type="checkbox"/> No <input type="checkbox"/> Yes, location | | 82. Raze Contractor Signature | | OFFICIAL USE ONLY | |
| 83. Owner's Signature | | | | FEE | |
| | | | | By: | |
| | | | | Date: | |
| | | | | \$ | |

(D) RETAINING WALL (COMPLETE ITEMS 84 THRU 93) The retaining wall will not obstruct any accessible parking required by D.C. Zoning Regulations.

| | | | | | | | |
|---|--|---------------|--|--------------------------|--|-----------|--|
| 84. Cost of Work \$ | | 85. Material: | | 86. Height | | 87. Color | |
| 88. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land * | | | | | | | |
| 89. Signature of Adjoining Owner: | | | | 90. Phone: Home Work | | | |
| 91. Address of Adjoining Owner: | | | | 92. Lot: | | | |
| | | | | 93. Square: | | | |
| | | | | OFFICIAL USE ONLY | | | |
| | | | | FEE | | | |
| | | | | By: | | | |
| | | | | Date: | | | |
| | | | | \$ | | | |

* If party wall, the owner of the adjoining property must agree to the erection of the retaining wall and this application

(F) FENCE (COMPLETE ITEMS 94 THRU 102) The fence will not obstruct any accessible parking required by D.C. Zoning Regulations.

| | | | |
|------------------------|-------------------|------------|---|
| 94. Material and type: | 95. Height ft. | 96. Color: | 97. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land * |
|------------------------|-------------------|------------|---|

* If party fence, the owner of the adjoining property must agree to the erection of the fence and this application

| | | | |
|-----------------------------------|-------------------------|--------------------------|-----------|
| 98. Signature of Adjoining Owner: | 99. Phone: Work Home | OFFICIAL USE ONLY | |
| | | FEE | |
| 100. Address of Adjoining Owner: | 101. Lot | 102. Square | \$ |
| | | | By: Date: |

(G) SHED OR GARAGE (COMPLETE ITEMS 103 THRU 113)

| | | | | | | | |
|-----------------------|------------------------|---|----------------------|--------------------|-----------------------|------------------------------|--------------------------|
| 103. Number | 104. Length: ft. | 105. Width ft. | 106. Area: sq.ft. | 107. Height ft. | 108. Volume cu.ft. | 109. Est. Cost of Work \$ | OFFICIAL USE ONLY |
| | | | | | | | FEE |
| 110. Material of Roof | 111. Material of Sides | 112. Wall Thickness: <input type="checkbox"/> External () inches <input type="checkbox"/> Party () inches | | | | 113. Color | \$ |
| | | | | | | | By: Date: |

(H) AWNING (COMPLETE ITEMS 114 THRU 123)

| | | | | | | |
|---------------------------|------------------------------|---|---|--|---|--------------------------|
| 114. Number: | 115. Color | 116. Type: <input type="checkbox"/> Folding <input type="checkbox"/> Fixed | 117. Projections: Beyond bldg. line _____ in. Beyond pt of attachm _____ in | | 118. Height of Lowest Part of awning | OFFICIAL USE ONLY |
| | | | | | | FEE |
| 119. Material of Frame | 120. Material of Covering | 121. Lettering on awning? <input type="checkbox"/> Yes <input type="checkbox"/> No | 122. Fixed Posts? <input type="checkbox"/> Yes <input type="checkbox"/> No | 123. Over Side- walk café? <input type="checkbox"/> Yes <input type="checkbox"/> No | (a) _____ ft above sidewalk (b) _____ ft above parking (c) _____ ft above grade | \$ |
| | | | | | | By: Date: |

(I) SIGN (COMPLETE ITEMS 124 THRU 144)

| | | | | | |
|---|---|---|--------------------------|---|---|
| 124. Number | 125. Electric Signs? <input type="checkbox"/> Yes, answer q. 126-132 <input type="checkbox"/> No. SKIP q. 126-132 | 126. Type: <input type="checkbox"/> Incandes. <input type="checkbox"/> Fluoresc. <input type="checkbox"/> Neon | 127. Power _____ VA | 128. Electrical Contractor License Number: | |
| 129. Address of Electrical Contractor (include Zip) | | 130. Signature of Licensed Electrician | | 131. Phone No. | 132. License No. |
| 133. Height relative to building and ground (a) _____ ft _____ in above sidewalk (b) _____ ft _____ in above roof (c) _____ ft _____ in is building height (d) _____ ft _____ in above projection of window (e) _____ ft _____ in from roof to sign's bottom | | 134. Material of Sign | | 135. Type of Sign | 136. Color |
| | | 137. Width ft | 138. Length ft | 139. Area of Sign sq. ft | 140. Wide of Business frontage ft |
| 141. C of O No for Bldg. | 142. Sign Contractor: License No. | | OFFICIAL USE ONLY | | |
| | | Sign FEE | | | Total FEE |
| | | \$ | | | \$ |
| 143. Sign Contractor's Address: | | 144. Phone: | | By: Date: | By: Date: |

(J) APPLICANT'S SIGNATURE

A. OWNER: I hereby certify that I am the owner of the property, that the application and plans are complete and correct to the best of my knowledge, that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia.

Signature of Owner [Signature] Address 3203 SHOWNIDGE LN MITCHELLVILLE, MD Date 4/12/05

B. AGENT: I hereby certify that I have the authority of the owner to make this application. I declare that the application and plans are complete and correct to the best of my knowledge. The owner has assured me that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia

Signature of Agent _____ Address _____ Date _____

(J) APPROVALS (DO NOT WRITE ON THIS PAGE, OFFICIALS USE ONLY)

A. PERMIT CONTROL

- ☐ 1. Fine Arts by: _____ Date: _____
☐ 2. Historic by: _____ Date: _____
☐ 3. Cap. Gateway by: _____ Date: _____
☐ 4. NCPC: _____ Date: _____
☐ 5. W.H./Obs. Precinct by: _____ Date: _____
☐ 6. Flood Control by: _____ Date: _____
☐ 7. WMATA by: _____ Date: _____
☐ 8. Condem. by: _____ Date: _____
☐ 9. Rental Accom. by: _____ Date: _____
☐ 10. Chinatown Distr. by: _____ Date: _____
☐ 11. Utility Clearance by: _____ Date: _____
☐ 12. General Liability Ins. Policy
 Clearance by: _____ Date: _____

B. CLEARANCE TO FILE PLANS

- ☐ 1. Zoning by: _____ Date: _____
☐ 2. DDOT - Permit and Records Division
 Access to Parking Street ☐ Street ☐ Alley
 Cleared by: _____ Date: _____
☐ 3. DDOT - Consumer Engineer
 Cleared by: _____ Date: _____
☐ 4. ERA - Erosion Control
 Cleared by: _____ Date: _____

Restrictions of the Permit:

SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL
INSTALLATION PERMITS ARE REQUIRED

TO REPORT WASTE, FRAUD
OR ABUSE BY ANY D.C. GOVERNMENT
OFFICIAL, CALL THE D.C. INSPECTOR
GENERAL AT 1-800-521-1639

C. PLANS AND APPLICATION APPROVAL

- ☐ 1. Information Counter by: _____ Date: 9-12-05
☐ 2. Information Center by: _____ Date: _____
☐ (a) ABRA by: _____ Date: _____
☐ (b) Noise Control by: _____ Date: _____
☐ (c) Industrial Safety by: _____ Date: _____
☐ (d) Vector Control by: _____ Date: _____
☐ (e) D.C. Animal by: _____ Date: _____
☐ (f) Police Dept. by: _____ Date: _____
☐ 3. Zoning by: _____ Date: 9/7/05
 Zoning Update by: _____ Date: _____
 Zoning Overlay approval by: _____ Date: _____
☒ 4. DDOT - Permit and Records Division/Deposit#
 Sidewalk Deposit \$ _____ Driveway Deposit \$ _____
 by: _____ Date: 8/16/05
☐ 5. Water/Sewer Design Branch
 Consumer Eng. by: _____ Date: 9/1/05
☐ 6. Environmental Regulation Administration
☐ Environmental Policy Review
 Control No. _____ Date: 8/24/05
☐ Erosion Control by: _____ Date: 8/11/05
☐ Storm Water Mgmt. by: _____ Date: _____
 Plan No _____
☐ Air Quality by: _____ Date: _____
☒ Underground Storage by: _____ Date: _____
☒ 7. Mechanical Eng. Review by: _____ Date: 8-16-05
☒ 8. Plumbing Eng. Review by: _____ Date: 8-16-05
☒ 9. Electrical Eng. Review by: _____ Date: 9/2/05
☐ 10. Health Plan Review
☐ (a) Food Plan Review by: _____ Date: _____
☐ (b) Medical X-Ray Plan Rev.
 by: _____ Date: _____
☐ 11. Fire Protection Plan Review
 by: _____ Date: _____
☐ 12. D.C. Fire Dept. (Fire Prevention Plan Review Section)
 by: _____ Date: _____
☐ 13. Elevator Plan Rev. Sec. by: _____ Date: _____
☐ 14. Plumbing Insp Rev. by: _____ Date: _____
☐ 15. Construction Insp. Branch (Field Check)
 by: _____ Date: _____
☐ 16. Historic Pres. Div. by: _____ Date: _____
☐ 17. EISF: _____ Date: 4/14/05
☒ 18. Structural Eng. by: _____ Date: 9/16/05
☐ 19. Permit and Certificate Issuance Counter
 by: _____ Date: _____
☐ 20. QC By: _____ Date: 9-6/05

DDOT - PUBLIC SPACE

C of O Number _____ Date _____
 Existing Use(s) _____
 Proposed Use _____

- ☐ New Bldg
☐ P.O.D.
☐ File in
 room 2124

Street Name: _____
 Street Width: _____
 Road Width: _____
 Sidewalk Width: _____
 Parking: _____
 Restrictions: _____

Job No. _____ BZA Case No. _____ PUD Order No. _____

**GEOTECHNICAL REPORT
FOR
1233 MORSE STREET, N.E.
WASHINGTON, D.C.**

**PREPARED BY:
QUINTON WORRELL
March 18, 2005**

DEPARTMENT OF THE ARMY
ENGINEERING CENTER
WASHINGTON, D.C.
WASHINGTON, D.C.

WASHINGTON, D.C.

Plan Number N/A Date 8/11/05

Project PKEN Date 8/24/05

Project ID 535-2977

DCRA'S



March 18, 2005

**GEOTECHNICAL REPORT FOR
1231 MORSE STREET, N.E.
WASHINGTON, D.C.**

Authorization: The subsurface investigation has been completed at the request of the owner.

Scope of Services

- a. General probe of the sub-surface within the area of the proposed construction.
- b. Foundation recommendations for the support of the proposed construction.
- c. Geo-Technical considerations during construction.

Description of the Site

The site is identified as Lot 812 in Square 4069, in the Northeast quadrant of Washington, D.C. The topography of the site is relatively flat. It is proposed to place an addition to the building on the site.

Sub-Surface Conditions

A test boring was drilled in an area of the proposed addition to explore the sub-surface. The results of the tests are included in the index. Soils are classified in accordance with ASTM D-2487 as summarized in the index.

- a. Stratification

Brown, moist, stiff clay with traces of sand was found to a depth of six feet below grade. Below this stratum, to a depth of twelve feet are deposits of poorly graded sand with traces of silt and clay. From nine feet to fifteen feet below grade there is a layer of brown, moist, well graded sand, with a trace of silt and gravel.

Based on the boring taken, the stratum containing the footings is material whose blow counts presumes a soil bearing pressure at 2000 p.s.f.

GEOTECHNICAL REPORT
For 1231 MORSE STREET, N.E.
March 18, 2005
Page Two of Three

b. Ground Water

Water was not encountered during testing. Based on available data, ground water is not expected to be present during excavation. However, seasonal fluctuations in the depth of perched water could be expected depending on precipitation, evaporation, and similar phenomena.

Foundation Recommendations

a. Footings

Wall footings are recommended for the support of the proposed building. Proposed wall loads are not expected to exceed 4,000 pounds per linear foot. On this basis, wall footings shall be 12"x 24". Longitudinal 3 #4 reinforcing bars shall be placed in footings to protect against excess shear.

Footings shall extend a minimum depth of 30" below grade, as protection against frost heave. A perimeter sub-drainage system shall be included to eliminate the accumulation of water at the footings. The system shall be drained away from the building.

b. Floor Slab

A concrete slab on grade, four inches deep, and reinforced with welded wire fabric is a suitable application, with 6 mil plastic moisture barrier covering 4' of gravel is recommended as sub-grade for the slab.

c. Grading

The finished grades at the walls shall be developed so as to provide positive drainage of storm water away from the building.

GEOTECHNICAL REPORT
For 1231 MORSE STREET, N.E.
March 18, 2005
Page Three of Three

Construction Considerations

a. Footings

Care shall be taken during excavation to minimize the disturbance of the bearing soils. Footings shall be formed and poured the same day if possible in order to preclude the accumulation of surface water in the excavation. Disturbed, frozen, or softened soils shall be removed prior to concrete placement. The sub-grade shall be free of water for the inspection, and the pouring of concrete.

b. Limitations

The location and depth of the borings in the investigation is generally considered adequate for the description of the sub-soil. A contingency allowance should be provided to meet any additional expense entailed in foundation construction, as recommended herein, and resulting from variations in soil conditions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Quinton Worrell', is written over a horizontal line.

Quinton Worrell, P.E.

Attachments: (1) Boring location plan
(2) Test boring data
(3) Soil classification system
(4) Gradation analysis

BORING LOCATION PLAN

DCRA'S



PUBLIC ALLEY

55.97

B-1

78.75

BORING LOCATION

40.0

MORSE STREET, N.E.

BORING LOCATION PLAN

1231 MORSE STREET, N.E.

Project: Multi-family Dwelling
Boring B-1

Location: 1231 Morse Street, N.E.
Washington, D.C.

Date: March 18, 2005

Boring Report

| Depth | | | Sample | | | | | | |
|-------|----|--|--------|------|------|----|----|----|-----|
| From | To | | No. | From | To | | | | |
| 1 | 6 | Brown, moist, stiff clay with traces of sand (CL). | 1 | 4.5 | 6.0 | 7 | 6 | 7 | /18 |
| | | | | | | | | | |
| | | | | | | | | | |
| 6 | 12 | Brown, moist, poorly graded, sand with traces of silt and clay (SM). | 2 | 10.5 | 12.0 | 13 | 14 | 16 | /18 |
| | | | | | | | | | |
| 9 | 15 | Brown, moist, well graded sand with traces of silt and gravel (SM). | 3 | 13.5 | 15.0 | 19 | 22 | 24 | /18 |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | B.O.T.B. 15.0 | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

At Completion

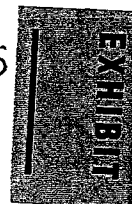
Water.....None

Caved.....

Sheet 1 of 1

SOIL CLASSIFICATION

DCRA'S



FIELD CLASSIFICATION SYSTEM FOR SOIL EXPLORATION

NON COHESIVE SOILS (Silt, Sand, Gravel and Combinations)

| <u>Density</u> | | <u>Particle Size Identification</u> | |
|----------------|------------------------|-------------------------------------|---|
| Very Loose | - 5 blows/ft. or less | Boulders | - 8 inch diameter or more |
| Loose | - 6 to 10 blows/ft. | Cobbles | - 3 to 8 inch diameter |
| Medium Dense | - 11 to 30 blows/ft. | Gravel | - Coarse - 1 to 3 inch |
| Dense | - 31 to 50 blows/ft. | | Medium - 1/4 to 1 inch |
| Very Dense | - 51 blows/ft. or more | | Fine - 1/4 to 1/2 inch |
| | | Sand | - Coarse - 0.6mm to 1/4 inch (dia. of pencil lead) |
| | | | Medium - 0.2mm to 0.6mm (dia. of broom straw) |
| | | | Fine - 0.05mm to 0.2mm (dia. of human hair) |
| | | Silt | - 0.6mm to 0.002mm (Cannot see particles) |

| <u>Relative Proportions</u> | |
|-----------------------------|----------------|
| <u>Descriptive Term</u> | <u>Percent</u> |
| Trace | 1-10 |
| Little | 11-20 |
| Some | 21-35 |
| And | 36-50 |

COHESIVE SOILS (Clay, Silt and Combinations)

| <u>Consistency</u> | | <u>Plasticity</u> | |
|--------------------|------------------------|-------------------|------------|
| Very Soft | - 3 blows/ft. or less | Degree of | Plasticity |
| Soft | - 4 to 5 blows/ft. | Plasticity | Index |
| Medium Stiff | - 6 to 10 blows/ft. | None to slight | 0- 4 |
| Stiff | - 11 to 15 blows/ft. | Slight | 5- 7 |
| Very Stiff | - 16 to 30 blows/ft. | Medium | 8-22 |
| Hard | - 31 blows/ft. or more | High to Very High | over 22 |

Classification on logs are made by visual inspection of samples.

Standard Penetration Test — Driving a 2.0" O.D., 1-3/8" I.D., sampler a distance of 1.0 foot into undisturbed soil with a 140 pound hammer free falling a distance of 30.0 inches. It is customary for ATEC to drive the spoon 6.0 inches to seat into undisturbed soil, then perform the test. The number of hammer blows for seating the spoon and making the test are recorded for each 6.0 inches of penetration on the drill log (Example — 6/8/9). The standard penetration test result can be obtained by adding the last two figures (i.e. 8 + 9 = 17 blows/ft.). (ASTM D-1586-67)

Strata Changes — In the column "Soil Descriptions" on the drill log the horizontal lines represent strata changes. A solid line (_____) represents an actually observed change, a dashed line (_____) represents an estimated change.

Ground Water observations were made at the times indicated. Porosity of soil strata, weather conditions, site topography, etc., may cause changes in the water levels indicated on the logs.

SOIL GRADATION

DCRA'S



GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION
TECHNICAL REVIEW BRANCH

PLAN CORRECTION LIST

Job No.

1988-B

Engineer

Godwin Okunari

Section

MP

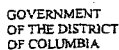
Date

4-29-05

CHANGES REQUIRED ON PLANS PRIOR TO APPROVAL:

No.

1. Identify 11 units in plan as per item #18 of application ~~(scribble)~~
2. Specify sources of adequate combustion/delivery air for all gas furnaces.
3. Provide reqd separation of exhaust flue gases from all air intake sources, operable windows, lot lines, etc, per IMC and residential mech codes. Verify compliance in plan and notes.
4. Exhausts shall not discharge into walkways.
5. Provide legible plumbing riser diagrams for water and sanitary.
6. Increase size of incoming gas line, show sizing calc.
7. Plans shall be sealed by Architect and/or P.E. registered in DC.
8. Provide WASHA approval for adequate water to bldg sewer.



BLRA -30 (REV(2010)
Error: Main Document
Empty

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION

MTQ

[illegible]

CONTRACT AGREEMENT

Name of Contractor/Owner TAWO DEMUREN Contractor's License No. _____
 Address of Contractor/Owner 3203 SHONTRIDGE LANE
MITCHELLVILLE, MD 20724 Date: 4/12/0

| | | |
|---|--------------------------|-------------------------------------|
| ADDRESS OF PROPOSED WORK | <u>1233 MORSE ST, NE</u> | LOT <u>130</u> SQUARE <u>406</u> |
| OWNER OF BUILDING OR BUSINESS | <u>TAWO DEMUREN</u> | PHONE No _____ |
| DESCRIPTION OF PROPOSED WORK <u>BUILDING PERMITS FOR ADDITION TO SINGLE FAMILY DWELLING AND CONVERT TO APARTMENT BUILDING AS PER PLANS.</u> | | |

COST ESTIMATE

| | |
|---|----------------------|
| CONSTRUCTION e.g. drywall, ceilings, framing, carpentry etc | \$ <u>145,000.00</u> |
| ELECTRICAL | \$ <u>20,000.00</u> |
| MECHANICAL | \$ <u>25,000.00</u> |
| PLUMBING | \$ <u>20,000.00</u> |
| FIRE PROTECTION e.g. sprinkler system, fire alarm system, generator etc | \$ <u>10,000.00</u> |
| DEMOLITION | \$ <u>5,000.00</u> |
| MISCELLANEOUS (please specify) | \$ <u>30,000.00</u> |
| TOTAL | \$ <u>255,000.00</u> |

The labor and material costs of counter tops, kitchen cabinets, floor coverings, tile work, caulking, patching and plaster repair, painting other than fire retardants and downspouts, not more than 160 square feet of gypsum board shall not be included in the cost estimate for permitting purposes. The entire fee is the 1999 D.C. Building Supplement Chapter 1 Section 107.3

The foregoing terms, specifications and conditions are satisfactory and hereby agreed to. You are authorized to work as specified and payment will be amount as outlined. Upon signing this agreement, the owner represents and warrants that he or she is the owner or the authorized agent of the owner of premises and that he or she has read this agreement.

CONTRACTOR _____ Date _____
 Signature & print
 OWNER OF BUILDING/BUSINESS TAWO DEMUREN 4/12/0
 Signature & print

Upon signing this document, the owner and contractor declare that the cost of construction as specified above for the referenced project is true and their knowledge.

Please fill out this agreement form in accordance with D.C. Construction Code Supplement 1999, Chapter 1 Section 1

DCRA'S



Project Address 1233 MORSE ST, NE,
Name of Owner(s) TAWO DEMUREN Name of Contractor _____
Phone Number 240-832-4315 Square # 4069 Lot # 130 Ward # _____
Project Start Date 5/25/05 Project End Date 8/30/05

| | |
|--------------------------|--------------------------|
| Hospital | <input type="checkbox"/> |
| Museum | <input type="checkbox"/> |
| School/Child Development | <input type="checkbox"/> |

- # EXHIBIT

| Scope of the Project | Yes | No | Instructions |
|---|-----|----|--|
| 13 Is an exemption claimed from the requirement to submit an Environmental Impact Screening Form pursuant to Title 24, Sec. 7202 that is not referred to in this form? If yes, describe the exemption and cite the relevant section of the regulations on an attachment | | | If yes, describe on an attachment and submit to EIS Coord DCRA. |
| 14 Does the total cost of the project exceed \$1.42 million, including site preparation and construction? | | | If yes, and no exemption claimed, Environmental Impact Screening Form (EISF) required. |
| 15 Is the cost of this project \$1.42 million or less? If yes, please answer all of the following questions | | | If yes, complete A through G |
| A Does the project site contain any species of plant or animal that is identified as threatened or endangered? | | | If yes, EISF required. |
| B Are any streams, lakes, ponds, springs or wetlands within 100 feet of the project site? | | | If yes, EISF required. |
| C Will the project result in an emission of odorous or other air pollutants from any source, including VOCs? | | | If yes, EISF required. |
| D Will this action involve the use, production or disposal of hazardous substances as defined in 20 DCMR 7299? | | | If yes, EISF required. |
| E Will construction be on land where the depth to the water table is less than 3 feet? | | | If yes, EISF required. |
| F Will blasting occur as part of the project? | | | If yes, EISF required. |
| G Will the project generate medical, infectious, radioactive or hazardous waste? | | | If yes, EISF required. |

I certify that all of the statements on this application are true and complete to the best of my knowledge and belief. I agree to comply with all applicable laws and regulations of the District of Columbia. The making of false statements on this application is punishable by criminal penalties. (DC Code Sec. 22-2514)

Signature of Owner/Authorized Agent

Date

4/12/05

OFFICIAL USE ONLY

Environmental Impact Screening Form required: Yes ☒ No ☐ Referred to EIS Coordinator ☐

DCRA Reviewer

Date 4/14/05

If yes, submit to EIS Coordinator
Department of Consumer and Regulatory Affairs
Building and Land Regulation Administration

Comments

NOTE: APPROVAL OF A BUILDING PERMIT IS NOT SYNONYMOUS WITH APPROVAL OF AN ACTION OR ENTIRE PROJECT UNDER THE ENVIRONMENTAL POLICY ACT OF 1989. IF THE APPLICANT BUILDS ON THE SAME, ADJACENT OR ABUTTING PROPERTY OR EXPANDS UPON THE WORK DESCRIBED IN THE INSTANT APPLICATION OR PLANS AND SPECIFICATIONS WITHIN THREE YEARS, AN ENVIRONMENTAL IMPACT SCREENING FORM MAY BE REQUIRED FOR THE ENTIRE PROJECT, INCLUDING THE PORTION ENCOMPASSED BY THIS APPLICATION AND PERMIT APPROVAL. FURTHER, IF THE ACTION IS IN VIOLATION OF ANY FEDERAL OR DISTRICT LAWS PERTAINING TO THE ENVIRONMENT, AN EISF CAN BE REQUIRED.

TO REPORT WASTE, FRAUD, OR ABUSE BY ANY DC GOVERNMENT OFFICE OR OFFICIAL, CALL THE INSPECTOR GENERAL ON 1-800-521-1639

INSTRUCTIONS FOR ENVIRONMENTAL INTAKE FORM

The Environmental Policy Act of 1989 (DC Code Sec. 6-981, DC Law 8-36) requires that District of Columbia agencies consider the environmental impact of all proposed major actions prior to issuing any approvals for such actions. The purpose of the Environmental Intake Form is to screen all applications for permits to ensure compliance with the Environmental Policy Act. Every applicant for a building permit must complete this form for submission with the application for a permit. A copy of the Regulations of the Environmental Policy Act of 1989 is available for review in the Permit Service Center, Room 2300, 941 North Capitol Street NE. Or you can visit www.dcrn.dc.gov on the Internet to find forms, laws and regulations, maps and links to other websites that provide information related to environmental policy review.

Department of Consumer and Regulatory Affairs (DCRA) staff will review the Environmental Intake Form to determine whether or not an Environmental Impact Screening Form (EISF) is required. If a determination is made that an EISF is not required, the application for a permit will proceed through its normal reviews. If a determination is made that an EISF is required, no permit can be issued until interagency reviews of the EISF are completed, and a determination is made by the Director of DCRA that the proposed action will not result in substantial negative impact.

Following are line-by-line instructions and resources for completing the Environmental Intake Form. Note that in addition to the resources provided below, all District of Columbia laws and regulations are available at local DC public libraries. Also note that all phone numbers provided are within the (202) area code.

1. Is this a solid waste facility?
 - If the answer is yes, see the EIS Coordinator.
 - If the answer is no, proceed to the next question.
2. Does the owner of this site own adjacent or abutting property?
 - If the answer is yes, submit a site plan to the EIS Coordinator, DCRA. If there are no plans to develop the adjacent or abutting property within the next three years, prepare an explanation and submit to the EIS Coordinator.
 - If the answer is no, proceed to question # 2.
3. Does the owner of the site plan to acquire property that is adjacent to or abutting this site within the next three years?
 - If the answer is yes, submit a site plan to the EIS Coordinator, DCRA. If such plans are not yet available, prepare an explanation and submit to the EIS Coordinator.
 - If the answer is no, proceed to question # 3.
4. Is additional development planned by the applicant for any site within the same square during the next three years?
 - If the answer is yes, submit a site plan to the EIS Coordinator, DCRA. If such plans are not yet available, prepare an explanation and submit to the EIS Coordinator.
 - If the answer is no, proceed to question # 4.
5. Is this project a residential structure within the R-1 through R-5-A zoning districts?
 - If the answer is yes, go directly to the signature line.
 - If the answer is no, proceed to the next question.
 - If you don't know the zoning for this property, ask to speak to the Zoning Technician in Room 2300. In addition, the Zoning Regulations and zoning maps are available on the Internet at www.dcoz.dcgov.org.
6. Is this project a single-family structure that is not in conjunction with the building of two or more units?
 - If the answer is yes, go directly to the signature line.
 - If the answer is no, proceed to the next question.
7. Is this project an accessory structure such as a garage, patio, swimming pool or fence?
 - If the answer is yes, go directly to the signature line.
 - If the answer is no, proceed to the next question.
8. Is the project solely an interior renovation with no change in the use of the building?
 - If the answer is yes, go directly to the signature line.
 - If the answer is no, proceed to the next question.
9. Is the project located in an Economic Development Zone, as defined in DC Code 5-1401 et seq (DC Law 7-177)?
 - If the answer is yes, go directly to the signature line.
 - If the answer is no, proceed to the next question.

DCRA

DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS

Inspections & Compliance Administration
941 North Capitol St NE #2000
Washington, DC 20002

STOP WORK ORDER

1233 MORSE STREET, N.E.

(address)

You are hereby ordered to IMMEDIATELY STOP all work at this building or structure.

- ☒ You are performing work that violates the Construction Code:
☐ You are performing work in an unsafe and dangerous manner.

| Code Section(s) | Violation(s) | Corrective Action(s) |
|----------------------------------|---|----------------------|
| 12A DCMR §§ 105.1(1), 105.1.4(1) | Constructing a new structure without a building permit | Obtain a permit |
| 12A DCMR § 105.1 | Constructing beyond the scope of the approved building permit | Obtain a permit |
| 12A DCMR §§ 105.1(4), 105.1.7.1 | Razed a building without a permit | Obtain a permit |
| 12A DCMR §§ 105.1.6(1), 105.1(3) | Exceeding the scope of the demolition permit | Obtain a permit |

Do NOT work at this address until you:

- ☒ Correct the violation(s)
☒ Pay the fine amount
☒ Obtain and post the required permits

- ☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____
☒ Receive approval from the Code Official to remove the Stop Work Order.

- ☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____
☒ Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407 and 12A DCMR § 114.3.

A Stop Work Order for illegal construction under 12A DCMR §§ 113.7 and 114.3 requires you to stop all work at the building or structure, whether or not the work requires building permits.

It is a Stop Work Order violation for an owner or agent to enter the site for any reason without the Code Official's approval. (The Code Official may allow temporary access to ensure the property's security and safety, under 12A DCMR § 114.6.1.)

Anyone who continues any work in or around a structure posted with a Stop Work Order — except to do work that the Code Official approves to remove a violation or unsafe condition — is subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407, 12A DCMR §§ 105.3 and 114.10.

RIGHT TO APPEAL

You have the right to appeal the Order to the Reviewing Official (Nick Mavris, Deputy Director, Inspections and Compliance Administration) within 15 days of its posting, under 12A DCMR § 112.1. You may call the Reviewing Official at (202) 443-7887. You may obtain a Stop Work Order Appeal Request Form at the address above or at dcra.dc.gov. If the Reviewing Official denies your appeal or takes no action within working days of receiving it, you may appeal to the Director.

If the Director denies or takes no action on your appeal within 2 working days of receiving it, you may appeal to the DC Office of Administrative Hearings (OAH). You may deliver your written request for a hearing to OAH at 941 North Capitol St NE #2150, Washington, DC 20002 or mail it to PO Box 7715, Washington, DC 20015-8715.

Signature of Issuing Official: Nail Letron Date: 5/8/07 Time: 4:25 PM
 Print Name: Nail Letron Phone Number: 442-7887

Pg 2 of 2

DCRA

DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS

Inspections & Compliance Administration
941 North Capitol St NE #2000
Washington, DC 20002

STOP WORK ORDER

1233 MORSE STREET, N.E.

Inspections & Compliance Administration
941 North Capitol St NE #2000
Washington, DC 20002

STOP WORK ORDER

1233 MORSE STREET, N.E.

(address)

You are hereby ordered to **IMMEDIATELY STOP** all work at this building or structure.

- ☒ You are performing work that violates the Construction Code;
☐ You are performing work in an unsafe and dangerous manner.

| Code Section (s) | Violation (s) | Corrective Action (s) |
|------------------------------|---|-----------------------|
| 12A DCMR § 105.1.16 | Conducting Plumbing work without a permit | Obtain a permit |
| 12A DCMR §§ 109.3, 109.3.8.1 | Plumbing, cap water and sewer w/o work was done without an inspection | Request an inspection |

Do NOT work at this address until you:

- ☒ Correct the violation(s)
☒ Pay the fine amount
☒ Obtain and post the required permits
☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____
☒ Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407 and 12A DCMR § 114.3.

A Stop Work Order for illegal construction under 12A DCMR §§ 113.7 and 114.6 requires you to stop all work at the building or structure, whether or not the work requires building permits.

Owner/Agent is not to enter the site for any reason without the Code Official's approval.

Do NOT work at this address until you:

- ☒ Correct the violation(s)
☒ Pay the fine amount
☒ Obtain and post the required permits
☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____
☒ Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407 and 12A DCMR § 114.3.

A Stop Work Order for illegal construction under 12A DCMR §§ 113.7 and 114.6 requires you to stop all work at the building or structure, whether or not the work requires building permits.

It is a Stop Work Order violation for an owner or agent to enter the site for any reason without the Code Official's approval. (The Code Official may allow temporary access to ensure the property's security and safety, under 12A DCMR § 114.6.1.)

Anyone who continues any work in or around a structure posted with a Stop Work Order - except to do work that the Code Official approves to remove a violation or unsafe condition - is subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407, 12A DCMR §§ 105.8 and 114.10.

RIGHT TO APPEAL

You have the right to appeal this Order to the Reviewing Official (Nick Majett, Deputy Director, Inspections and Compliance Administration) within 15 days of its posting, under 12A DCMR § 112.1. You may call the Reviewing Official at (202) 442-7867. You may obtain a Stop Work Order Appeal Request Form at the address above or at dcra.dc.gov. If the Reviewing Official denies your appeal or takes no action within 3 working days of receiving it, you may appeal to the Director.

If the Director denies or takes no action on your appeal within 3 working days of receiving it, you may appeal to the DC Office of Administrative Hearings (OAH). You may deliver your written request for a hearing to OAH at 941 North Capitol St NE #9100, Washington, DC 20002 or mail it to PO Box 77718, Washington, DC 20013-8713.

Signature of Issuing Official

Nail Letren

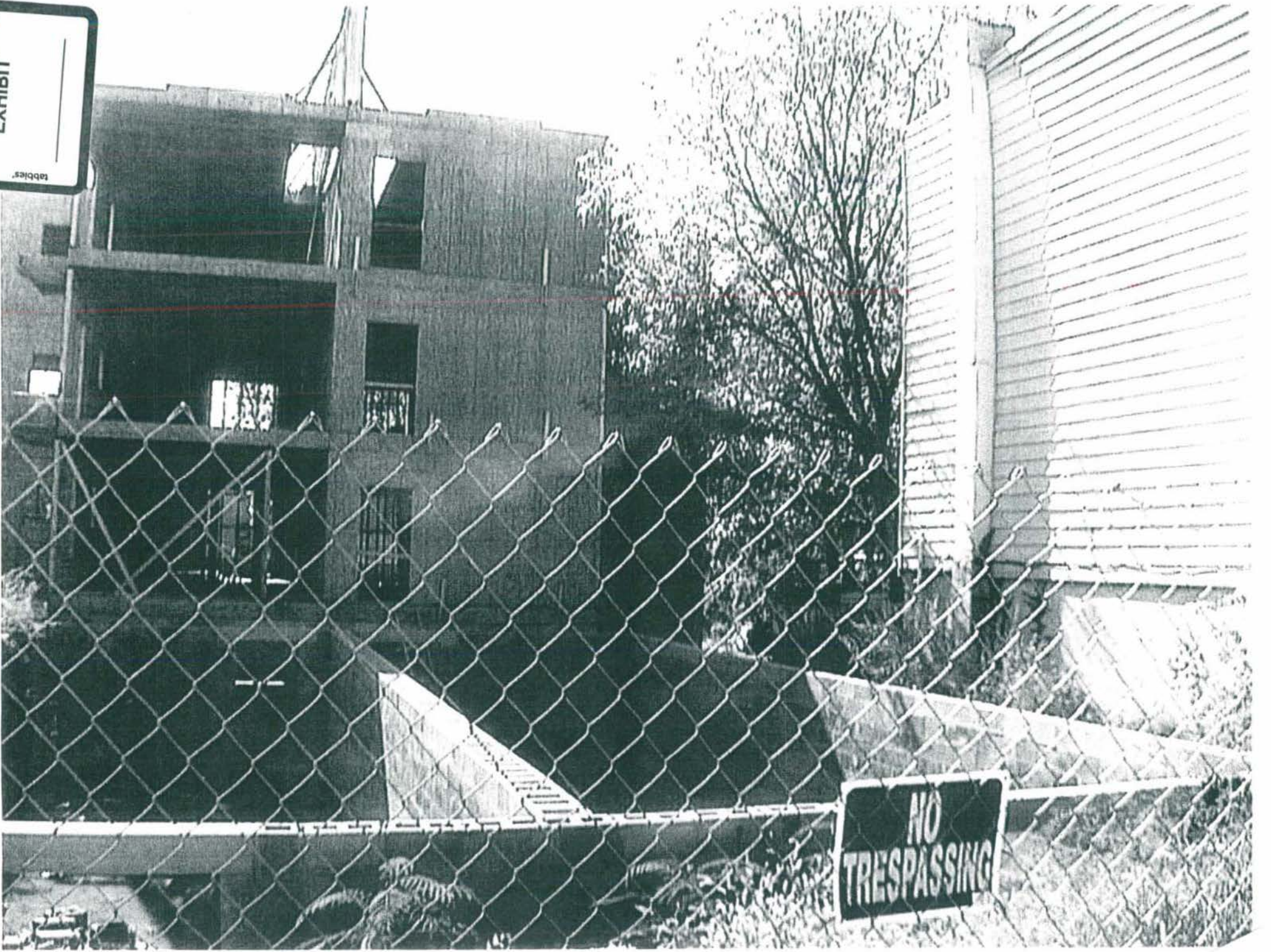
Date 5/8/07 Time 4:25 PM

Phone Number 442-7867

Print Name: Nail Letren

pg. 2 of 2

EXHIBIT

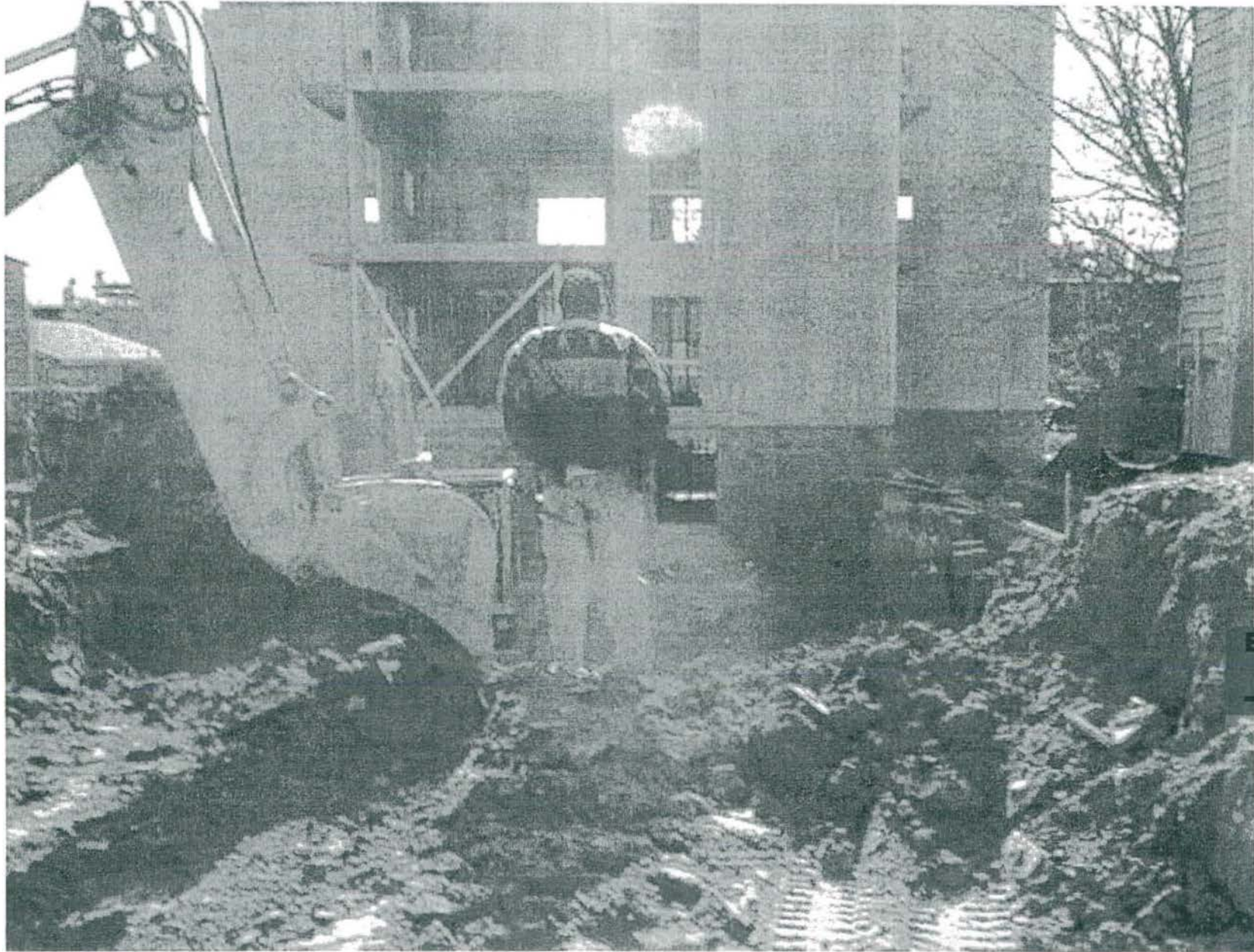


NO
TRESPASSING

EXHIBIT

Lobbies





EXHIBIT

DCRA'S

FRONT
MORRIS ST N.E.

Exh — 1



FRONT
MADGE ST WE.

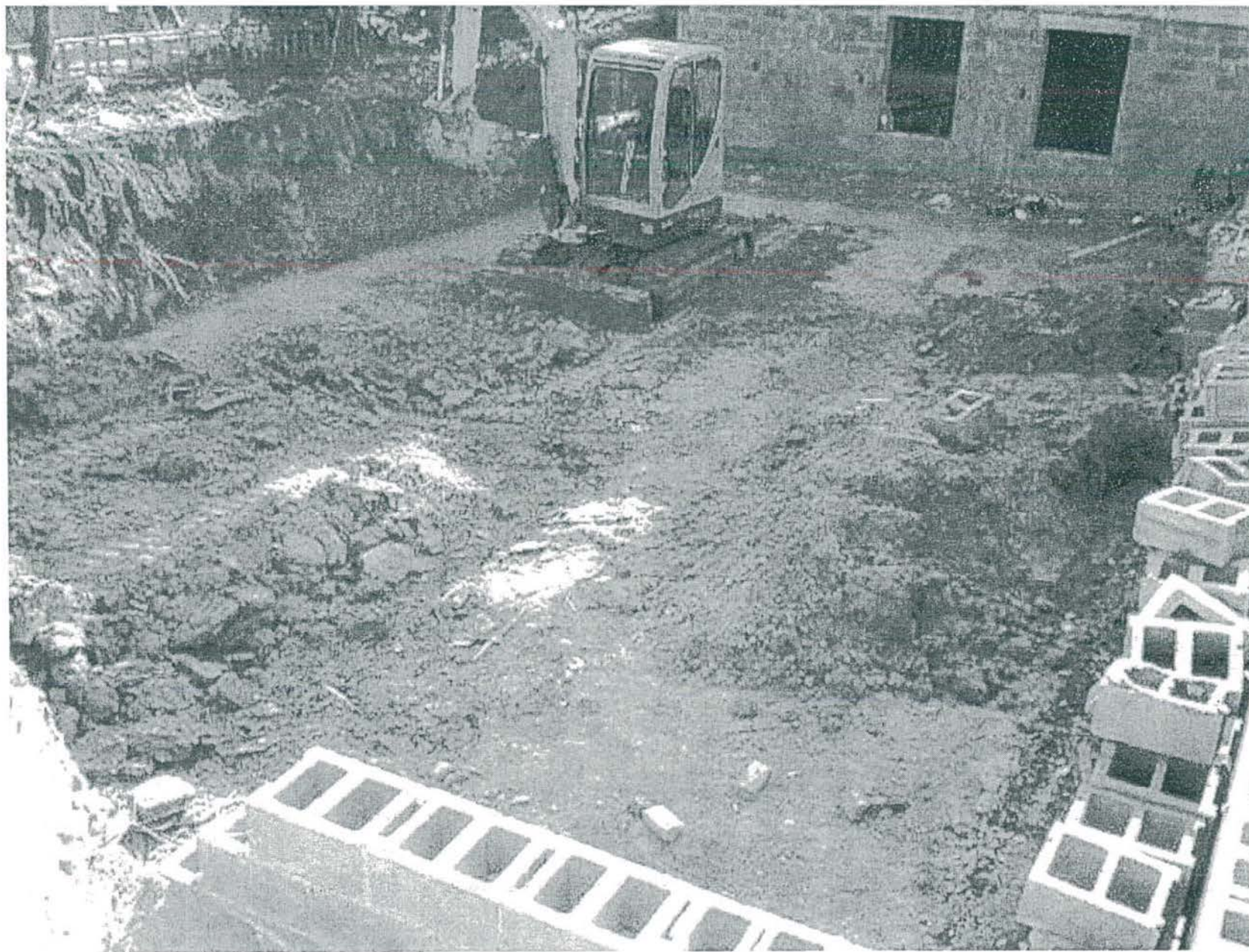
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EXHIBIT

Exh — 47

Exh-417

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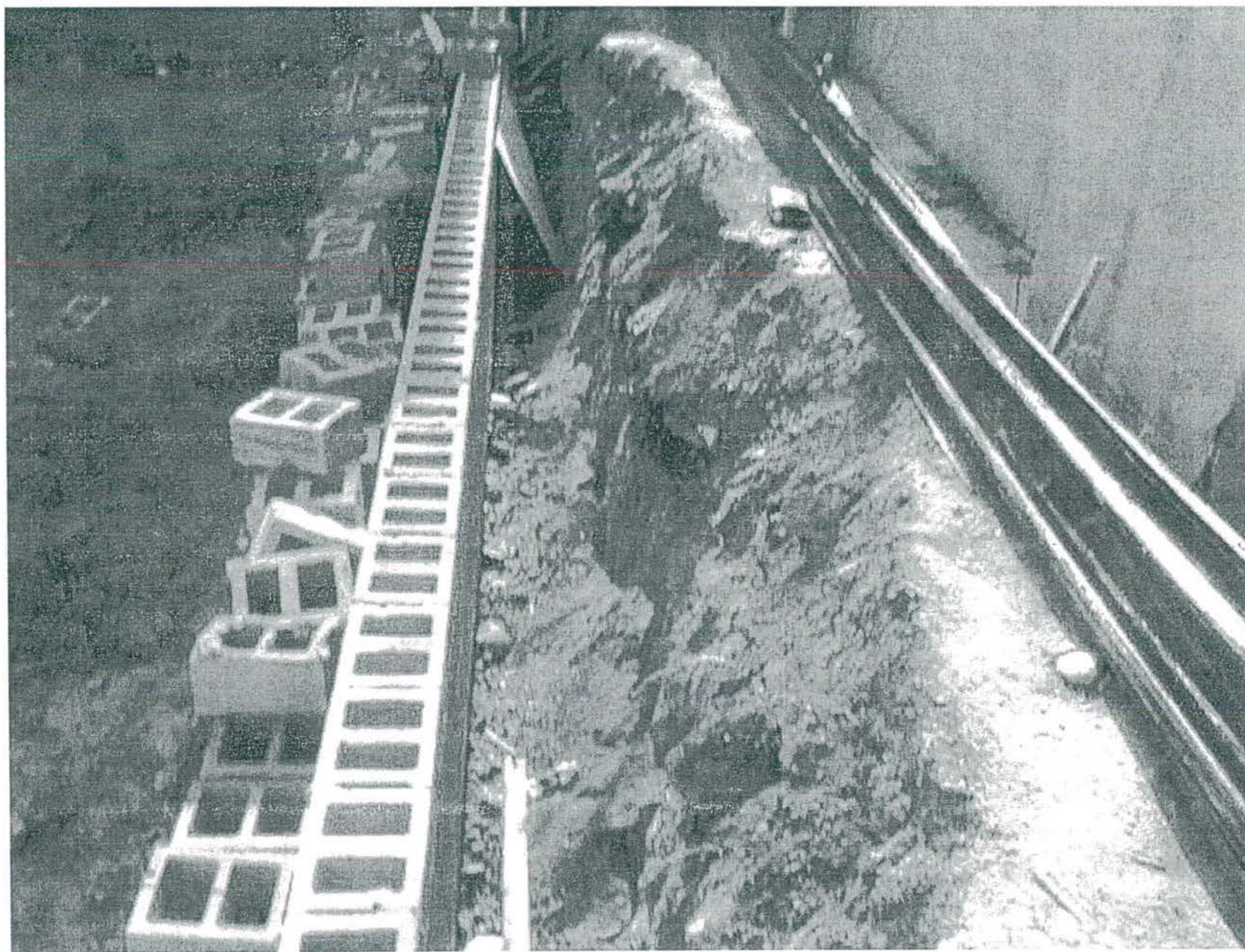


FRONT

EXHIBIT

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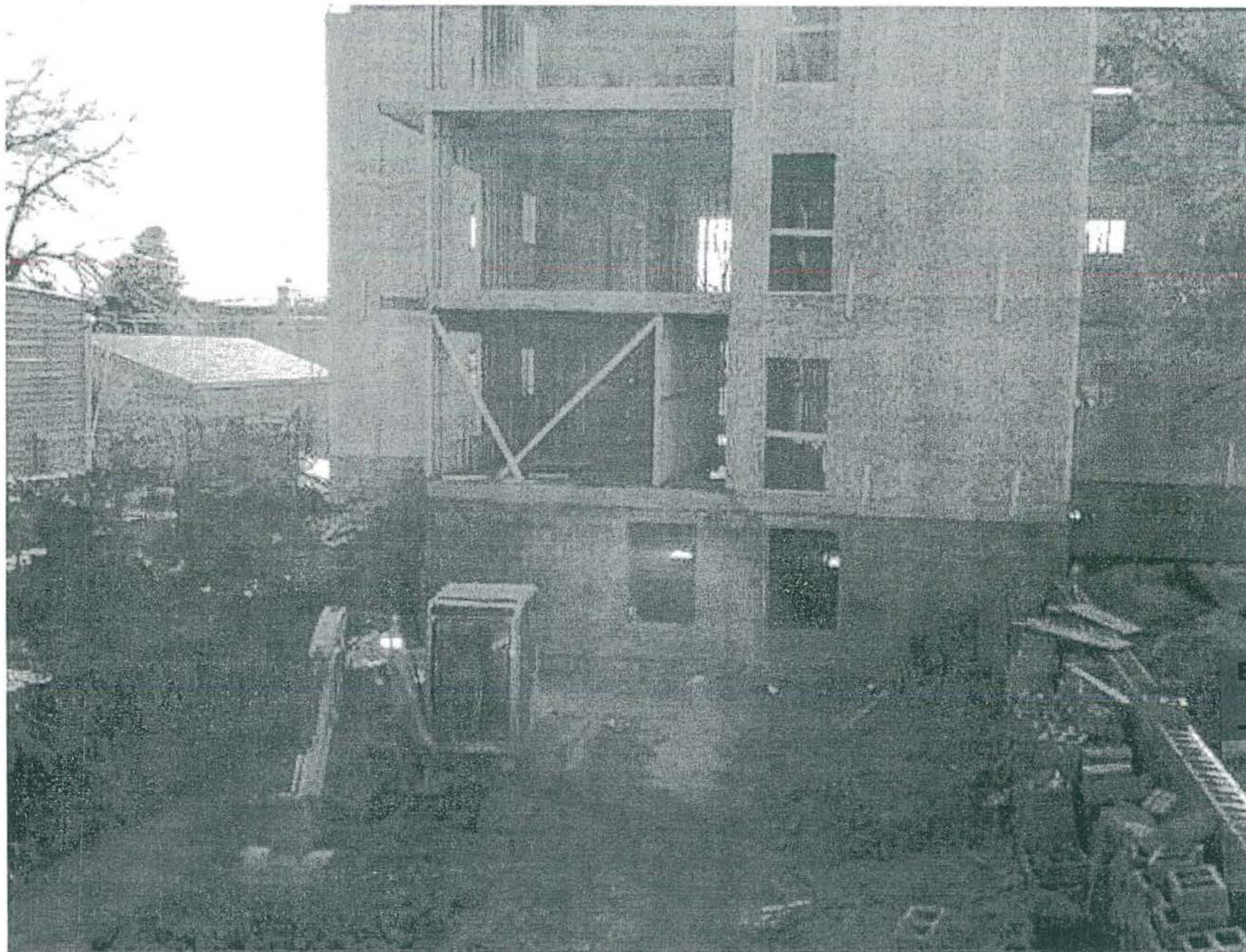
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FRONT
RIGHT SIDE

EXHIBIT

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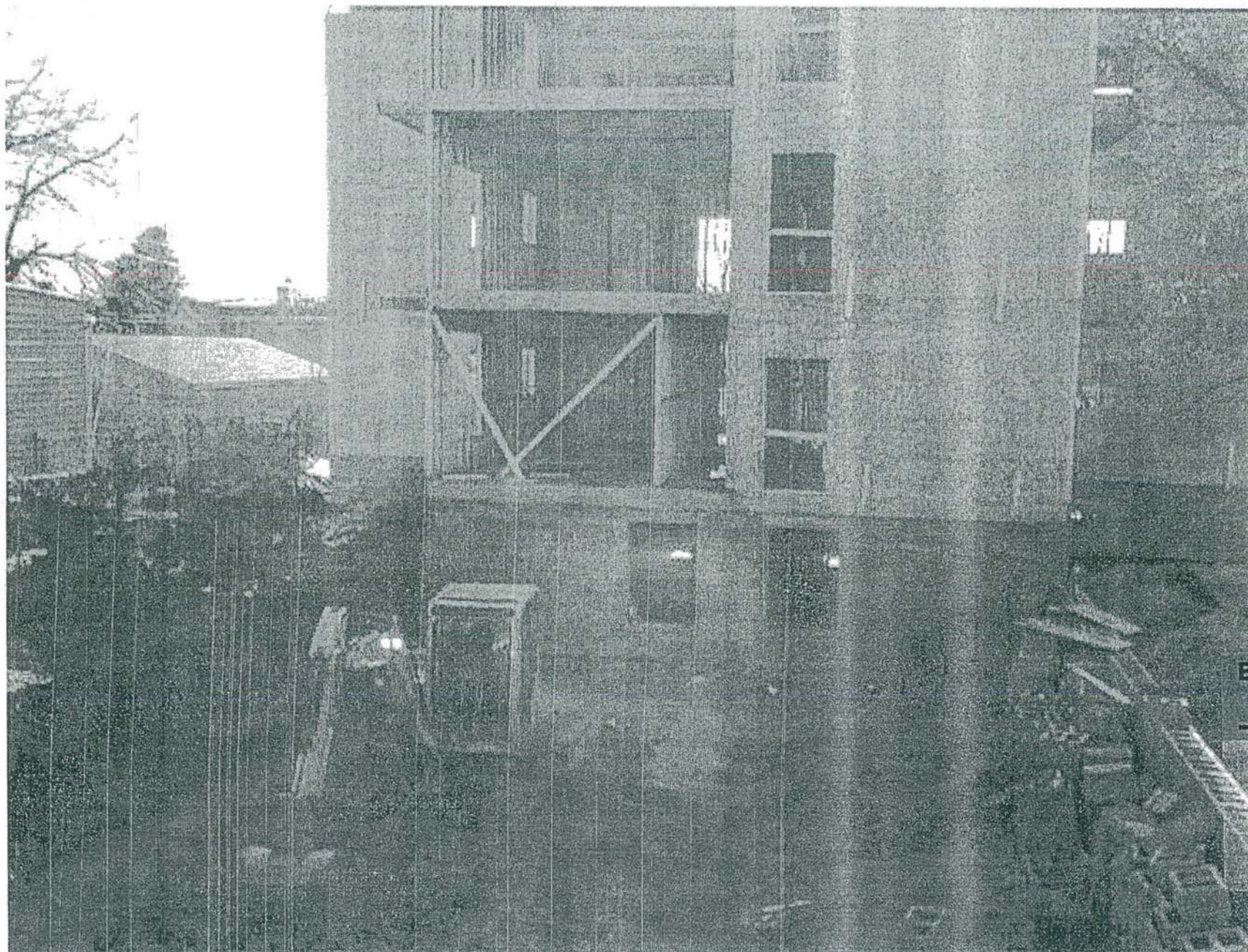


EXHIBIT

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FRONT
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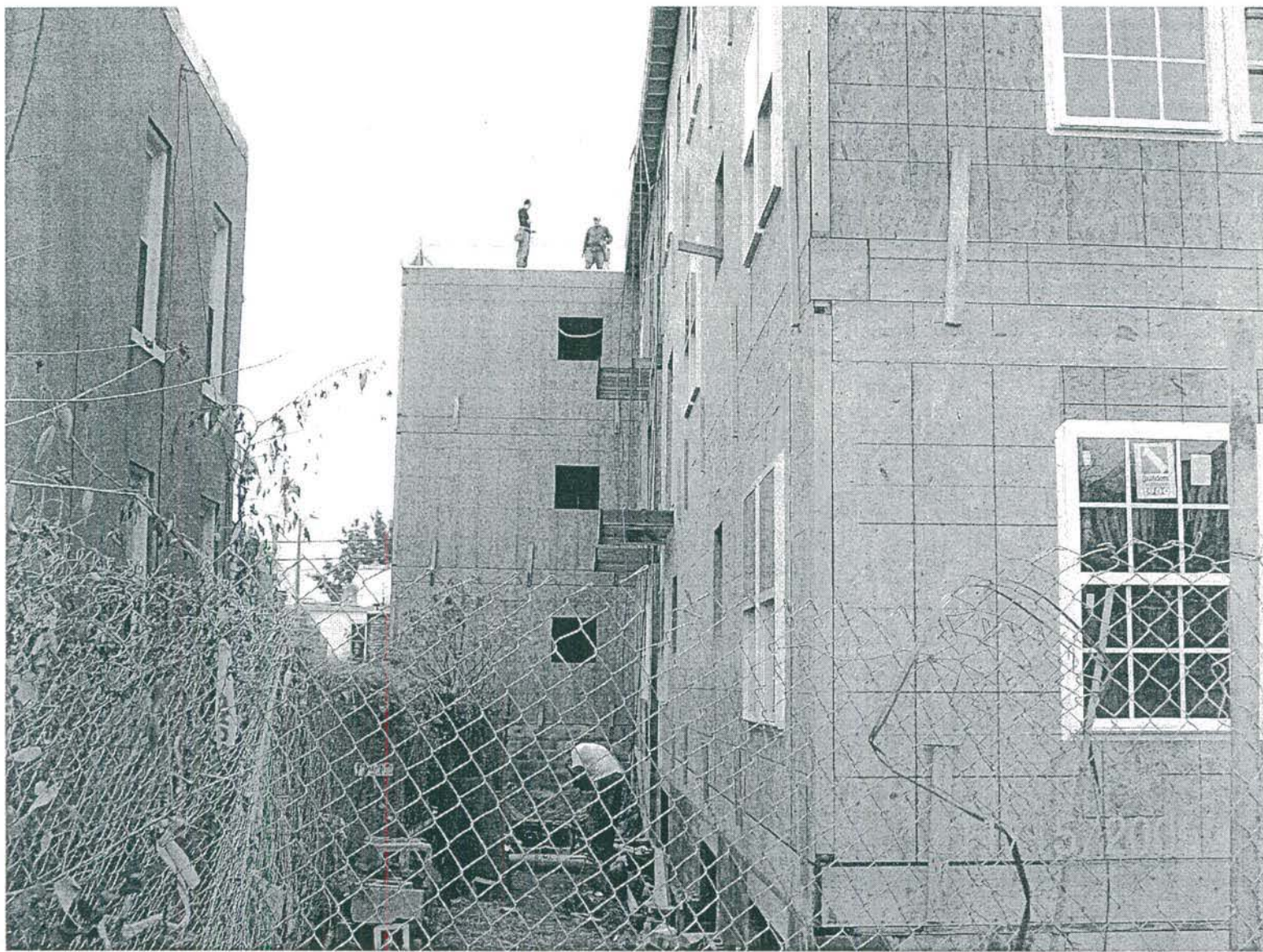
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EXHIBIT

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MARSE ST N.E.



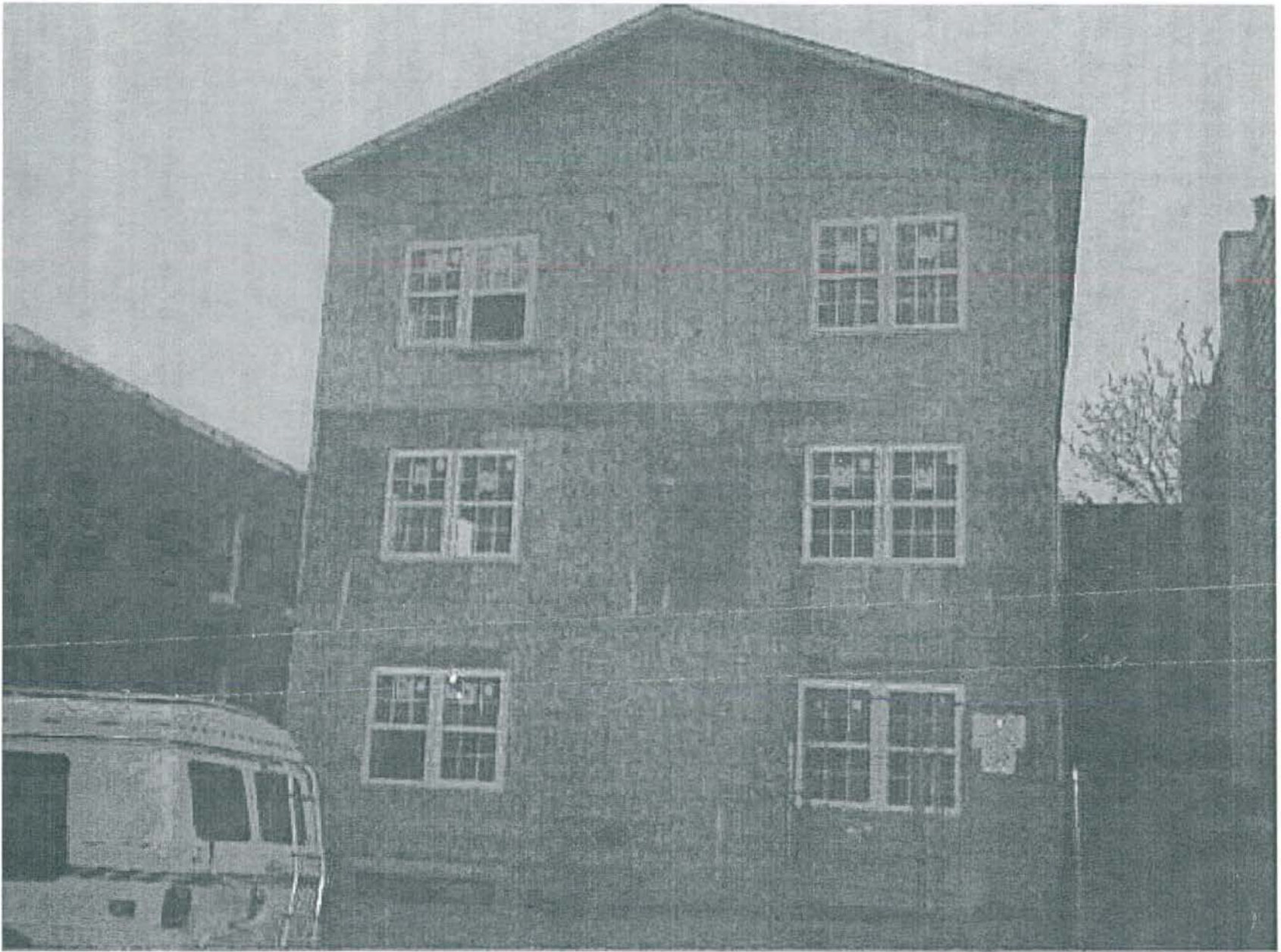
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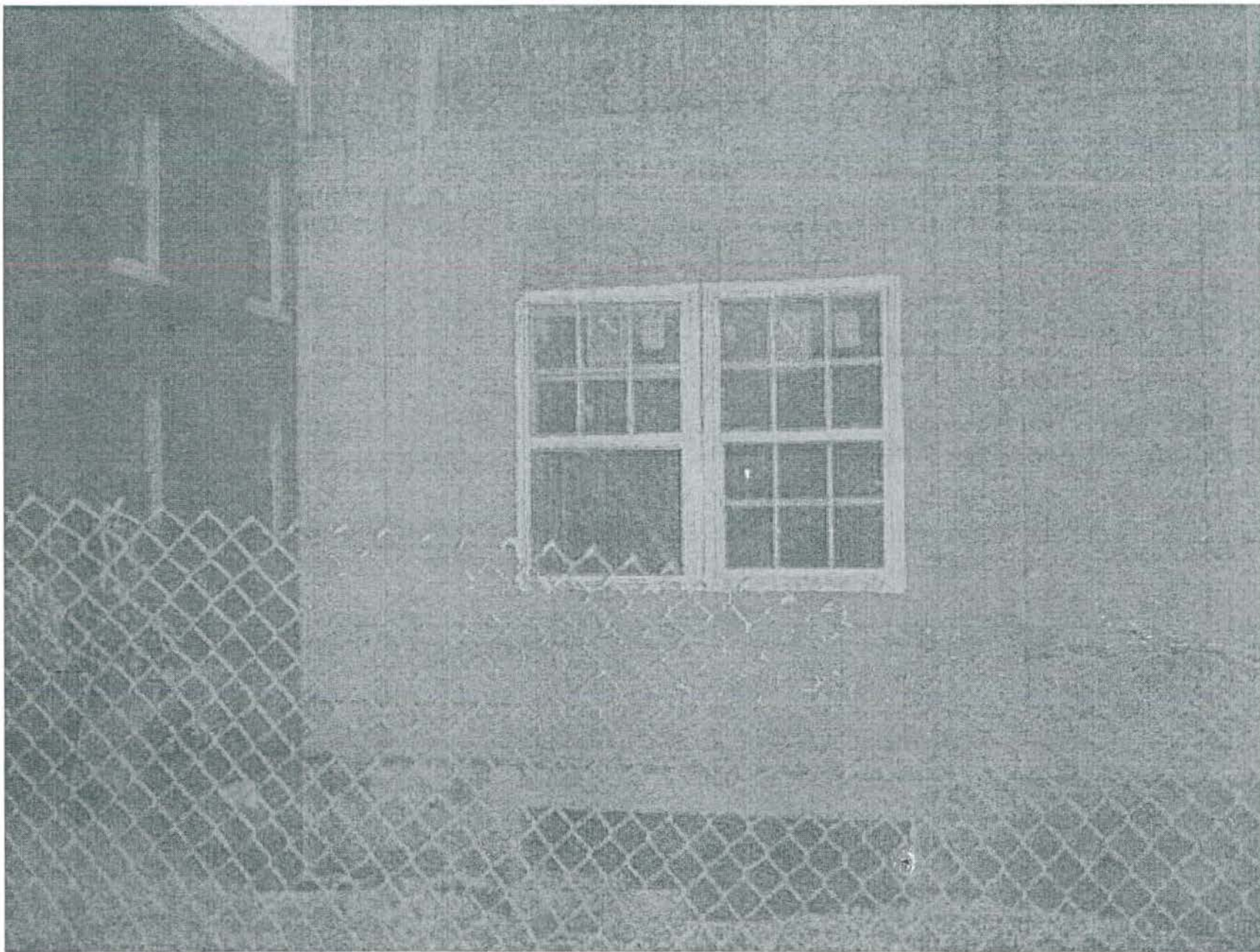




1233 MORSE ST N.E.
11-27-2006 FRONT VIEW

502
PM

Exh



1233 MORSE ST N.E.

11-27-2006

FRONT VIEW

LEFT SIDE

5:02
pm

Exh—



Yvonne Rockett
Zoning Inspector

1233 MORSE ST NE

Exh_____



DCRA'S



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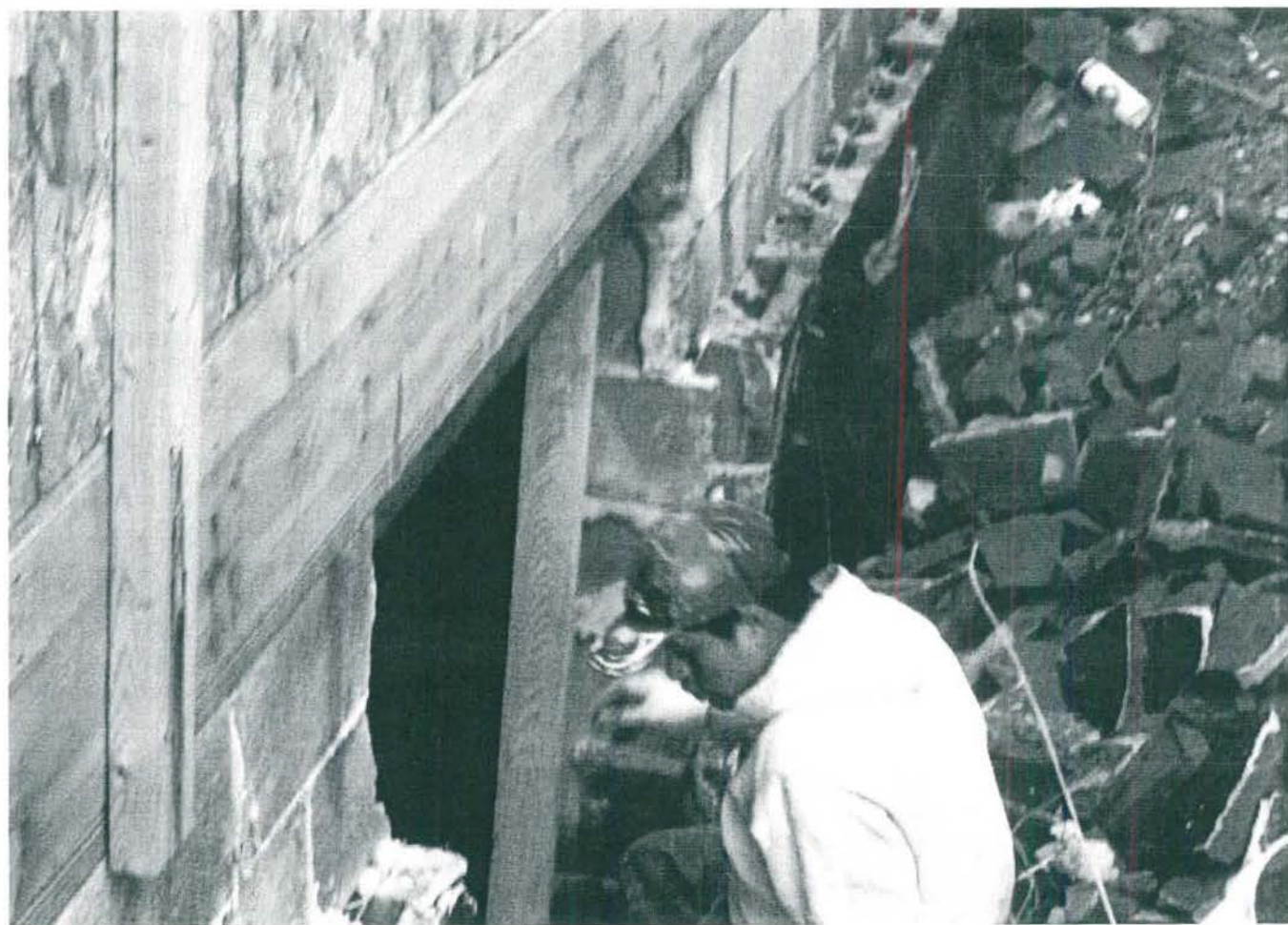
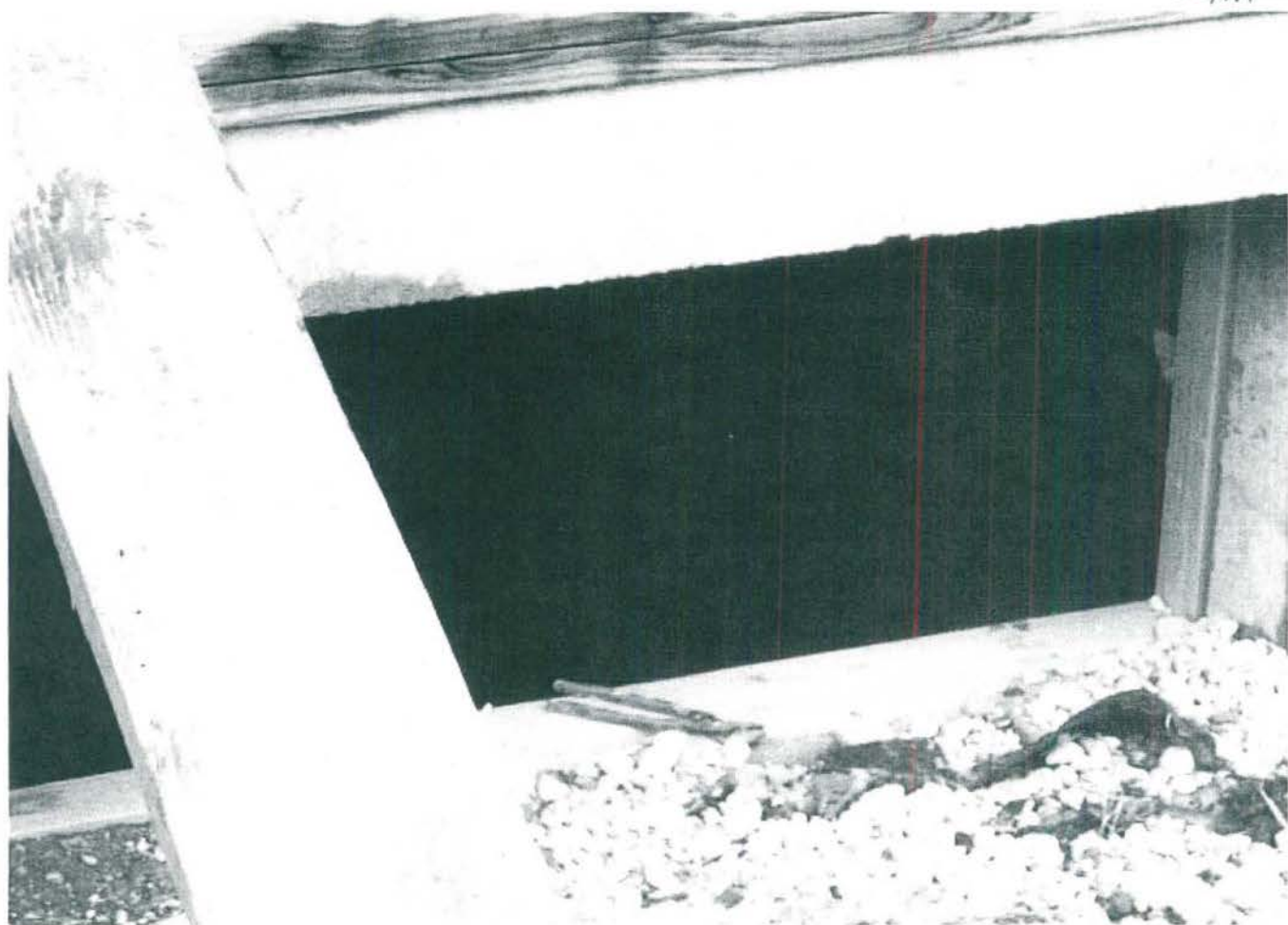
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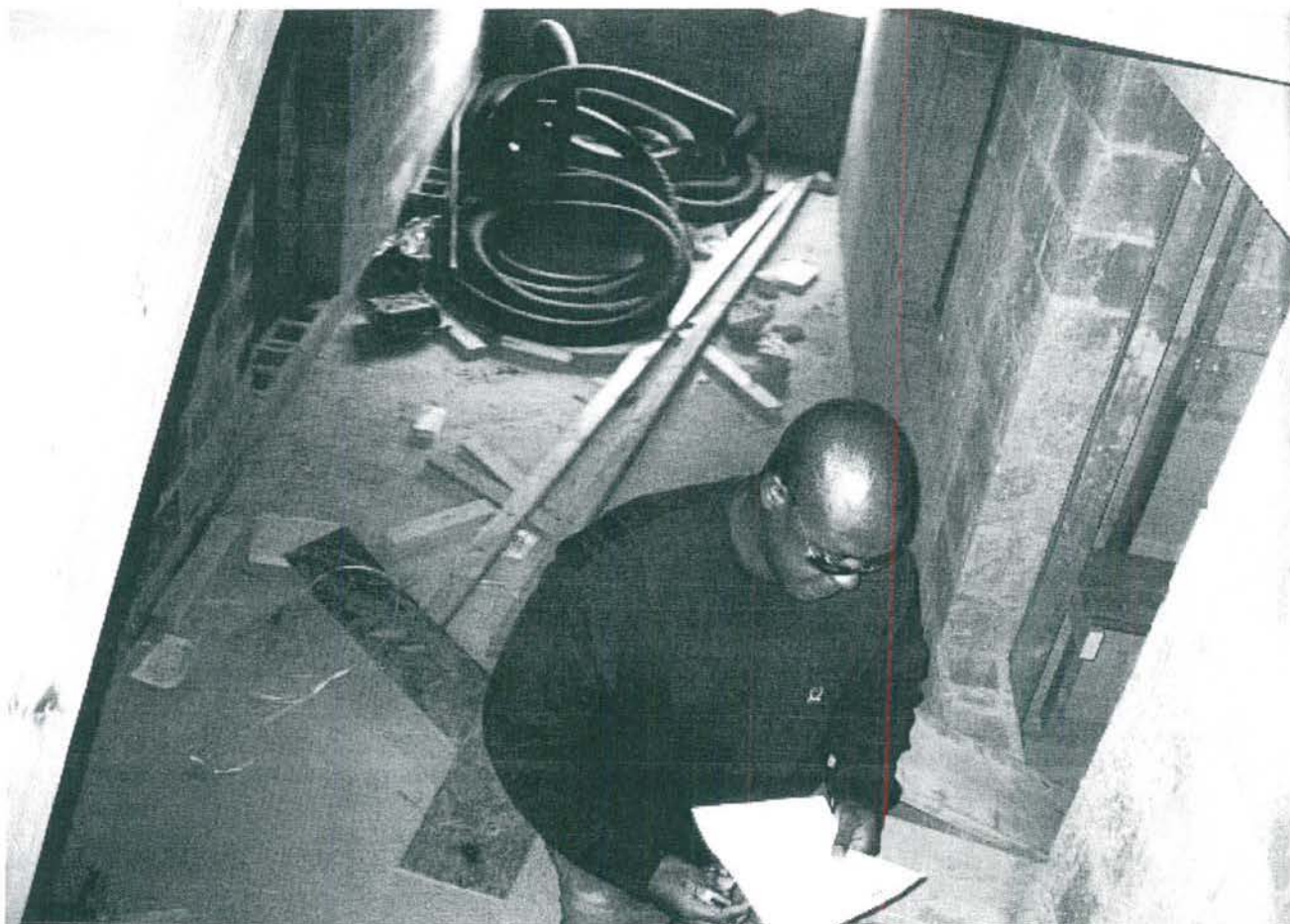
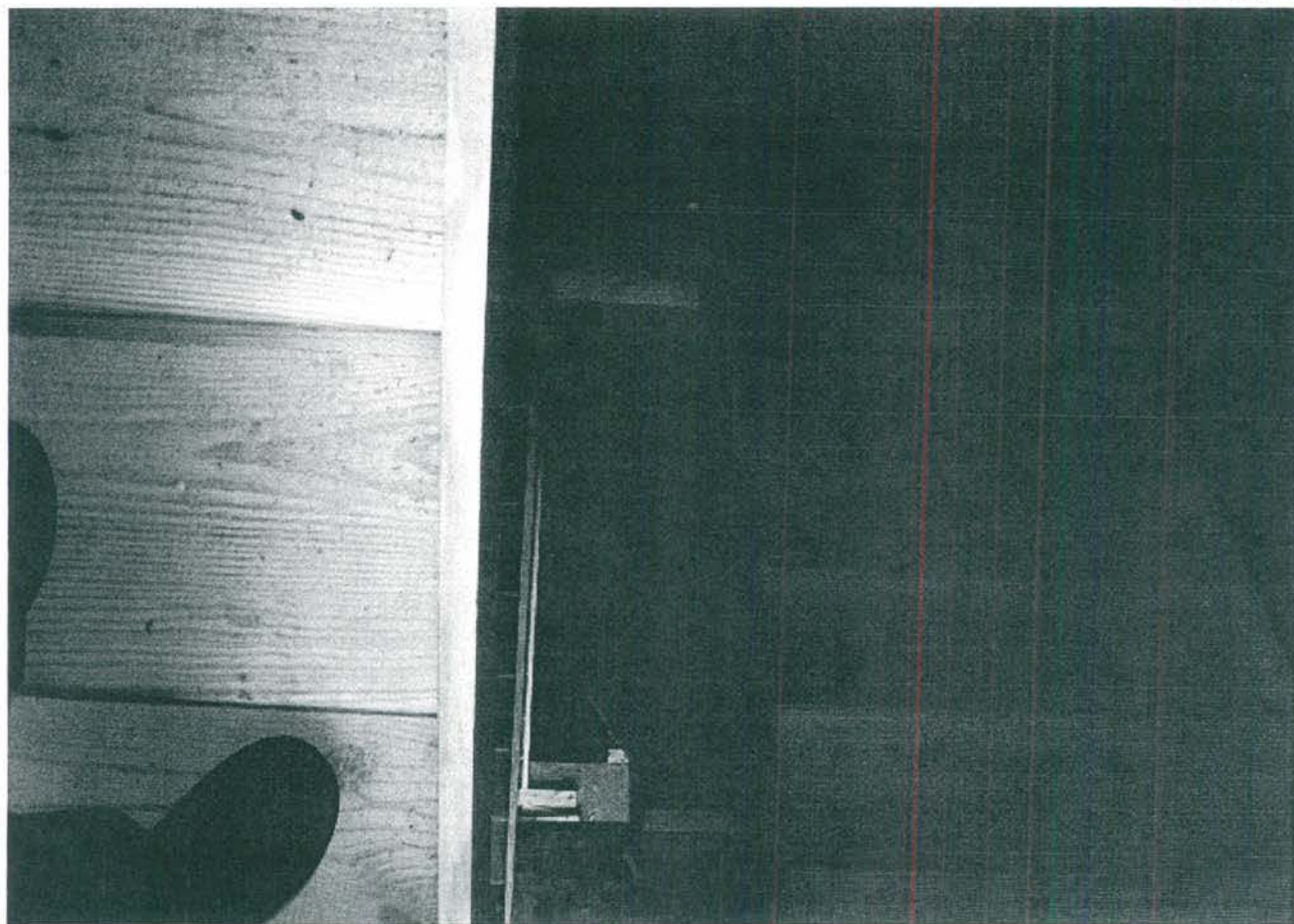
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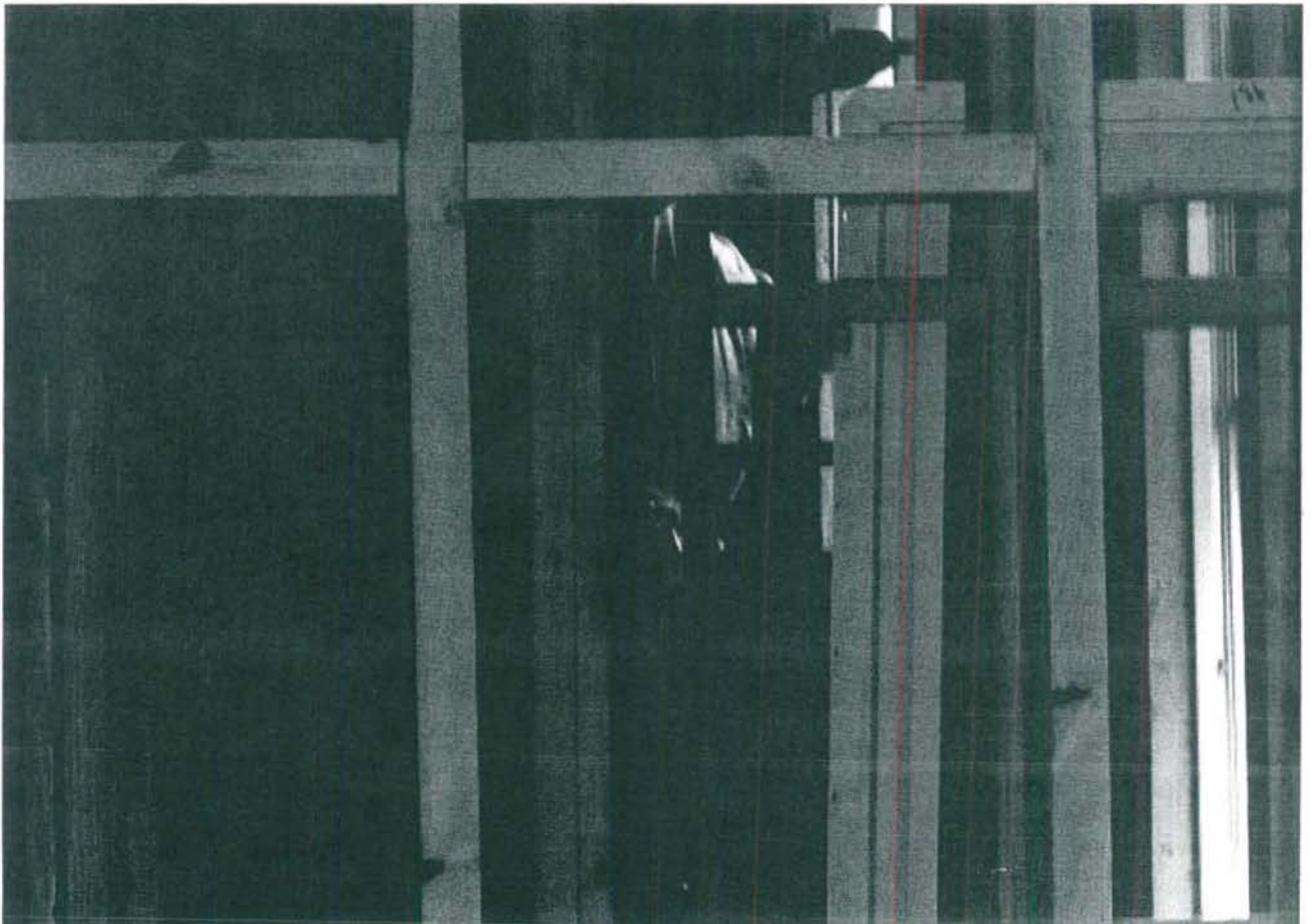
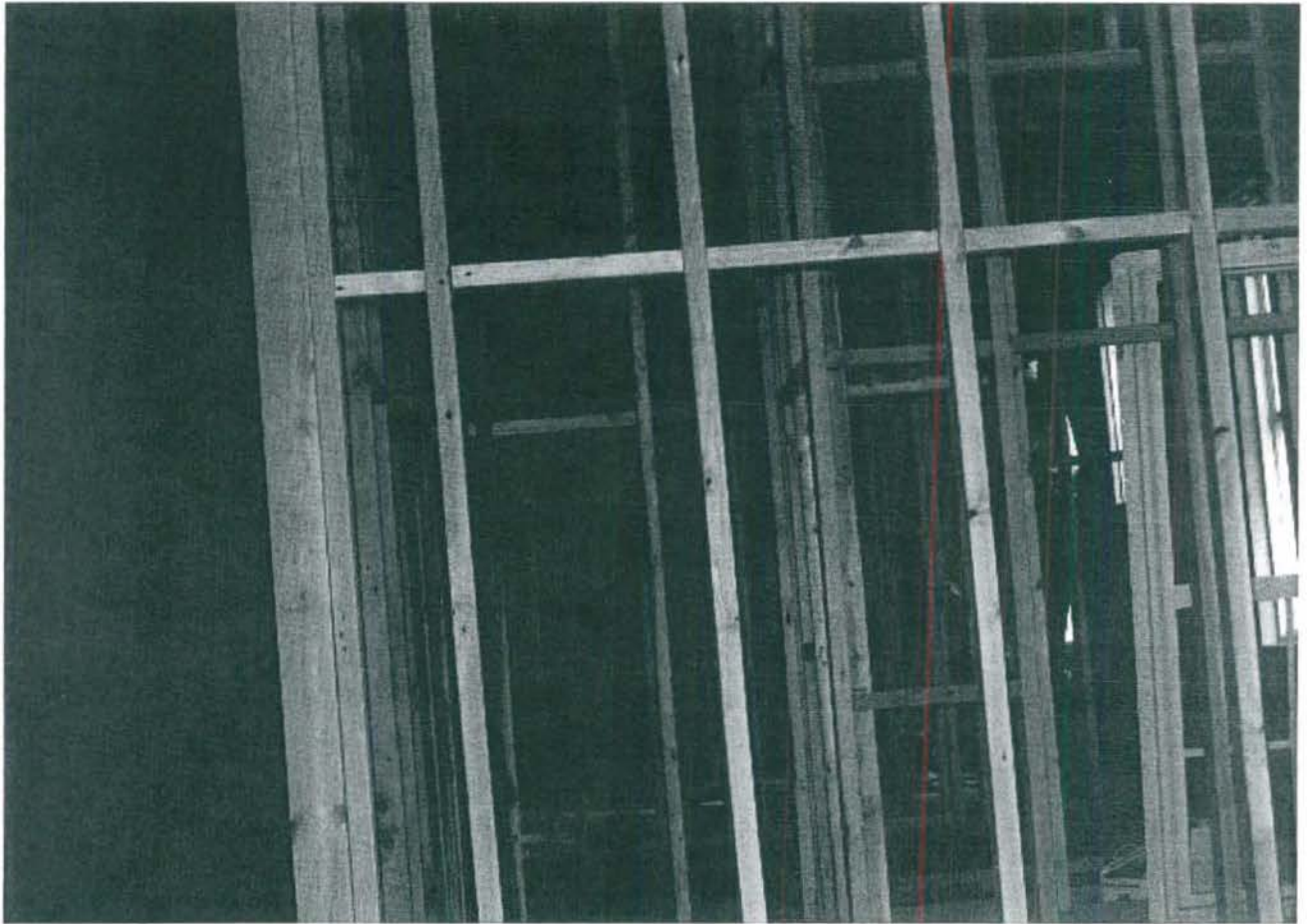
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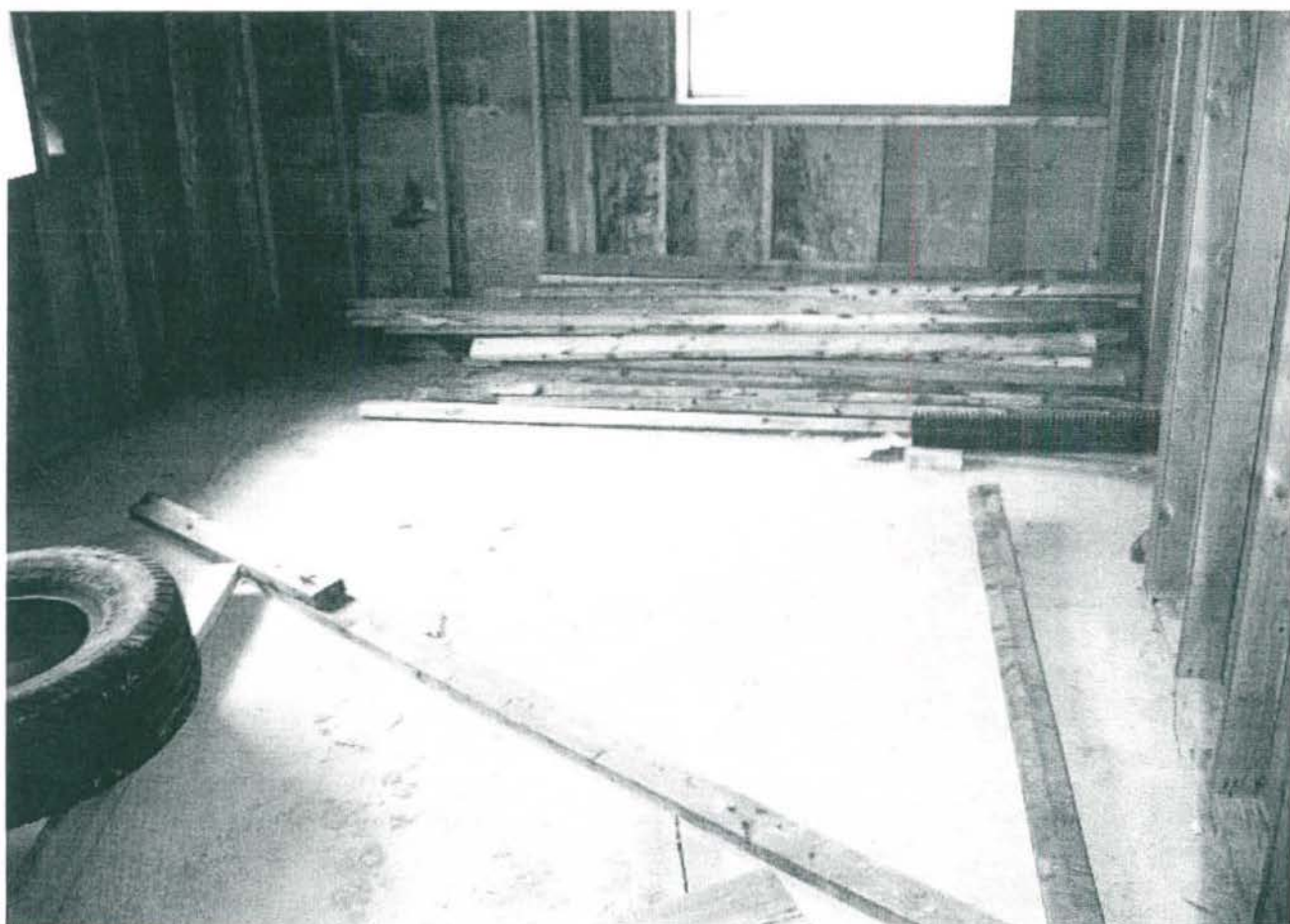
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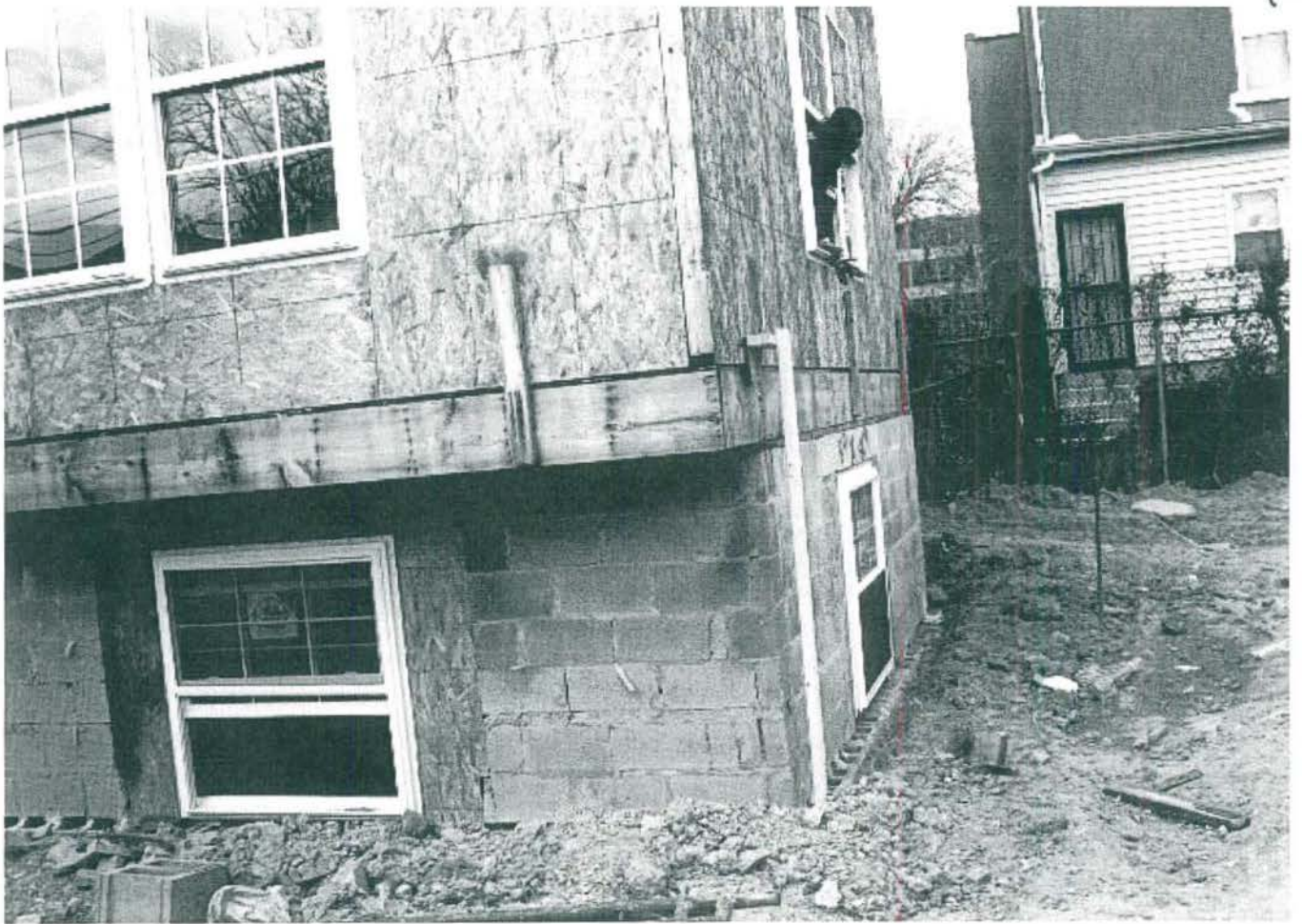
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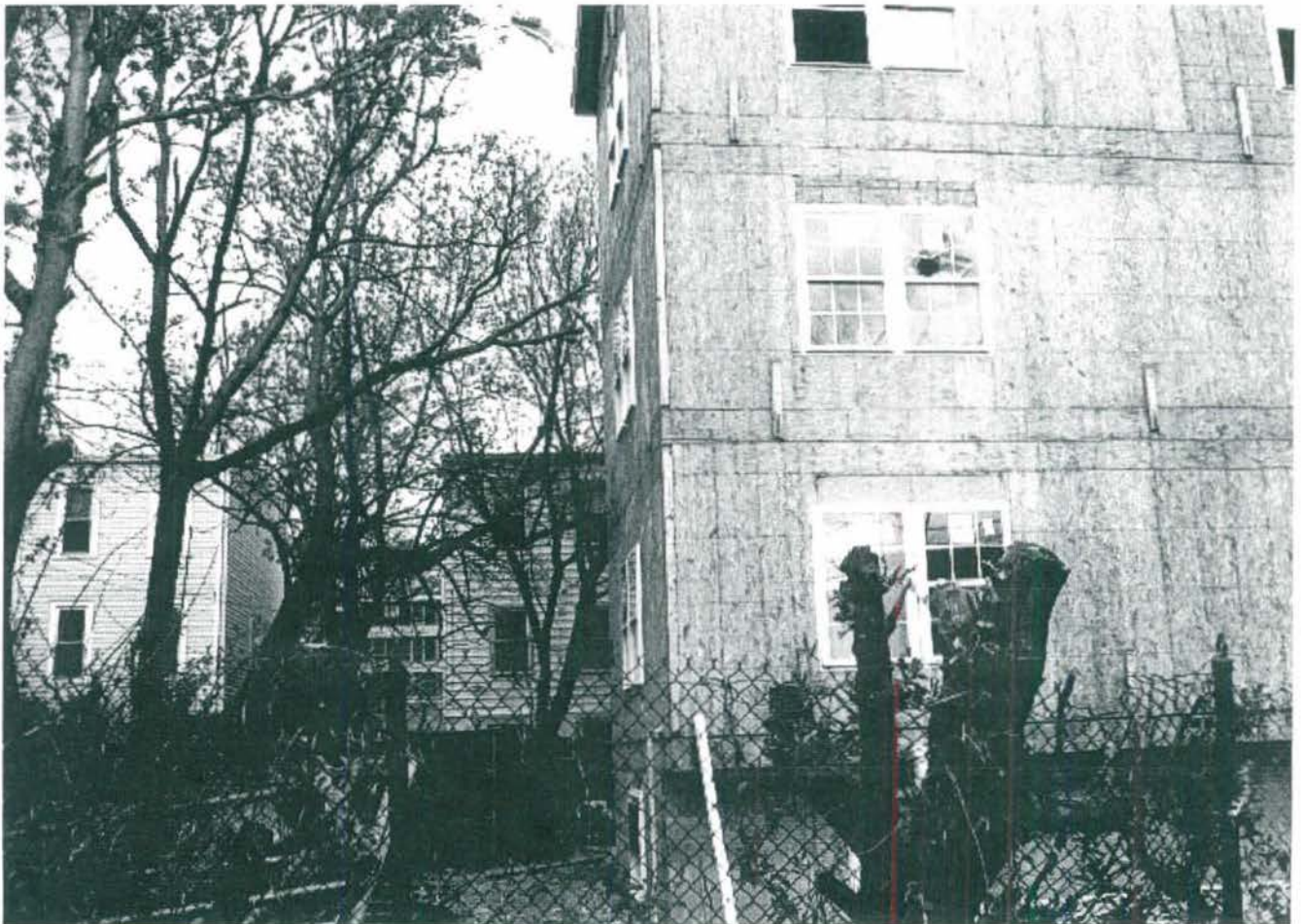
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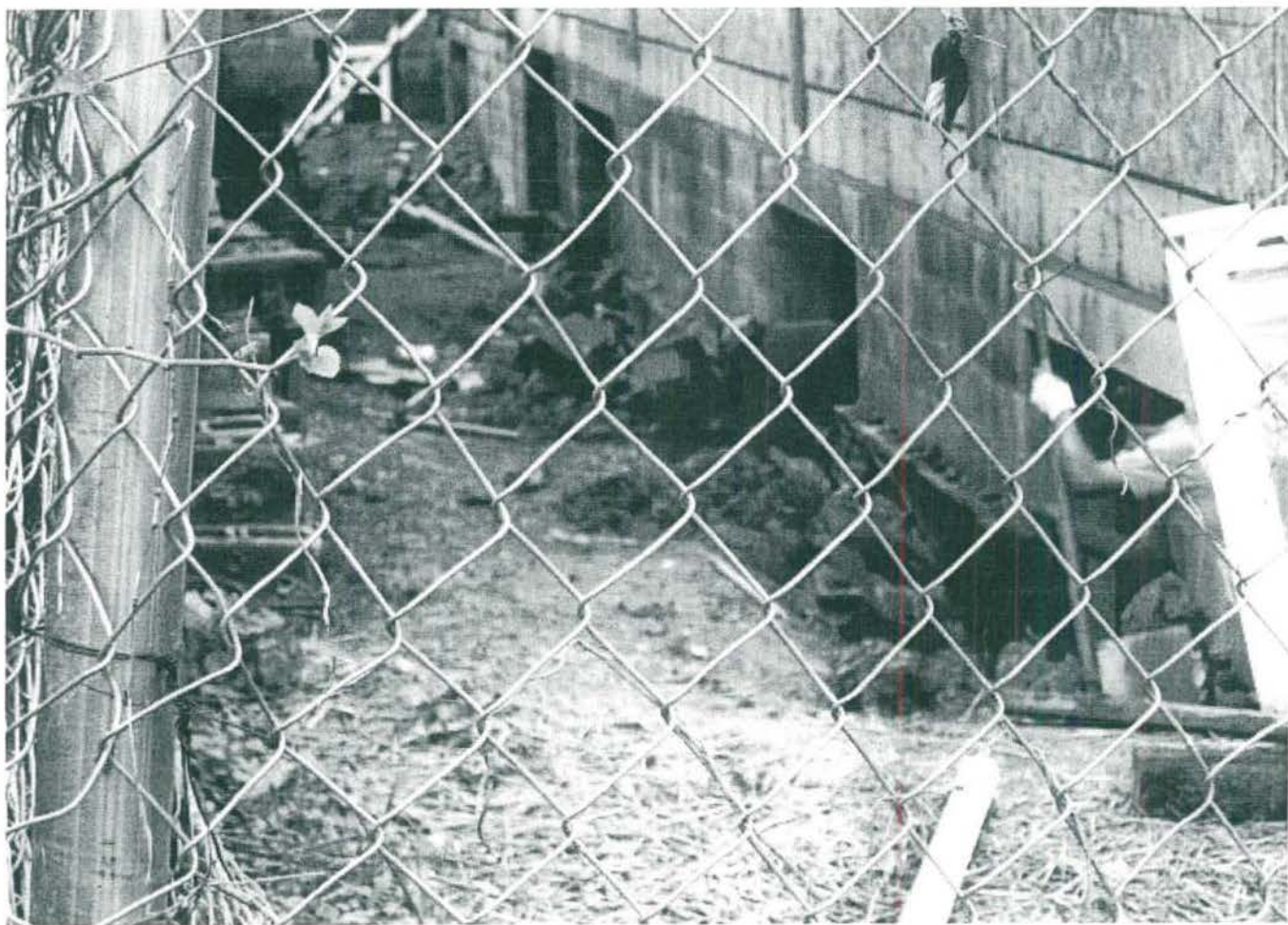
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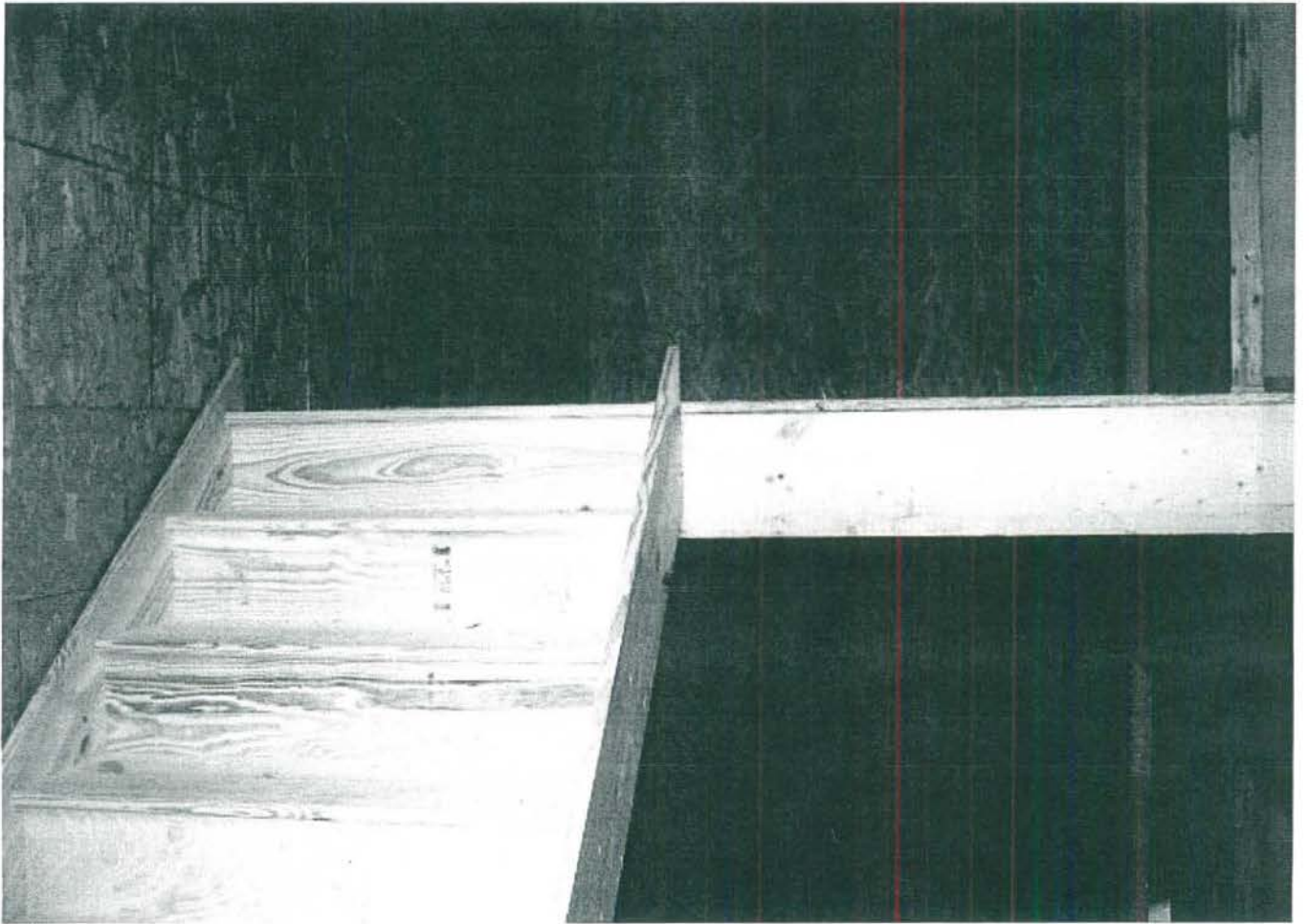
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DESIGN INFORMATION
 Project No. 240-832-1
 Date: 03/11/05
 Drawn by: [Signature]
 Checked by: [Signature]
 Title: SWM FACILITY

DESIGN ASSUMPTIONS
 The design is based on the following assumptions:
 1. The site is located in a residential area.
 2. The site is subject to the same weather conditions as the surrounding area.
 3. The site is subject to the same soil conditions as the surrounding area.
 4. The site is subject to the same groundwater conditions as the surrounding area.
 5. The site is subject to the same traffic conditions as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 6. The site is subject to the same topography as the surrounding area.
 7. The site is subject to the same vegetation as the surrounding area.
 8. The site is subject to the same existing utilities as the surrounding area.
 9. The site is subject to the same existing structures as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 10. The site is subject to the same existing roads as the surrounding area.
 11. The site is subject to the same existing parking as the surrounding area.
 12. The site is subject to the same existing landscaping as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 13. The site is subject to the same existing utilities as the surrounding area.
 14. The site is subject to the same existing structures as the surrounding area.
 15. The site is subject to the same existing roads as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 16. The site is subject to the same existing parking as the surrounding area.
 17. The site is subject to the same existing landscaping as the surrounding area.
 18. The site is subject to the same existing utilities as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 19. The site is subject to the same existing structures as the surrounding area.
 20. The site is subject to the same existing roads as the surrounding area.
 21. The site is subject to the same existing parking as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 22. The site is subject to the same existing landscaping as the surrounding area.
 23. The site is subject to the same existing utilities as the surrounding area.
 24. The site is subject to the same existing structures as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 25. The site is subject to the same existing roads as the surrounding area.
 26. The site is subject to the same existing parking as the surrounding area.
 27. The site is subject to the same existing landscaping as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 28. The site is subject to the same existing utilities as the surrounding area.
 29. The site is subject to the same existing structures as the surrounding area.
 30. The site is subject to the same existing roads as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 31. The site is subject to the same existing parking as the surrounding area.
 32. The site is subject to the same existing landscaping as the surrounding area.
 33. The site is subject to the same existing utilities as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 34. The site is subject to the same existing structures as the surrounding area.
 35. The site is subject to the same existing roads as the surrounding area.
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DESIGN ASSUMPTIONS (Continued)
 37. The site is subject to the same existing landscaping as the surrounding area.
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DESIGN ASSUMPTIONS (Continued)
 40. The site is subject to the same existing roads as the surrounding area.
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DESIGN ASSUMPTIONS (Continued)
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 45. The site is subject to the same existing roads as the surrounding area.

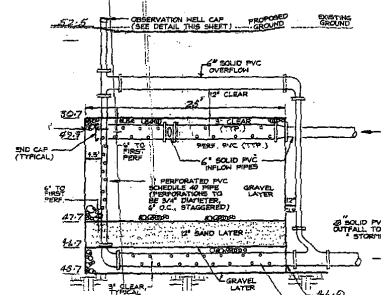
DESIGN ASSUMPTIONS (Continued)
 46. The site is subject to the same existing parking as the surrounding area.
 47. The site is subject to the same existing landscaping as the surrounding area.
 48. The site is subject to the same existing utilities as the surrounding area.

DESIGN ASSUMPTIONS (Continued)
 49. The site is subject to the same existing structures as the surrounding area.
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 51. The site is subject to the same existing parking as the surrounding area.

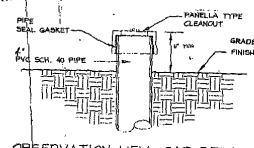
DESIGN ASSUMPTIONS (Continued)
 52. The site is subject to the same existing landscaping as the surrounding area.
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DESIGN ASSUMPTIONS (Continued)
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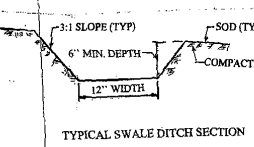
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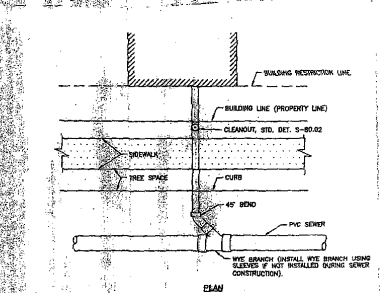
SWM FACILITY SECTION A-A
 DETAIL SCALE
 HORIZONTAL: 1" = 5'
 VERTICAL: 1" = 2'



OBSERVATION WELL CAP DETAIL
 N.T.S.

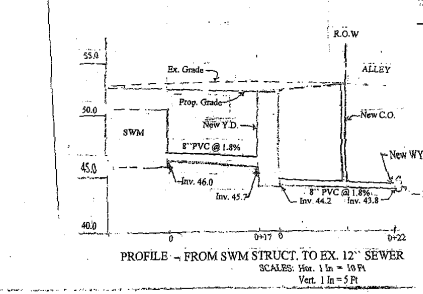


TYPICAL SWALE DITCH SECTION



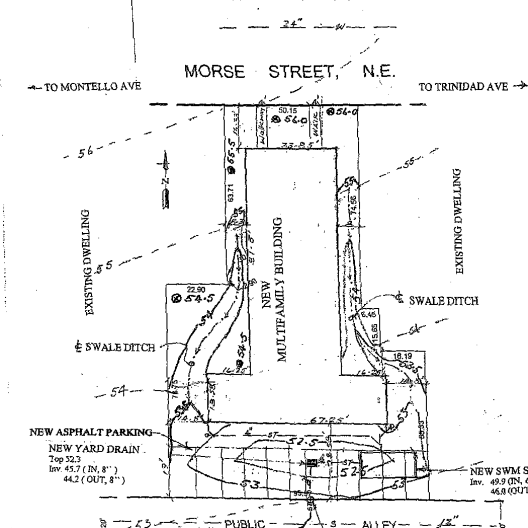
STANDARD DETAIL
 SEWER LATERAL PLAN CONNECTION TO PVC SEWER

NOTES
 1. MATERIALS AND WORKMANSHIP BETWEEN THE WYE BRANCH AND THE BUILDING MUST BE IN ACCORDANCE WITH ALL PLUMBING CODES.
 2. VERTICAL BRANCH FOR SINKS (NOT SHOWN) MAY BE REQUIRED ON SEWER LATERAL.

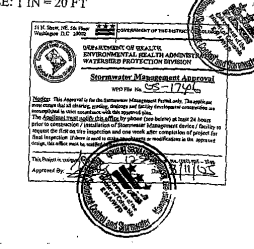


PROFILE - FROM SWM STRUCT. TO EX. 12" SEWER
 SCALES: Hor. 1" = 10' Vert. 1" = 5'

SWM CALCULATION:
 IMPERVIOUS AREA = 10,000 SF
 DESIGN FOR FIRST FLUSH = 0.5 IN
 GRAVEL VOID = 0.35
 TRENCH VOLUME = $(10000(0.5)(1/12)(0.35)) = 1190.48$ CF
 ALLOW 25% INCREASE IN SIZE FOR:
 TRENCH VOLUME (V) = $(1.25)(1190.48) = 1488.09$ CF
 USE DEPTH = 3 FT
 USE DIMENSIONS: 25'X12'X3' = 1500 CF > 1488.09 CF - OK



SCALE: 1 IN = 20 FT



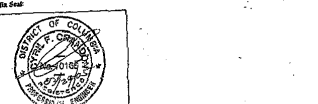
STATEMENT BY PERSON RESPONSIBLE FOR MAINTENANCE
 The undersigned agrees to maintain and operate the discharge facilities in such a manner as to comply with provisions of Sections 536 through 537 of D.C.M.R. Chapter 3. Responsibility for maintenance and operation shall be transferred to the person responsible for the maintenance and operation of the discharge facilities. The undersigned agrees to maintain and operate the discharge facilities in such a manner as to comply with provisions of Sections 536 through 537 of D.C.M.R. Chapter 3.

Signature of the person responsible for maintenance (in case of two people)
 Date: 03/11/05
 Name: [Signature]
 Address: 3300 24th Avenue Lane
 City: [Signature]
 State: MD
 Zip: 20704
 Phone No: 240-832-1000

STATEMENT BY PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA

This is to certify that the engineering drawings of this stormwater discharge facility have been designed and prepared by me and that I am a duly licensed Professional Engineer in the District of Columbia. I further certify that the facility has been designed in accordance with the provisions of Sections 536 through 537 of D.C.M.R. Chapter 3. It is also stated that the undersigned has furnished the applicant with a set of instructions for the maintenance and operation of the stormwater discharge facility.

Signature of Professional Engineer
 Name (Print Name)
 Address
 City
 State
 Zip
 Phone No



AS-BUILT CERTIFICATION BY PROFESSIONAL ENGINEER

Within 21 days after completion of construction of the stormwater discharge facility, please send this page to the Watershed Protection Division - Department of Health.

1. Stormwater discharge facility information:
 Source Name:
 Source Location:
 City:
 DCHA Permit No.:
 Date Issued:

2. As Built Certification:

I hereby certify that stormwater discharge facility has been built substantially in accordance with the approved plans and specifications, and that my professional certification (seal below) will not prevent the system from functioning as intended. These drawings have been based upon the observations of construction, and I have not conducted any other investigation or inspection of the facility. I have not conducted any other investigation or inspection of the facility.

Signature of Engineer
 Name (Print Name) D.C. Reg. No.

Address
 City
 State
 Zip
 Phone No

Substantial deviations from the approved plans and specifications (attach additional sheets if required):

Professional Engineer Seal for the District of Columbia. The seal is for a Professional Engineer in the District of Columbia, with a license number of 10000. The seal is for a Professional Engineer in the District of Columbia, with a license number of 10000.

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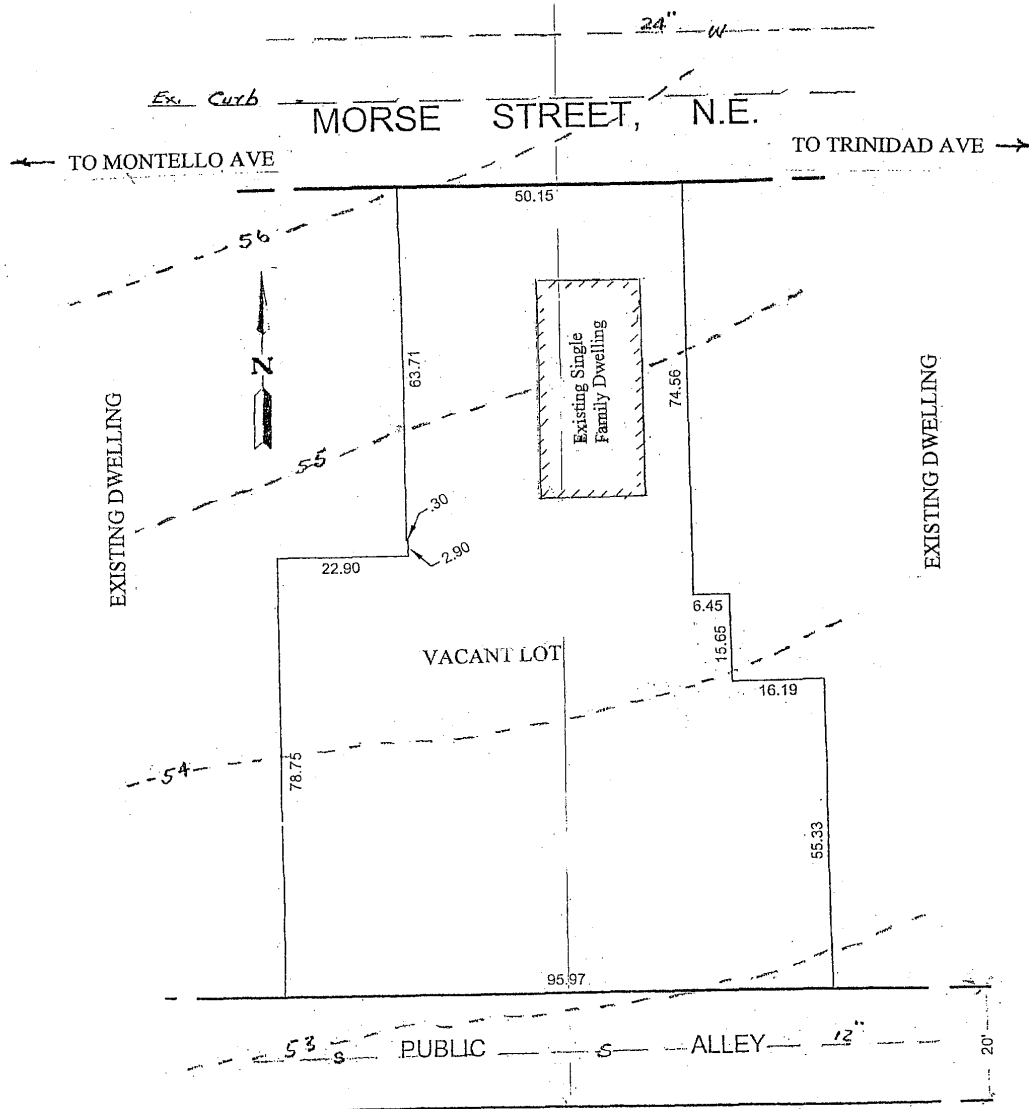
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SCALE: 1 IN = 20 FT

EXISTING SITE PLAN
1231 MORSE STREET, NE
SQUARE 4069
LOTS 810, 812 & 816

C-1

NOTE: Elevations are referenced to District of Columbia Datum.

EXHIBIT

CONSTRUCTION SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE ADEQUATELY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED TO 95% TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS OR NONSTRUCTURAL FILLS, FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE USED.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHODS.
- ALL GRADED AREAS SHALL BE PERMANENTLY ESTABLISHED IMMEDIATELY FOLLOWING FINISHED GRADING.

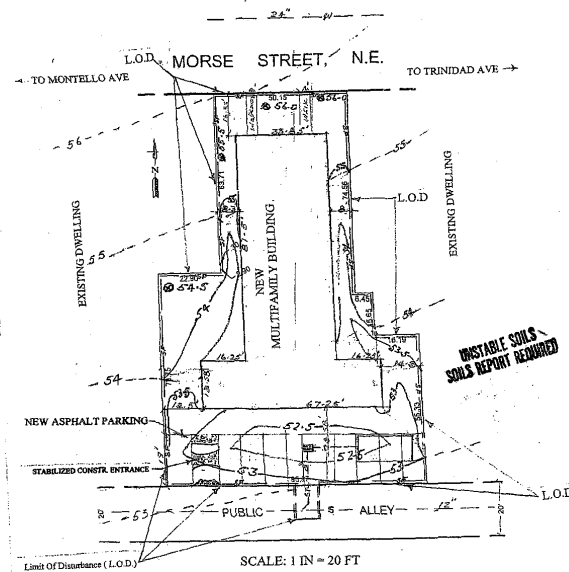
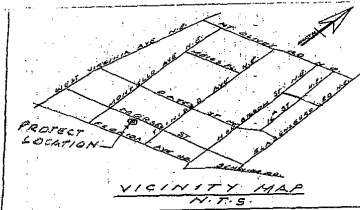
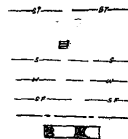
SEQUENCE OF CONSTRUCTION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO START OF CONSTRUCTION PHASES AS REQUIRED.

- SCHEDULE AND HOLD PRECONSTRUCTION MEETING WITH EROSION AND SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY. CALL 202-535-2977 TO SCHEDULE MEETING.
- INSTALL SEDIMENT CONTROL MEASURES PER APPROVED PLANS.
- CLEAR THE SITE AND REMOVE ALL ROOT MATERIAL.
- PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
- EXCAVATE AND BEGIN ACTIVITIES FOR BUILDING FOUNDATION AND BMP.
- BEGIN INSTALLATION OF UNDERGROUND SEWER AND CONSTRUCT THE SWM DEVICE PER APPROVED PLANS.
- COMPLETE ROUGH GRADING AND BACKFILLING OF THE STRUCTURES IMPORT SUITABLE FILL MATERIALS AS REQUIRED.
- COMPLETE THE DRIVEWAY AND PAVED SURFACES PER APPROVED PLANS.
- PROVIDE PERMANENT SOIL STABILIZATION SEEDING AND STRAW FOR ALL EXPOSED SOIL AREAS.
- REMOVE SEDIMENT CONTROL DEVICES AFTER THE SITE IS STABILIZED AND PERMISSION IS RECEIVED FROM THE SEDIMENT CONTROL INSPECTOR.

Proposed Storm Drain
New Manhole
New Yard Drain
Existing Combined Sewer
Existing Water
Silt Fence
Limit Of Grading
Stabilized Construction Entrance

LEGEND



UNSTABLE SOILS -
SOILS REPORT REQUIRED

SCALE: 1 IN = 20 FT

Government of the District of Columbia
Environmental Health Administration
Watershed Protection Division
Erosion/Sediment Control, Stormwater Management
Permit Unit

*** PAID ***

Signature: [Signature] Date: 8/24/05

PROJECT NARRATIVE:

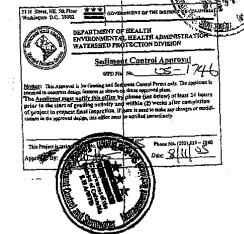
EXISTING CONDITION

THE SITE IS LOCATED IN AN EXISTING RESIDENTIAL NEIGHBORHOOD. IT IS BOUNDED ON THE NORTH BY MORSE STREET, ON THE SOUTH BY A PUBLIC ALLEY, AND ON THE EAST AND WEST BY EXISTING RESIDENCES. AN ABANDONED HOUSE SITE ON THE NORTHEAST CORNER OF THE LOT. THE AREA IS FULLY DEVELOPED WITH ADEQUATE PROVISIONS FOR WATER, SEWER, ELECTRIC AND GAS UTILITIES.

PROPOSED DEVELOPMENT

THE PROPOSED PROJECT CONSISTS OF THE CONSTRUCTION OF A MULTI-FAMILY APARTMENT BUILDING. THE WORK INCLUDES SITE PREPARATION INCLUDING EXCAVATIONS FOR FOUNDATION, SITE GRADING, A PARKING LOT WITH TEN SPACES, WATER, SANITARY AND STORM SEWERS. STORMWATER MANAGEMENT FEATURES CONSIST OF AN INFILTRATION TRENCH DESIGNED TO ACCOMMODATE RUNOFFS FROM THE ROOF DRAINS AND FROM THE PARKING LOT (VIA TWO YARD DRAINS), AN 8 INCH PVC OUTFALL DUCTS THE FLOW FROM THE SWM FACILITY TO AN EXISTING 12 INCH COMBINED SEWER IN THE PUBLIC ALLEY AT THE REAR OF THE NEW BUILDING. EROSION AND SEDIMENT CONTROL FEATURES INCLUDE SILT FENCE ALONG THE BOUNDARIES OF THE PROPERTY, AND STABILIZED CONSTRUCTION ENTRANCE FROM THE PUBLIC ALLEY.

VOLUME OF EXCAVATION ~ 765 CY
VOLUME OF FILL ~ 380
TOTAL DISTURBED AREA ~ 10,000 SF.



EROSION AND SEDIMENT CONTROL PLAN
1233 MORSE STREET, NE

SQUARE 4069

Lots 810, 812 & 816.

SOIL EROSION NOTES

1. A SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION OR DISTURBANCE OF THE EARTH'S SURFACE. SPECIFICATIONS FOR SOIL PROTECTION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE METHOD IS APPLIED, FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL SEDIMENT IS TO BE IMMEDIATELY REMOVED FROM SITE.
3. SLOPES/RETAINMENTS SHALL BE SWEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL CATCH BASIN AND AREA DRAINING SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
5. IF ANY CATCH BASIN OR DRAINAGE BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
6. WHEN SEDIMENT TRAP HAS REACHED ITS CAPACITY, CLEAN TRAP AS REQUIRED.
7. ANY EXPOSURE, REMOVALS OF LOCATION SHALL BE STABILIZED AND COVERED WITH EROSION CONTROL MATS AFTER ITS COMPLETION AND FOR DURATION OF THE PROJECT.
8. AFTER REMOVAL OR STABILIZATION, PROVIDE EROSION COVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS DEED, SO, PPA, BRICKS OR MATS, ETC., AS REQUIRED.

SEDIMENT CONTROL APPROVAL

PLAN NUMBER _____
 DATE _____
 PROJECTING EROSION CONTROL NUMBER _____

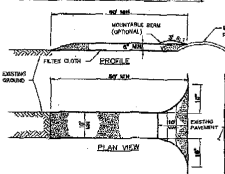
EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN EXCAVATION.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SALT FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE EXPOSED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY PERMANENT VEGETATION STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR AND, IF ANY DAMAGE OR RELATION ON EROSION CONTROL MEASURES OR MEASURES WILL BE REMOVED AT THE CLOSE OF THE DAY.
6. ALL SALT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE OF SALT, OIL, AND OTHER UNDESIRABLE MATERIAL, TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL MAINTAIN STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL ORIGINALLY CONSIST OF WATER APPLICATIONS TO THE DIRT SURFACES OF THE SITE FOR ON-SITE DUST CONTROL. IF WEATHER OR MORE OFFICE AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, PUMP AND HOSE, WITH PROPERLY POSITIONED NOZZLES.
 - B. AVOID SPRAY WATER DIRECTLY, BUT SPRAY WATER IN A PATTERNS TO PROVIDE COMPLETE COVERAGE OF EXPOSED SOIL SURFACES.
 - C. TOWARD WATER THROUGH NOZZLES ON GROUND OR AT 10 TO 15 (12.75 X 15) MINIMUM. KEEP AREA DAMP WITHOUT CREATING SPRAYING CONDITIONS.
 - D. SOIL IS PROTECTED.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING EXCAVATION AND/OR CONSTRUCTION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE HOSE, HOSE AND NOT NOZZLES.
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE COMPLETELY COVERED WITH WATER. EXCAVATION EQUIPMENT TO OPERATIONS. KEEP AREA DAMP WITHOUT CREATING SPRAYING CONDITIONS SUCH AS FOGGING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE OR EQUIVALENT ON REINFORCED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 10 FEET (EACH) ON A SINGLE REMEDIATION LOT. THESE ARE 30' MINIMUM LENGTH WOULD APPLY.
3. THICKNESS - NOT LESS THAN 6" (6) INCHES.
4. WIDTH - TEN (10) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASES OR DECREASES OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE TRAIL RESIDUE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING ON EXISTING TEMPORARY CONSTRUCTION ENTRANCES SHALL BE PAVED ACROSS THE ENTRANCE. IF PAVING IS APPROPRIATE, A MOUNTABLE BERM WITH 24" SLOPES WILL BE PROVIDED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT DIRT PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY RESIDUE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, SHOWN, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE. ONLY PAVED RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WASH DRAINAGE INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH DAY.

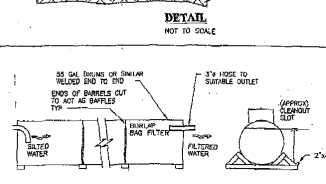
STANDARDS AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

DEFINITION
 TEMPORARY GROUND COVER CONSISTING OF BROKEN BRICK (1/2" PIECE OR SMALLER) PLACED OVER EXPOSED EARTH.

PURPOSE
 BROCKBATES PROVIDE A TEMPORARY GROUND COVER OVER EXPOSED URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

QUESTIONS/WHEN PRACTICE APPLIES
 BROCKBATES MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

DESIGN OPTIONS
 THE BROCKBATES SHALL BE PLACED TO A DEPTH OF 3 INCHES TO 4 INCHES COVERING THE EXPOSED EARTH ON THE SITE, THEN COMPACTED AND LEVELLED.

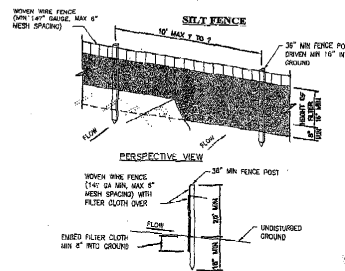


CONSTRUCTION NOTES

1. CLEAN OUT THE SEDIMENT TANK WHEN ONE THIRD (1/3) FILLED WITH SALT.
2. STEEL DRUMS ARE USED AS AN EXAMPLE DUE TO THEIR HEAVY AVAILABILITY. ANY TANKS MAY BE USED PROVIDING THAT THE VOLUME REQUIREMENTS ARE MET.
3. ALL SEDIMENT COLLECTED IN THE TANK SHALL BE DISPOSED OF IN A SEDIMENT TRAPPING DEVICE OR AS APPROVED BY THE INSPECTOR.
4. TANK STORAGE VOLUME REQUIRED IS 10 CUBIC FEET OF STORAGE FOR EACH CALL FOR MINUTE OF PUMP DISCHARGE CAPACITY. MULTIPLE TANKS MAY BE USED.

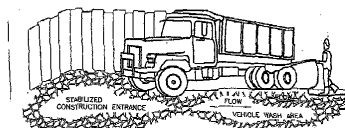
PORTABLE SEDIMENT TANK

NOT TO SCALE



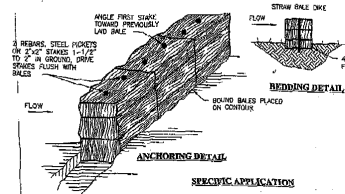
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOMEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIE OR CABLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIES SPACED DOWN 24" AT TOP AND 48" BELOW.
 3. WHEN TWO SECTIONS OF FILTER CLOTH JOIN, EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REPAIRED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS:** STEEL EITHER 1 OR 2" TYPE OR 2" HARDWOOD.
- FENCE:** WOMEN WIRE (14 GA. 6" MAX. NEAR SPACING).
- FILTER CLOTH:** FILTER X, MESH 100X, STRENGTH 1.5X OR APPROVED EQUAL.
- PREPARED UNIT:** GEOTEXTILE OR APPROVED EQUAL.



VEHICLE WASH DETAIL

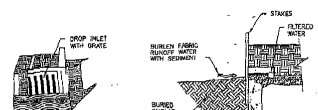
NOT TO SCALE



1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS THIGHTLY ADJUTING THE ADJACENT BALES.
2. EACH BALE SHALL BE CIRCLED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE SHOWN ARE FORTIFICATION.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REMAINS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY Laid BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS AS AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.

STRAW BALE DIKE

NOT TO SCALE



SPECIFIC APPLICATION

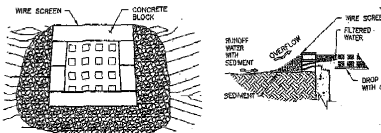
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NOT GREATER THAN 5 PERCENT) WHERE SLOPES TO OVERLAND FLOWING (NOT EXCEEDING 0.5%) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLET RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.

HURRY-UP DROP INLET SEDIMENT FILTER

NOT TO SCALE

LIST OF STANDARDS

| | | | |
|----------------------------------|----------|--------------------------------|---------------|
| EARTH DIKE | A=2, B=3 | GRAVEL STABILIZATION STRUCTURE | ISS-2, PSD-12 |
| STRAW BALE DIKE | A=2, B=3 | PILE CLOTH DOWN | ISS-2, PSD-12 |
| TEMPORARY SWALE | A=2, B=3 | PERFORATOR DIKE / SWALE | ISS-2, PSD-12 |
| STABILIZED CONSTRUCTION ENTRANCE | A=2, B=3 | INLET PROTECTION | ISS-2, PSD-12 |
| UNDISTURBED GROUND | A=2, B=3 | DIAPHRAGM | ISS-2, PSD-12 |
| UNDISTURBED GROUND | A=2, B=3 | CROSSSED WATERWAY | ISS-2, PSD-12 |
| UNDISTURBED GROUND | A=2, B=3 | GEOTEXTILE CONFINEMENT | ISS-2, PSD-12 |
| UNDISTURBED GROUND | A=2, B=3 | SUBSURFACE DRAIN | ISS-2, PSD-12 |

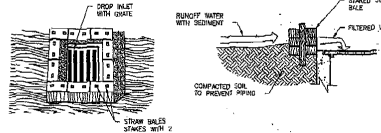


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT OVERFLOW TOWARD THE STRUCTURE.

BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER

NOT TO SCALE



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NOT GREATER THAN 5 PERCENT) WHERE SLOPES TO OVERLAND FLOWING (NOT EXCEEDING 0.5%) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLET RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.

STRAW BALE DROP INLET SEDIMENT FILTER

NOT TO SCALE

EROSION AND SEDIMENT CONTROL DETAILS
 1233 MORSE STREET, NE

SQUARE 4069

Lot 3 B10, B12 & B16



Before



4069 0816 09/28/2004

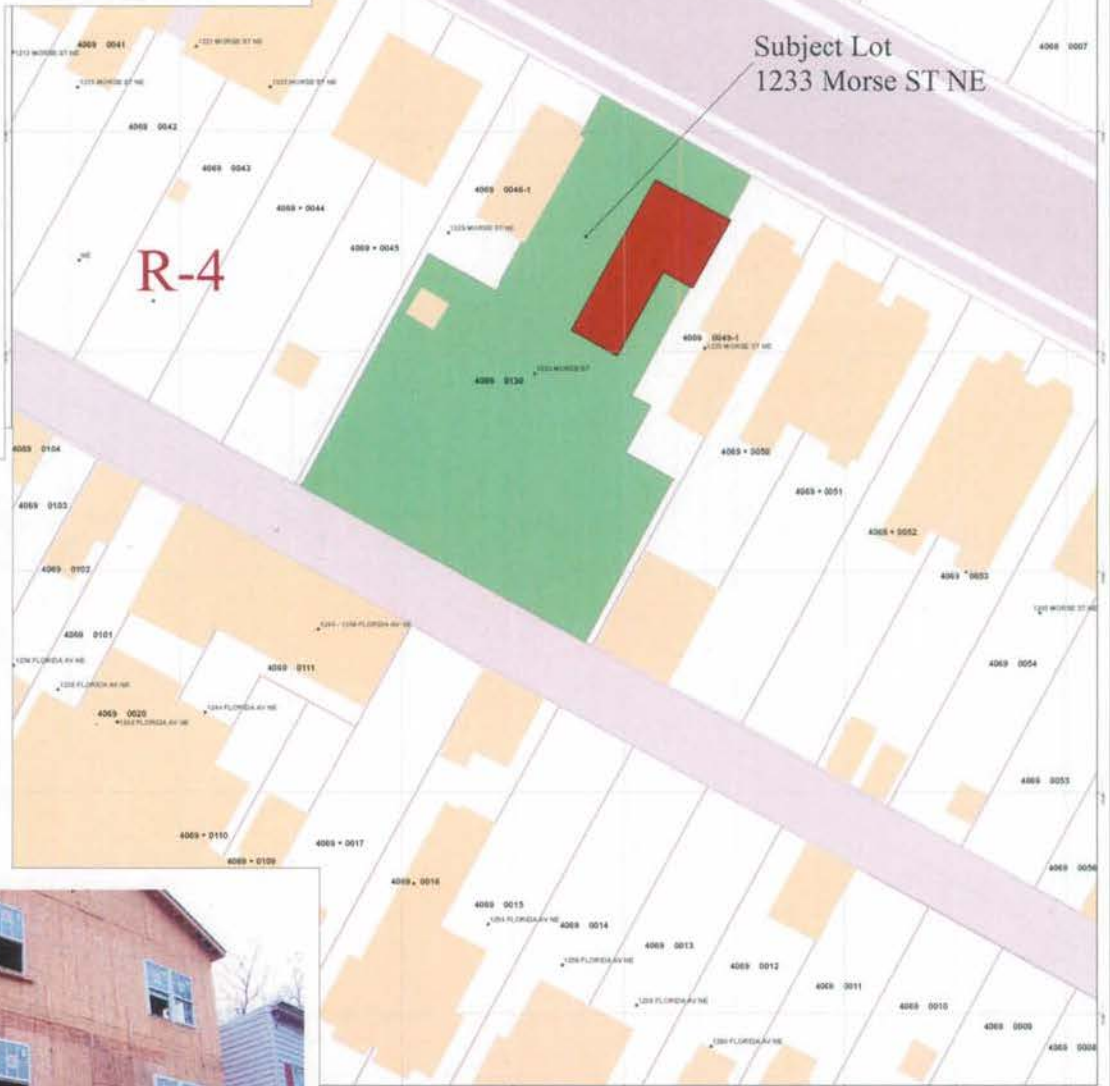


After



1233 Morse St NE

Case Number : 17657
Case Name : Appeal of 1231 Morse Street, Inc.
Case Summary : (Appeals) pursuant to 11 DCMR §§ 3100 and 3101, from the decision of the Zoning Administrator to deny a building permit application for revisions to an existing building permit allowing for the reconstruction of collapsed walls for a single-family dwelling with addition and a conversion to an 11 unit apartment building in the R-4 District at premises 1233 Morse Street, N.E. (Square 4069, Lot 130).
ANC : 5B08



Legend

- Original footprint
- Buildings (August 2006)
- Subject Lot
- Squares

Department of Consumer and Regulatory Affairs
October 16, 2007

Government of the District of Columbia
Adrian M. Fenty, Mayor

This map was from a variety of sources.
It is neither a survey nor a legal document.
Information provided by other agencies
should be verified with them where appropriate.



10/16/07 10:00
www.dca.dc.gov