211A

BUILDING PERMIT FOR: ADDITION TO S.F.D.

LIST OF DRAWINGS:

C-0 COVER SHEET
C-1 EROSION CONTROL DETAILS
S- FOUNDATION PLAN
S-2 FOUNDATION DETAILS
A-1 FLOOR PLAN
A-2 FLOOR PLAN
A-3 FLOOR PLAN
A-4 FLOOR PLAN
A-4.1 ELEVATION
A-5 SECTIONS DETAILS
A-5.1 FLOOR FRAMING
A-6 ROOF FRAMING
M-1 MECHANICAL
E-1 ELECTRICAL
P-1 PLUMBING
P-2 PLUMBING

LEGEND:

EXCAVATION QUANTITIES: 60 CUBIC YARDS
AREA OF L.O.D.: 4800 S.F.
VOLUME OF CUT: 65 CUBIC YARDS
VOLUME OF FILL: 55 CUBIC YARDS

L.O.D.
SILT FENCE
S.C.E. STABILIZED CONSTRUCTION ENTRANCE
EXISTING CONTOURS
PROPOSED CONTOURS

1233 MORSE STREET, NE
SQUARE 4069 LOT
WASHINGTON, DC 20002

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 17657
EXHIBIT NO. 25

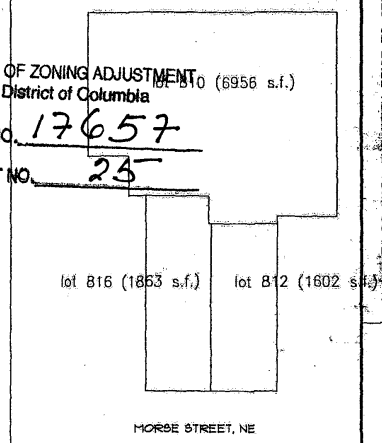
ZONING ANALYSIS:

LOT AREA: 1863 S.F. (LOT 0816)
ADDED LOTS PER SUB:
1602 S.F. (LOT 0812)
6956 S.F. (LOT 0810)
TOTAL LOT AREA = 10,421 S.F. (LOT 130)

EXIST. S.F.D.
PROPOSED NO. OF UNITS = 11 UNITS
ZONE: R-4

PARKING PROVIDED: 10 SPACES EACH 9'X19'

NEW BUILDING FOOTPRINT = 4031 S.F.
LOT COVERAGE: 4031/10421 = 0.38 = 38%
ALLOWABLE: 40%



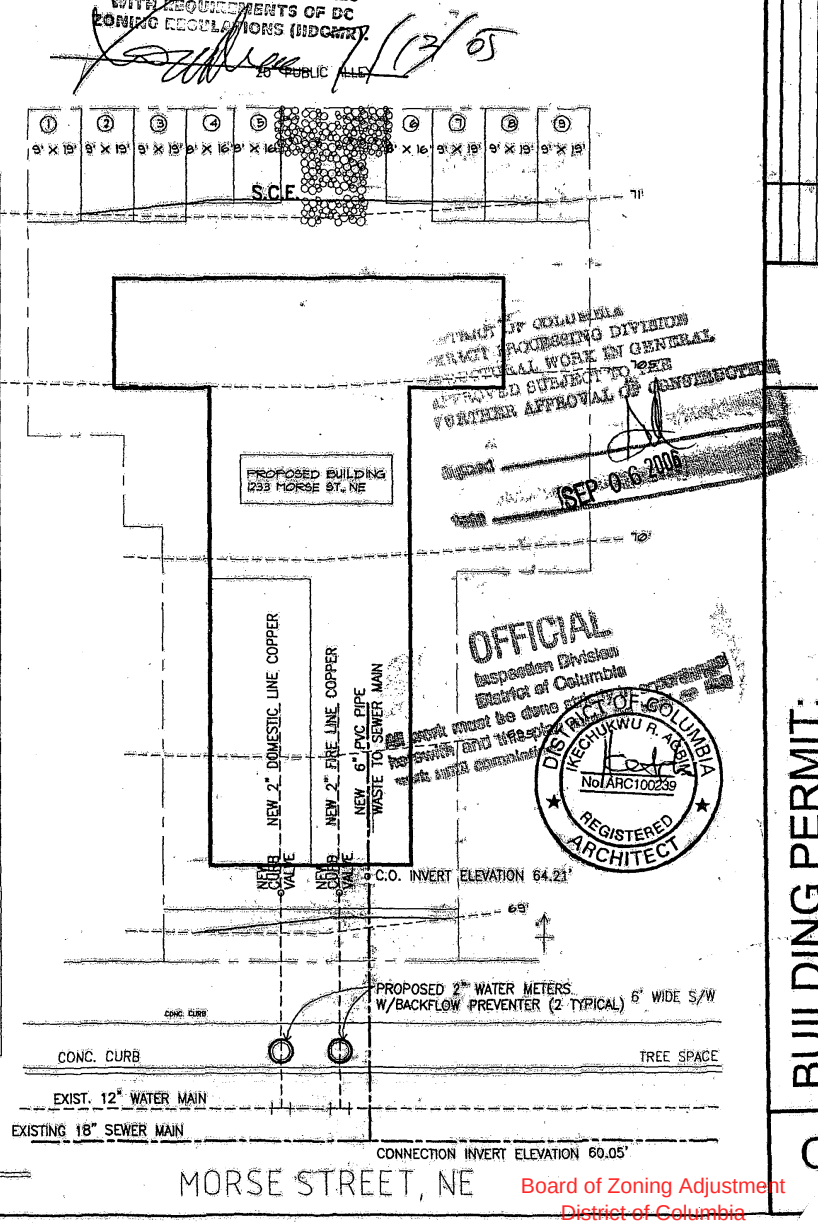
A. NOTIFY DC WASA ONE WEEK PRIOR TO START OF CONSTRUCTION. UTILITY INSPECTION @ 202 787 2377
WATER SERVICES 202 612 3400 OF 3460 AND SEWER SERVICES 202 264 3824 OF 3829.

B. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTORS FOR REVIEW AND APPROVAL UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDONED IN PUBLIC SPACE. APPLICANT MUST SUBMITTHESE DRAWINGS AS BUILT DRAWINGS MUST SHOW DIMENSION, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.

C. ONCE THE WASA INSPECTOR APPROVES THE AS BUILT DRAWING, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE @ ROOM 203 AND THE WATER AND SEWER DESIGN SECTION @ 5000 OVERLOOK AVE, S.W. 5TH FLOOR

UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACKFILLING, REPAVING AND RESTORATION OF PUBLIC SPACES FOR STREET AND SIDEWALK CUTS FOR NEW UTILITIES, CONNECTIONS AND TAPS. REMOVALS, ABANDONMENTS OF SERVICES MUST BE PERFORMED BY THE CONTRACTOR, AT THE WATER OR SEWER LINE WITHIN PUBLIC SPACE AND REPAIRED UNDER DC WASA INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THE CONTRACTOR OR DEVELOPERS.

DCRA / OFFICE OF THE ZONING ADMINISTRATOR / COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)

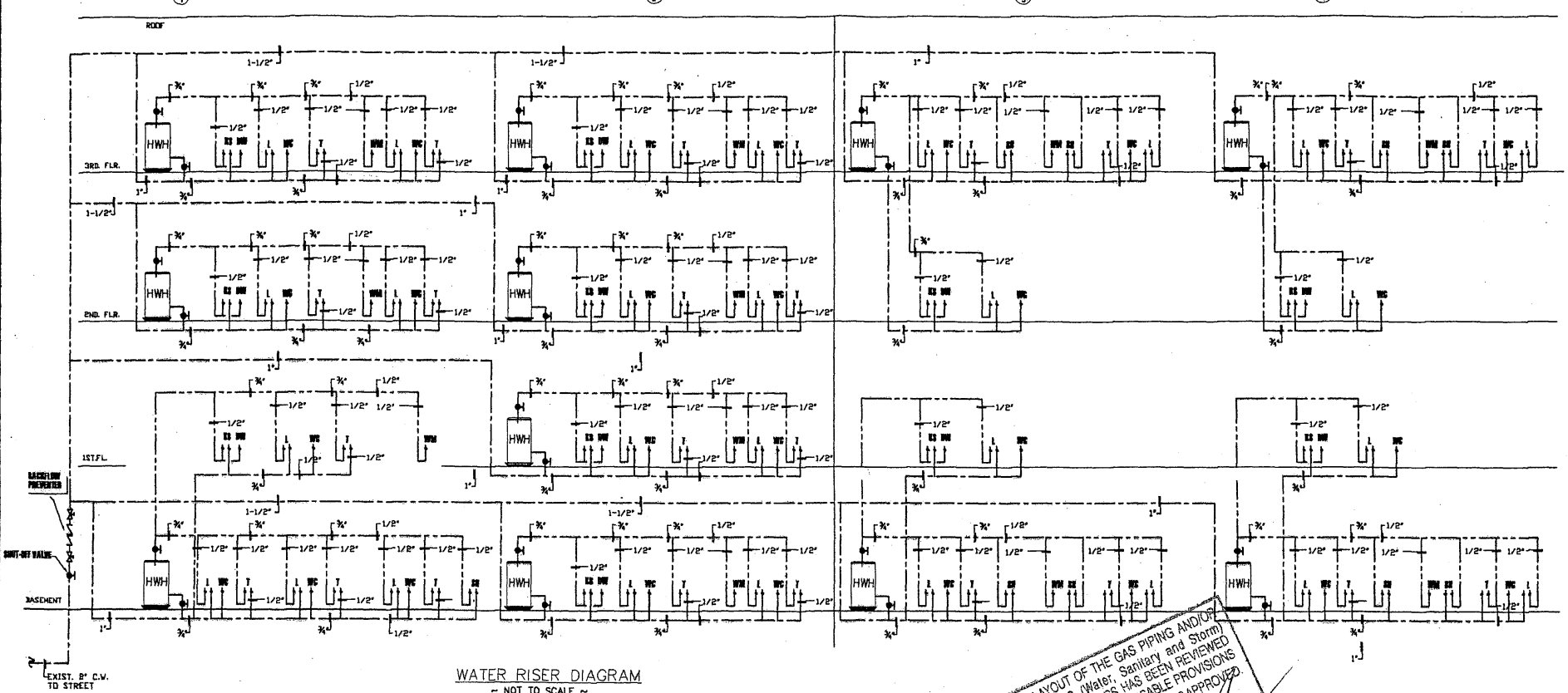


OFFICIAL
Inspection Division
District of Columbia
work must be done
IKECHUKWU R. AGBIM
No ARC100239
REGISTERED
ARCHITECT

1 SITE PLAN

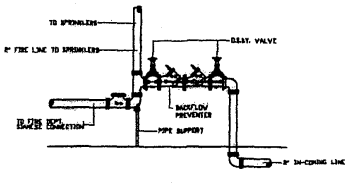
BUILDING PERMIT:
1233 MORSE STREET, NE
SQ 4069, LOT 130

C

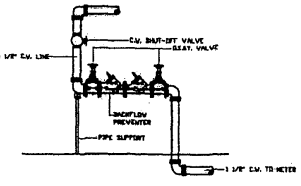


WATER RISER DIAGRAM
~ NOT TO SCALE ~

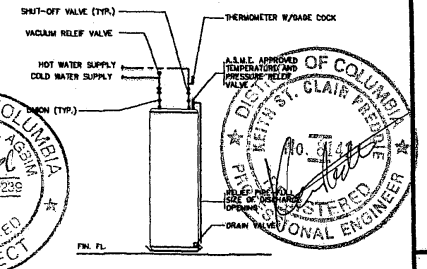
THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2085
Chinedu Godwin Ukwuani
Mechanical Engineering Section



SPRINKLER BACKFLOW DETAIL
N.T.S.



DOMESTIC WATER BACKFLOW DETAIL



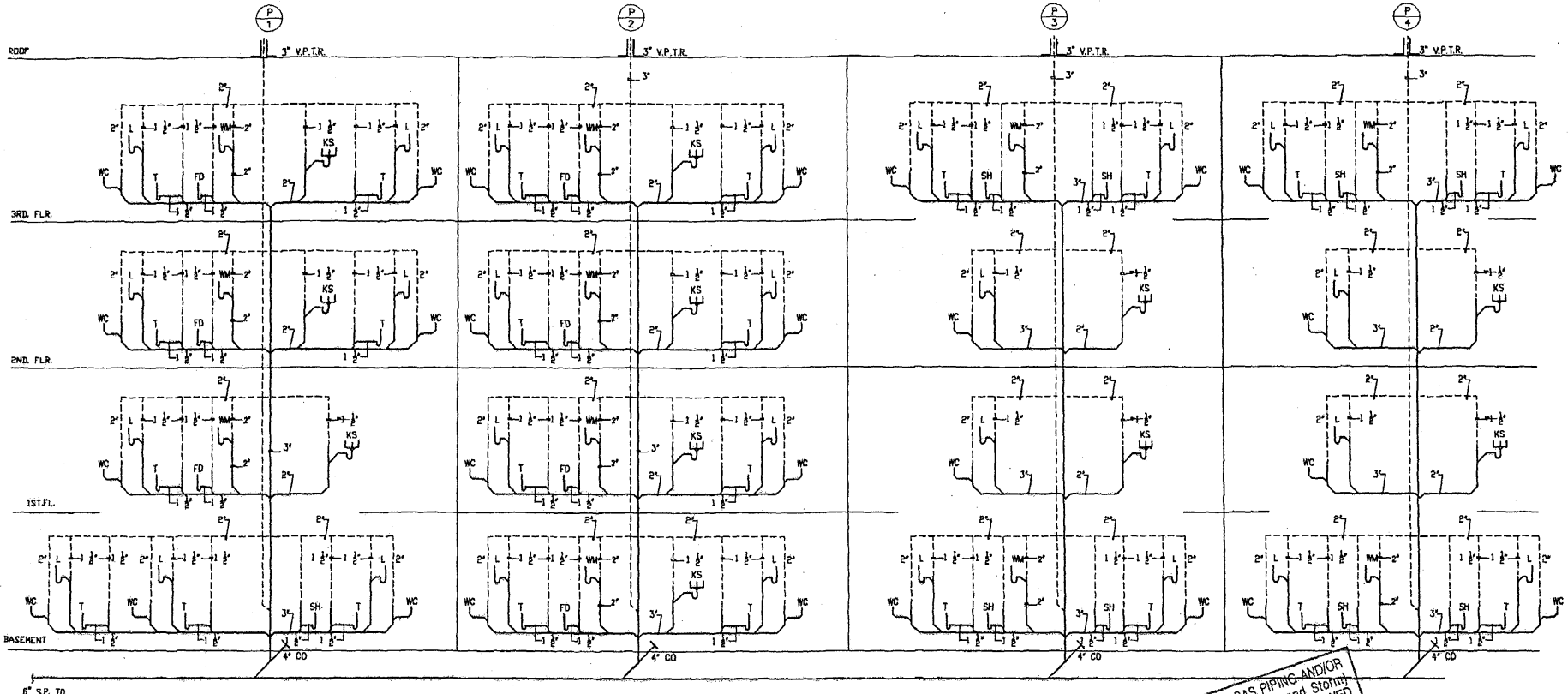
HOUSE ELECTRIC WATER HEATER DETAIL
~ NOT TO SCALE ~
* HWH SHALL BE 50 GAL.

DISTRICT OF COLUMBIA
NKECHUKWU R. AGBIM
No ARC 10236
REGISTERED ARCHITECT

DISTRICT OF COLUMBIA
REGIS ST. CLAIR FREEMAN
No. 9814
REGISTERED PROFESSIONAL ENGINEER

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4089, LOT

P-1.2



PLUMBING RISER DIAGRAM
~ NOT TO SCALE ~

THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinedu Godwin Ukwuani
Mechanical Engineering Section

DISTRICT OF COLUMBIA
KEITH ST. CLAIR PRESTON
No. 962
REGISTERED ARCHITECT

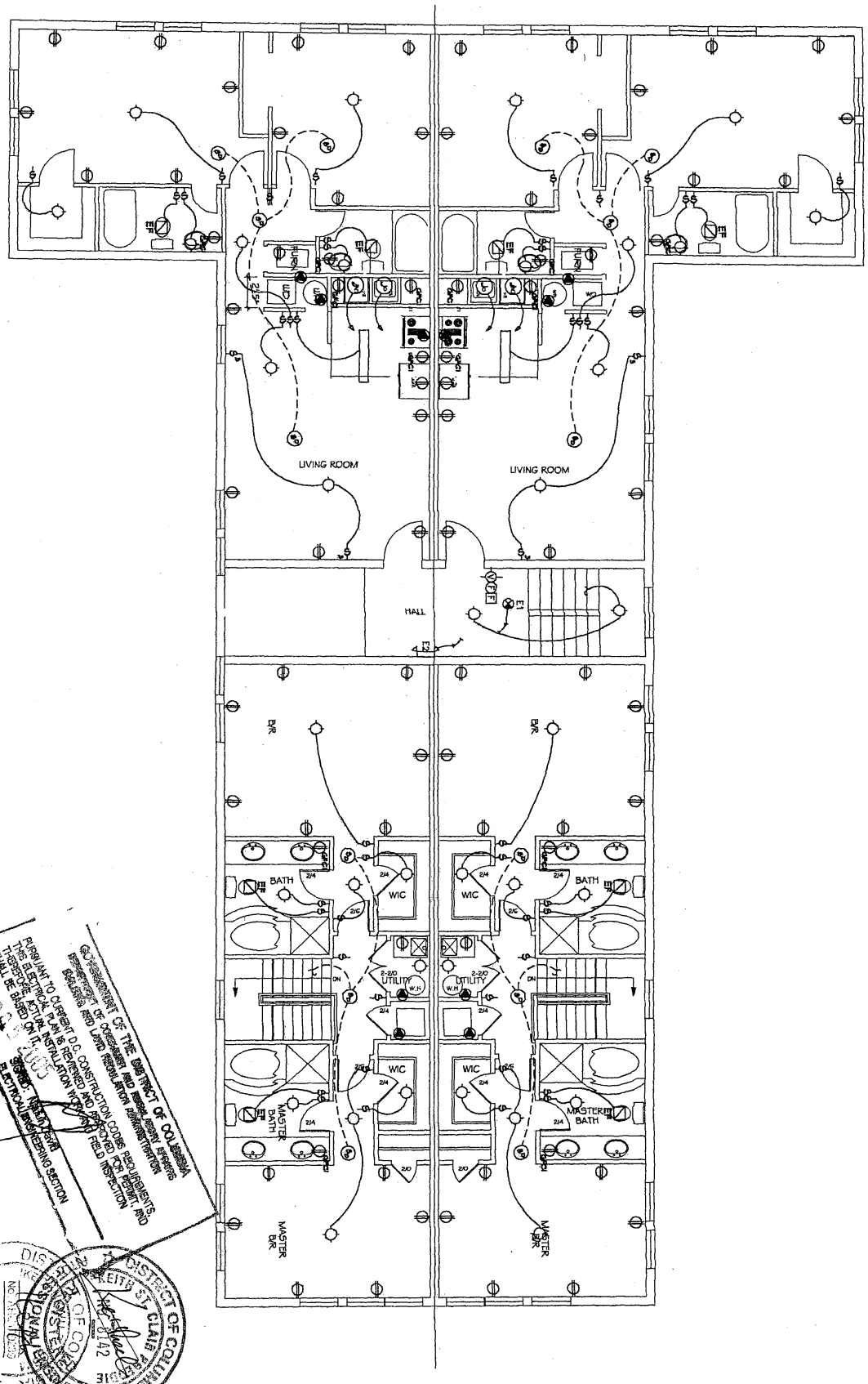
DISTRICT OF COLUMBIA
CHINEDU GODWIN UKWUANI
No. ARC 00239
REGISTERED ARCHITECT

PLUMBING FIXTURE SCHEDULE

ITEM	DESCRIPTION	C.W.	H.W.	DRAIN DIR.	DRAIN IND.	VENT	REMARK
L	LAVATORY	1/2"	1/2"	1 1/4"		1 1/4"	
WC	WATER CLOSET	1/2"		3"		3"	
T	TUB	1/2"	1/2"	1 1/2"		1 1/2"	
KS	KITCHEN SINK	1/2"	1/2"	1 1/2"		1 1/2"	
LT	LAUNDRY TUB	1/2"	1/2"	1 1/2"		1 1/2"	
WM	WASHER MACHINE	1/2"	1/2"	2"		2"	
W	WASH WASHER	1/2"	1/2"	1 1/2"		1 1/2"	

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4089, LOT

P-1.1



1 THIRD FLOOR PLAN

PURSUANT TO CURRENT D.C. CONSTRUCTION CODES REQUIREMENTS, THIS ELECTRICAL RETURN INSTALLATION WORK IS REVIEWED AND APPROVED FOR PERMIT, AND THEREFORE APPROVED FOR FIELD INSPECTION SHALL BE BASED ON THESE PLANS

SEE DATE

SIGNED: MASTER ELECTRICIAN / ELECTRICAL ENGINEERING SECTION

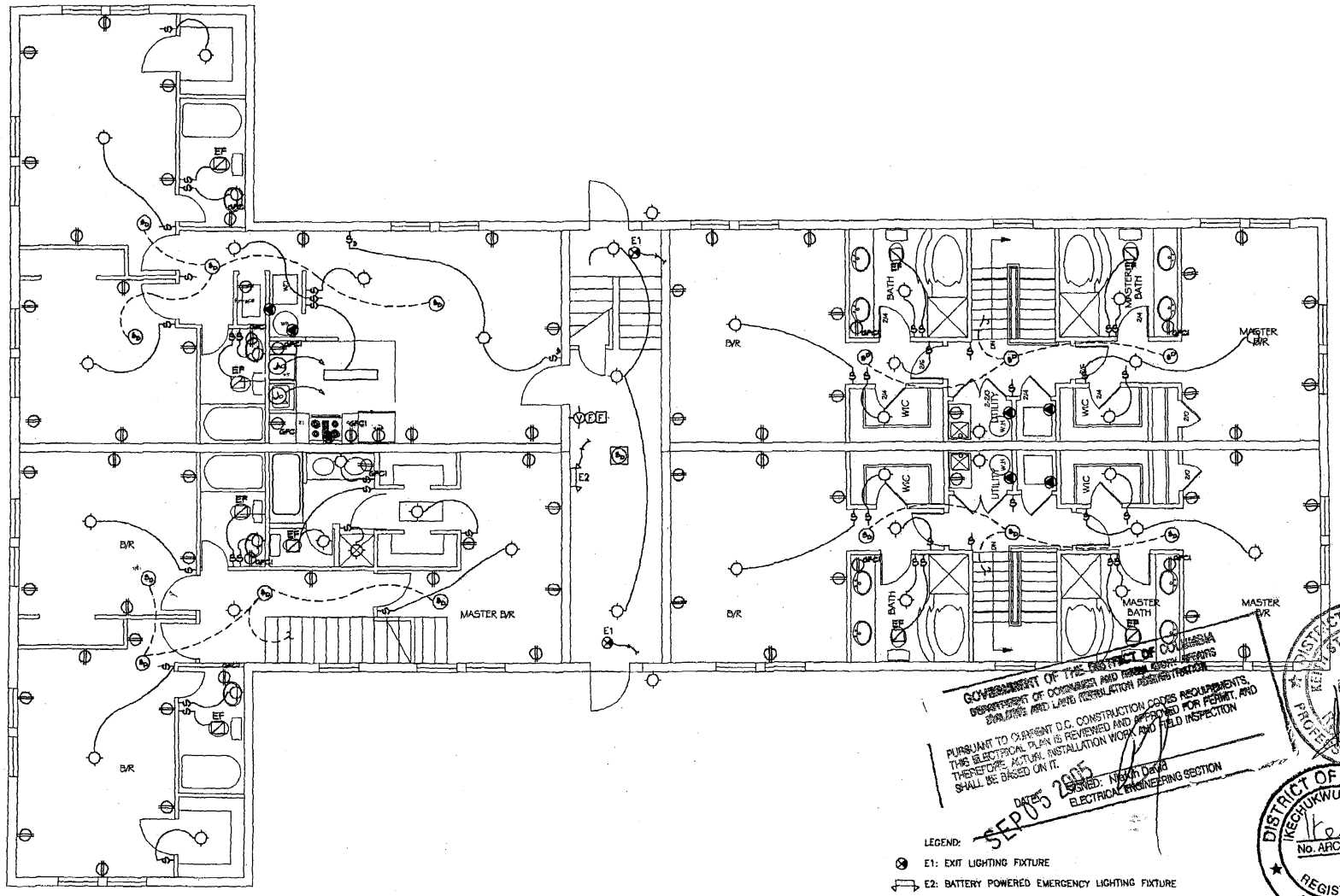
DISTRICT OF COLUMBIA REGISTERED ARCHITECT

DISTRICT OF COLUMBIA REGISTERED PROFESSIONAL ENGINEER

E-4

BUILDING PERMIT:

1233 MORSE STREET, NE



1 BASEMENT PLAN

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION

PURSUANT TO CURRENT D.C. CONSTRUCTION CODES REQUIREMENTS, THIS ELECTRICAL PLAN IS REVIEWED AND APPROVED FOR PERMIT, AND THEREFORE, ACTUAL INSTALLATION WORK AND FIELD INSPECTION SHALL BE BASED ON IT.

DATE: SEP 05 2005

SIGNED: Nkem Dena
ELECTRICAL ENGINEERING SECTION

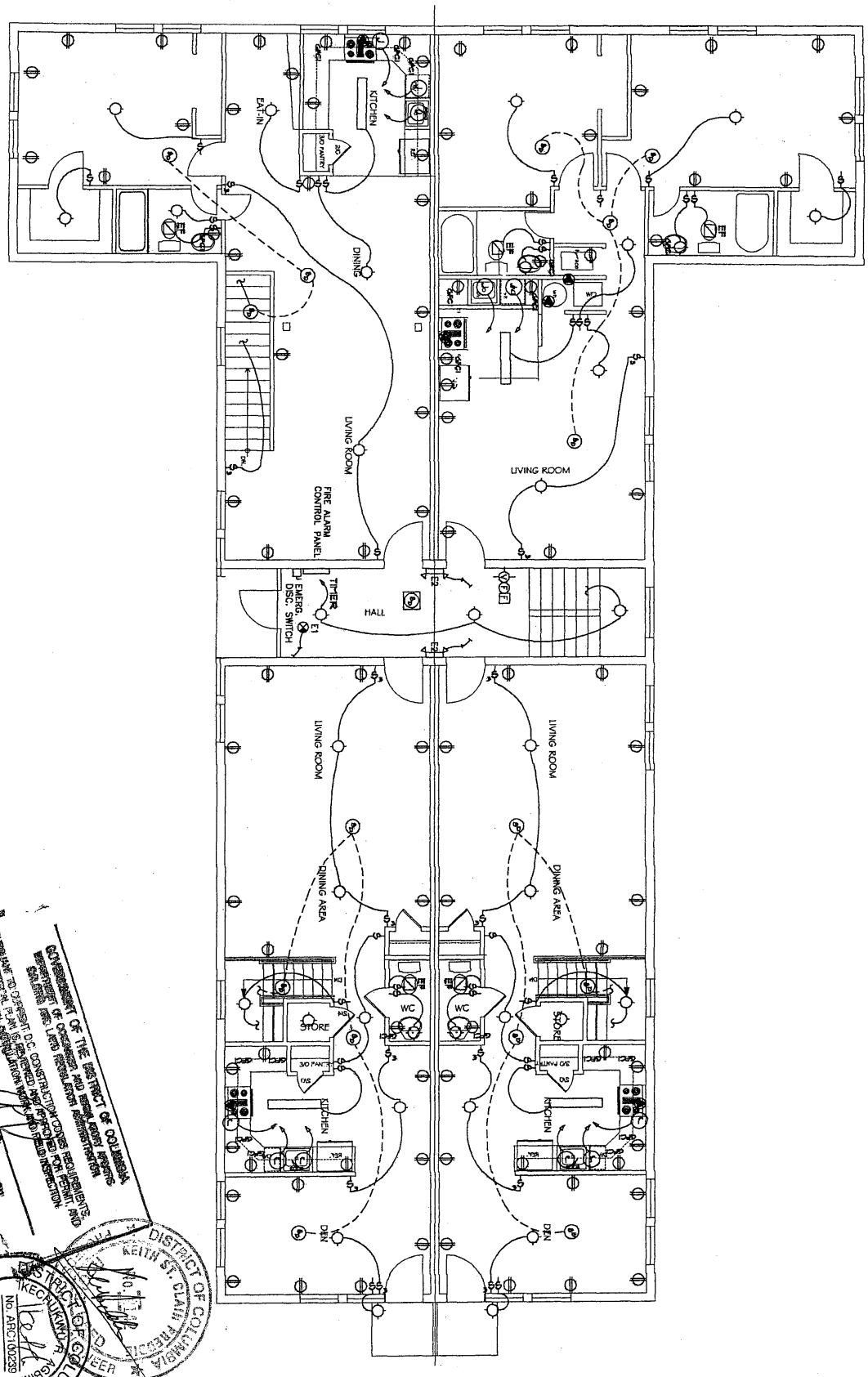
DISTRICT OF COLUMBIA
KEVIN ST. CLAIR FREEMAN
No. 7042
REGISTERED
PROFESSIONAL ENGINEER

DISTRICT OF COLUMBIA
IKECHUKWU R. AGBIM
No. ARC100239
REGISTERED
ARCHITECT

BUILDING PERMIT:

1233 MORSE STREET, NE

E-1



1 FIRST FLOOR PLAN

GOVERNMENT OF THE DISTRICT OF COLUMBIA
ENVIRONMENT, OCCUPATIONAL AND SAFETY AGENCY
BUILDING AND LAND REGULATION ADMINISTRATION

PURSUANT TO CURRENT D.C. CONSTRUCTION CODES REQUIREMENTS
THIS ELECTRICAL PLAN IS APPROVED AND ISSUED FOR PERMIT, AND
SHALL BE BASED ON THE CIRCULATION WORK AND FIELD INSPECTION

REVIEWED: ELECTRICAL ENGINEERING SECTION

DATE

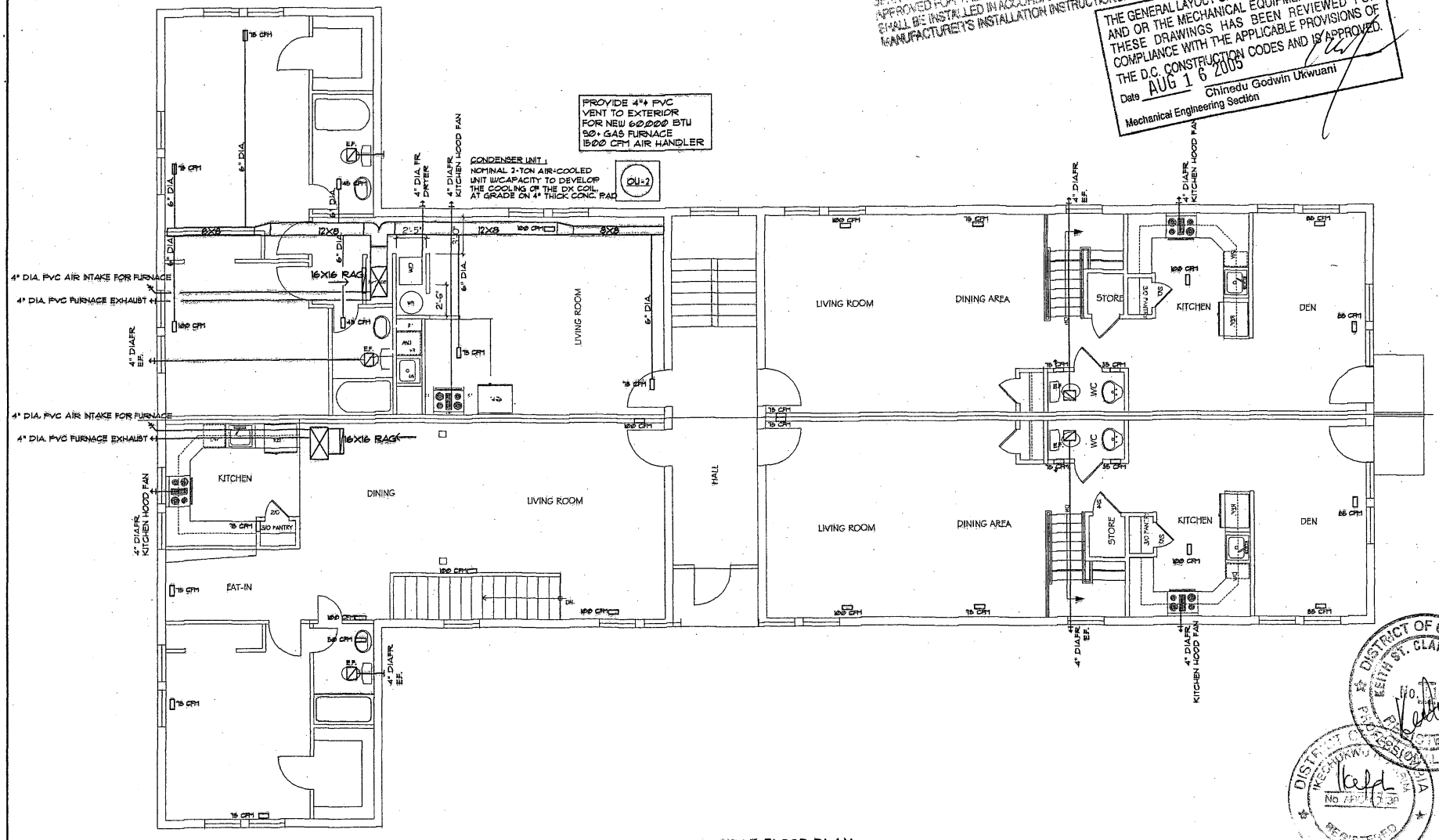
DISTRICT OF COLUMBIA
KEITH ST. CLAIR FRECKLETON
REGISTERED PROFESSIONAL ENGINEER

DISTRICT OF COLUMBIA
REGISTERED ARCHITECT
No. ARC100239

E-2

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT



1 FIRST FLOOR PLAN

ALL APPLIANCES SHALL BE LISTED BY AN APPROVED AGENCY APPROVED FOR THE PROPOSED USE AND LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

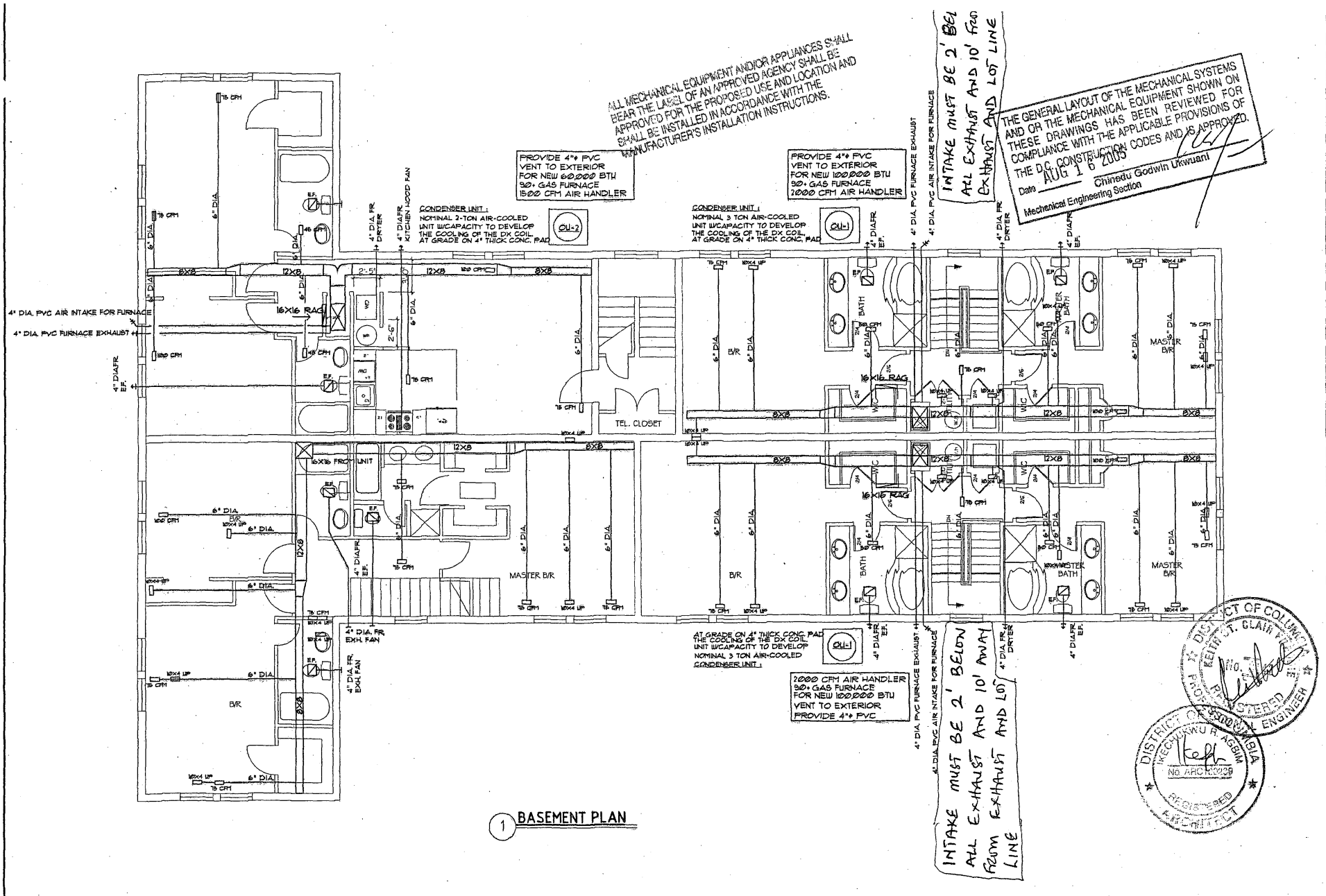
THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 1 6 2005
Chinedu Godwin Ukwuani
Mechanical Engineering Section

DISTRICT OF COLUMBIA KEITH ST. CLAIR THEIS No. 15 REGISTERED PROFESSIONAL ENGINEER

DISTRICT OF COLUMBIA CHINEDU GODWIN UKWUANI No. REGISTERED PROFESSIONAL ENGINEER

BUILDING PERMIT:
1233 HORSE STREET, NE
SQUARE 4069, LOT

M-2



1 BASEMENT PLAN

BUILDING PERMIT:

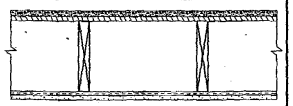
1233 MORSE STREET, NE
SQUARE 4069, LOT

M-1

GA FILE NO. FC 5107	PROPRIETARY †	1 HOUR FIRE	55 to 59 FSTC SOUND

GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS, GYPSUM FLOOR UNDERLAYMENT

One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 11/4" Type W screws. Wood joists supporting 19/32" plywood subfloor and 3/4" 1000 psi sanded gypsum floor underlayment.



PROPRIETARY GYPSUM BOARD

BPB America Inc.	-	5/8" ProRoc™ Type C Gypsum Panels
G-P Gypsum	-	5/8" ToughRock® Fireguard® C
Lafarge North America Inc.	-	5/8" Firecheck® Type C
National Gypsum Company	-	5/8" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Wallboard
PABCO Gypsum	-	5/8" FLAME CURB® Super 'C'
Temple-Inland Forest Products Corporation	-	5/8" TG-C
United States Gypsum Company	-	5/8" SHEETROCK® Brand Gypsum Panels, FIRECODE® C Core

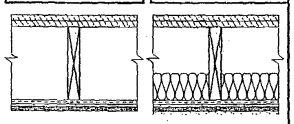
Approx. Ceiling Weight: 3 psf
Fire Test: UL R1319-65, 11-16-64, UL Design L514
Field Sound Test: INTEST 5-761-3, 12-5-77

GA FILE NO. FC 5110	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND

WOOD JOISTS, GYPSUM LATH, GYPSUM PLASTER, RESILIENT CHANNELS

1/2" 1:2-1:3 gypsum-sand plaster applied over 3/8" type X gypsum lath applied at right angles to resilient furring channels 16" o.c with three 3/4" Type S drywall screws at each furring channel 3" wide woven wire strips applied over gypsum lath and parallel to and directly over resilient channels with 7/8" Type S drywall screws with diamond washers 16" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 17/8" long, 0.0915" shank, 1/4" heads. Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor.

Sound tested with 3" glass fiber insulation batts in joist space, sound deadening felt, and carpet and pad. **A face layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.**



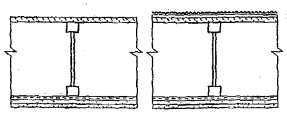
Approx. Ceiling Weight: 6.25 psf
Fire Test: SFT-42, 5-7-66
Sound Test: CK 6712-5, 6-9-67
IIC & Test: (68 C & P) CK 6712-5, 6-9-67

GA FILE NO. FC 5111	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND

WOOD I-JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS

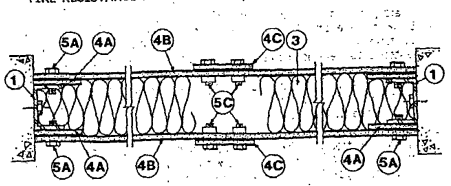
Base layer 1/2" type X gypsum wallboard applied at right angles to resilient channels 16" o.c. with 11/4" Type S drywall screws 12" o.c. Resilient channels applied at right angles to minimum 9 1/2" deep wood I-joists, with minimum 1 1/4" deep x 1 1/2" wide flanges and minimum 3/8" webs, 24" o.c. with 11/4" Type W drywall screws. **Face** layer 1/2" type X gypsum wallboard applied at right angles to channels with 15/8" Type S drywall screws 12" o.c. Face layer end joints located midway between channels and attached to base layer with 11/2" Type G screws 12" o.c. Edge joints offset 24" from base layer edge joints. Wood I-joists supporting 5/8" oriented strand board applied at right angles to I-joists with 8d common nails 12" o.c.

STC and IIC tested with 40 oz carpet over 1/4" foam pad.



Approx. Ceiling Weight: 5 psf
Fire Test: NRCC A-4440.1 (Revised), 6-24-97
Sound Test: NRCC B-3150.2, 6-30-00
IIC & Test: (68 C & P) NRCC B-3150.2, 6-30-00

† Contact the manufacturer for more detailed information on proprietary products.

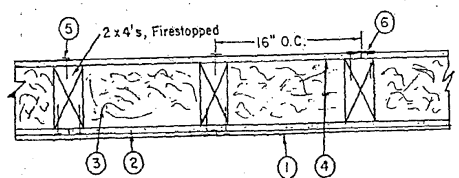


VERTICAL SECTION (HORIZONTAL JOINTS)

1. **Floor, Ceiling and Side Channels** —Channel-shaped, nominal 3 in. wide with nominal 2 in. legs fabricated from 1/4 in. pressed mild steel.
2. **Support Channels** —Channel-shaped, nominal 3 in. wide with nominal 3-1/4 in. legs fabricated from 1/4 in. thick rolled mild steel.
3. **Batts and Blankets*** —Mineral wool batts, minimum 10 lb/cu ft and nominal 4 in. thick.
   USG Interiors, Inc.
4. **Units Partition Panels*** —Nominal 3/8 in. thick insulated panels supplied as fillets, sheets, and cover profiles.
   A. **Fillets*** —Nominal 3/8 in. thick by 3-1/2 in. wide insulated panels installed over the steel channels.
   B. **Sheets*** —Nominal 3/8 in. thick by 36 in. wide insulated panels installed on both surfaces of the mineral wool.
   C. **Cover Profiles*** —Nominal 3/8 in. thick by 4 in. wide insulated panels installed over the vertical and horizontal joints.
   Durasteel Ltd. —Type 3DF2/9.5 fillets, sheets and cover profiles.
5. **Fasteners** —Various size, as described below, hex bolts used to secure the fillets, sheets, and cover profiles to the steel supports.
   A. **Countersunk Bolts** —Nominal 1/4 in. diameter by 1 in. long steel countersunk bolts with nominal 1/4 in diameter steel nuts used to secure the fillets and sheets to the steel channel.
   B. **Hex Bolts** —Nominal 5/16 in. diameter by 1-3/8 in. long steel bolts with 5/16 in. diameter nuts spaced 12 in. O.C. used to secure the fillets and sheets to the steel channel. (Item No. 1)
   C. **Hex Bolts** —Nominal 5/16 in. diameter by 1-3/4 in. long steel hex bolts with 5/16 in. diameter nuts spaced maximum 12 in. O.C. used to secure the fillets, sheets and cover profiles to the support channel. (Item No. 2)
   D. **Hex Bolts** —Nominal 5/16 in. diameter by 1-3/8 in. long hex bolts with 5/16 in. diameter steel nutserts spaced 6 in. O.C. used to secure the cover profiles into the sheets.

*Bearing the UL Classification Marking

Design No. U032 ✓
Bearing Rating—1 HR.



1. **Hard board Paneling—Mineral and Fiber Boards***—Untreated panels nom 7/16 or 1/2 in. thick, 6 to 48 in. wide. Ship lapped panel sidings are fastened to framing members with 10d rust-resistant nails thru the lap spaced 6 in. OC vertically. Butted panel siding fastened to framing members with 10d nails 3/8 in. from edge spaced 6 in. OC vertically. Lap sidings fastened to framing members with 12d nails 3/8 in. from edges spaced 16 in. OC horizontally. (Aluminum joint molding as required for lap products).
   Masonite Corp.

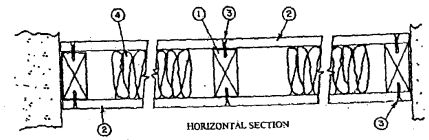
1A. In lieu of Item 1, the following Molded Plastic* may be used: Solid vinyl siding mechanically secured to framing members in accordance with manufacturer's recommended installation instructions.
   Associated Materials, Inc. Div. of Alside
   Gentek Building Products Ltd.
   Heartland Building Products.

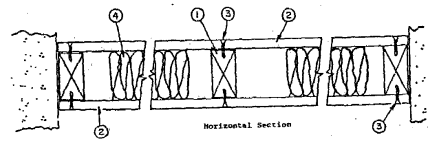
Vytec Corp.

2. **Wallboard, Gypsum*** —Nom 5/8 in. thick gypsum sheathing supp min 2 ft wide sheets, installed horizontally. Attached to each wo with 2 in. long 6d nails spaced vertically 8 in. OC.
   See Wallboard, Gypsum (CKNX) category for nam manufacturers.
3. **Batts and Blankets*** —Min. 3 in. thick mineral or glass fiber ba
   See Batts and Blankets (BZJZ) category for nam manufacturers.
4. **Wallboard, Gypsum*** —Nom 5/8 in. thick wallboard, with b square or tapered edges. Wallboard nailed 7 in. O.C. with 6d nails in. long. When used in widths other than 48 in., wallboard is installed horizontally.
   See Wallboard, Gypsum (CKNX) category for nam manufacturers.
5. **Nailheads**—Covered with joint compound.
6. **Joints**—Covered with paper tape and joint compound.

*Bearing the UL Classification Marking

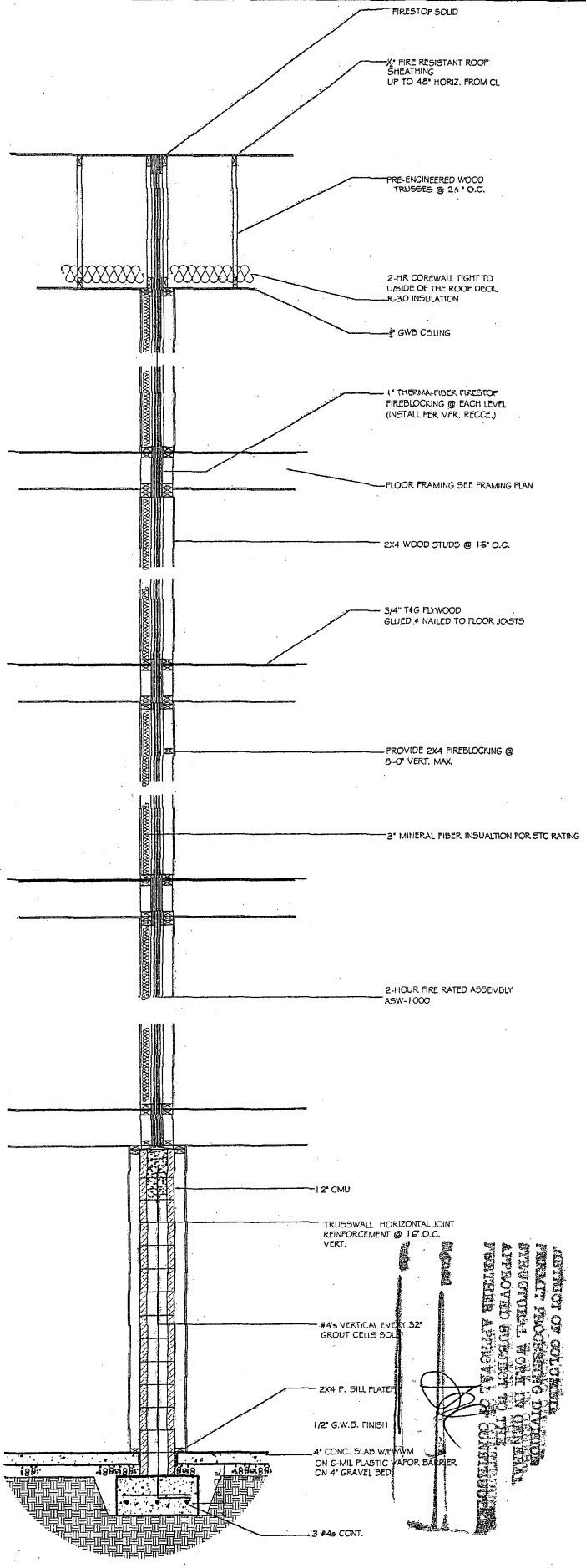
Design No. U036
Nonbearing Wall Rating—1 or 2 HR.
(See Item 2)
Finish Rating—13 min (See Item 2)





1. **Wood Studs**—Nom 2 by 4 in., spaced 24 in. OC.
2. **Mineral and Fiber Boards***—Board panels nom 0.394 in. (10 mm) for the 1 h assembly rating and nom 0.591 in. (15 mm) for th assembly rating, 48 in. (1220 mm) wide by 96 in. (2440 mm) long. butted on and fastened to wood studs. The finish rating is for the in. (15 mm) board only.
   Eternit Inc.—PROMAT-H.
3. **Fasteners**—No. 7 by 1-1/4 in. long self-tapping, bugle-head steel s to attach 0.394 in. (10 mm) thick board. No. 7 by 1-5/8 in. self-tapping bugle-head steel screws to attach 0.591 in. (15 mm) board. Screws located at 3/8 in. from edges and spaced 10 in. OC
4. **Batts and Blankets***—Min 3-1/2 in. thick, 4 lb per cu ft mineral batts.

*Bearing the UL Classification Marking

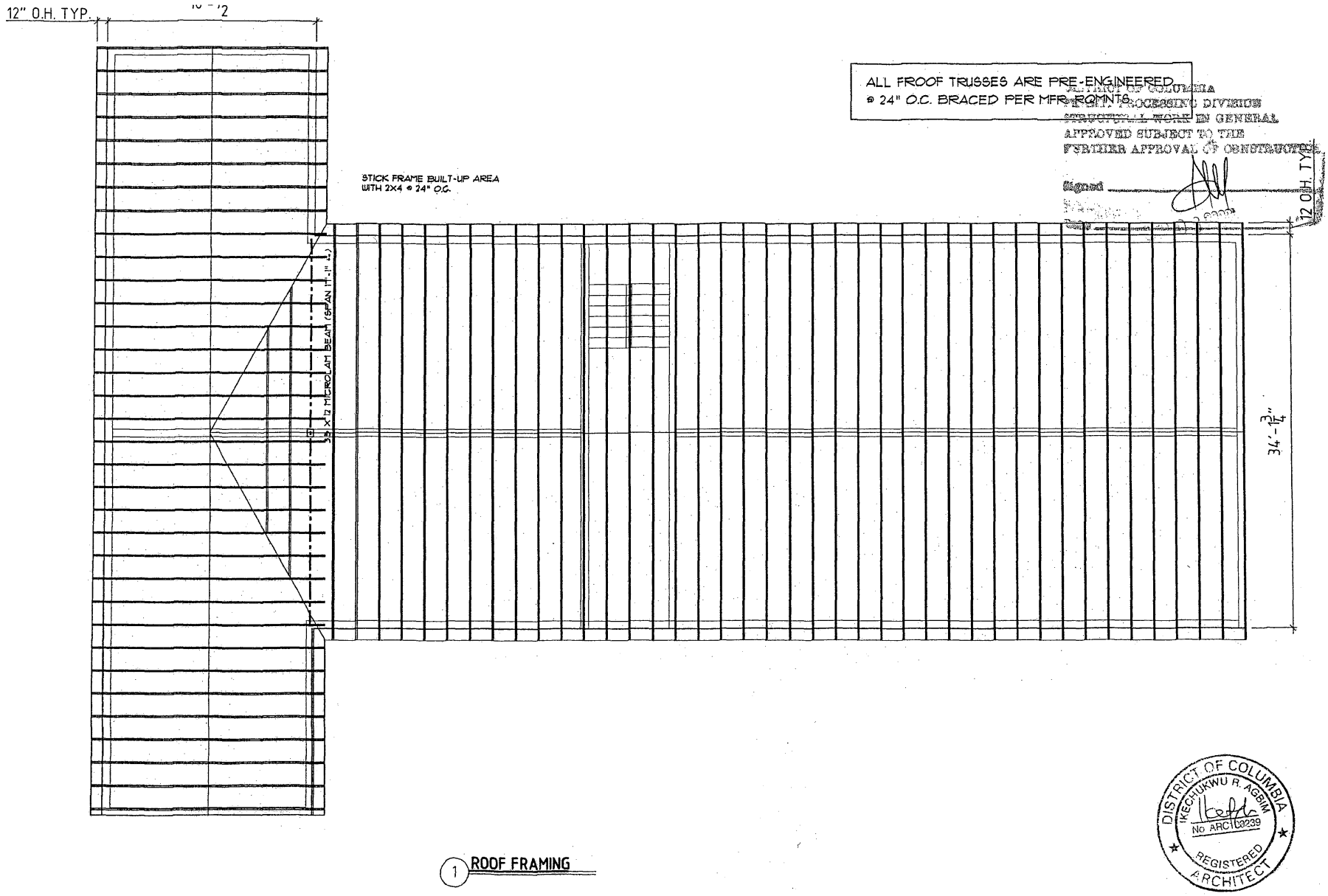


DETAIL @ PARTY WALL
U-336

A-0

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

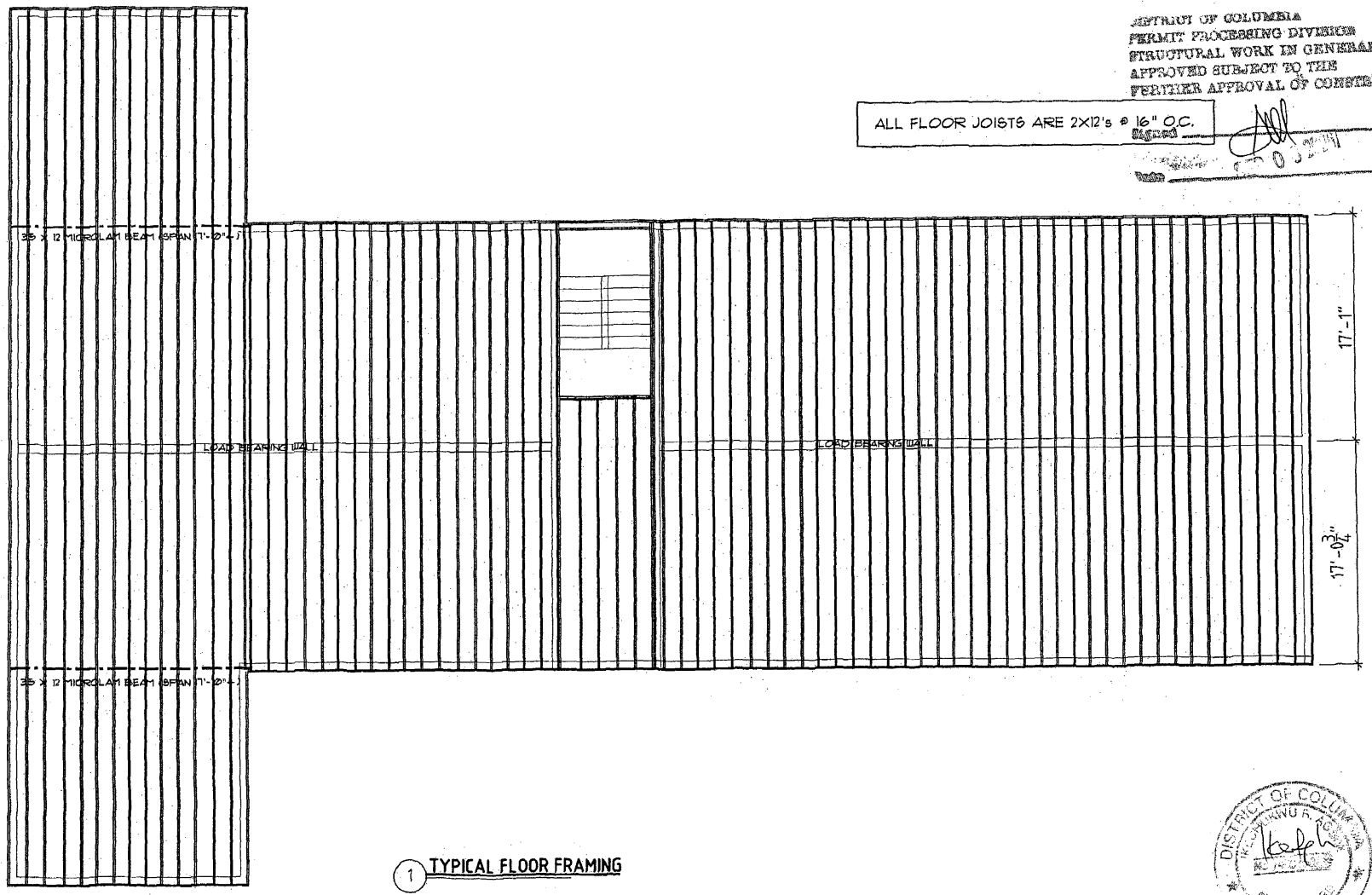


1 ROOF FRAMING

DISTRICT OF COLUMBIA
IKECHUKWU R. AGBIM
No. ARC10239
REGISTERED
ARCHITECT

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4069, LOT

A-6



1 TYPICAL FLOOR FRAMING

ALL FLOOR JOISTS ARE 2X12's @ 16" O.C.

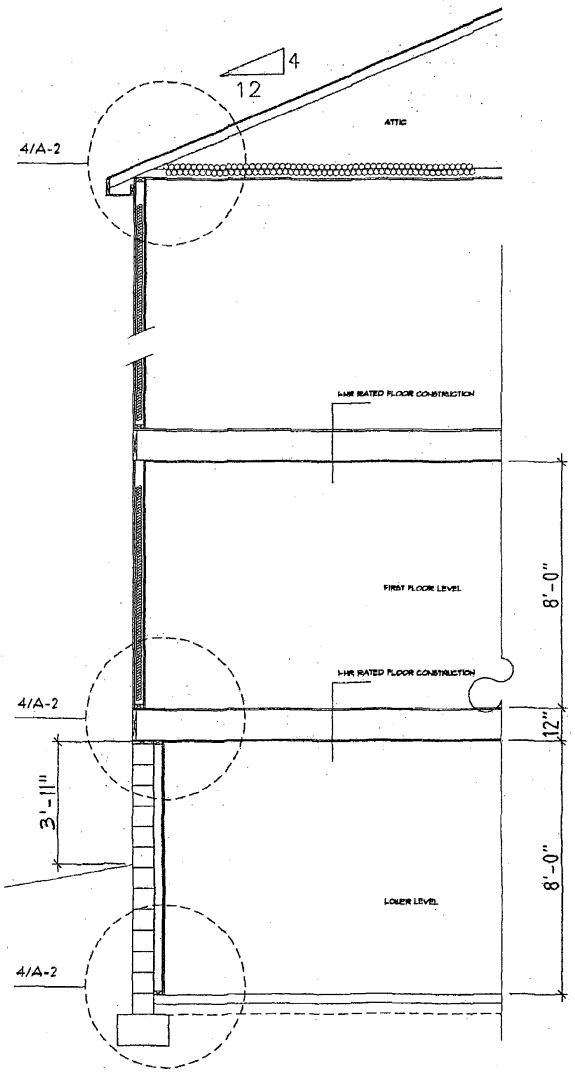
DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION

DISTRICT OF COLUMBIA
REGISTERED
ARCHITECT

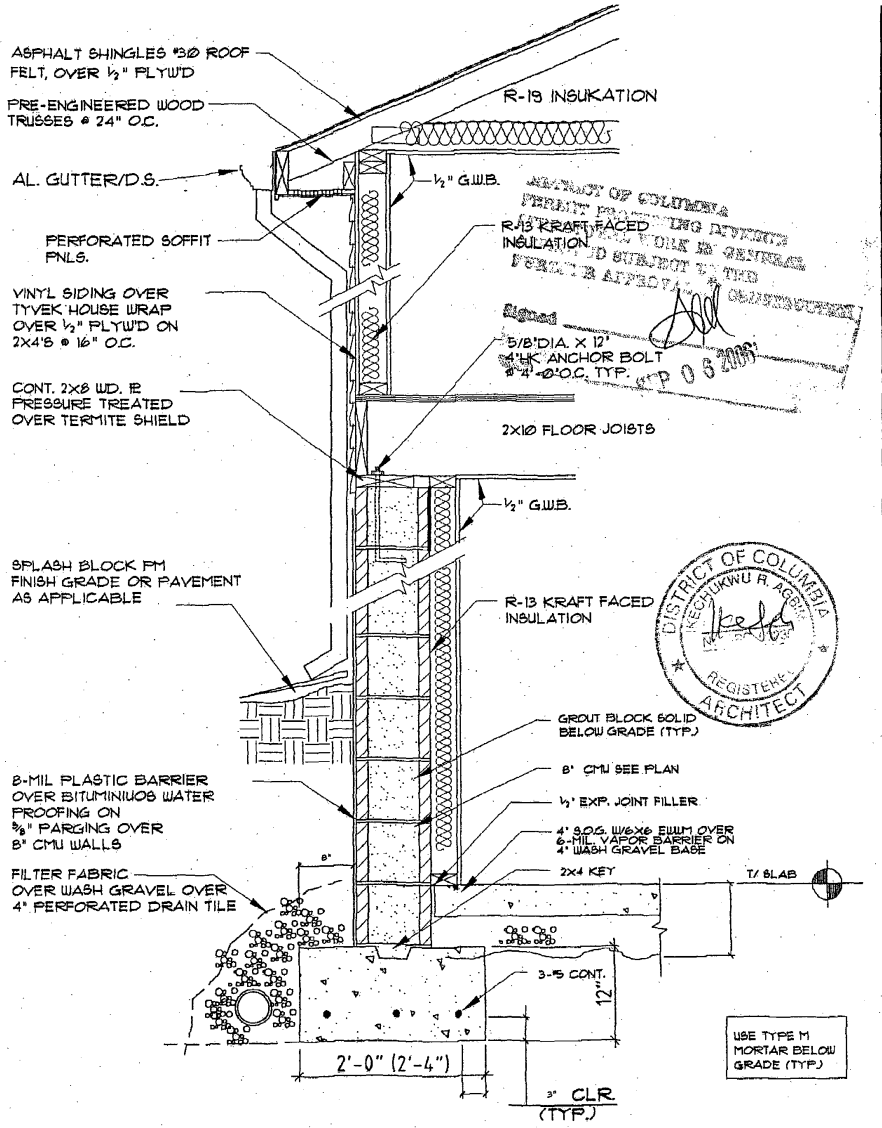
BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

A-5.1



1 SECTION

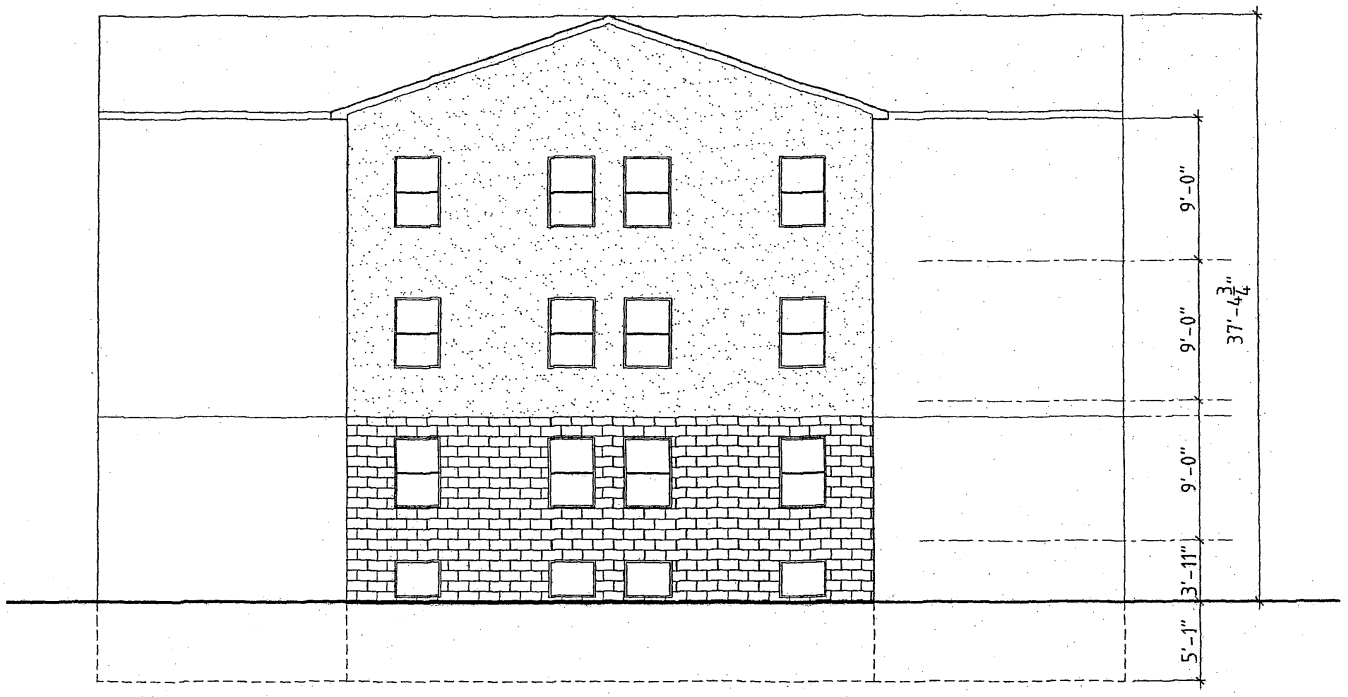


4 DETAIL

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

A-5



1 FRONT ELEVATION

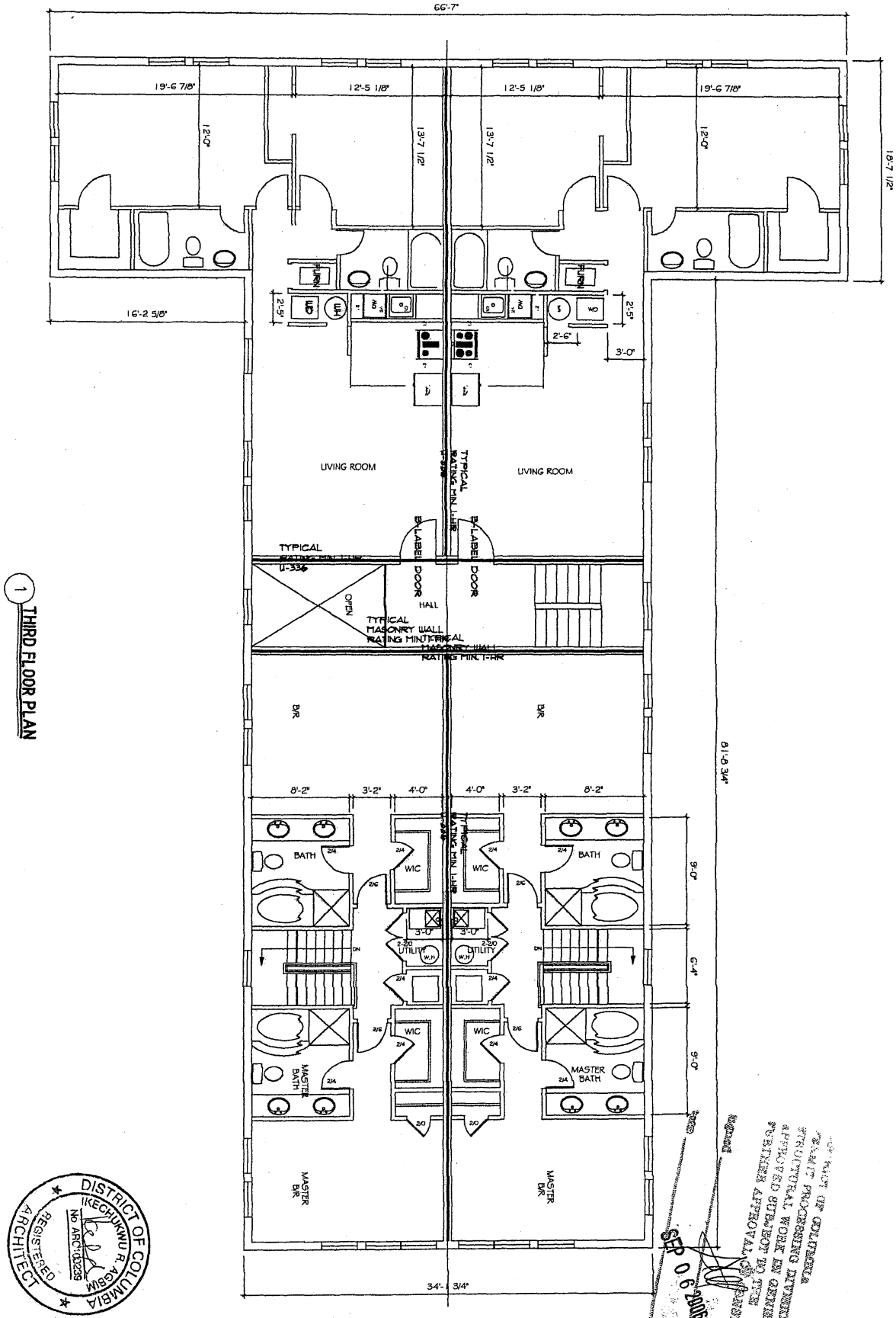
DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
SEP 6 2006

DISTRICT OF COLUMBIA
KECHUKWU R. AGBIM
No. ARC109239
REGISTERED
ARCHITECT

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

A-4.1



1 THIRD FLOOR PLAN

DISTRICT OF COLUMBIA
IKECHUKWU R. AGBIM
No. ARC-102239
REGISTERED ARCHITECT

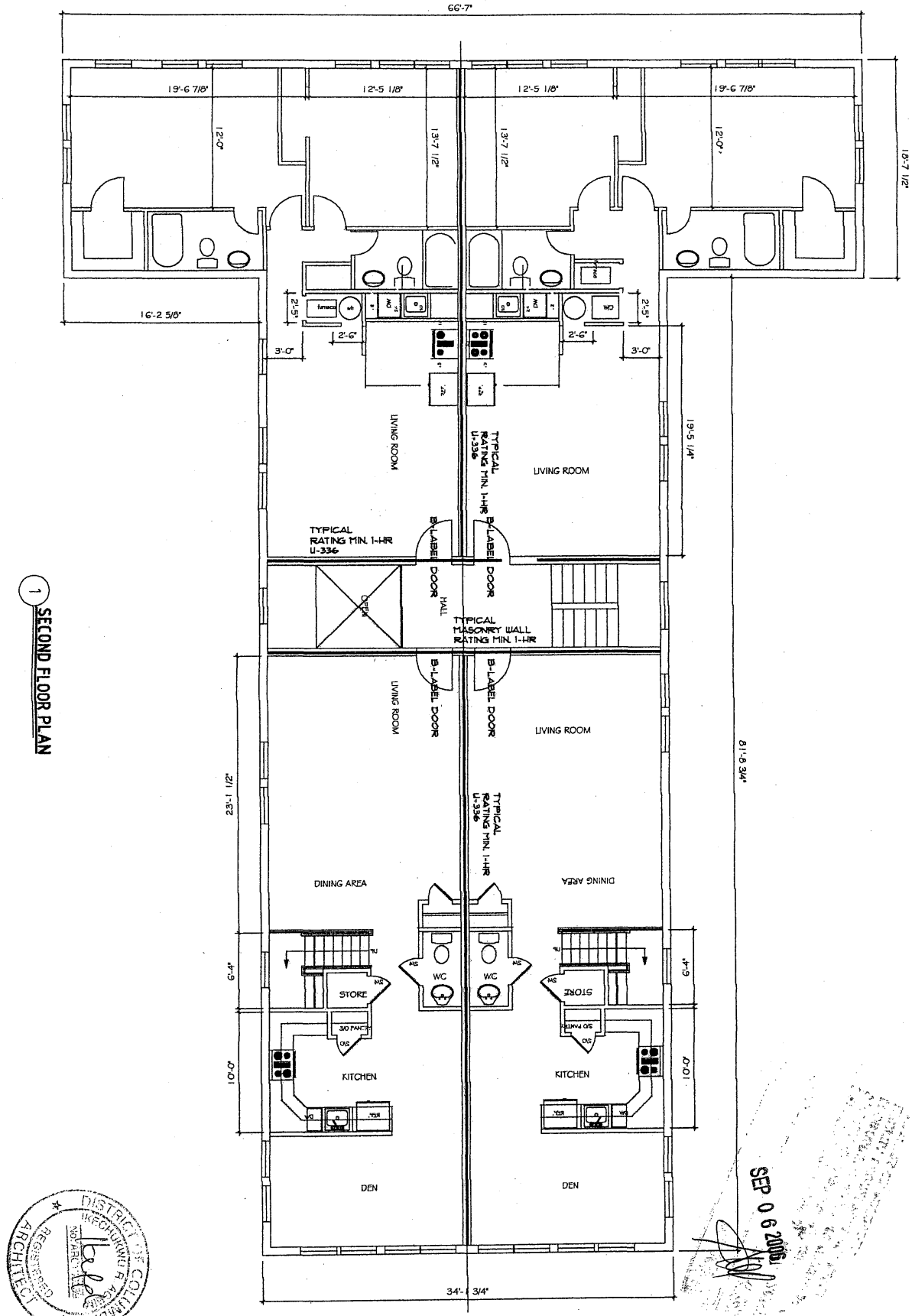
SEP 06 2006

PLANS MUST BE COMPLETE
PERMIT PROCESSING REVISION
ARCHITECTURAL WORK ON DRAWINGS
APPROVED SUBJECT TO ITS
FURTHER APPROVAL BY THE

A-4

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT



1 SECOND FLOOR PLAN

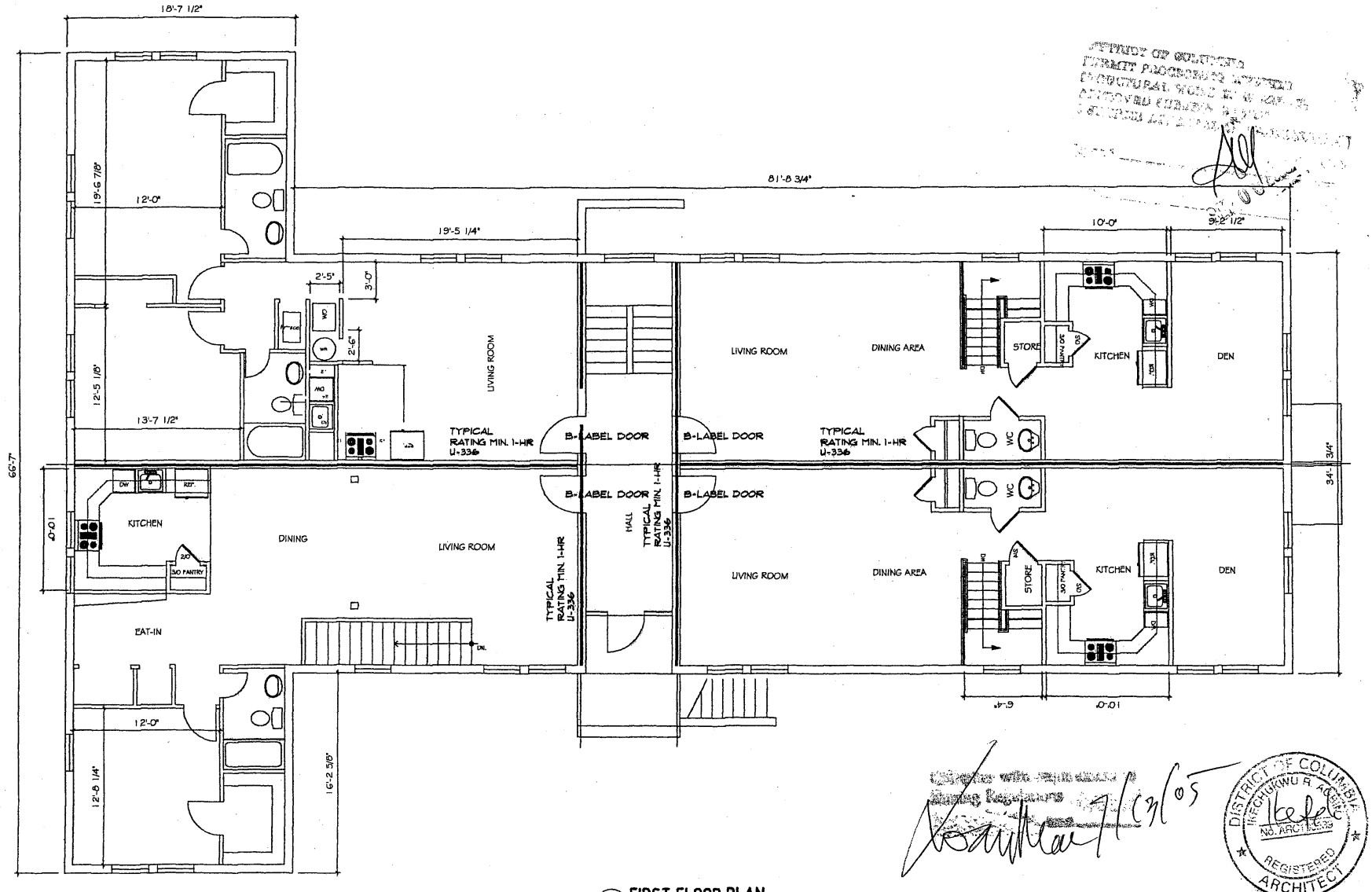
DISTRICT OF COLUMBIA REGISTERED ARCHITECT

SEP 0 6 2006

A-3

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT



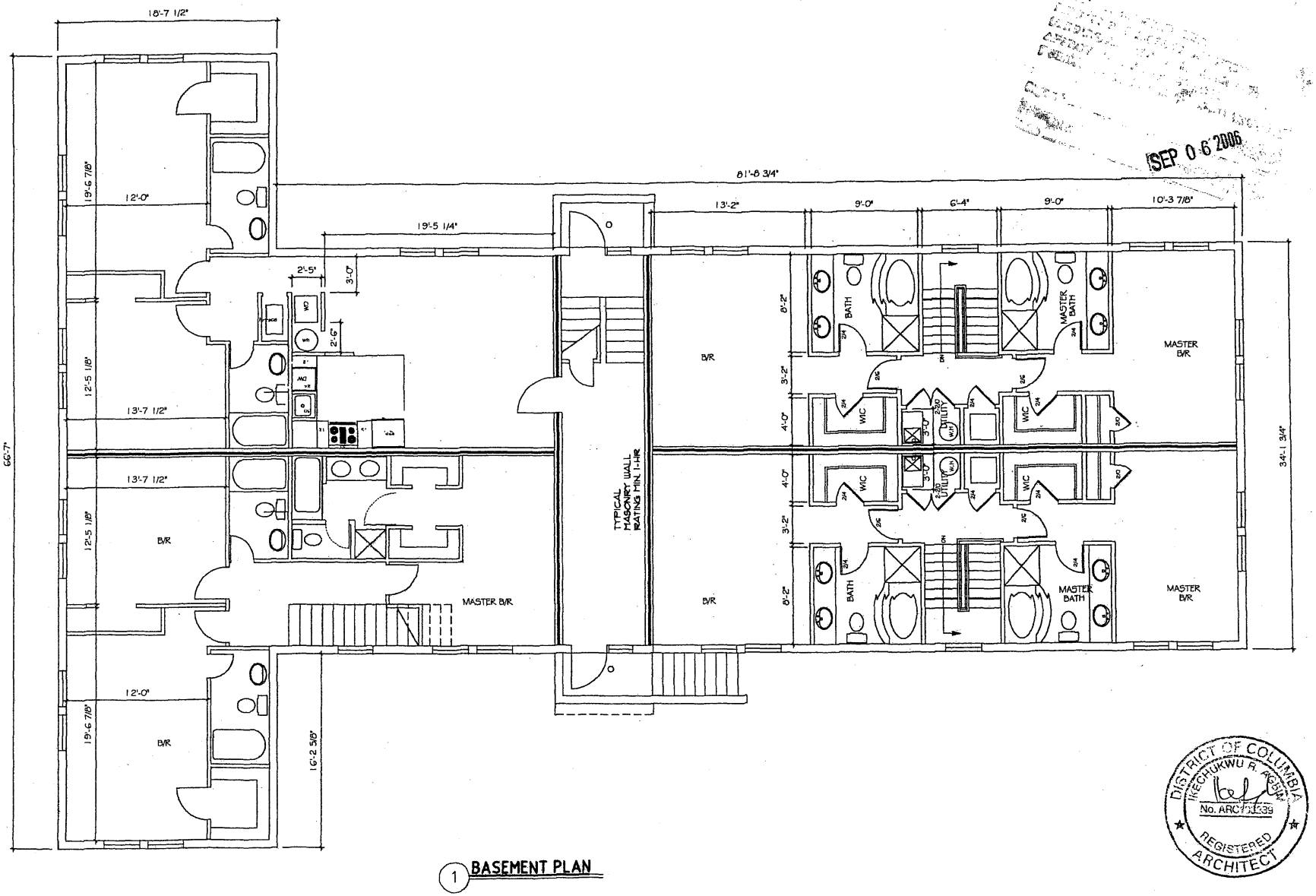
1 FIRST FLOOR PLAN

DISTRICT OF COLUMBIA
IKECHUKWU A. KEFE
No. ARC
REGISTERED
ARCHITECT

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

A-2



1 BASEMENT PLAN

BUILDING PERMIT:

1233 MORSE STREET, NE
SQUARE 4069, LOT

A-1

FOUNDATION NOTES

THE FOUNDATION DESIGN OF THIS BUILDING WAS BASED ON A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2500 psf

ANY FILL REQUIRED BELOW SLABS ON GRADE OR BELOW FOOTINGS SHALL BE COMPACTED AS REQUIRED.

ALL EXTERIOR FOOTINGS SHALL EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN THE EVENT THAT THE SITE CONDITIONS ENCOUNTERED VARY FROM THOSE SHOWN ON PLANS.

CONCRETE AND REINFORCING

ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITIONS.

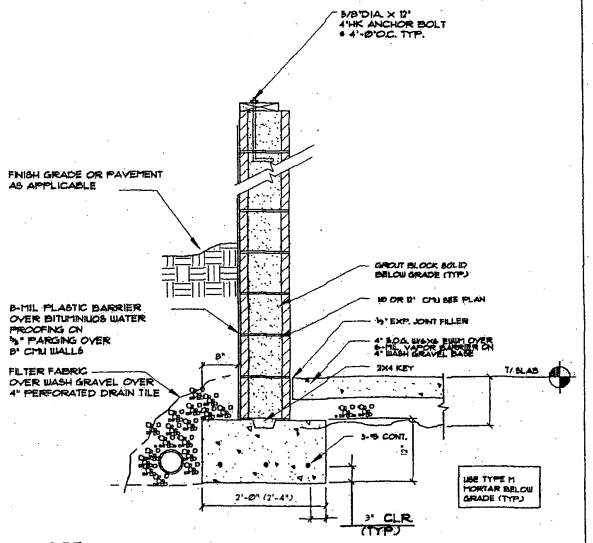
ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED AS RECOMMENDED BY ACI 318.

REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL REINFORCING AND ACCESSORIES SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARD 315-80 AND 315R-80.

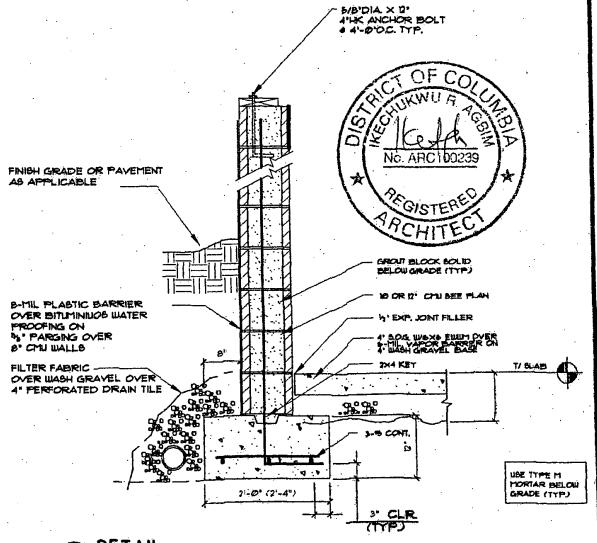
PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITIONS SHOWN ON THE PLANS AND DETAILS. PLASTIC COATED ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.

THE GENERAL CONTRACTOR SHALL CHECK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THE SUB-CONTRACTORS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, INSERTS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO THE CONCRETE WORK AND SHALL ASSUME RESPONSIBILITY FOR THEIR PROPER LOCATION.

DISTRICT OF COLUMBIA
PERMIT PROCESSED & ISSUED
FOR STRUCTURAL WORK ONLY
CREATED SUBJECT TO FIELD
INSPECTION & OTHER APPROVALS
BY DCRA
[illegible]
SEP 06 2012



B DETAIL

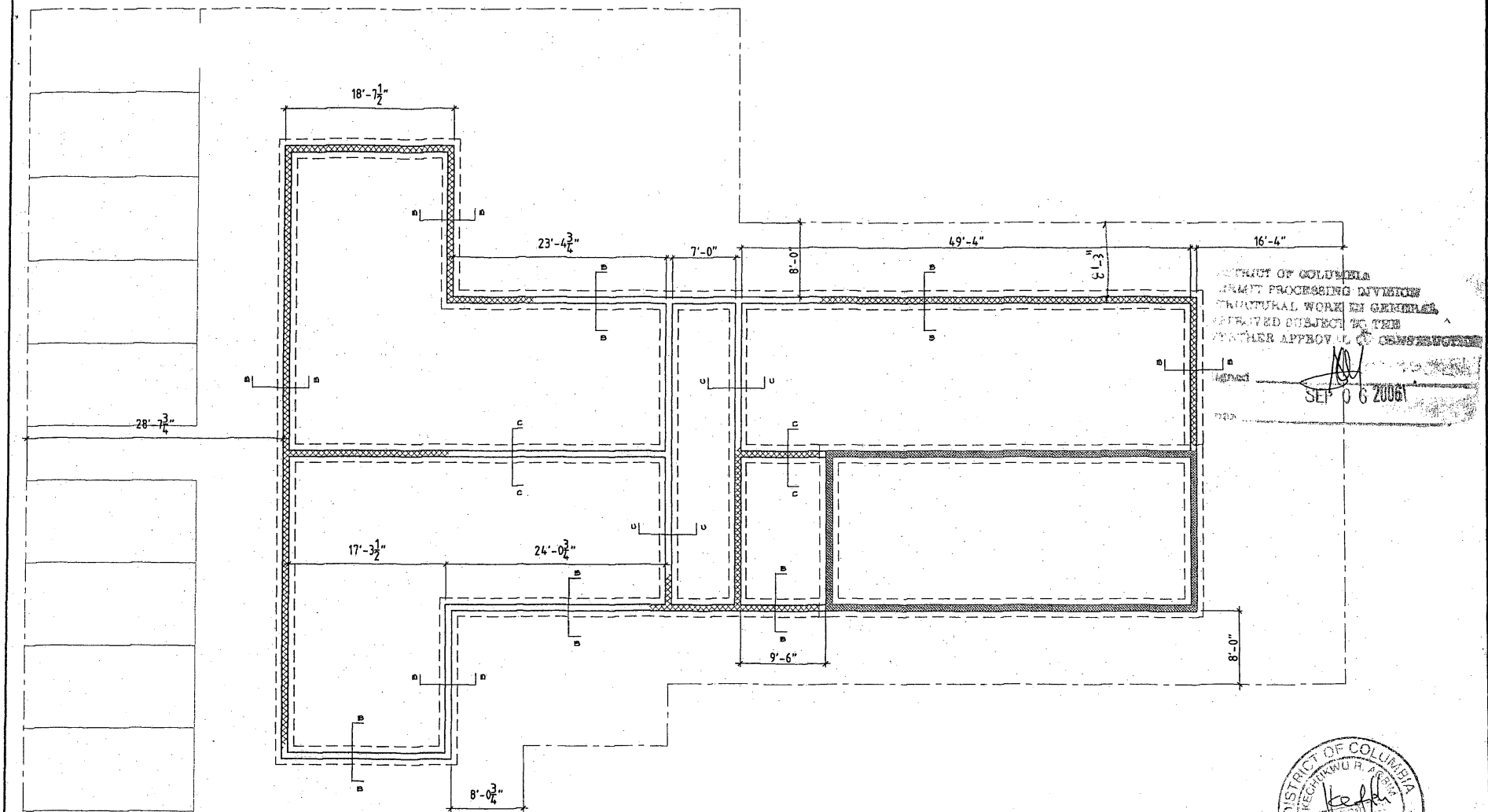


C DETAIL

FOUNDATION PERMIT:

1233 MORSE STREET, NE
SQUARE 4099, LOTS 810, 812, & 816

S-2



DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL & CONDITIONS
Signed
SEP 06 2006
Date

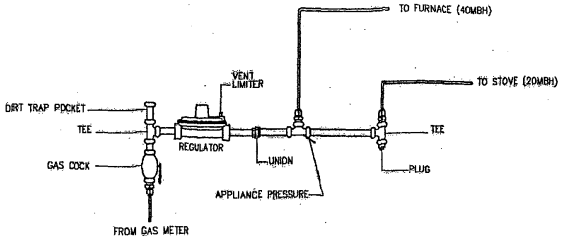
DISTRICT OF COLUMBIA
REGISTERED
ARCHITECT

FOUNDATION PLAN
3/32" = 1'-0"

FOUNDATION PERMIT:

1233 MORSE STREET, NE
SQUARE 4009, LOTS 810, 812, & 816

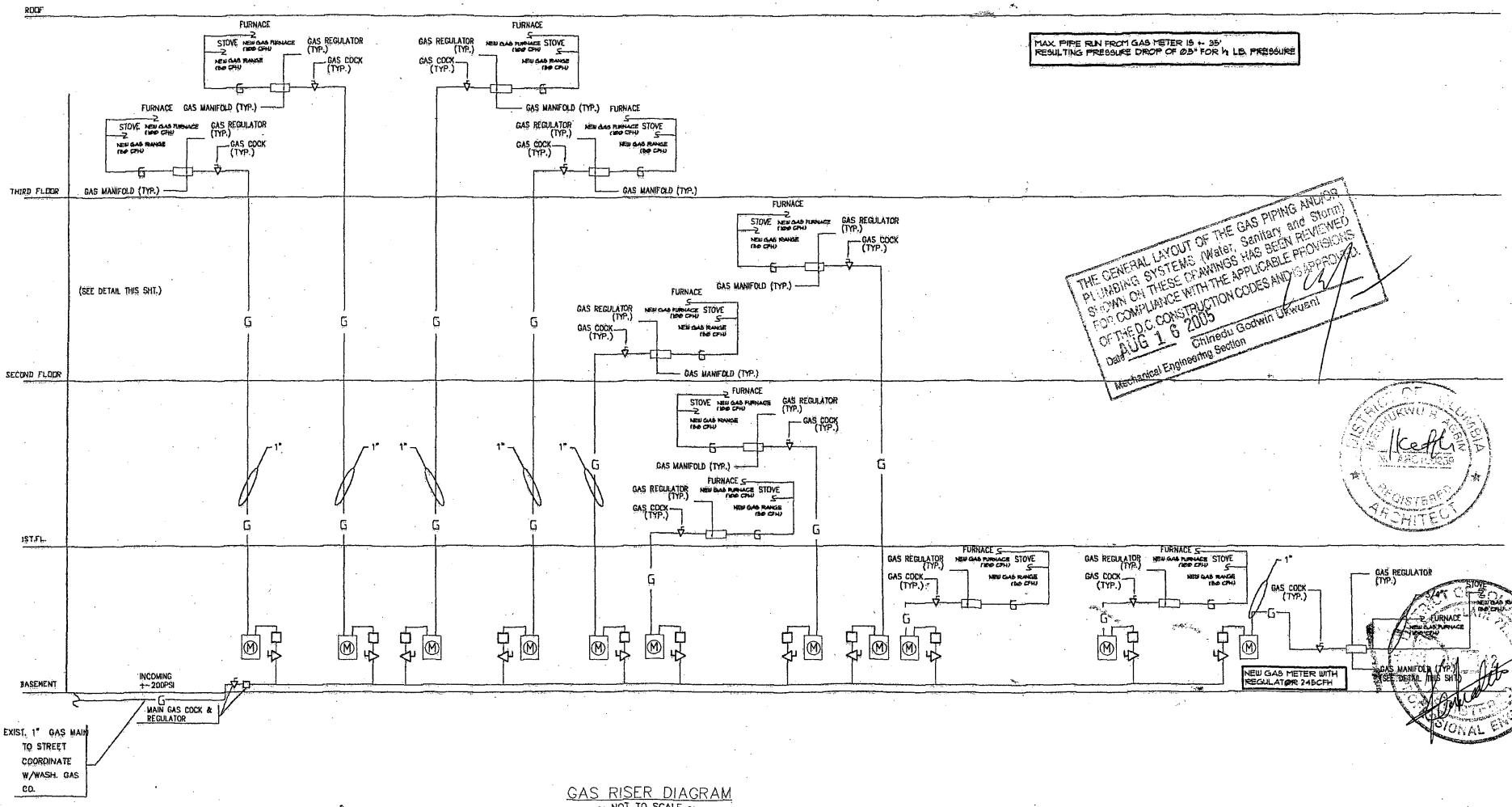
S-1



GAS MANIFOLD DETAIL
NO SCALE

NOTES:

- BLDG. SERVICE REGULATOR AND COCK SHALL BE SELECTED TO MATCH THE TOTAL LOAD (CFH) WITH OUTLET SET PRESSURE OF 5.5"W.C.@0.3"W.C. PRESSURE DROP.
- ALL METERS SHALL BE INSTALLED BY WASH. GAS CO.
- HORIZONTAL MAINS AND VERTICAL RISERS SHALL BE SCHEDULE 40 SCREWED BLACK STEEL.
- PROVIDE SLEEVES WHERE GAS PIPING PASSES THROUGH MASONRY WALLS, FLOORS AND CEILINGS.
- MASTER PLUMBER/GAS FITTER SHALL TEST ALL WORK.
- DCRA SHALL INSPECT, APPROVE ALL WORK.



THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinedu Godwin Ukwuani
Mechanical Engineering Section

DISTRICT OF COLUMBIA
REGISTERED ARCHITECT

GAS RISER DIAGRAM
~ NOT TO SCALE ~

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4069, LOT

P-2

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

July 11, 2005 Robert H. Smith Jr.

Washington, D.C., ~~DECEMBER 13, 2004~~

Plat for Building Permit of: SQUARE 4069 ~~SITE PER SUB~~ LOT 130 BK 199 FOLIO 45

Scale: 1 inch = 20 feet

Receipt No. ~~15967~~ 21108

Furnished to: TAIWO DEMUREN

Robert H. Smith Jr.
Surveyor, D.C.

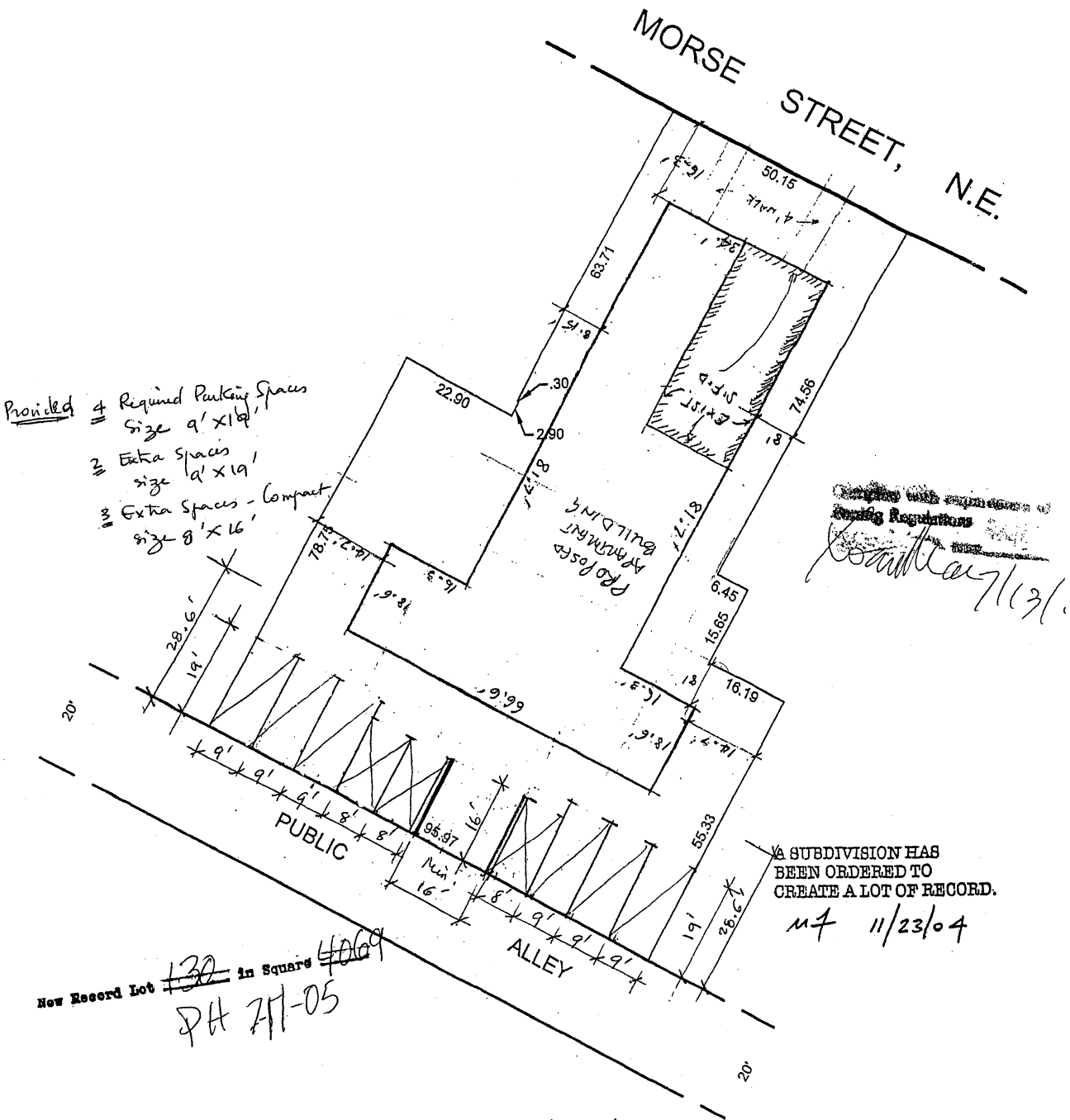
By: B.D.M.

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat;and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Date: 3/20/05

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

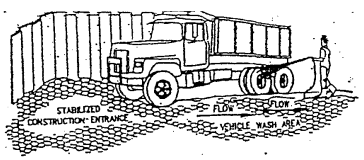


New Record Lot ~~130~~ in Square ~~4069~~

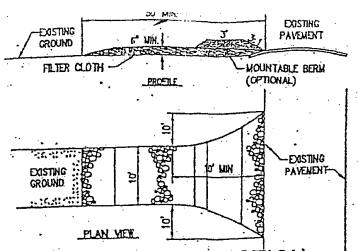
PH 7-11-05

SO-15967(2004)

#1908-B



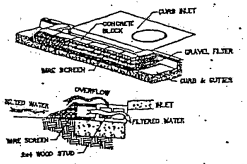
1 VEHICLE WASH DETAIL
(NOT TO SCALE)



1 STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)

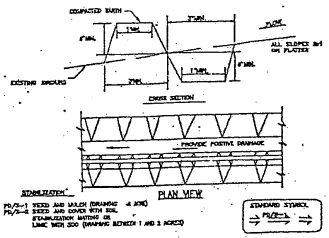
CONSTRUCTION RAMP SPECIFICATION.

1. STONE SIZE– USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH– AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS– NOT LESS THEN SIX (6) INCHES.
4. WIDTH– TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH– WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER– ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE– THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS–OF–WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING– WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT–OF–WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



2 CURB INLET SEDIMENT FILTER
(NOT TO SCALE)

1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ABUTTING THE CURB AT EITHER SIDE OF THE INLET OPENING.
2. A 2 INCH BY 4 INCH STUD SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEEPING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. CHICKEN WIRE OR HARDWARE CLOTH WITH 1/2–INCH OPENINGS SHALL BE USED.
5. TWO TO THREE INCH STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BARRIER AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.



3 EARTH DIKE DETAIL
(NOT TO SCALE)

Construction Specifications

1. All perimeter dike/swales shall have an uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet into an undisturbed stabilized area at a non–erosive velocity.
4. The swale shall be excavated or shaped to line, grade, and cross–section as required to meet the criteria specified in the standard.
5. Fill shall be compacted by earth moving equipment.
6. Stabilization with seed and mulch or as specified of the area disturbed by the dike and swale shall be completed within 7 days upon removal.
7. Inspection and required maintenance shall be provided after each rain event.

Note: The maximum drainage area forthis practice is 2 acres.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

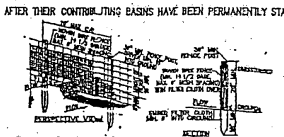
SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON–SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE SWEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEVICE OF MEASURE WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEEDED OR SODDED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
10. ANY STOCKPILING, REGARDLESS OF LOCATION ON SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOD, PAVING, BRICKBRACK OR MULCH, ETC.
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVAL, ALL TEMPORARY SILTATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.

SEQUENCE OF CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
NO WORK IN GENERAL
SUBJECT TO THE
INSPECTOR APPROVAL OF CONSTRUCTION
SEP 06 2006



4 STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

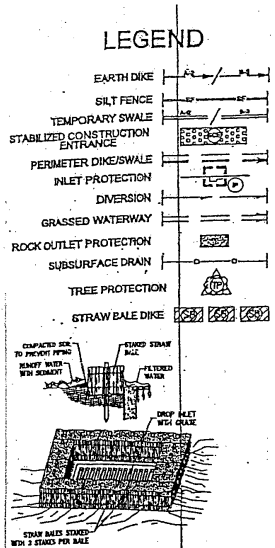
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER–LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS:
STEEL EITHER T OR U TYPE OR 2" HARDWOOD

FENCE:
WOVEN WIRE, 14 1/2 GAGE MAX. MESH OPENING

FILTER CLOTH:
FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL

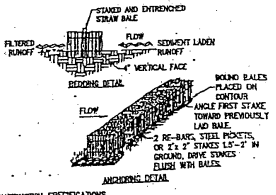
PREFABRICATED UNIT:
GEOFAB, ENVIROFENCE, OR APPROVED EQUAL



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

5 STRAW BALE DROP INLET SEDIMENT FILTER
(NOT TO SCALE)



CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THAT BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE–BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

6 STRAW BALE DIKE DETAIL
(NOT TO SCALE)

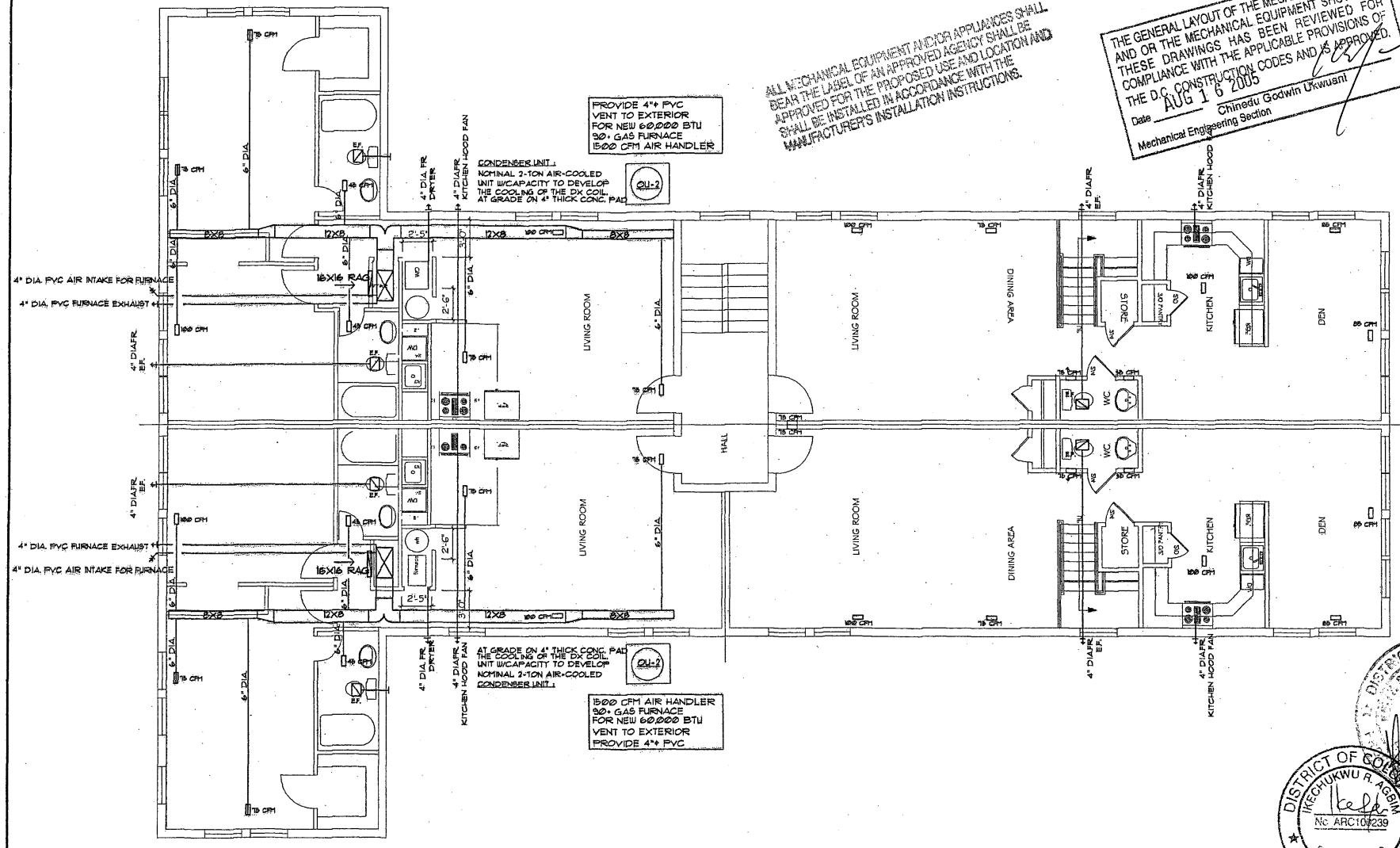
PLAN NUMBER

THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURE SHOWN HEREON. HE SHALL NOTIFY THIS OFFICE AT (202)637–4460 AT LEAST 24 HOURS BEFORE START OF GRADING ACTIVITY AND WITHIN TWO WEEKS AFTER COMPLETION OF PROJECT FOR FINAL INSPECTION.

SEDIMENT AND EROSION CONTROL PLAN & DETAILS

FOUNDATION PERMIT:
1233 MORSE STREET, NE
SQUARE 4069, LOTS 810, 812, & 816

C-1
2 of 5



1 SECOND FLOOR PLAN

ALL MECHANICAL EQUIPMENT AND/OR APPLIANCES SHALL BEAR THE LABEL OF AN APPROVED AGENCY SHALL BE APPROVED FOR THE PROPOSED USE AND LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

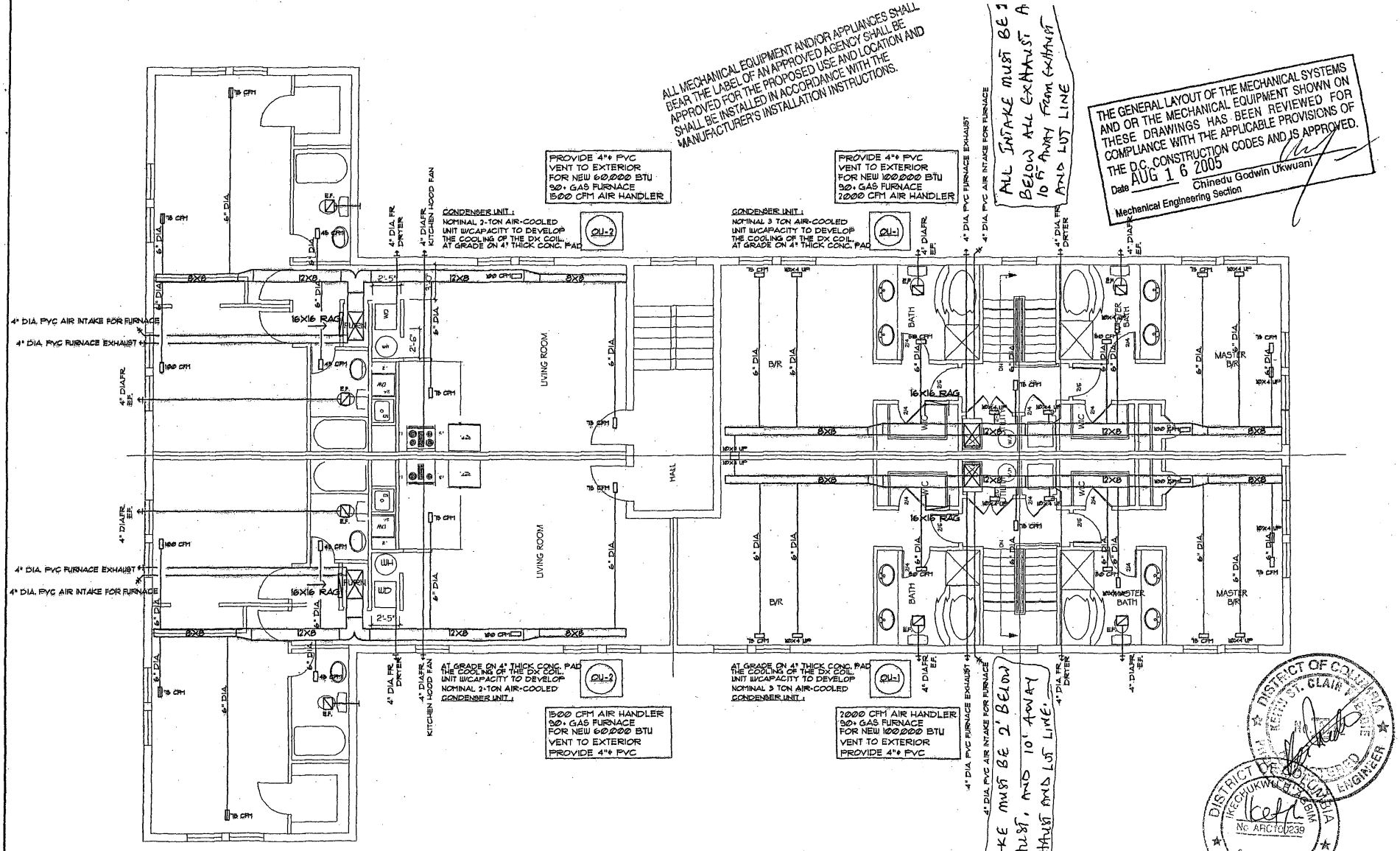
THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
AUG 16 2005
Date
Chinedu Godwin Ukwuani
Mechanical Engineering Section

DISTRICT OF COLUMBIA
ST. CLAIR
No
REGISTERED
PROFESSIONAL ENGINEER

DISTRICT OF COLUMBIA
IKECHUKWU R. AGBIM
No ARC100239
REGISTERED
ARCHITECT

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4069, LOT

M-3



THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinedu Godwin Ukwuani
Mechanical Engineering Section

1 THIRD FLOOR PLAN

DISTRICT OF COLUMBIA — KEITH ST. CLAIR — REGISTERED ENGINEER

DISTRICT OF COLUMBIA — CHECHUKWU CHEBIM — No. ARC100239 — REGISTERED ARCHITECT

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4089, LOT

M-4