

**DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

In re:)
1231 Morse Street, Inc.,)
)
Appellant,)
)
)
)
)

BZA Appeal No. 17657

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**DISTRICT OF COLUMBIA'S
MOTION TO DISMISS**

Appellee, the District of Columbia Department of Consumer and Regulatory Affairs, (“District” or “DCRA”), by and through undersigned counsel, respectfully moves this Board of Zoning Adjustment (“Board”) to dismiss the Appellant’s appeal. As a basis for the District’s Motion, the District submits that 1231 Morse Street, Inc. (“Morse Street/Appellant”) failed to state a case for which relief can be granted.

STATEMENT OF FACTS

On September 2, 2005, DCRA issued Building Permit Number B 477039 to build an addition to a single family dwelling converting the existing structure to an eleven unit apartment building to Morse Street. This structure was located in an R-4 district. Morse Street in its Building Permit Application specifically stated that it intended to construct the apartment building as an addition to an existing structure.

On February 14, 2006, DCRA issued to Morse Street Emergency Demolition Permit Number B 478240 to demolish a wall of the single family home. On or about February 27, 2006, the District conducted an inspection at the property which revealed that the single family

BOARD OF ZONING ADJUSTMENT
District of Columbia
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EXHIBIT NO. 19

Board of Zoning Adjustment
District of Columbia
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dwelling was completely razed without the proper permit.¹ On February 28, 2006, the District issued a Stop Work Order (“SWO”) on the basis that the owner performed work “above the scope of approved drawings and permits.” On March 10, 2006, Morse Street appealed the SWO to the Reviewing Official and Director, respectively; both appeals were denied.

On October 17, 2006, Morse Street appealed the February 28, 2006 SWO to the Office of Administrative Hearings (“OAH”). On March 27, 2007, the OAH issued a Final Order Entering a Judgment in Favor of Morse Street ruling that the February 28, 2006 SWO did not meet the requirements of 12A DCMR §114.1 because the SWO did not include the specific section of the building code that Morse Street violated.

On April 9, 2007, the District posted a second SWO at the property because Morse Street constructed beyond the scope of the approved Building Permit Number B 477039 and removed the single family dwelling beyond the approved emergency demolition permit. On April 9, 2007, the District removed the second SWO and posted a third SWO on April 12, 2007. On April 23, 2007 Morse Street appealed the April 9, 2007 SWO to the Reviewing Official. On April 27, 2007 Morse Street appealed the April 9, 2007 SWO. In response to Morse Street’s allegations, the District on its own accord removed the April 9, 2007 and April 12, 2007 SWO and posted a fourth SWO on May 8, 2007. On May 18, 2007, Morse Street filed an appeal with the Reviewing Official for the April 12, 2007 and May 8, 2007 SWOs which were denied on May 23, 2007. On May 24, 2007, Morse Street appealed to the Director of DCRA. On May 29, 2007, the Director denied the appeals.

On July 20, 2007, the District served Morse Street with a Notice to Revoke Permits B 477039 and B 478240. On July 30, 2007, Morse Street appealed the Notice to Revoke Permits B

¹ 12A DCMR §§ 105.1.7 and 105.1.7.1 provides that “[a] raze permit is required to secure the right to remove a building or structure down to the ground.”

477039 and B 478240 to OAH and filed a Motion to Consolidate Pending Appeals. Morse Street's appeals to OAH are stayed pending the outcome of the BZA appeal.

On March 6, 2007, former Zoning Administrator, Bill Crews, issued a Zoning Determination Letter that denied the zoning section of Morse Street's Building Permit Application due to violations of 11 DCMR § 330.5(c). The District informed Morse Street in its Zoning Determination Letter that its Building Permit Application violated 11 DCMR § 330.5(c). The District also informed Morse Street that without an existing structure, 11 DCMR § 330.5(c)² did not allow conversion of an apartment building in the R-4 (Residential) district.

On April 20, 2007, Morse Street appealed the Zoning Administrator's March 6, 2007 decision to deny a Building Permit Application to revise Building Permit B 477039 to the BZA. On August 9, 2007, Morse Street amended its appeal to also include the Emergency Demolition Permit.

STANDARD FOR GRANTING A MOTION TO DISMISS

A Motion to Dismiss for failure to state a claim upon which relief can be granted when a party fails to substantiate a claim of wrongdoing with any factual information.³ A court, in this instance, the Board, should dismiss a complaint for failure to state a claim upon which relief can be granted only if "it appears beyond doubt that the plaintiff can prove no set of facts in support of his claim which would entitle him to relief." *Conley v. Gibson*, 355 U.S. 41, 45-46, 2 L. Ed. 2d 80, 78 S. Ct. 99 (1957)(quoted in *McBryde v. Amoco Oil Co.*, 404 A.2d 200, 202 (D.C. 1979)). It is a fundamental principle of any contested case proceeding that a party must present sufficient facts to support a claim of noncompliance with a law or regulation. When a party fails

² 11 DCMR § 330.5(c) provides that "[t]he following uses shall be permitted as a matter of right in an R-4 District . . . the conversion of a building or other structure existing before May 12, 1958, to an apartment house as limited by §§ 350.4(c) and 401.3."

³ D.C. Super. Ct. R. Civ. P. 12(b)(6).

to substantiate a claim of wrongdoing with any factual information, the action should be dismissed for failure to state a claim upon which relief can be granted. *See* Super. Ct. Civ. Proc. R. 12(b)(6). Dismissal of unsubstantiated claims is an important tool in adjudicatory processes in that it eliminates unnecessary hearings or delays, and promotes judicial economy and efficiency.

When reviewing a motion to dismiss for failure to state a claim upon which relief can be granted, the reviewing agency – in this instance, the Board – must consider the appeal in the light most favorable to the appellant, taking the facts alleged in the appeal as true and grant dismissal only where it is clear that the appellant cannot prove any facts in support of its claim which would entitle it to relief. *Clawson v. St. Louis Post-Dispatch, LLC*, ___ A.2d ___, WL 2504309 (D.C. August 31, 2006) (dismissal of complaint for failure to state a claim for which relief warranted where no facts can be proven to support claim).

ARGUMENT

A. Since The Single Family Dwelling Has Been Demolished, The Zoning Administrator Cannot Approve A Conversion To An 11 Unit Apartment Building “As A Matter Of Right” In An R-4 District.

Regardless of how the building was razed - an Act of God or not - no conversion to a 11 eleven unit apartment building is allowed as a matter of right in a R-4 District. The inquiry before this Board is twofold. First, the Board must determine whether the Zoning Administrator erred in finding that there can be no conversion of a building or structure to an apartment building in an R-4 Residential District without an existing structure pursuant to 11 DCMR § 330.5(c). Second, the Board must determine whether the Zoning Administrator erred in rejecting the revised Building Permit Application to reconstruct the single family dwelling in order to continue with the conversion construction.

Pursuant to Title 6 of the D.C. Official Code and Title 11 of the D.C. Municipal Regulations, the Zoning Administrator must enforce the Zoning Regulations *as enacted*. The Zoning Administrator is responsible for enforcement and compliance of the Zoning Regulations and does not have the authority under the law to waive the grandfather pre-1958 structure requirement. See, 11 DCMR § 330.5(c). The “grand-father” provision which allows pre-1958 structure to be converted to an apartment building in an R-4 district does not include new or replacement structures.

As required by Title 11 of the D.C. Municipal Regulations, the Zoning Administrator reviews building permit applications for conformance with the D.C. Zoning Regulations. Once the single family dwelling is completely destroyed, regardless of how it is destroyed or razed, the Zoning Administrator can not permit conversion construction to continue. 11 DCMR § 330.5(c).

In order to meet the minimum standards even to initiate this appeal, Morse Street must prove that once the structure no longer exists it is still a conforming use for which they would be entitled to construct the eleven unit apartment building in an R-4 district as a matter of right. Morse Street wants this Board to believe that it was an Act of God - that caused the single family structure to fall – grants them authority to convert a single family dwelling into a eleven unit apartment building. However, Morse Street cites no legal authority for its premise and thus it must fail. Since, Morse Street is not arguing that the Zoning Administrator’s interpretation of § 330.5 (c) is incorrect and has not submitted any case law to support the position that an Act of God allows the Zoning Administrator to circumvent zoning law, the appeal must be dismissed.⁴

Furthermore, the District did not err in issuing its Notice to Revoke Building Permit Number B 477039 because the issuance of the Building Permit Number B 477039 was based on

⁴ Morse Street always has the option of seeking a variance or special exception by this Board - neither of which is currently pursued with this instant appeal.

a false statement or misrepresentation of fact. Specifically, Morse Street's failure to clearly state that in its second Building Permit Application that previously identified structure no longer existed constitutes a "false statement or misrepresentation of fact, or other significant accuracy . . . that substantively affected DCRA's approval" of the application.⁵ Therefore, the District was justified in revoking Building Permit Number B477039 based on violations of the Building Code and Zoning Regulations.

Since Morse Street's first Building Permit Application clearly expressed Morse Street's intent to construct the apartment building as an addition to an existing structure, Morse Street's statement was an essential element of the District's approval of Morse Street's application. Had Morse Street indicated on its Building Permit Application (prior to the demolition of the property) that it planned to raze the existing structure and construct a new structure, the District would have denied Morse Street's Building Permit Application because the construction would have violated of the Zoning Regulations, specifically 11 DCMR 330.5(c). Therefore, the Zoning Administrator was correct by not approving a conversion to an eleven unit apartment building "as a matter of right" in an R-4 district when the single family dwelling was demolished or razed.

Since the Zoning Administrator does not have the authority under the Zoning Regulations to grant either of Morse Street's requests, this Board must find that Morse Street has not met its burden and dismiss their appeal. Second since Morse Street has not alleged nor shown that the Zoning Administrator's interpretation of 11 DCMR § 330.5(c) is incorrect and there is no District law that allows for the relief sought by Morse Street, this appeal should be dismissed for

⁵ 12A DCMR § 105.6(1).

the failure to state a claim upon which relief can be granted. *Leonard v. District of Columbia*, 794 A.2d 618, 629 (D.C. 2002).

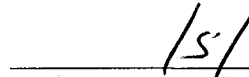
WHEREFORE, due to Morse Street's failure to provide any factual support for its vague claim, the appeal should be dismissed for failure to state a claim upon which relief can be granted.

Respectfully Submitted,

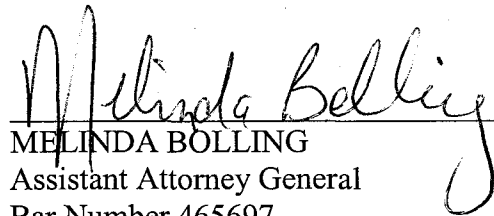
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General Counsel
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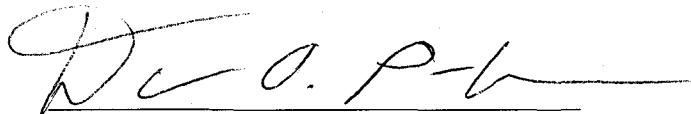
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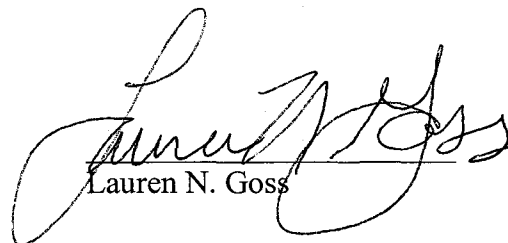
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CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing District of Columbia's Motion to Dismiss was mailed, and personally and electronically served this 1st day of October 2007, to the following:

J. Patrick Brown, Esq.
Greenstein DeLorme and Luchs, P.C.
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Washington, D.C. 20036



Lauren N. Goss

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⁵ 12A DCMR § 105.6(1).

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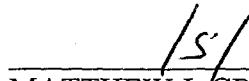
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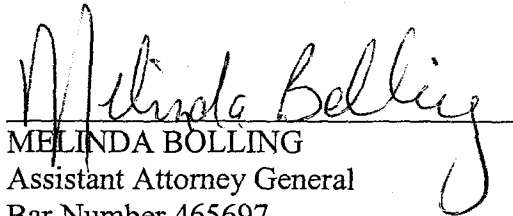
JILL STERN
General Counsel
Department of Consumer and Regulatory
Affairs



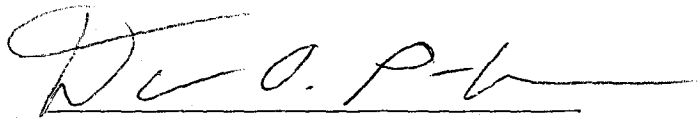
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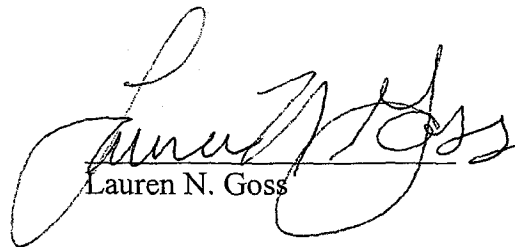
(202) 442-9447 (fax)

E-mail: doris.parker-woolridge@dc.gov

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing District of Columbia's Motion to Dismiss was mailed, and personally and electronically served this 1st day of October 2007, to the following:

J. Patrick Brown, Esq.
Greenstein DeLorme and Luchs, P.C.
1620 L Street, N.W.
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Washington, D.C. 20036


Lauren N. Goss

**DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

In the Matter of 1231 Morse St., Inc.

BZA Appeal No. 17657

Witness Listing and Document Identification

The Department of Consumer and Regulatory Affairs (Agency) hereby lists the following witness who will give testimony and identify the following documents to be presented at the scheduled hearing of October 2, 2007. Although highly unlikely, should other relevant documents and/or witnesses come to the attention of the Agency after this listing, the Court and the named Respondent will be so informed.

Witness:

- 1) Matthew LeGrant, Acting Zoning Administrator

Documents:

- 1) Photo of Previous Single Family House 1231 Morse St., N.E. (9/28/04)
- 2) Zoning Application #1908-B (4/12/05)
- 3) Building Plans for Zoning Application #1908-B (Approved 7/13/05)
- 4) Building Permit # 477039 Conversion Addition (9/6/07)
- 5) Emergency Demolition Permit (12/14/05) (12/14/06)
- 5a) Explanation of Date mistake
- 6) Building Permit Application 19846-TL (1-16-07)
19846-TL (1-16-07) Denied 3/5/07
- 7) Letter of Determination by former Zoning Administrator, Bill Crews (3/6/07)
- 8) Stop Work Order (5/8/07) (a. Beyond scope of permit (b. New structure without permit (c. Razing without permit (d. Exceed scope of demolition
- 9) Photo of present day state of construction

Respectfully Submitted,

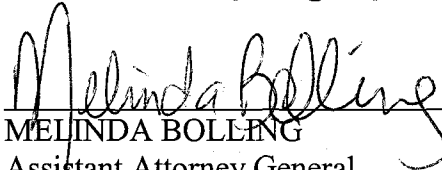
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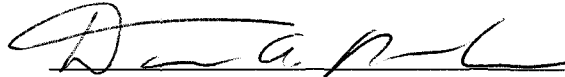
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Certification of Service

I hereby certify that a copy of the forgoing Notice of Entry of Appearance was sent E
MAIL and personal service to John Patrick Brown, Esq.



Matthew J. Green, Jr.

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ENTRY OF APPEARANCE

The Clerk of the Board of Zoning Adjustment will please enter the appearance of the undersigned counsel in the above captioned matter on behalf of the Department of Consumer and Regulatory Affairs, Office of the Zoning Administrator.

Respectfully Submitted,

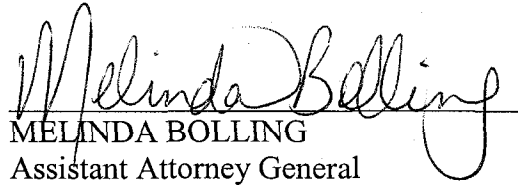
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(202) 442-9447 (fax)

E-mail: melinda.bolling@dc.gov


DORIS PARKER-WOOLRIDGE

Assistant Attorney General

Bar Number 433963

Suite 9400

941 N. Capitol Street, NE

Washington, DC 20002

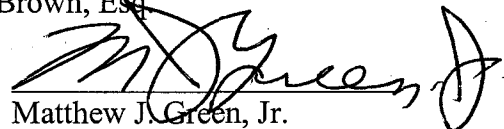
(202) 442-8407

(202) 442-9447 (fax)

E-mail: doris.parker-woolridge@dc.gov

Certification of Service

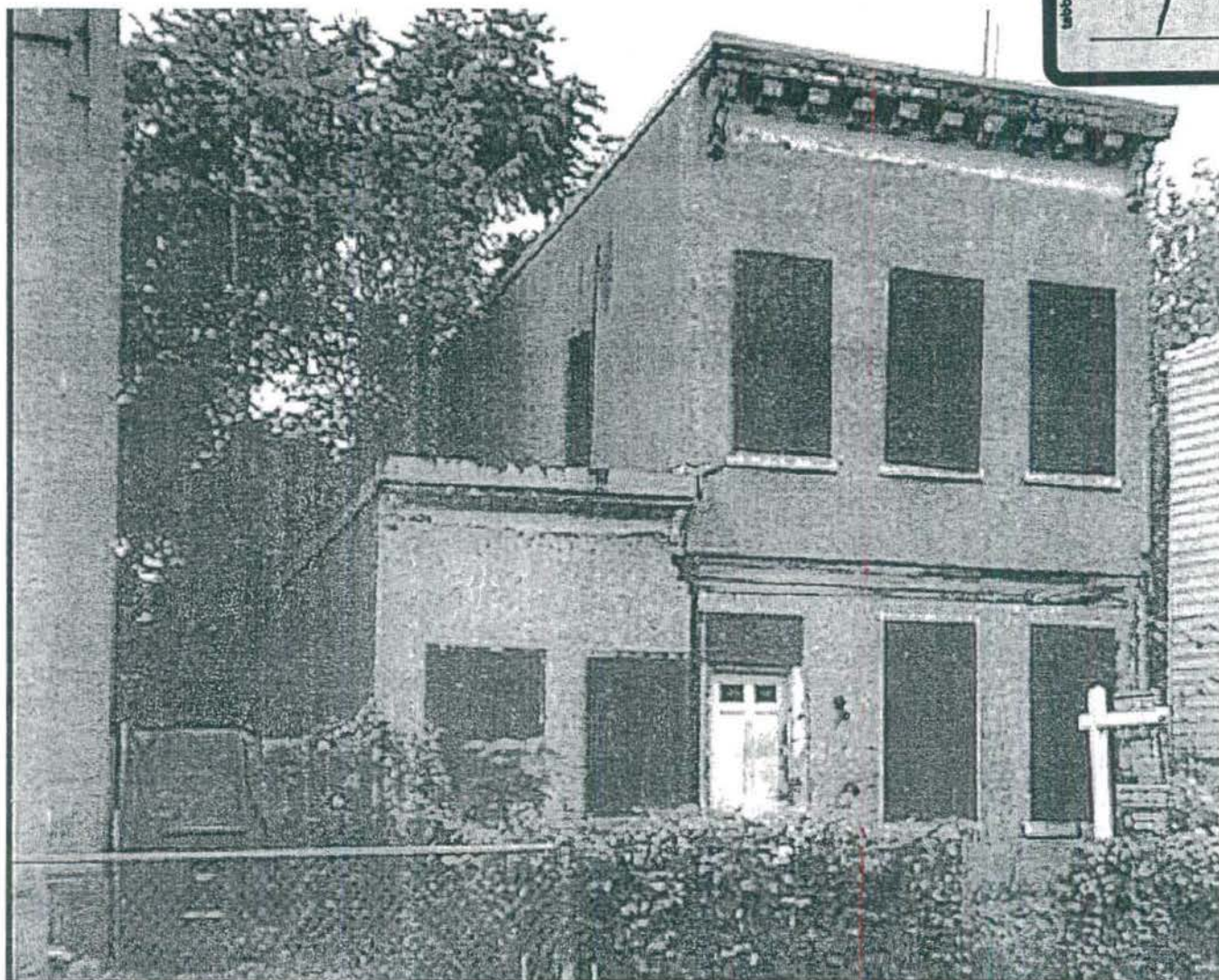
I hereby certify that a copy of the forgoing Notice of Entry of Appearance was sent E-MAIL and personal service to John Patrick Brown, Esq.


Matthew J. Green, Jr.

EXHIBIT

tabbier

/



4069 0816 09/28/2004

EXHIBIT

tabbies

2

PRE-FILE NUMBERS		ZONING DISTRICT	FILE NUMBER	P	
N.C.P.C. No:	O.G. No:	R-4			
H.P.A. No:	S.L. No:	Ward No:	Receipt No:	Date:	Receipt No:



DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION PERMIT SERVICE CENTER
 Tel 202-442-4589 Fax 202-442-4862

BLRA-33
(Rev. 2/04)

APPLICATION FOR CONSTRUCTION PERMITS ON PRIVATE PROPERTY
 (PRINT IN INK OR TYPE, DO NOT WRITE IN SHADED AREAS OR ON PAGE 4)

15-00807

CLEARANCE TO FILE

By _____ Date _____

ERASING, CROSSING OUT, WHITING OUT, OR OTHERWISE ALTERING ANY ENTERED INFORMATION WILL VOID THIS APPLICATION

(A) ALL APPLICANTS MUST COMPLETE ITEMS 1 THRU 27

1 Address of Proposed Work: 1233 MORSE ST. NE		Suite No.	2 Lot 130	3. Square 4069	4. Application Date 4/12/05
5 Owner of Building or Property TAIWO DEMUREN		6 Address (include Zip Code)			7 Phone 240-832-4315
8 Agent for Owner: (if applicable)		9. Address (include Zip Code)			10. Phone
11. Type of Proposed Work (check all applicable boxes)					
<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration and Repair <input type="checkbox"/> Raze Building <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Fence <input type="checkbox"/> Shed <input type="checkbox"/> Awning <input type="checkbox"/> Garage <input type="checkbox"/> Sign <input type="checkbox"/> Projection <input type="checkbox"/> Other (Specify) _____					
"False statements or misrepresentation of facts on a permit application and/or plans is subject to criminal penalties pursuant to DC law 22-2405."					
12. Description of Proposed Work BUILDING PERMIT FOR ADDITION TO SINGLE FAMILY DWELLING AND CONVERT TO APARTMENT 11-UNIT BUILDING AS PER PLANS.					
13 Existing Use(s) of Building or Property SFD		14 Ex. No of Stories of Bldg 2+cellar	15 Ex No of Dwelling Units 1	Official Use Only Miscellaneous FEE \$	
16 Proposed Use(s) of Building or Property APARTMENT - 11 Units		17 Prop No of Stories of Bldg 3+cellar	18 Prop. No of Dwelling Units 11	By:	Date:
19 Starting Date 5/25/05	20 Completion Date of work 8/30/05	21 Method of Removing Construction Debris <input type="checkbox"/> Pick-up Truck <input checked="" type="checkbox"/> Dumpster <input type="checkbox"/> Other (specify) _____		22 Does the proposed work involve disturbing the earth or razing a building? <input type="checkbox"/> Yes, answer q. 23 <input checked="" type="checkbox"/> No, SKIP q. 23-27	
23. Is the area of disturbed earth more than 50 sq. ft? <input checked="" type="checkbox"/> Yes, answer q. 24-25 <input type="checkbox"/> No, SKIP q. 24-25	24. Soil Erosion Control Methods	25. Area of Offsite Drainage sq. ft	26. No of Footings or Columns	27 Size of Footings or Columns	

ALWAYS SIGN THE APPLICATION ON PAGE 3 (SECTION I)

Complete Section B if the proposed work is new building, addition or alteration. (Page 2)
 Complete Section C if the proposed work is razing a building. (Page 2)
 Complete Section D if the proposed work is a retaining wall. (Page 2)
 Complete Section E if the proposed work is a fence. (Page 3)
 Complete Section F if the proposed work is a shed/garage. (Page 3)
 Complete Section G if the proposed work is an awning. (Page 3)
 Complete Section H if the proposed work is a sign. (Page 3)

OFFICIAL USE ONLY

R	P	H	
M			
P			
E			W <input type="checkbox"/> Yes <input type="checkbox"/> No
F			PLANS
S			<input type="checkbox"/> No <input type="checkbox"/> Sm <input type="checkbox"/> Lg

(B) NEW BUILDING, ADDITION & ALTERATION (COMPLETE ITEMS 28 THRU 60)

28. Architect's Name: IKE ARBIM		29. D.C. Lic. No.:		30. Architect's Address: (include Zip Code)		31. Phone: 276-7796	
32. Engineer's Name:		33. D.C. Lic. No.:		34. Engineer's Address: (include Zip Code)		35. Phone	
36. Building Contractor's Name:		36A. D.C. Lic. No.		37. Contractor's Address		38. Phone:	
39. Type of Construction <input checked="" type="checkbox"/> Masonry <input type="checkbox"/> Steel <input checked="" type="checkbox"/> Wood <input type="checkbox"/> Other <input type="checkbox"/> Concrete		40. Fire Suppression: <input checked="" type="checkbox"/> Fully Sprinklered <input type="checkbox"/> Standpipe System <input type="checkbox"/> Partially Sprinklered <input type="checkbox"/> None <input type="checkbox"/> Other _____		41. Booster Pump <input type="checkbox"/> New <input type="checkbox"/> Existing <input checked="" type="checkbox"/> None		42. Total Lot Area 10,421 sq. ft.	
44. Present Gross Floor Area of Bldg. sq. ft.		45. Proposed Gross Floor Area of Bldg. sq. ft.		46. Floors involved in this permit <input type="checkbox"/> All <input type="checkbox"/> Floors _____		43. Breakdown of Lot Area (= 100 %) a. building _____ % b. paved area _____ % c. greenery _____ %	
48. Number and type of projection:		49. Distance of projection:		50. Width of projection:		51. Width of building frontage ft.	
						52. Signature of Owner (projection only):	
53. Water or Sewer Excavation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		54. Driveway Construction? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		55. Sheeting/Shoring Necessary? <input type="checkbox"/> Yes <input type="checkbox"/> No		56. Elevators Involved? <input type="checkbox"/> Yes, answer q. 57 <input type="checkbox"/> No	
						57. No and type of elevator	
						58. Plans Certified by Engineer? <input type="checkbox"/> Yes, cert. attached <input type="checkbox"/> No	
59. Estimated Cost of Work		OFFICIAL USE ONLY					
(a) New/Add.: \$ <u>255,000.00</u>		Alter/Repair FEE		New Const. FEE		Filing Fee	
(b) Alt/Repair \$ <u>75</u>							
Total \$ <u>255,000.00</u>		\$ <u>4530-</u>		\$		\$ <u>225-</u>	
		By: <u>Al</u> Date: <u>9/6/05</u>		By: <u>Al</u> Date: <u>9/6/05</u>		By: <u>Al</u> Date: <u>9/6/05</u>	
60. Volume of New Bldg. or Addition cubic ft.							

(C) RAZING A BUILDING (COMPLETE ITEMS 61 THRU 83)

61. Raze Contractor's Name:		62. Contractor's Address: (include Zip Code)		63. Phone:	
64. Insurance Company		65. Policy or Cert. Number		66. Expiration Date	
67. Raze Method					
68. Building Material		69. Raze Entire Building? <input type="checkbox"/> Yes <input type="checkbox"/> No		70. Building Condemned? <input type="checkbox"/> Yes <input type="checkbox"/> No	
70A. Building Vacant? <input type="checkbox"/> Yes <input type="checkbox"/> No		71. Public Space Vault? <input type="checkbox"/> Yes <input type="checkbox"/> No		72. Disconnect Water and/or Sewer? <input type="checkbox"/> Yes <input type="checkbox"/> No	
73. Size of Water Connection in.		74. Plumber's Name:		75. D.C. Lic. No.	
76. Length ft.		77. Width ft.		78. Height ft.	
79. Volume ft.		80. Party Wall? <input type="checkbox"/> Yes <input type="checkbox"/> No			
81. Asbestos in the Building? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, location _____		82. Raze Contractor Signature		OFFICIAL USE ONLY	
83. Owner's Signature				FEE By: Date:	
				\$	

(D) RETAINING WALL (COMPLETE ITEMS 84 THRU 93) The retaining wall will not obstruct any accessible parking required by D.C. Zoning Regulations

84. Cost of Work \$		85. Material:		86. Height		87. Color		88. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land *	
89. Signature of Adjoining Owner:		90. Phone: Home Work		OFFICIAL USE ONLY					
91. Address of Adjoining Owner:		92. Lot:		93. Square:		FEE By: Date:			
						\$			

* If party wall, the owner of the adjoining property must agree to the erection of the retaining wall and this application

(F) FENCE (COMPLETE ITEMS 94 THRU 102) The fence will not obstruct any accessible parking required by D.C. Zoning Regulations.

94. Material and type:	95. Height ft.	96. Color:	97. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land *
------------------------	-------------------	------------	---

* If party fence, the owner of the adjoining property must agree to the erection of the fence and this application

98. Signature of Adjoining Owner:	99. Phone: Work Home	OFFICIAL USE ONLY	
	101. Lot	102. Square	FEE
100. Address of Adjoining Owner:		\$	
		By:	Date:

(G) SHED OR GARAGE (COMPLETE ITEMS 103 THRU 113)

103. Number	104. Length: ft.	105. Width ft.	106. Area: sq.ft.	107. Height ft.	108. Volume cu.ft.	109. Est. Cost of Work \$	OFFICIAL USE ONLY
							FEE
110. Material of Roof	111. Material of Sides	112. Wall Thickness: <input type="checkbox"/> External () inches <input type="checkbox"/> Party () inches				113. Color	\$
							By: Date:

(G) AWNING (COMPLETE ITEMS 114 THRU 123)

114. Number:	115. Color	116. Type: <input type="checkbox"/> Folding <input type="checkbox"/> Fixed	117. Projections: Beyond bldg. line _____ in. Beyond pt of attachm _____ in	118. Height of Lowest Part of awning	OFFICIAL USE ONLY
					FEE
119. Material of Frame	120. Material of Covering	121. Lettering on awning? <input type="checkbox"/> Yes <input type="checkbox"/> No	122. Fixed Posts? <input type="checkbox"/> Yes <input type="checkbox"/> No	123. Over Side- walk café? <input type="checkbox"/> Yes <input type="checkbox"/> No	\$
					By: Date:
					(a) _____ ft above sidewalk (b) _____ ft above parking (c) _____ ft above grade

(H) SIGN (COMPLETE ITEMS 124 THRU 144)

124. Number	125. Electric Signs? <input type="checkbox"/> Yes, answer q. 126-132 <input type="checkbox"/> No. SKIP q. 126-132	126. Type: <input type="checkbox"/> Incandes. <input type="checkbox"/> Fluoresc. <input type="checkbox"/> Neon	127. Power _____ VA	128. Electrical Contractor License Number:
129. Address of Electrical Contractor (include Zip)		130. Signature of Licensed Electrician		131. Phone No.
				132. License No.
133. Height relative to building and ground (a) _____ ft _____ in above sidewalk (b) _____ ft _____ in above roof (c) _____ ft _____ in is building height (d) _____ ft _____ in above projection of window (e) _____ ft _____ in from roof to sign's bottom		134. Material of Sign		135. Type of Sign
		136. Color		
		137. Width ft.	138. Length ft.	139. Area of Sign sq. ft.
				140. Wide of Business frontage ft.
141. C of O No for Bldg.	142. Sign Contractor: License No.		OFFICIAL USE ONLY	
		Sign FEE		Elect. FEE
		Total FEE		
143. Sign Contractor's Address:		144. Phone:		\$
				\$
				\$
				By: Date:
				By: Date:
				By: Date:

(I) APPLICANT'S SIGNATURE

A. OWNER: I hereby certify that I am the owner of the property, that the application and plans are complete and correct to the best of my knowledge, that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia.

Signature of Owner

Address

Date

B. AGENT: I hereby certify that I have the authority of the owner to make this application. I declare that the application and plans are complete and correct to the best of my knowledge. The owner has assured me that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia

Signature of Agent

Address

Date

(J) APPROVALS (DO NOT WRITE ON THIS PAGE, OFFICIALS USE ONLY)

A. PERMIT CONTROL

- ☐ 1. Fine Arts by: _____ Date: _____
☐ 2. Historic by: _____ Date: _____
☐ 3. Cap. Gateway by: _____ Date: _____
☐ 4. NCPC: _____ Date: _____
☐ 5. W.H./Obs. Precinct by: _____ Date: _____
☐ 6. Flood Control by: _____ Date: _____
☐ 7. WMATA by: _____ Date: _____
☐ 8. Condem. by: _____ Date: _____
☐ 9. Rental Accom. by: _____ Date: _____
☐ 10. Chinatown Distr. by: _____ Date: _____
☐ 11. Utility Clearance by: _____ Date: _____
☐ 12. General Liability Ins. Policy Clearance by: _____ Date: _____

B. CLEARANCE TO FILE PLANS

- ☐ 1. Zoning by: _____ Date: _____
☐ 2. DDOT - Permit and Records Division
 Access to Parking Street ☐ Street ☐ Alley
 Cleared by: _____ Date: _____
☐ 3. DDOT - Consumer Engineer
 Cleared by: _____ Date: _____
☐ 4. ERA - Erosion Control
 Cleared by: _____ Date: _____

Restrictions of the Permit:

SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL
INSTALLATION PERMITS ARE REQUIRED

TO REPORT WASTE, FRAUD
OR ABUSE BY ANY D.C. GOVERNMENT
OFFICIAL, CALL THE D.C. INSPECTOR
GENERAL AT 1-800-321-1639

C. PLANS AND APPLICATION APPROVAL

- ☐ 1. Information Counter by: _____ Date: 9-12-05
☐ 2. Information Center by: _____ Date: _____
☐ (a) ABRA by: _____ Date: _____
☐ (b) Noise Control by: _____ Date: _____
☐ (c) Industrial Safety by: _____ Date: _____
☐ (d) Vector Control by: _____ Date: _____
☐ (e) D.C. Animal by: _____ Date: _____
☐ (f) Police Dept. by: _____ Date: _____
☐ 3. Zoning by: _____ Date: 9/1/05
 Zoning Update by: _____ Date: _____
 Zoning Overlay approval by: _____ Date: _____
☒ 4. DDOT - Permit and Records Division/Deposit#
 Sidewalk Deposit \$ _____ Driveway Deposit \$ _____
 by: _____ Date: 8/16/05
☐ 5. Water/Sewer Design Branch
 Consumer Eng. by: _____ Date: 9/1/05
☐ 6. Environmental Regulation Administration
☐ Environmental Policy Review
 Control No. _____ Date: 8/24/05
☒ Erosion Control by: _____ Date: 8/11/05
☐ Storm Water Mgmt. by: _____ Date: 8/11/05
 Plan No. _____
☐ Air Quality by: _____ Date: _____
☐ Underground Storage by: _____ Date: _____
☒ 7. Mechanical Eng. Review by: _____ Date: 8-16-05
☒ 8. Plumbing Eng. Review by: _____ Date: 8-16-05
☒ 9. Electrical Eng. Review by: _____ Date: 9/2/05
☐ 10. Health Plan Review
☐ (a) Food Plan Review by: _____ Date: _____
☐ (b) Medical X-Ray Plan Rev.
 by: _____ Date: _____
☐ 11. Fire Protection Plan Review
 by: _____ Date: _____
☐ 12. D.C. Fire Dept. (Fire Prevention Plan Review Section)
 by: _____ Date: _____
☐ 13. Elevator Plan Rev. Sec. by: _____ Date: _____
☐ 14. Plumbing Insp Rev. by: _____ Date: _____
☐ 15. Construction Insp. Branch (Field Check)
 by: _____ Date: _____
☐ 16. Historic Pres. Div. by: _____ Date: _____
☐ 17. EISF: _____ Date: 9/14/05
☒ 18. Structural Eng. by: _____ Date: 9/16/05
☐ 19. Permit and Certificate Issuance Counter
 by: _____ Date: 9-6/05
☐ 20. QC By: _____ Date: _____

DDOT - PUBLIC SPACE

C of O Number _____ Date _____
 Existing Use(s) _____
 Proposed Use _____
 Job No. _____ BZA Case No. _____ PUD Order No. _____

- ☐ New Bldg
☐ P.O.D.
☐ File in
 room 2124

Street Name: _____
 Street Width: _____
 Road Width: _____
 Sidewalk Width: _____
 Parking: _____
 Restrictions: _____



Department of Consumer and Regulatory Affairs
Building and Land Regulation Administration - Permit Service Center

April 12, 2005

R#160396

D.C. TREASURER

Building Permit Application Filing Fee Receipt

Engineering Coordinator: Aziz Yacob (Eng. Coor.)

Project identification

Tracking Number:

XXXX B 5

Project Location:

1233 MORSE ST NE

Special requirements

☐ Historic ☐ Other:

☐ Fine Arts

☐ BZA

Payment

Make payment to D.C. Treasurer

Filing Fee: \$255.00

Filing fee paid: ☒ _____

Amount paid: \$255.00

Applicant/Agent

TAIWO DEMUREN 240-832-4315

Credit BLRA Account # 3012

DCRA strives to complete building permit application reviews in 30 days or less. You can find the status of your application using the property address or tracking number at the DCRA Website:

www.dcrad.gov/services/permits/idjob.asp

Your tracking number is: XXXX B 5

Approved applications not retrieved and paid for within 120 days of customer notification will be cancelled, after which the customer must re-apply for a building permit.

CONTRACT AGREEMENT

Name of Contractor/Owner

TAIWO DEMUREN

Contractor's License No.

3203 SHORTRIDGE LANE

Address of Contractor/Owner

MITCHELLVILLE, MD 20724

Date:

4/12/05

ADDRESS OF PROPOSED WORK

1233 MORSE ST, NE

LOT

130

SQUARE

406

OWNER OF BUILDING OR BUSINESS

TAIWO DEMUREN

PHONE No.

DESCRIPTION OF PROPOSED WORK

BUILDING PERMITS FOR ADDITION 7
SINGLE FAMILY DWELLING AND CONVERT TO APARTMENT
BUILDING AS PER PLANS.

COST ESTIMATE

CONSTRUCTION e.g. drywall, ceilings, framing, carpentry etc.

\$145,000.00

ELECTRICAL

\$20,000.00

MECHANICAL

\$25,000.00

PLUMBING

\$20,000.00

FIRE PROTECTION e.g. sprinkler system, fire alarm system, generator etc.

\$10,000.00

DEMOLITION

\$5,000.00

MISCELLANEOUS (please specify)

\$30,000.00

TOTAL

\$255,000.00

The labor and material costs of counter tops, kitchen cabinets, floor coverings, tile work, caulking, patching and plaster repair, painting other than fire retardant and downspouts, not more than 160 square feet of gypsum board shall not be included in the cost estimate for permitting purposes. The entire list is the 1999 D.C. Building Supplement Chapter 1 Section 107.3

The foregoing terms, specifications and conditions are satisfactory and hereby agreed to. You are authorized to work as specified and payment will be made in full as outlined. Upon signing this agreement, the owner represents and warrants that he or she is the owner or the authorized agent of the owner of the premises and that he or she has read this agreement.

CONTRACTOR

Signature & print

Date

TAIWO DEMUREN

4/12/05

OWNER OF

BUILDING/BUSINESS

Signature & print

Date

Upon signing this document, the owner and contractor declare that the cost of construction as specified above for the referenced project is true and correct to the best of their knowledge.

Please fill out this agreement form in accordance with D.C. Construction Code Supplement 1999, Chapter 1 Section 112.1

Project Address 1233 MORSE ST, NE,
Name of Owner(s) TAWO DEMUREN Name of Contractor _____
Phone Number 240-832-4315 Square # 4069 Lot # 130 Ward # _____
Project Start Date 5/25/05 Project End Date 8/30/05

Hospital ☐
Museum ☐
Development ☐

- For Official Government Use Only
- PERMIT REQUIRED YES ☐ NO ☐ Reviewed By: _____ Date: _____

ENVIRONMENTAL HEALTH ADMINISTRATION

CONSTRUCTION PERMIT APPLICATION - SUPPLEMENTAL FORM - ENVIRONMENTAL QUESTIONNAIRE

PROJECT ADDRESS: 1233 MORSE ST, NE LOT: 130 4069 SQUARE
 PROJECT DESCRIPTION BUILDING PERMIT FOR ADDITION TO SINGLE FAMILY DWELLING AND CONVERSION TO APARTMENT BUILDING AS PER PLANS

Note: please answer all 12 questions in this questionnaire, by checking either column "Yes" or "No" for each question. If you answer "Yes" to any questions, you should contact the corresponding office(s) indicated in column "contact person/office" as soon as possible. Until this application is approved by the concerned office(s), the permit will not be issued.

SCOPE OF PROJECT	YES	NO	CONTACT PERSON/OFFICE	OFFICE (Initial)
1 Will the proposed use involve the construction of a facility for the handling, transfer, storage, disposal or treatment of solid waste, medical waste, or recyclable materials?		<input checked="" type="checkbox"/>	(202) 535-2280, EIS Coordinator, EHA	
2 Will the work to be performed involve the assessment or clean-up of soils associated with the release of materials from an underground storage tank (UST)?		<input checked="" type="checkbox"/>	(202) 535-2525, Underground Storage Tank Division, EHA (202) 535-2250, Air Quality Division, EHA	
3 Will the work to be performed involve the assessment or clean-up of groundwater associated with the release of materials from an underground storage tank (UST)?		<input checked="" type="checkbox"/>	(202) 535-2525, Underground Storage Tank Division, EHA (202) 535-2190, Water Quality Division, EHA (202) 535-2250 Air Quality Division, EHA	
4 Will the proposed project involve the installation or drilling of wells other than for the purposes stated in questions 3 and 4?		<input checked="" type="checkbox"/>	(202) 535-2190, Water Quality Division, EHA	
5 Will the proposed project involve the generation, treatment, storage, disposal or transportation of chemicals or other substances which may be considered hazardous?		<input checked="" type="checkbox"/>	(202) 535-2290, Hazardous Waste Division, EHA	
6 Will the proposed project involve construction that will disturb the sediment in rivers, streams or wetlands?		<input checked="" type="checkbox"/>	(202) 535-2190, Water Quality Division, EHA	
7 Will the work to be performed involve the installation, removal, abandonment, or repair of an underground storage tank (UST) system?		<input checked="" type="checkbox"/>	(202) 535-2525, Underground Storage Tank Division, EHA	
8 Will the proposed project result in the discharge into the air of gases, dust, or the creation of any objectionable odors?		<input checked="" type="checkbox"/>	(202) 535-2250, Air Quality Division, EHA	
9 Will the proposed project involve the removal, handling, transportation, disposal, or encapsulation of asbestos? **Please bring with you a copy of your asbestos survey, ten-day notification form, and asbestos abatement permit fee		<input checked="" type="checkbox"/>	(202) 535-2250, Air Quality Division, EHA	
10 Was the building built before 1978? (Lead paint may be present)	<input checked="" type="checkbox"/>		If you answer "Yes" to this question, please answer the questions and follow the instructions on the "Lead Hazard Control Questionnaire" to determine if you need a permit to conduct a Lead Abatement Project	

AFFIDAVIT

I hereby certify that I have the authority of the owner of the property to make this application. I declare that the answers to the above questions are complete and correct to the best of my knowledge.

Signature

Taiwo D. Murphy

Name (print)

Taiwo D. Murphy

Address

3203 SHOREMIDGE LN, MITCHELLVILLE

MD

Date

4/12/05

240-832-4315

OFFICE USE ONLY

COMMENTS AND PERMIT RESTRICTIONS:

41200

**GEOTECHNICAL REPORT
FOR
1233 MORSE STREET, N.E.
WASHINGTON, D.C.**

**PREPARED BY:
QUINTON WORRELL
March 18, 2005**

**DEPARTMENT OF HEALTH
ENVIRONMENTAL HEALTH ADMINISTRATION
WATERBURY FACILITY/OWN DIVISION
Urban Land - Christian - Conny-Side Association**

UNSTABLE SOILS APPROVAL

Plan Number:

U/A

Report submitted on:

8/11/05
Date

Notice: This permit is subject to conditions as outlined in the accompanying soil's report and permit and existing local measures.

Approved by:

P. J. KEN

8/24/05
Date

Phone: (202)-

535-2977

March 18, 2005

**GEOTECHNICAL REPORT FOR
1231 MORSE STREET, N.E.
WASHINGTON, D.C.**

Authorization: The subsurface investigation has been completed at the request of the owner.

Scope of Services

- a. General probe of the sub-surface within the area of the proposed construction.
- b. Foundation recommendations for the support of the proposed construction.
- c. Geo-Technical considerations during construction.

Description of the Site

The site is identified as Lot 812 in Square 4069, in the Northeast quadrant of Washington, D.C. The topography of the site is relatively flat. It is proposed to place an addition to the building on the site.

Sub-Surface Conditions

A test boring was drilled in an area of the proposed addition to explore the sub-surface. The results of the tests are included in the index. Soils are classified in accordance with ASTM D-2487 as summarized in the index.

a. Stratification

Brown, moist, stiff clay with traces of sand was found to a depth of six feet below grade. Below this stratum, to a depth of twelve feet are deposits of poorly graded sand with traces of silt and clay. From nine feet to fifteen feet below grade there is a layer of brown, moist, well graded sand, with a trace of silt and gravel.

Based on the boring taken, the stratum containing the footings is material whose blow counts presumes a soil bearing pressure at 2000 p.s.f.

GEOTECHNICAL REPORT
For 1231 MORSE STREET, N.E.
March 18, 2005
Page Two of Three

b. Ground Water

Water was not encountered during testing. Based on available data, ground water is not expected to be present during excavation. However, seasonal fluctuations in the depth of perched water could be expected depending on precipitation, evaporation, and similar phenomena.

Foundation Recommendations

a. Footings

Wall footings are recommended for the support of the proposed building. Proposed wall loads are not expected to exceed 4,000 pounds per linear foot. On this basis, wall footings shall be 12"x 24". Longitudinal 3 #4 reinforcing bars shall be placed in footings to protect against excess shear.

Footings shall extend a minimum depth of 30" below grade, as protection against frost heave. A perimeter sub-drainage system shall be included to eliminate the accumulation of water at the footings. The system shall be drained away from the building.

b. Floor Slab

A concrete slab on grade, four inches deep, and reinforced with welded wire fabric is a suitable application, with 6 mil plastic moisture barrier covering 4" of gravel is recommended as sub-grade for the slab.

c. Grading

The finished grades at the walls shall be developed so as to provide positive drainage of storm water away from the building.

GEOTECHNICAL REPORT
For 1231 MORSE STREET, N.E.
March 18, 2005
Page Three of Three

Construction Considerations

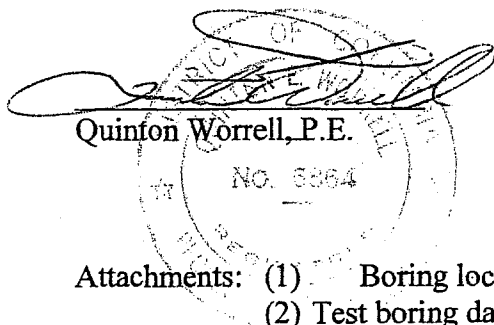
a. Footings

Care shall be taken during excavation to minimize the disturbance of the bearing soils. Footings shall be formed and poured the same day if possible in order to preclude the accumulation of surface water in the excavation. Disturbed, frozen, or softened soils shall be removed prior to concrete placement. The sub-grade shall be free of water for the inspection, and the pouring of concrete.

b. Limitations

The location and depth of the borings in the investigation is generally considered adequate for the description of the sub-soil. A contingency allowance should be provided to meet any additional expense entailed in foundation construction, as recommended herein, and resulting from variations in soil conditions.

Sincerely,



Quinton Worrell, P.E.

Attachments: (1) Boring location plan
(2) Test boring data
(3) Soil classification system
(4) Gradation analysis

BORING LOCATION PLAN

PUBLIC ALLEY

55.97

11
11
11
11
11

B-1

78.75

BORING LOCATION

40.0

MORSE STREET, N.E.

BORING LOCATION PLAN

1231 MORSE STREET, N.E.

BORING LOG

Project: Multi-family Dwelling
Boring B-1

Location: 1231 Morse Street, N.E.
Washington, D.C.

Date: March 18, 2005

Boring Report

Depth			Sample						
From	To		No.	From	To				
1	6	Brown, moist, stiff clay with traces of sand (CL).	1	4.5	6.0	7	6	7	/18
6	12	Brown, moist, poorly graded, sand with traces of silt and clay (SM).	2	10.5	12.0	13	14	16	/18
9	15	Brown, moist, well graded sand with traces of silt and gravel (SM).	3	13.5	15.0	19	22	24	/18
		B.O.T.B. 15.0							

At Completion

Water.....None

Caved.....

Sheet 1 of 1

SOIL CLASSIFICATION

FIELD CLASSIFICATION SYSTEM FOR SOIL EXPLORATION

NON COHESIVE SOILS

(Silt, Sand, Gravel and Combinations)

<u>Density</u>		<u>Particle Size Identification</u>	
Very Loose	- 5 blows/ft. or less	Boulders	- 8 inch diameter or more
Loose	- 6 to 10 blows/ft.	Cobbles	- 3 to 8 inch diameter
Medium Dense	- 11 to 30 blows/ft.	Gravel	- Coarse - 1 to 3 inch
Dense	- 31 to 50 blows/ft.		Medium - $\frac{1}{4}$ to 1 inch
Very Dense	- 51 blows/ft. or more		Fine - $\frac{1}{8}$ to $\frac{1}{4}$ inch
		Sand	- Coarse - 0.6mm to $\frac{1}{4}$ inch (dia. of pencil lead)
			Medium - 0.2mm to 0.6mm (dia. of broom straw)
			Fine - 0.05mm to 0.2mm (dia. of human hair)
<u>Relative Proportions</u>		Silt	- 0.6mm to 0.002mm (Cannot see particles)
<u>Descriptive Term</u>	Percent		
Trace	1-10		
Little	11-20		
Some	21-35		
And	36-50		

COHESIVE SOILS

(Clay, Silt and Combinations)

<u>Consistency</u>		<u>Plasticity</u>	
Very Soft	- 3 blows/ft. or less	Degree of	Plasticity
Soft	- 4 to 5 blows/ft.	Plasticity	Index
Medium Stiff	- 6 to 10 blows/ft.	None to slight	0- 4
Stiff	- 11 to 15 blows/ft.	Slight	5- 7
Very Stiff	- 16 to 30 blows/ft.	Medium	8-22
Hard	- 31 blows/ft. or more	High to Very High	over 22

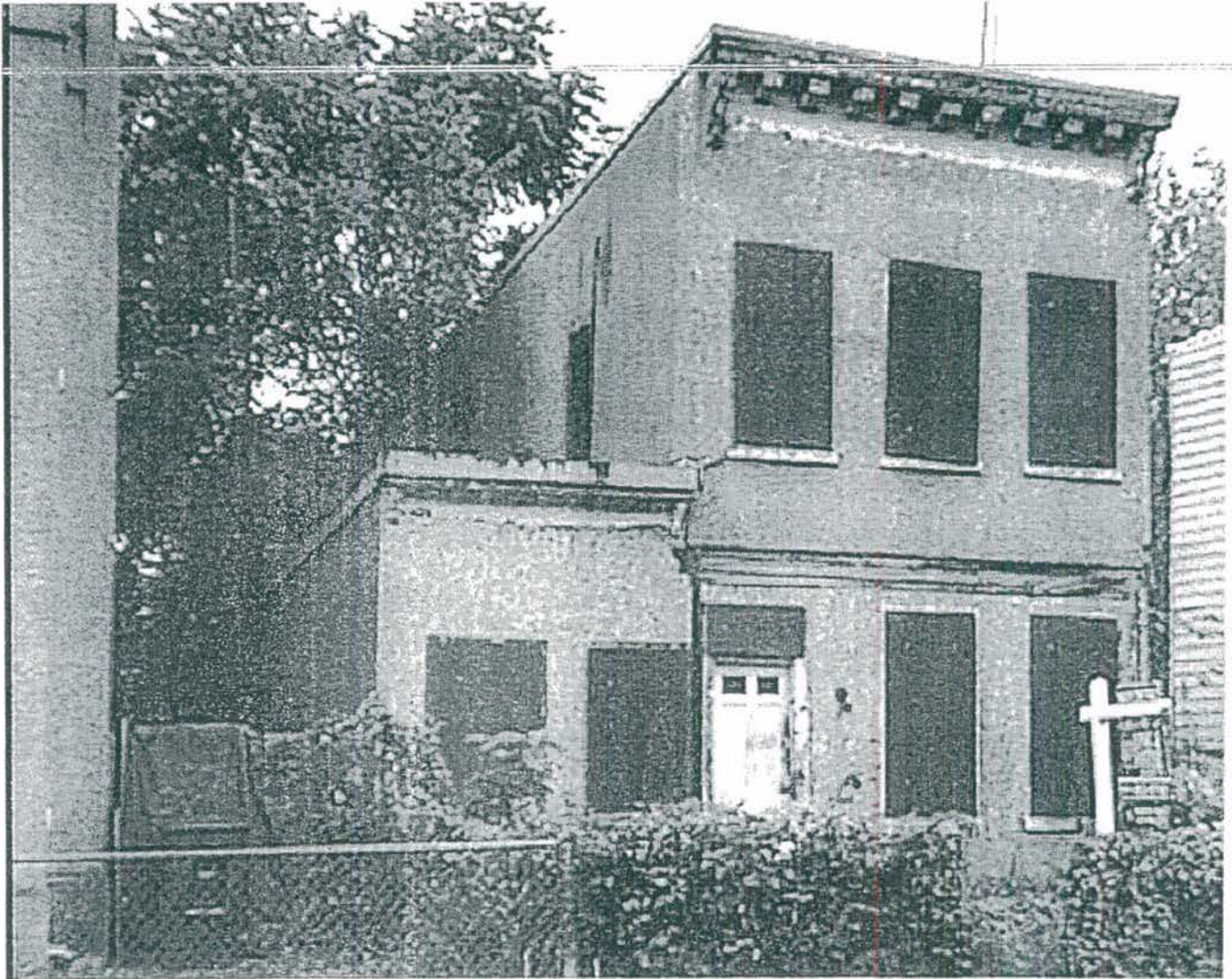
Classification on logs are made by visual inspection of samples.

Standard Penetration Test — Driving a 2.0" O.D., 1-3/8" I.D., sampler a distance of 1.0 foot into undisturbed soil with a 140 pound hammer free falling a distance of 30.0 inches. It is customary for ATEC to drive the spoon 6.0 inches to seat into undisturbed soil, then perform the test. The number of hammer blows for seating the spoon and making the test are recorded for each 6.0 inches of penetration on the drill log (Example — 6/8/9). The standard penetration test result can be obtained by adding the last two figures (i.e. $8 + 9 = 17$ blows/ft.). (ASTM D-1586-67)

Strata Changes — In the column "Soil Descriptions" on the drill log the horizontal lines represent strata changes. A solid line (_____) represents an actually observed change, a dashed line (-----) represents an estimated change.

Ground Water observations were made at the times indicated. Porosity of soil strata, weather conditions, site topography, etc., may cause changes in the water levels indicated on the logs.

SOIL GRADATION



4069 0816 09/28/2004



Department of Consumer and Regulatory Affairs
Building and Land Regulation Administration - Permit Service Center

April 12, 2005
02:12 PM

Comments

Received: _____

Date: _____

PLANS

Y N

APPLICATION

Y N

Engineering Coordinator Aziz Yacob (Eng. Coord.)

Applicant/Agent TAIWO DEMUREN 240-832-4315

Project Location:

Job No:

1233 MORSE ST NE

B 5

Required Reviews (Checked boxes only)	Reviewer	Completion Time	Review Status
<input type="checkbox"/> Public Space		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Ref. to DPW <input type="checkbox"/> Conf. w/ Applicant
<input checked="" type="checkbox"/> Zoning		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Ref. to BZA <input type="checkbox"/> Ref. to Zoning Administrator <input type="checkbox"/> Conf. w/ Applicant
<input checked="" type="checkbox"/> Soil Erosion <input type="checkbox"/> Storm Water Mgmt		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Ref. to DOH <input type="checkbox"/> Conf. w/ Applicant
<input type="checkbox"/> Air Quality <input type="checkbox"/> EIS		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Ref. to DOH
<input type="checkbox"/> Water & Sewer		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Ref. to WASA <input type="checkbox"/> Conf. w/ Applicant <input type="checkbox"/> WASA deposit required
<input checked="" type="checkbox"/> Mechanical/Plumbing		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant
<input type="checkbox"/> Health		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant
<input checked="" type="checkbox"/> Electrical		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant
<input type="checkbox"/> Elevator		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant
<input type="checkbox"/> Fire Protection		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant
<input checked="" type="checkbox"/> Structural		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved <input type="checkbox"/> HFC <input type="checkbox"/> Conf. w/ Applicant

Remarks

/89)

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION
TECHNICAL REVIEW BRANCH

PLAN CORRECTION LIST

Job No.

1988-B

Engineer

Godwin Ahumani

Section

MP

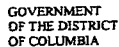
Date

4-29-05

CHANGES REQUIRED ON PLANS PRIOR TO APPROVAL:

No.

1. Identify 11 units in plan as per item #18 of application ~~(scribble)~~
2. Specify sources of adequate combustion/dilution air for all gas furnaces.
3. Provide reqd separation of exhaust flue gases from all air intake sources, operable windows, lot lines, etc, per IMC and residential mech codes. Verify compliance in plan and notes.
4. Exhausts shall not discharge into walkways.
5. Provide legible plumbing riser diagrams for water and sanitary.
6. Increase size of incoming gas line, show sizing calc.
7. Plans shall be sealed by Architect and/or P.E. registered in DC.
8. Provide LDRSA approval for adequate water and sewer lines. Show total dfu to bldg sewer.

BI.RA-16 (REV 2/00)
Exempt Main Document
Only

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION

PLAN CORRECTION LIST

Job Number	Address	Review Engineer	Date
1908-B	1233 Morse Street, NE	Maria Queirolo 202-442-4697	5/3/05
CHANGES REQUIRED ON PLANS PRIOR TO APPROVAL			
No.	Comments		
FYI	Change of occupancy must comply with Chapter 8, Change of Occupancy under the Existing Building Code of the District of Columbia Building Code Supplement of 2003. Therefore it must comply with Chapter 5, 6 and 7 requirements as applicable.		
1	<p>A fire alarm system is required per District of Columbia Building Code Supplement of 2003, Section EX-605.3.1.1 Single exit buildings # 5. Provide fire alarm drawings.</p> <p>"Groups R-1 and R-2, not more than three stories in height, when there are not more than four dwelling units per floor and the exit access travel distance does not exceed 50 feet (15 240 mm), provided the building is equipped with an approved, automatic fire suppression system and automatic fire alarm system with smoke detectors located in all corridors, lobbies and common areas. The minimum fire resistance rating of the exit enclosure and of the opening protection shall be one hour."</p>		
*	http://dcra.dc.gov/information/build_lra/index.shtm		

DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION D.C. GOVERNMENT

BUILDING PERMIT

(Type)

ADDITION

Date 9/6/05

Address of work

1233 MONSE ST. NE.

Permission is hereby granted to

Who is authorized to perform the work described herein at the address shown above in strict accordance with the conditions stated on BOTH sides of this permit.

Authorized work and conditions of performance thereof:

Reg# 4 02/07/05 at 1:18 PM
Receipt# 201097 Amount \$\$\$4,305.00
EB22001215 BUILD. STRUCTURE & EQUI

Lot 130 Square 4069

TOTAL PERMIT FEE \$

FILING FEE \$

NO. DATE

FEE PAYABLE \$ 4305.00

FOR INSPECTIONS CALL 727-7562

BUILD ADDITION TO SFD / CONVERT TO SFD TO 11-UNIT APT. AS PER PLAT/PLANS.
SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATION PERMITS ARE REQUIRED.

Builder—

Width of Bldgs.

Length

Height

Value \$

No. of Bldgs.

No. of Stories

3 & CELLAR

Zone

To be occupied as

Projections: 11-UNIT APT Chief, Permit Issuance Branch

Height of terrace above grade

Address of owner

Deposit No.

Amount \$

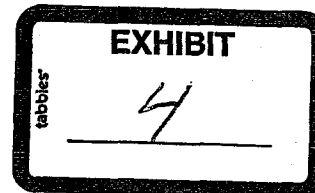
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS

By [Signature] Permit Clerk

DIRECTOR OF CONSTRUCTION

E. KING

P
E
R
M
I
T



EXHIBIT

5

Department of Consumer and Regulatory Affairs
Building and Land Regulation Administration

941 North Capitol Street N.E. Room 2100

Washington D.C. 20002

Tel:(202) 442-4470

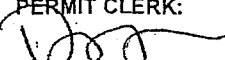
Fax:(202) 442-4862

B**Building Permit**

THIS PERMIT IS VALID ONLY FOR THE PREMISES
OF THE PROJECT ADDRESS

PERMIT NO. B478240

DATE: 12/14/06

ADDRESS OF PROJECT: 1233 MORSE ST NE.		SSL: SQ: 4069 SX: LOT: 130 WARD:5 ZONE R4	
DESCRIPTION OF WORK: EMERGENCY DEMO.			
PERMIT TYPE: A/R	PLANS (Y/N):	EXISTING USE: SFD	PROPOSED USE:
PERMISSION IS HEREBY GRANTED TO OWNER: 1233 MORSE ST. NE. INC.		PERMIT FEE: \$890.00	
AGENT NAME:			
CONDITIONS / RESTRICTIONS:			
TO REPORT WASTE, FRAUD OR ABUSE BY ANY D.C. GOVERNMENT OFFICIAL, CALL THE D.C. INSPECTOR GENERAL AT 1-800-521-1639:			
DIRECTOR: Dr. Patrick Canavan, Psy. D.		PERMIT CLERK: 	EXPIRATION DATE: 12/14/07

CONDITIONS: As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all the work authorized by this permit and to require any change in construction which may be necessary to insure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under the Permit must start within one (1) year of the date appearing on this permit or this permit is automatically void. If work is not started, any application for partial refund must be made within six months of the date appearing on this permit.

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT ADDRESS OF WORK UNTIL WORK IS COMPLETED.

NOTIFY THE BUILDING INSPECTOR THE DAY THE WORK STARTS. PHONE: (202)442-4641 941 NORTH CAPITOL ST NE WASHINGTON DC 20002.

A separate permit is required for all Plumbing, Refrigeration, Gas Fitting, and Electrical Work.

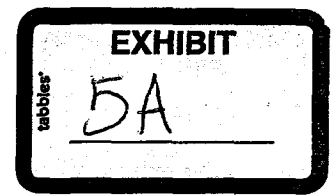


Exhibit 5A

Note:

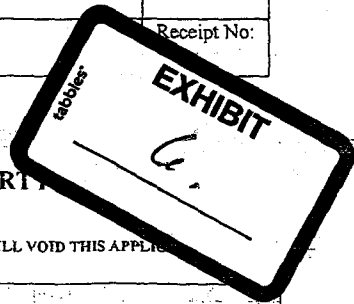
Exhibit 5 shows BPHB478240 which shows an incorrect date. The correct date is 12/14/05.

PRE-FILE NUMBERS		ZONING DISTRICT	FILE NUMBER	PERMIT NUMBER	
N.C.P.C. No:	O.G. No:	R-4	102954		By:
H.P.A. No:	S.E. No:	Ward No:	Receipt No:	Date:	Receipt No:



DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION PERMIT SERVICE CENTER
 Tel 202-442-4589 Fax 202-442-4862

APPLICATION FOR CONSTRUCTION PERMITS ON PRIVATE PROPERTY
 (PRINT IN INK OR TYPE, DO NOT WRITE IN SHADED AREAS OR ON PAGE 4)



CLEARANCE TO FILE By: _____ Date: _____	ERASING, CROSSING OUT, WHITING OUT, OR OTHERWISE ALTERING ANY ENTERED INFORMATION WILL VOID THIS APPLICATION
--	--

(A) ALL APPLICANTS MUST COMPLETE ITEMS 1 THRU 27

1. Address of Proposed Work: 1233 MORSE ST. NE		Suite No.	2. Lot 130	3. Square 4069	4. Application Date
5. Owner of Building or Property 1231 MORSE STREET, INC		6. Address (include Zip Code) 3203 SHORTRIDGE LANE MITCHELLVILLE, MD 20721		7. Phone 240 832-4315	
8. Agent for Owner: (if applicable)		9. Address (include Zip Code)		10. Phone	
11. Type of Proposed Work (check all applicable boxes)					
<input type="checkbox"/> New Building <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Garage <input type="checkbox"/> Addition <input type="checkbox"/> Fence <input type="checkbox"/> Sign <input type="checkbox"/> Alteration and Repair <input type="checkbox"/> Shed <input type="checkbox"/> Projection <input type="checkbox"/> Raze Building <input type="checkbox"/> Awning <input checked="" type="checkbox"/> Other (Specify) Revision Permit					
12. Description of Proposed Work REVISION TO PERMIT # B477034 - 9/6/05. RECONSTRUCT COLLAPSED WALLS OF EXISTING STRUCTURE, PER PLANS. NO OTHER CHANGE TO PREVIOUSLY APPROVED PLANS. B477034 - 9/6/05 - Bldg Permit Addition & Conversion from SFD to 11 Units					
13. Existing Use(s) of Building or Property SINGLE FAMILY DWELLING		14. Ex. No of Stories of Bldg 2 + BASEMENT	15. Ex No of Dwelling Units 1	Official Use Only Miscellaneous FEE By: _____ Date: _____	
16. Proposed Use(s) of Building or Property APARTMENT HOUSE - 11 Units		17. Prop No of Stories of Bldg 3 + CELLAR	18. Prop. No of Dwelling Units 11		
19. Starting Date ASAP	20. Completion Date of work T.O.B.D.	21. Method of Removing Construction Debris <input type="checkbox"/> Pick-up Truck <input checked="" type="checkbox"/> Dumpster <input type="checkbox"/> Other (specify)		22. Does the proposed work involve disturbing the earth or razing a building? <input type="checkbox"/> Yes, answer q. 23 <input checked="" type="checkbox"/> No, SKIP q. 23-27	
23. Is the area of disturbed earth more than 50 sq. ft? <input type="checkbox"/> Yes, answer q. 24-25 <input type="checkbox"/> No, SKIP q. 24-25	24. Soil Erosion Control Methods	25. Area of Offsite Drainage	26. No of Footings or Columns	27. Size of Footings or Columns	

ALWAYS SIGN THE APPLICATION ON PAGE 3 (SECTION I)

Complete Section B if the proposed work is new building, addition or alteration. (Page 2)
 Complete Section C if the proposed work is razing a building. (Page 2)
 Complete Section D if the proposed work is a retaining wall. (Page 2)
 Complete Section E if the proposed work is a fence. (Page 3)
 Complete Section F if the proposed work is a shed/garage. (Page 3)
 Complete Section G if the proposed work is an awning. (Page 3)
 Complete Section H if the proposed work is a sign. (Page 3)

OFFICIAL USE ONLY				
P	H	A		
M				
P				
E			W	Yes No
F			PLANS	
S			No	Sm Lg

(B) NEW BUILDING, ADDITION, & ALTERATION (COMPLETE ITEMS 28 THRU 60)

28. Architect's Name:		29. D.C. Lic. No.:		30. Architect's Address: (include Zip Code)		31. Phone:																																	
32. Engineer's Name:		33. D.C. Lic. No.:		34. Engineer's Address: (include Zip Code)		35. Phone:																																	
36. Building Contractor's Name:		36A. D.C. Lic. No.		37. Contractor's Address		38. Phone:																																	
39. Type of Construction <input type="checkbox"/> Masonry <input type="checkbox"/> Steel <input type="checkbox"/> Wood <input type="checkbox"/> Other <input type="checkbox"/> Concrete		40. Fire Suppression: <input type="checkbox"/> Fully Sprinklered <input type="checkbox"/> Standpipe System <input type="checkbox"/> Partially Sprinklered <input type="checkbox"/> None <input type="checkbox"/> Other _____		41. Booster Pump <input type="checkbox"/> New <input type="checkbox"/> Existing <input type="checkbox"/> None		42. Total Lot Area _____ sq. ft.																																	
44. Present Gross Floor Area of Bldg. _____ sq. ft.		45. Proposed Gross Floor Area of Bldg. _____ sq. ft.		46. Floors involved in this permit <input type="checkbox"/> All <input type="checkbox"/> Floors _____		43. Breakdown of Lot Area (= 100 %) a. building _____ % b. paved area _____ % c. greenery _____ %																																	
48. Number and type of projection:		49. Distance of projection:		50. Width of projection:		51. Width of building frontage _____ ft. 52. Signature of Owner (projection only): _____																																	
53. Water or Sewer Excavation? <input type="checkbox"/> Yes <input type="checkbox"/> No	54. Driveway Construction? <input type="checkbox"/> Yes <input type="checkbox"/> No	55. Sheeting/Shoring Necessary? <input type="checkbox"/> Yes <input type="checkbox"/> No	56. Elevators Involved? <input type="checkbox"/> Yes, answer q. 57 <input type="checkbox"/> No	57. No and type of elevator	58. Plans Certified by Engineer? <input type="checkbox"/> Yes, cert. attached <input type="checkbox"/> No																																		
59. Estimated Cost of Work (a) New/Add.: \$ _____ (b) Alt/Repair \$ _____ Total \$ _____		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th colspan="8">OFFICIAL USE ONLY</th> </tr> <tr> <th colspan="2">Alter/Repair FEE</th> <th colspan="2">New Const. FEE</th> <th colspan="2">Filing Fee</th> <th colspan="2">TOTAL PERMIT FEE</th> </tr> <tr> <td colspan="2">\$ 22,200.00</td> <td colspan="2">\$</td> <td colspan="2">\$</td> <td colspan="2">\$ 23,000.00</td> </tr> <tr> <td>By: _____</td> <td>Date: _____</td> <td>By: _____</td> <td>Date: _____</td> <td>By: _____</td> <td>Date: _____</td> <td>By: _____</td> <td>Date: _____</td> </tr> </table>						OFFICIAL USE ONLY								Alter/Repair FEE		New Const. FEE		Filing Fee		TOTAL PERMIT FEE		\$ 22,200.00		\$		\$		\$ 23,000.00		By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____
OFFICIAL USE ONLY																																							
Alter/Repair FEE		New Const. FEE		Filing Fee		TOTAL PERMIT FEE																																	
\$ 22,200.00		\$		\$		\$ 23,000.00																																	
By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____																																
60. Volume of New Bldg. or Addition cubic ft.																																							

(C) RAZING A BUILDING (COMPLETE ITEMS 61 THRU 83)

61. Raze Contractor's Name:		62. Contractor's Address: (include Zip Code)		63. Phone:										
64. Insurance Company		65. Policy or Cert. Number		66. Expiration Date										
67. Raze Method														
68. Building Material	69. Raze Entire Building? <input type="checkbox"/> Yes <input type="checkbox"/> No	70. Building Condemned? <input type="checkbox"/> Yes <input type="checkbox"/> No	70A. Building Vacant? <input type="checkbox"/> Yes <input type="checkbox"/> No	71. Public Space Vault? <input type="checkbox"/> Yes <input type="checkbox"/> No	72. Disconnect Water and/or Sewer? <input type="checkbox"/> Yes <input type="checkbox"/> No									
73. Size of Water Connection _____ in.														
74. Plumber's Name:		75. D.C. Lic. No.		76. Length _____ ft.	77. Width _____ ft.									
78. Height _____ ft.		79. Volume _____ ft.		80. Party Wall? <input type="checkbox"/> Yes <input type="checkbox"/> No										
81. Asbestos in the Building? <input type="checkbox"/> No <input type="checkbox"/> Yes, location _____		82. Raze Contractor Signature		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th colspan="3">OFFICIAL USE ONLY</th> </tr> <tr> <td>FEE</td> <td>By:</td> <td>Date:</td> </tr> <tr> <td>\$</td> <td></td> <td></td> </tr> </table>		OFFICIAL USE ONLY			FEE	By:	Date:	\$		
OFFICIAL USE ONLY														
FEE	By:	Date:												
\$														
83. Owner's Signature														

(D) RETAINING WALL (COMPLETE ITEMS 84 THRU 93)

The retaining wall will not obstruct any accessible parking required by D.C. Zoning Regulations

84. Cost of Work \$		85. Material:		86. Height		87. Color		88. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land *										
89. Signature of Adjoining Owner:		90. Phone: Home Work		91. Address of Adjoining Owner:		92. Lot:		93. Square:										
								<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th colspan="3">OFFICIAL USE ONLY</th> </tr> <tr> <td>FEE</td> <td>By:</td> <td>Date:</td> </tr> <tr> <td>\$</td> <td></td> <td></td> </tr> </table>		OFFICIAL USE ONLY			FEE	By:	Date:	\$		
OFFICIAL USE ONLY																		
FEE	By:	Date:																
\$																		

* If party wall, the owner of the adjoining property must agree to the erection of the retaining wall and this application

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., DECEMBER 15, 2004

Plat for Building Permit of: SQUARE 4089 SITE PER SUB

Scale: 1 inch = 20 feet

Receipt No. 15987-21108

Furnished to: TAIWO DEMUREN

Surveyor, D.C.

By: B.D.M.

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly plotted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and plotted, and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or lots, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

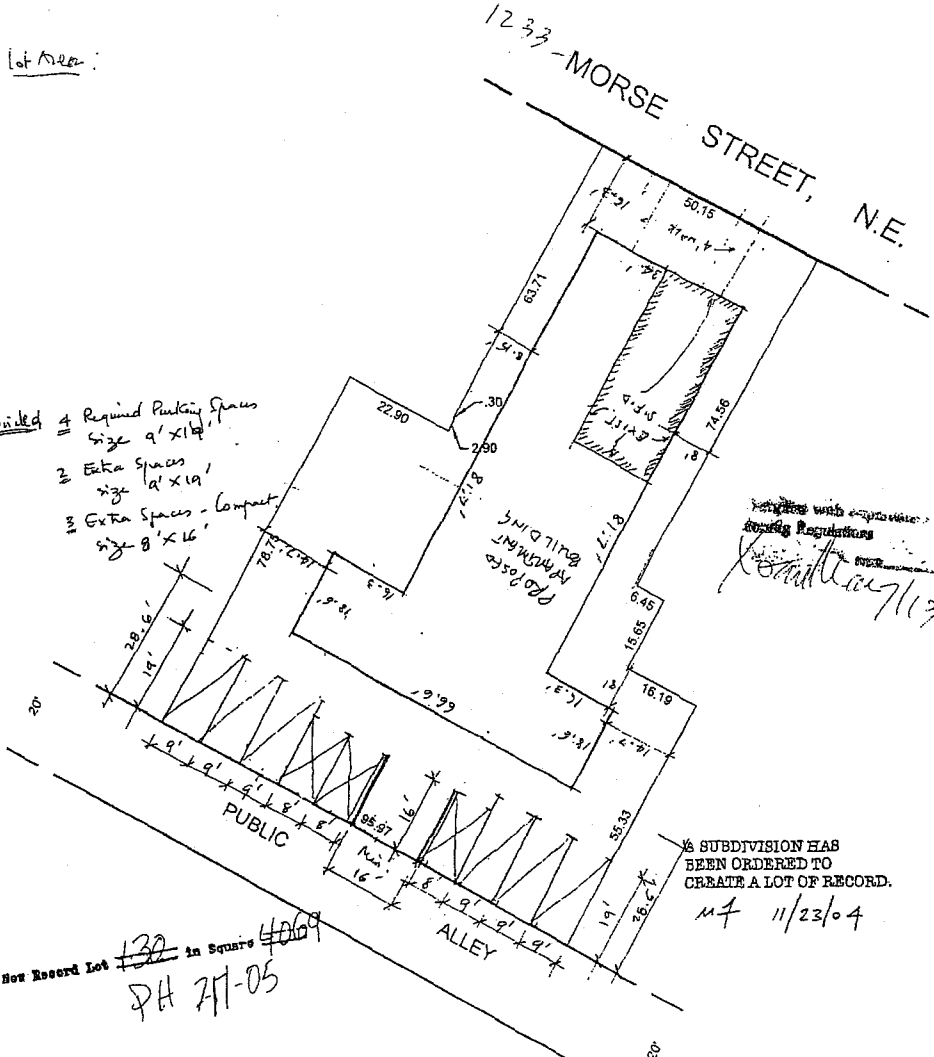
Date: 3/20/05

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

Lot Area:

- Provided:
- 1. Required Parking Spaces Size 9' x 14'
 - 2. Extra Spaces Size 9' x 14'
 - 3. Extra Spaces - Compact Size 8' x 16'



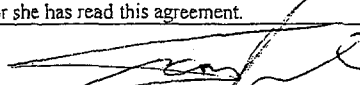
New Record Lot 132 in Square 4089
PH 211-05

A SUBDIVISION HAS BEEN ORDERED TO BE CREATED TO CREATE A LOT OF RECORD.

11/23/04

CONTRACT AGREEMENT

Name of Contractor/Owner 1231 MORSE STREET INC Contractor's License No. _____Address of Contractor/ Owner 3203 SHORTRIDGE LN, MITCHELLVILLE, MD 20724 Date: 01/16/07

ADDRESS OF PROPOSED WORK <u>1233 MORSE ST, NE#1</u>		LOT:
OWNER OF BUILDING OR BUSINESS: <u>1231 MORSE STREET, INC</u>		SQUARE:
DESCRIPTION OF PROPOSED WORK: <u>REVISION TO PERMIT # _____ TO RECONSTRUCT COLLAPSED WALLS OF EXISTING STRUCTURE, PER PLANS. NO OTHER CHANGES TO PREVIOUSLY APPROVED PLANS.</u>		PHONE No:
COST ESTIMATE		
CONSTRUCTION e.g drywall, ceilings, framing, carpentry etc	\$ <u>17,500</u>	
ELECTRICAL	\$	
MECHANICAL	\$	
PLUMBING	\$	
FIRE PROTECTION e.g sprinkler system, fire alarm system, generator etc.	\$	
DEMOLITION	\$	
MISC/OTHER (please specify)	\$	
TOTAL	\$ <u>17,500</u>	
<p>The labor and material costs of counter tops, kitchen cabinets, floor coverings, tile work, caulking, patching and plaster repair, painting other than fire retardant paint, gutters and downspouts, not more than 160 square feet of gypsum board shall not be included in the cost estimate for permitting purposes. The entire list can be seen in the 1999 D.C Building Supplement Chapter 1 Section 107.3.</p>		
<p>The foregoing terms, specifications and conditions are satisfactory and hereby agreed to. You are authorized to work as specified and payment will be made in the amount as outlined. Upon signing this agreement, the owner represents and warrants that he or she is the owner or the authorized agent of the owner of the aforesaid premises and that he or she has read this agreement.</p>		
CONTRACTOR <u></u> Signature & print		Date: <u>01/16/07</u>
OWNER OF BUILDING/BUSINESS _____ Signature & print		Date: _____
Upon signing this document, the owner and contractor declare that the cost of construction as specified above for the referenced project is true and correct to the best of their knowledge		

**DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS
Building and Land Regulation Administration**

ENVIRONMENTAL INTAKE FORM

Project Name:	Project Address: Lot: Square:
	1233 MORSE ST, NE
Filed Job Application # (if applicable):	Project Description: REVISION TO PERMIT # TO RECONSTRUCT COLLAPSED WALLS OF EXISTING STRUCTURE, PER PLANS, NO OTHER CHANGE TO PREVIOUSLY APPROVED PLANS
Owner: 1231 MORSE STREET INC. Date: 01/16/07	
Owner's address and phone #: 3203 SHORTRIDGE LN. MITCHELLVILLE, MD 20724 240. 832. 4315	

Authorized agent: _____

Address and Phone # of authorized agent: _____

Scope of the Project	Yes	No	Instructions
1. Is this a solid waste facility?		<input checked="" type="checkbox"/>	If yes, see EIS Coordinator
2. Does the owner of this site own adjacent or abutting property?		<input checked="" type="checkbox"/>	If yes, submit a site plan to EIS Coordinator, DCRA. If no plan exists, submit written explanation to EIS Coordinator, DCRA.
3. Does the owner of this site plan to acquire property that is adjacent to or abutting this site within the next three years?		<input checked="" type="checkbox"/>	If yes, submit a site plan to EIS Coordinator, DCRA. If no plan exists, submit written explanation to EIS Coordinator, DCRA.
4. Is additional activity planned by the applicant for this site or any site within the same square during the next three years that requires a permit?		<input checked="" type="checkbox"/>	If yes, submit a site plan to EIS Coordinator, DCRA. If no plan exists, submit written explanation to EIS Coordinator, DCRA.
5. Is this a residential project within the R-1 through R-5-A zoning districts?	<input checked="" type="checkbox"/>		If yes, skip to signature line.
6. Is this project a single-family residence that is not in conjunction with the building of two or more units?			If yes, skip to signature line.
7. Is this project an accessory structure such as a garage, patio, swimming pool or fence?			If yes, skip to signature line.
8. Is the project solely an interior renovation with no change in the use or capacity of the structure being renovated?			If yes, skip to signature line.
9. Is the project located in an Economic Development Zone, as defined in DC Code 5-1401 et seq (DC Law 7-177)?			If yes, skip to signature line.
10. Is the project located within the Central Employment Area as defined in DC Zoning Regulations? (Title 11DCMR)			If yes, skip to signature line.
11. Does the project involve only the operation, repair, maintenance, or minor alteration of public structures, facilities, mechanical equipment, or topographical features and involve negligible or no expansion of use beyond that previously existing?			If yes, skip to signature line.
12. Has an Environmental Impact Statement (EIS) been prepared pursuant to the National Environmental Policy Act of 1969 (NEPA), or a determination made that no EIS is needed, or has the functional equivalent of an EIS been prepared?			If yes, submit documentation to EIS Coordinator, DCRA.

-OVER-

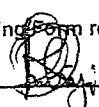
Scope of the Project	Yes	No	Instructions
13. Is an exemption claimed from the requirement to submit an Environmental Impact Screening Form pursuant to Title 20, Sec. 7202 that is not referred to in this form? If yes, describe the exemption and cite the relevant section of the regulations on an attachment.			If yes, describe on an attachment and submit to EIS Coordinator, DCRA.
14. Does the total cost of the project exceed \$1.51 million, including site preparation and construction?			If yes, and no exemption claimed, Environmental Impact Screening Form (EISF) required.
15. Is the cost of this project \$1.51 million or less? If yes, please answer all of the following questions:			If yes, complete A through G.
A. Does the project site contain any species of plant or animal that is identified as threatened or endangered?			If yes, EISF required.
B. Are any streams, lakes, ponds, springs or wetlands within 100 feet of the project site?			If yes, EISF required.
C. Will the project result in an emission of odorous or other air pollutants from any source, including VOCs?			If yes, EISF required.
D. Will this action involve the use, production or disposal of hazardous substances as defined in 20 DCMR 7299?			If yes, EISF required.
E. Will construction be on land where the depth to the water table is less than 3 feet?			If yes, EISF required.
F. Will blasting occur as part of the project?			If yes, EISF required.
G. Will the project generate medical, infectious, radioactive or hazardous waste?			If yes, EISF required.

I certify that all of the statements on this application are true and complete to the best of my knowledge and belief. I agree to comply with all applicable laws and regulations of the District of Columbia. The making of false statements on this application is punishable by criminal penalties. (DC Code Sec. 22-2514)

Signature of Owner/Authorized Agent

Date

01/16/07

OFFICIAL USE ONLY	
Environmental Impact Screening Form required: Yes _____ No <input checked="" type="checkbox"/>	Referred to EIS Coordinator _____
DCRA Reviewer 	Date 1/19/07
If yes, submit to EIS Coordinator Department of Consumer and Regulatory Affairs Building and Land Regulation Administration	
Comments _____	

NOTE: APPROVAL OF A BUILDING PERMIT IS NOT SYNONYMOUS WITH APPROVAL OF AN ACTION OR ENTIRE PROJECT UNDER THE ENVIRONMENTAL POLICY ACT OF 1989. IF THE APPLICANT BUILDS ON THE SAME, ADJACENT OR ABUTTING PROPERTY OR EXPANDS UPON THE WORK DESCRIBED IN THE INSTANT APPLICATION OR PLANS AND SPECIFICATIONS WITHIN THREE YEARS, AN ENVIRONMENTAL IMPACT SCREENING FORM MAY BE REQUIRED FOR THE ENTIRE PROJECT, INCLUDING THE PORTION ENCOMPASSED BY THIS APPLICATION AND PERMIT APPROVAL. FURTHER, IF THE ACTION IS IN VIOLATION OF ANY FEDERAL OR DISTRICT LAWS PERTAINING TO THE ENVIRONMENT, AN EISF CAN BE REQUIRED.

TO REPORT WASTE, FRAUD, OR ABUSE BY ANY DC GOVERNMENT OFFICE OR OFFICIAL, CALL THE INSPECTOR GENERAL ON 1- 800- 521-1639

9/2004

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*** GOVERNMENT
OF THE DISTRICT
OF COLUMBIA
Form BLRA-15
(Rev. 9/30/91)

DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION

BUILDING PERMIT

PERMIT NO. B477039

Date 9/6/05 (Type) ADDITION

Address of work 1233 MORSE ST. NE.

Permission is hereby granted to

TATWO DEMUREN

who is authorized to perform the work described herein at the address shown above in strict accordance with the conditions stated on BOTH sides of this permit.

Authorized work and conditions of performance thereof:

(Owner)

NO.

DATE

FEE PAYABLE

Lot	130	Square	4069
TOTAL PERMIT FEE		\$	
FILING FEE		\$	
FEE PAYABLE		\$	4305.00

FOR INSPECTIONS CALL 727-7562

BUILD ADDITION TO SFD / CONVERT TO SFD TO 11-UNIT APT. AS PER PLAT/PLANS.
SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATION PERMITS ARE REQUIRED.

Builder—

Width of Bldgs.

Length

Zone

R-4

Height of terrace above grade

Address of owner

Deposit No.

Amount \$

DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS

Value \$

No. of Bldgs.

No. of Stories

3 & CELLAR

Height

To be occupied as

Projections:

11-UNIT APT.

By

Chief, Permit Issuance Branch

Permit Clerk

~~PATRICK CANAVAN~~
DIRECTOR

E. KING

Department of Consumer and Regulatory Affairs

Building and Land Regulation Administration

941 North Capitol Street N.E. Room 2100

Washington D.C. 20002

Tel:(202) 442-4470

Fax:(202) 442-4862

B

Building Permit

THIS PERMIT IS VALID ONLY FOR THE PREMISES
OF THE PROJECT ADDRESS

PERMIT NO. B478240

DATE: 12/14/06

ADDRESS OF PROJECT: 1233 MORSE ST. NE.		S S L: SQ: 4069 SX: LOT: 130 WARD: 5 ZONE R4	
DESCRIPTION OF WORK: EMERGENCY DEMO.			
PERMIT TYPE: A/R	PLANS (Y/N):	EXISTING USE: SFD	PROPOSED USE:
PERMISSION IS HEREBY GRANTED TO OWNER: 1233 MORSE ST. NE. INC.		PERMIT FEE: \$890.00	
AGENT NAME:			
CONDITIONS / RESTRICTIONS: TO REPORT WASTE, FRAUD OR ABUSE BY ANY D.C. GOVERNMENT OFFICIAL, CALL THE D.C. INSPECTOR GENERAL AT 1-800-521-1639:			

DIRECTOR:

Dr. Patrick Canavan, Psy. D.

PERMIT CLERK:

EXPIRATION DATE:

12/14/07

CONDITIONS: As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all the work authorized by this permit and to require any change in construction which may be necessary to insure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under the Permit must start within one (1) year of the date appearing on this permit or this permit is automatically void. If work is not started, any application for partial refund must be made within six months of the date appearing on this permit.

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT ADDRESS OF WORK UNTIL WORK IS COMPLETED.

NOTIFY THE BUILDING INSPECTOR THE DAY THE WORK STARTS. PHONE: (202) 442-4641 941 NORTH CAPITOL ST NE WASHINGTON DC 20002

A separate permit is required for all Plumbing, Refrigeration, Gas Fitting, and Electrical Work.

(E) FENCE (COMPLETE ITEMS 94 THRU 102)

The fence will not obstruct any accessible parking required by D.C. Zoning Regulations

94. Material and type:	95. Height ft.	96. Color:	97. Location: <input type="checkbox"/> Entirely on Owner's Land <input type="checkbox"/> Party Line with Adjacent Neighboring Land *
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* If party fence, the owner of the adjoining property must agree to the erection of the fence and this application

98. Signature of Adjoining Owner:	99. Phone: Work Home	OFFICIAL USE ONLY	
100. Address of Adjoining Owner:	101. Lot	102. Square	FEE
			\$
			By: Date:

(F) SHED OR GARAGE (COMPLETE ITEMS 103 THRU 113)

103. Number	104. Length: ft.	105. Width ft.	106. Area: sq.ft.	107. Height ft.	108. Volume cu.ft.	109. Est. Cost of Work \$	OFFICIAL USE ONLY
							FEE
110. Material of Roof	111. Material of Sides	112. Wall Thickness: <input type="checkbox"/> External () inches <input type="checkbox"/> Party () inches				113. Color	\$
							By: Date:

(G) AWNING (COMPLETE ITEMS 114 THRU 123)

114. Number:	115. Color	116. Type: <input type="checkbox"/> Folding <input type="checkbox"/> Fixed	117. Projections: Beyond bldg. line _____ in. Beyond pt of attachm _____ in	118. Height of Lowest Part of awning	OFFICIAL USE ONLY
					FEE
119. Material of Frame	120. Material of Covering	121. Lettering on awning? <input type="checkbox"/> Yes <input type="checkbox"/> No	122. Fixed Posts? Yes No	123. Over Side- walk café? <input type="checkbox"/> Yes <input type="checkbox"/> No	(a) _____ ft above sidewalk (b) _____ ft above parking (c) _____ ft above grade
					\$
					By: Date:

(H) SIGN (COMPLETE ITEMS 124 THRU 144)

124. Number	125. Electric Signs? <input type="checkbox"/> Yes, answer q. 126-132 <input type="checkbox"/> No. SKIP q. 126-132	126. Type: <input type="checkbox"/> Incandes. <input type="checkbox"/> Fluoresc. <input type="checkbox"/> Neon	127. Power _____ VA	128. Electrical Contractor License Number:
129. Address of Electrical Contractor (include Zip)		130. Signature of Licensed Electrician		131. Phone No.
				132. License No.
133. Height relative to building and ground (a) _____ ft _____ in above sidewalk (b) _____ ft _____ in above roof (c) _____ ft _____ in is building height (d) _____ ft _____ in above projection of window (e) _____ ft _____ in from roof to sign's bottom		134. Material of Sign		135. Type of Sign
		136. Color		
		137. Width ft.	138. Length ft.	139. Area of Sign sq. ft.
				140. Wide of Business frontage ft.
141. C of O No for Bldg.	142. Sign Contractor: License No.		OFFICIAL USE ONLY	
				Sign FEE
				Elect. FEE
				Total FEE
143. Sign Contractor's Address:		144. Phone:		\$
				By: Date:
				\$
				By: Date:
				\$
				By: Date:

(I) APPLICANT'S SIGNATURE

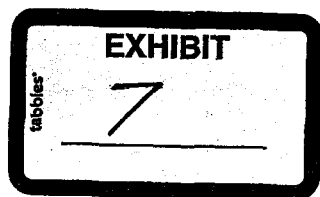
A. OWNER: I hereby certify that I am the owner of the property, that the application and plans are complete and correct to the best of my knowledge, that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia.

Signature of Owner _____ Address 3203 SHOREIDGE LN. Date _____
MITCHELLVILLE, MD 20721

B. AGENT: I hereby certify that I have the authority of the owner to make this application. I declare that the application and plans are complete and correct to the best of my knowledge. The owner has assured me that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia

Signature of Agent _____ Address _____ Date _____

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR**



**VIA PERSONAL SERVICE,
U.S. FIRST CLASS MAIL, and
U.S. FIRST CLASS CERTIFIED MAIL,
RETURN RECEIPT REQUESTED**

Paul Henry, Registered Agent
1625 Morris Road, S.E.
Washington, D.C. 20020

1231 Morse Street, Inc.
1405 H Street, N.E
Washington, DC 20002

1231 Morse Street, Inc.
3203 Shortridge Lane
Bowie, MD 20721-2574

Taiwo Demuren
3203 Shortridge Lane
Mitchellville, MD 20721

Dear Mr. Demuren:

The District of Columbia Department of Consumer and Regulatory Affairs ("District") reviewed your January 19, 2007, building permit application for a revision to Building Permit B477039 for the premises at 1233 Morse Street, N.E. Your revised application was to "reconstruct collapsed walls of an existing structure".

The District's February 27, 2006 inspection revealed that the existing structure had been razed. Once an existing structure has been razed, it can no longer be considered a reconstructed building. Based on the razing of the property, the District determined that your application violates the Zoning Regulations, specifically 11 DCMR 330.5(c)¹. Furthermore, without an existing structure, there can be no conversion to an apartment building in the R-4 (Residential) District pursuant to 11 DCMR 330.5(c)).

¹ 11 DCMR 330.5 provides in part: [T]he following uses shall be permitted as a matter of right in an R-4 District: ... (c) The conversion of a building or other structure existing before May 12, 1958, to an apartment house as limited by 350.4 (c) and 401.3.

In addition, the plans submitted with your application do not reflect the original structure and collapsed walls that are proposed for reconstruction. The plans simply show the new walls of the new structure *shaded* in various tones to give the appearance of reconstructed collapsed walls. Since the plans submitted misrepresent the existing structure, the District cannot approve the zoning section of your application because it violates Title 11, Chapter 3 of the Zoning Regulations of the District of Columbia.


RIGHT TO APPEAL

You have a right to appeal this decision made by the Zoning Administrator within sixty (60) days to the Board of Zoning Adjustment (BZA) pursuant to 11 DCMR 3112.2 (a). The BZA is located at 441-4th Street, N.W., Suite 210S, Washington, D.C. 20001.

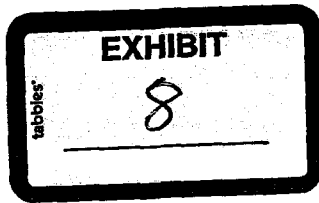
If you have any questions, you may contact the Zoning Administrator at (202) 442-4576.

03.06.07

Date



Bill Crews
Zoning Administrator



Inspections & Compliance Administration
941 North Capitol St NE #2000
Washington, DC 20002

STOP WORK ORDER

1233 MORSE STREET, N.E.

(address)

You are hereby ordered to IMMEDIATELY STOP all work at this building or structure.

☒ You are performing work that violates the Construction Code:

☐ You are performing work in an unsafe and dangerous manner:

Code Section (s)	Violation (s)	Corrective Action (s)
12A DCMR §§ 105.1(1), 105.1.4(1),	Constructing a new structure without a building permit	Obtain a permit
12A DCMR § 105.1	Constructing beyond the scope of the approved building permit	Obtain a permit
12A DCMR §§ 105.1(4), 105.1.7.1	Razed a building without a permit	Obtain a permit
12A DCMR §§ 105.1.6(1), 105.1(3)	Exceeding the scope of the demolition permit	Obtain a permit

Do NOT work at this address until you:

☒ Correct the violation(s)

☒ Pay the fine amount

☒ Obtain and post the required permits

☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____

☒ Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407 and 12A DCMR § 114.3.

A Stop Work Order for illegal construction under 12A DCMR §§ 113.7 and 114.6 requires you to stop all work at the building or structure, whether or not the work requires building permits.

It is a Stop Work Order violation for an owner or agent to enter the site for any reason without the Code Official's approval. (The Code Official may allow temporary access to ensure the property's security and safety, under 12A DCMR § 114.6.1.)

Anyone who continues any work in or around a structure posted with a Stop Work Order – except to do work that the Code Official approves to remove a violation or unsafe condition – is subject to penalties and injunctive relief under DC Official Code §§ 6-1406 and 6-1407, 12A DCMR §§ 105.8 and 114.10.

RIGHT TO APPEAL

You have the right to appeal this Order to the Reviewing Official (Nick Majett, Deputy Director, Inspections and Compliance Administration) within 15 days of its posting, under 12A DCMR § 112.1. You may call the Reviewing Official at (202) 442-7867. You may obtain a Stop Work Order Appeal Request Form at the address above or at dcra.dc.gov. If the Reviewing Official denies your appeal or takes no action within working days of receiving it, you may appeal to the Director.

If the Director denies or takes no action on your appeal within 3 working days of receiving it, you may appeal to the DC Office of Administrative Hearings (OAH). You may deliver your written request for a hearing to OAH at 941 North Capitol St NE #9100, Washington, DC 20002 or mail it to PO Box 77718, Washington, DC 20013-8713.

Signature of Issuing Official Neil Letren Date 5/8/07 Time 4:25 PM

Print Name: Neil Letren Phone Number 442-7867



Inspections & Compliance Administration
941 North Capitol St NE #2000
Washington, DC 20002

STOP WORK ORDER
1233 MORSE STREET, N.E.
(address)

You are hereby ordered to **IMMEDIATELY STOP** all work at this building or structure.

- ☒ You are performing work that violates the Construction Code:
☐ You are performing work in an unsafe and dangerous manner:

Code Section (s)	Violation (s)	Corrective Action (s)
12A DCMR § 105.1.16	Conducting Plumbing work without a permit	Obtain a permit
12A DCMR §§ 109.3, 109.3.8.1	Plumbing, cap water and sewer w/o work was done without an inspection	Request an inspection

Do NOT work at this address until you:

- ☒ Correct the violation(s)
☒ Pay the fine amount
☒ Obtain and post the required permits
☐ Electrical ☒ Plumbing ☒ Construction ☐ Boiler ☐ Fire ☐ Elevator ☐ Other _____
☒ Receive approval from the Code Official to remove the Stop Work Order.

WARNING

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RIGHT TO APPEAL

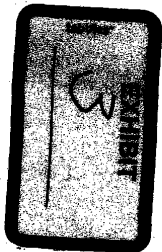
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Signature of Issuing Official
Print Name: Neil Letren

Date 5/8/07 Time 4:25 PM
Phone Number 442-7867

pg. 2 of 2



BUILDING PERMIT FOR: ADDITION TO S.F.D.

LIST OF DRAWINGS:

- C-0 COVER SHEET
- C-1 EROSION CONTROL DETAILS
- S-1 FOUNDATION CONTROL DETAILS
- S-2 FOUNDATION DETAILS
- A-1 FLOOR PLAN
- A-2 FLOOR PLAN
- A-3 FLOOR PLAN
- A-4 FLOOR PLAN
- A-4.1 ELEVATION
- A-5 SECTIONS DETAIL
- A-5.1 FLOOR FRAMING
- A-6 ROOF FRAMING
- M-1 MECHANICAL
- E-1 ELECTRICAL
- P-1 PLUMBING
- P-2 PLUMBING

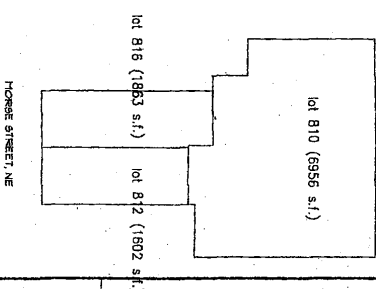
LEGEND:

- EXCAVATION QUANTITIES: 60 CUBIC YARDS
AREA OF L.O.D.: 4800 S.F.
VOLUME OF CUT: 65 CUBIC YARDS
VOLUME OF FILL: 55 CUBIC YARDS
L.O.D.
SILT FENCE
STABILIZED CONSTRUCTION
ENTRANCE
EXISTING CONTOURS
PROPOSED CONTOURS

1233 MORSE STREET, NE SQUARE 4069 LOT WASHINGTON, DC 20002

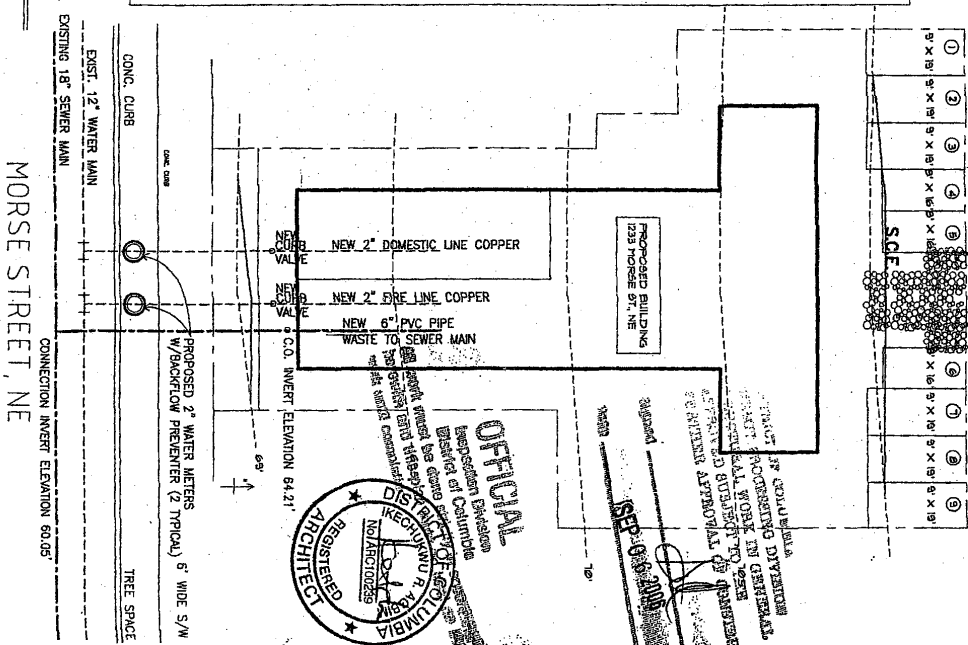
ZONING ANALYSIS:

LOT AREA: 1863 S.F. (LOT 0816)
ADDED LOTS PER SUB:
1802 S.F. (LOT 0812)
6956 S.F. (LOT 0810)
TOTAL LOT AREA = 10,421 S.F. (LOT 130)
EXIST. S.F.D.
PROPOSED NO. OF UNITS = 11 UNITS
ZONE: R-4
PARKING PROVIDED: 10 SPACES EACH 9'X19'
NEW BUILDING FOOTPRINT = 4031 S.F.
LOT COVERAGE: 4031/10421 = 0.38 = 38%
ALLOWABLE: 40%



A: NOTIFY DC WASA ONE-WEEK PRIOR TO START OF CONSTRUCTION. UTILITY INSPECTION @ 202 787 2377
WATER SERVICES 202 612 3400 OF 3460 AND SEWER SERVICES 202 264 3824 OF 3829.
B: DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO
THE APPROPRIATE DCWASA INSPECTORS FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING
UTILITIES TO BE ABANDONED IN PUBLIC SPACE; APPLICANT MUST SUBMIT THESE DRAWINGS, AS BUILT DRAWINGS
MUST SHOW DIMENSION, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.
C: ONCE THE WASA INSPECTOR APPROVES THE AS BUILT DRAWING, A COPY MUST BE SUBMITTED TO THE DOCUMENTS
AND PERMITS OFFICE @ ROOM 203 AND THE WATER AND SEWER DESIGN SECTION @ 5000 OVERLOOK AVE, S.W. 5TH FLOOR
UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR
EXCAVATION, BACKFILLING, REPAVING AND RESTORATION OF PUBLIC SPACES FOR STREET AND SIDEWALK CUTS
FOR NEW UTILITIES, CONNECTIONS AND TAPS. REMOVALS, ABANDONMENTS OF SERVICES MUST BE PERFORMED BY
THE CONTRACTOR, AT THE WATER OR SEWER LINE WITHIN PUBLIC SPACE AND REPAIRED UNDER DC WASA
INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS
PERFORMED BY THE CONTRACTOR OR DEVELOPERS.

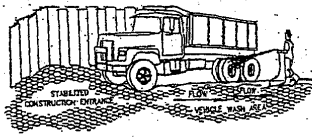
1 SITE PLAN



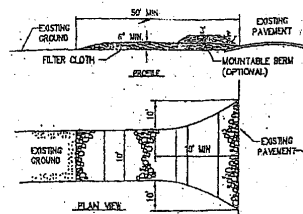
DCRA / OFFICE OF THE ZONING
ADMINISTRATOR / COMPLIES
WITH REQUIREMENTS OF DC
FORMING REGULATIONS (DCR 11-113-05)



BUILDING PERMIT:



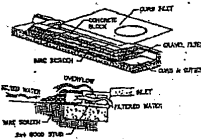
VEHICLE WASH DETAIL
(NOT TO SCALE)



1 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

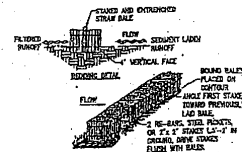
CONSTRUCTION RAMP SPECIFICATION

1. STONE SIZE—USE 2" STONE, OR RECYCLED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH—AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE 30 FEET MINIMUM LENGTH WOULD APPLY).
3. THICKNESS—NOT LESS THAN SIX (6) INCHES.
4. WIDTH—TEN (10) FEET MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL PORTS OF INGRESS OR EGRESS LOCUS.
5. FILTER CLOTH—WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE USE.
6. SURFACE WATER—ALL SURFACE WATER FLOWING ON OR OVER THE RAMP SHALL BE DIRECTED TOWARD CONSTRUCTION DISTANCE.
7. MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND NECESSARY FOR CLEARANCE OF ANY OBSTACLES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLER, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING—WATER SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



2 CURB INLET SEDIMENT FILTER (NOT TO SCALE)

1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ABUTTING THE CURB AT EITHER SIDE OF THE INLET OPENING.
2. A 2" INCH BY 4" INCH GRID SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (INTERIOR OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS, DRIVEN WIRE OR HARDWARE CLOTH WITH 1/2-INCH OPENINGS SHALL BE USED).
5. TWO TO THREE INCH STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BARRIER AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.



3 EARTH DIKE DETAIL (NOT TO SCALE)

Construction Specifications

1. All perimeter dikes/walls shall have an uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to an undisturbed stabilized area of a non-erosive velocity.
3. Runoff diverted from an undisturbed area shall outlet into an undisturbed stabilized area of a non-erosive velocity.
4. The swale shall be excavated or shaped to line, grade, and cross-section as required to meet the criteria specified in the blueprint.
5. Fill shall be compacted by earth moving equipment.
6. Stabilization with seed and mulch if as specified of the area disturbed by the dike and grade shall be completed within 7 days upon removal.
7. Inspection and required maintenance shall be provided after each rain event.

Note: The maximum drainage area for this practice is 2 acres.
U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE KEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEVICE OR MEASURE WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCES TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEED OR SOODED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISBURSANCE.
9. ANY STOPPING, REGARDLESS OF LOCATION ON SITE, SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
10. AFTER BARS OR SIGNS THERE IS NEED FOR GROUNDWORK TO PROTECT EROSION AND SEDIMENT RUNOFF FROM COALING, SUCH AS SEED SOIL, FERTILIZER, BROADCASTING OR MULCH, ETC.
11. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVAL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.

SEQUENCE OF CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND FLOW TO THE ENTRANCE.
3. INSTALL SILT FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE EXPOSED FOR MORE THAN 7 CALENDAR DAYS. REPAIR AS NECESSARY. TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SITUATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.



4 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

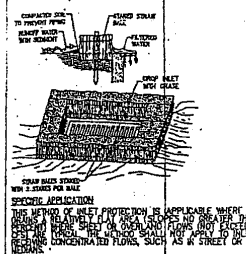
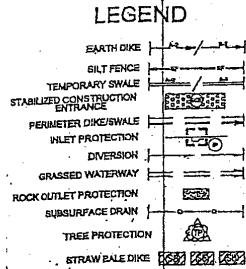
1. MONY WIRE FENCE TO BE FASTENED SECURELY TO FOUR POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ARE USED EACH OTHER SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED FROM "BULGE" DEVELOP IN THE SILT FENCE.

POSTS: STEEL, EITHER T OR U TYPE, 1/2" X 2" HANDWOOD
FENCE: WOVEN WIRE, 14 1/2 GAGE, 1" MAX. MESH OPENING
FILTER CLOTH: FILTER X, 40-60, 1000, 24" X 144" OR APPROVED EQUIV.
PRE-FABRICATED UNIT: CECOFAS, ENVIRONMENTAL, ON APPROVED EQUIV.

PLAN NUMBER

THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURE SHOWN HEREON. HE SHALL NOTIFY THIS OFFICE AT (202)637-4100 AT LEAST 24 HOURS BEFORE START OF GRADING ACTIVITY AND WITHIN TWO WEEKS AFTER COMPLETION OF PROJECT FOR FINAL INSPECTION.

SEDIMENT AND EROSION CONTROL PLAN & DETAILS



5 STRAW BALE DROP INLET SEDIMENT FILTER (NOT TO SCALE)

6 STRAW BALE DIKE DETAIL (NOT TO SCALE)

- CONSTRUCTION SPECIFICATIONS
1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE GROUND AND IN A ROW WITH EACH BALE TIGHTLY ABUTTING THE ADJACENT BALE.
 2. EACH BALE SHALL BE SUBMERGED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THAT BARRIERS ARE HORIZONTAL.
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY OTHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PERMANENT LAD BALE AT AN ANGLE TO FORCE THE BALE TOGETHER. STAKES SHALL BE DRIVEN DEEPER THAN THE BALE.
 4. HORIZONTAL STAKES BE PROVIDED AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSES SO AS NOT TO BLOCK OR IMPED STONE FLOW OR DRAINAGE.

FOUNDATION PERMIT:
1233 MORSE STREET, NE
SQUARE 4099, LOTS 810, 812, & 816

C-1
2 of 2

OFFICE OF THE SURVEYOR

Washington, D.C., *July 11, 2005* *Robert Smith*
DECEMBER 13, 2004

Plat for Building Permit of: SQUARE 4089 SITE PER SUB

Scale: 1 Inch = 20 feet

Receipt No. 15907 21108

Furnished to: TAIWO DEMUREN

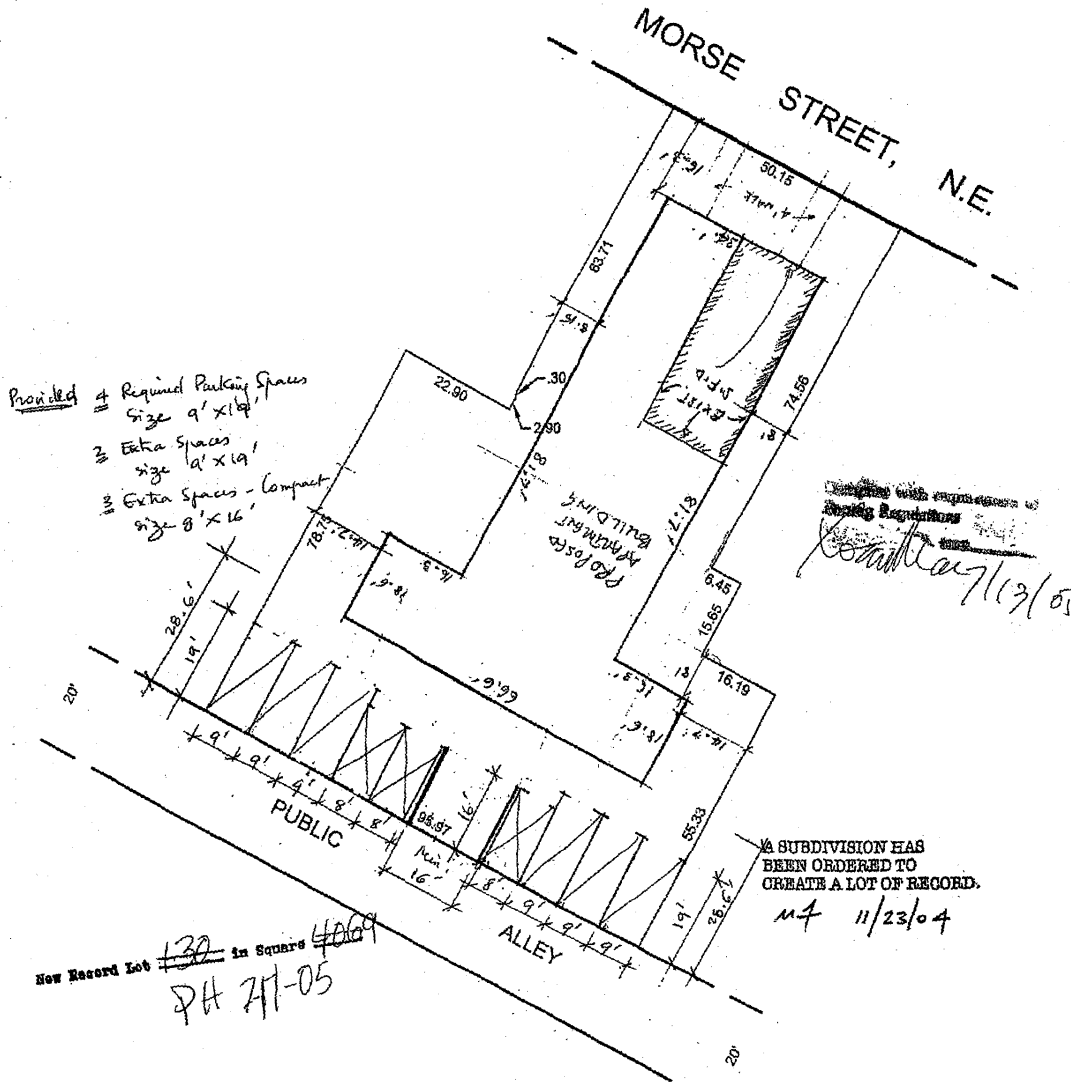
I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Robert Smith
Surveyor, D.C.

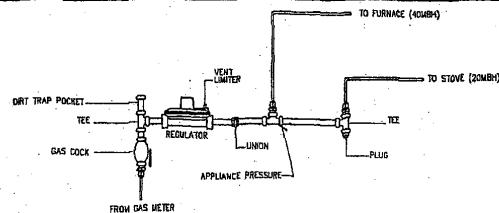
Date: 3/20/05

[Signature]
(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

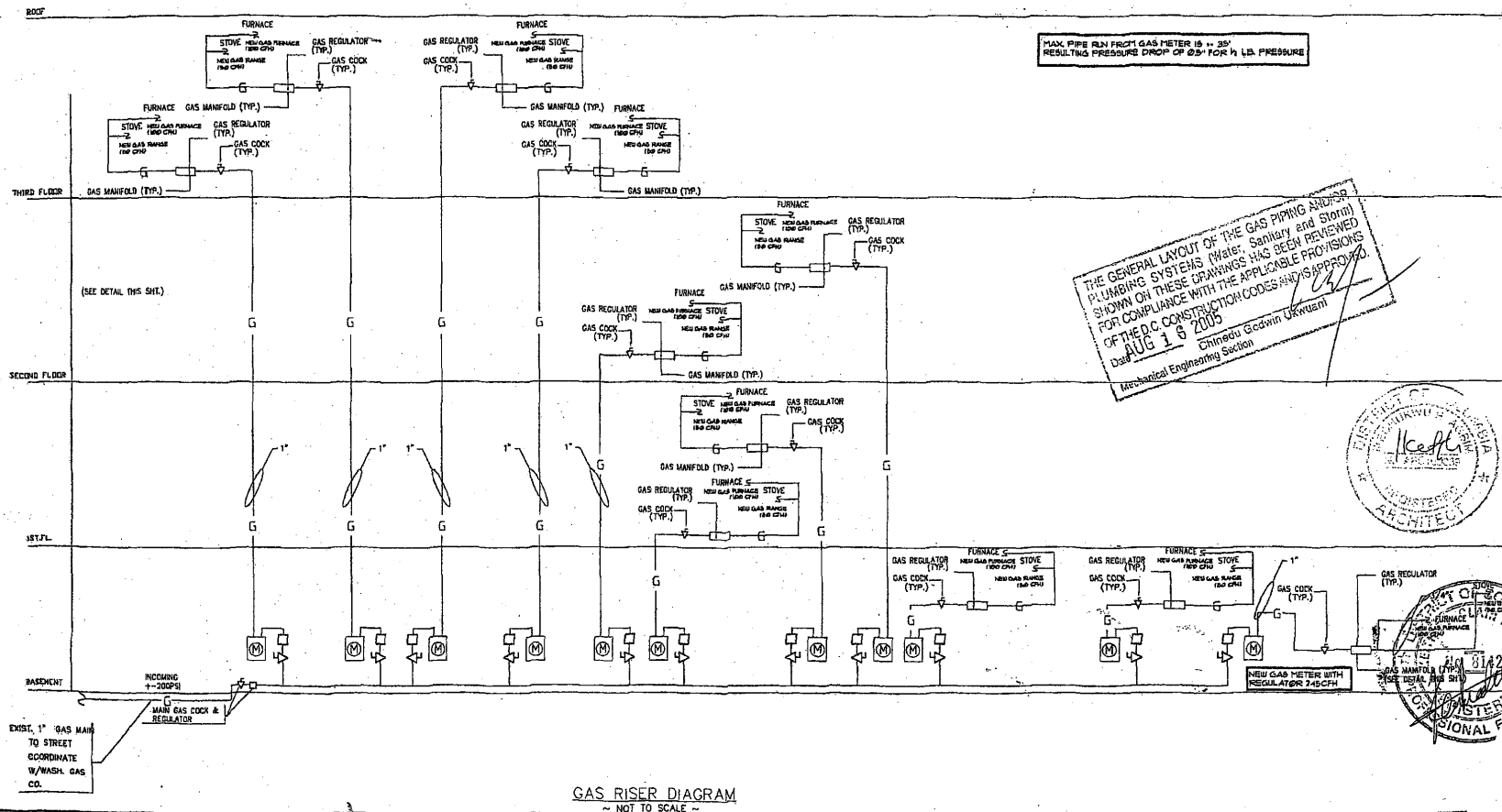


GAS MANIFOLD DETAIL
NO SCALE



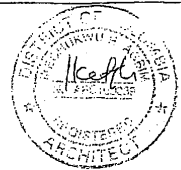
NOTES:

- BLOC SERVICE REGULATOR AND COCK SHALL BE SELECTED TO MATCH THE TOTAL LOAD (CFH) WITH OUTLET SET PRESSURE OF 5.5" W.C. 0.003" W.C. PRESSURE DROP.
- ALL METERS SHALL BE INSTALLED BY WASH. GAS CO.
- HORIZONTAL MAINS AND VERTICAL RISERS SHALL BE SCHEDULE 40 SCHEDULE BLACK STEEL.
- PROVIDE SLEEVES WHERE GAS PIPING PASSES THROUGH MASONRY WALLS, FLOORS AND CEILINGS.
- MASTER PLUMBER/GAS FITTER SHALL TEST ALL WORK.
- DORA SHALL INSPECT, APPROVE ALL WORK.



MAX PIPE RUN FROM GAS METER IS 11.35'
RESULTING PRESSURE DROP OF 0.3" FOR 1 LB. PRESSURE

THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinweu Godwin Ukwant
Mechanical Engineering Section



GAS RISER DIAGRAM
~ NOT TO SCALE ~



UNIVERSITY OF COLUMBIA
HUMANIT PROGRAMS DIVISION
STRUCTURAL WORK BY GENERAL
INTERVIEW SUBJECT TO THE
FURTHER APPROVAL OF CONGRESS

SEP 06 2008

FOUNDATION PERMIT:
1233 MORSE STREET, NE
ATLANTA, GA 30316

S.

THE FOUNDATION DESIGN OF THIS BUILDING WAS BASED ON
A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1500 psf

ANY FILL REQUIRED BELOW SLABS ON GRADE OR BELOW FOOTINGS SHALL BE COMPACTED AS REQUIRED.

ALL EXTERIOR FOOTINGS SHALL EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN THE EVENT THAT THE SITE CONDITIONS ENCOUNTERED VARY FROM THOSE SHOWN ON PLANS.

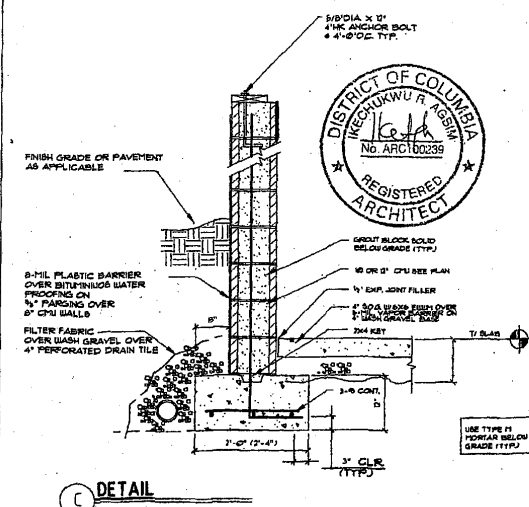
ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITIONS.

ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED AS RECOMMENDED BY ACI 318.

REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL REINFORCING AND ACCESSORIES SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARD 315-80 AND 318-80.

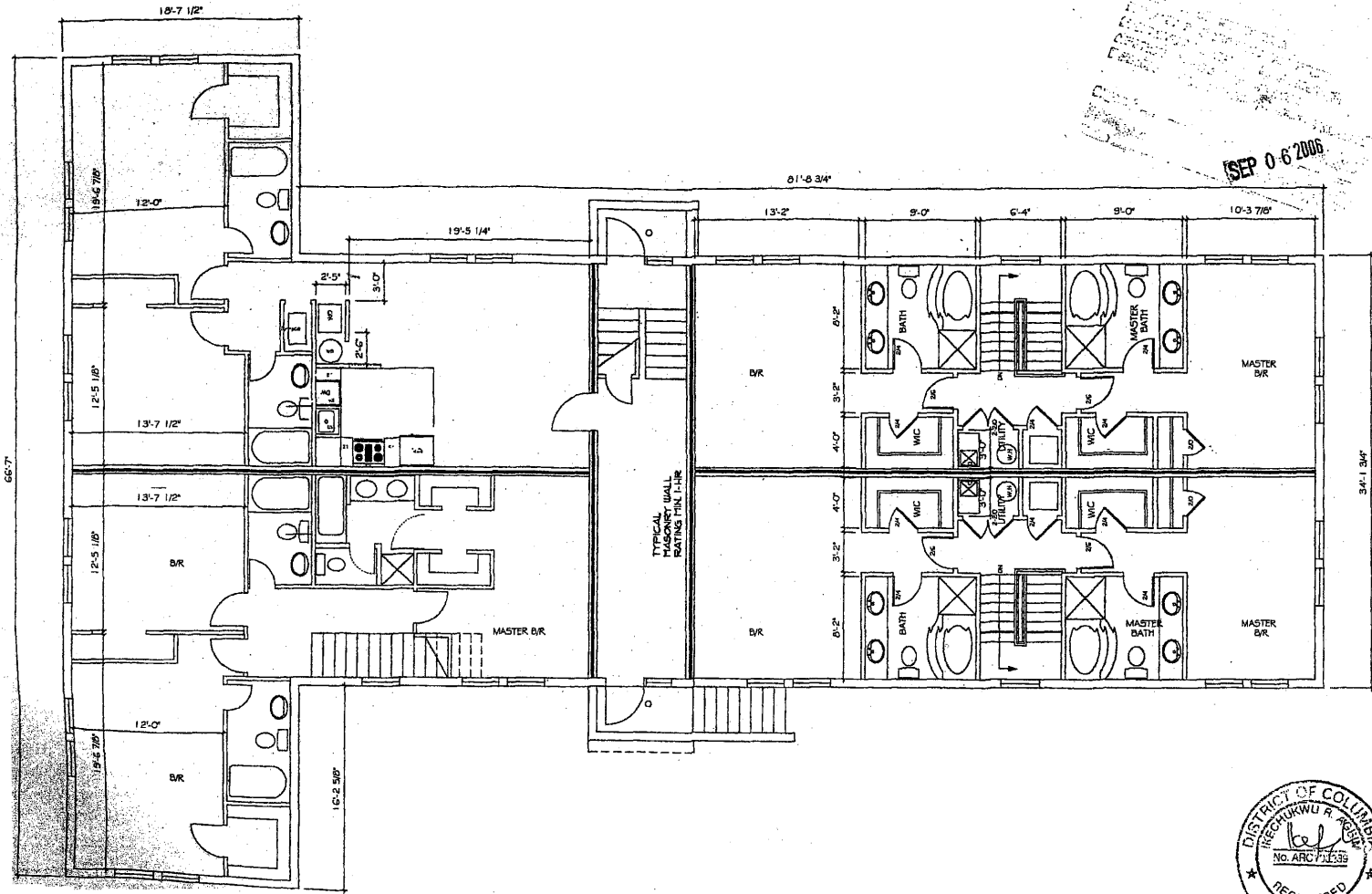
PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT
AT POSITIONS SHOWN ON THE PLANS AND DETAILS. PLASTIC COATED
ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.

THE GENERAL CONTRACTOR SHALL CHECK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THE SUB-CONTRACTORS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, INSERTS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO THE CONCRETE WORK AND SHALL ASSUME RESPONSIBILITY FOR THEIR PROPER LOCATION.



FOUNDATION PERMIT:
1233 MORSE STREET, NE
SQUARE 4089, LOTS 810, 812, & 816

S-2

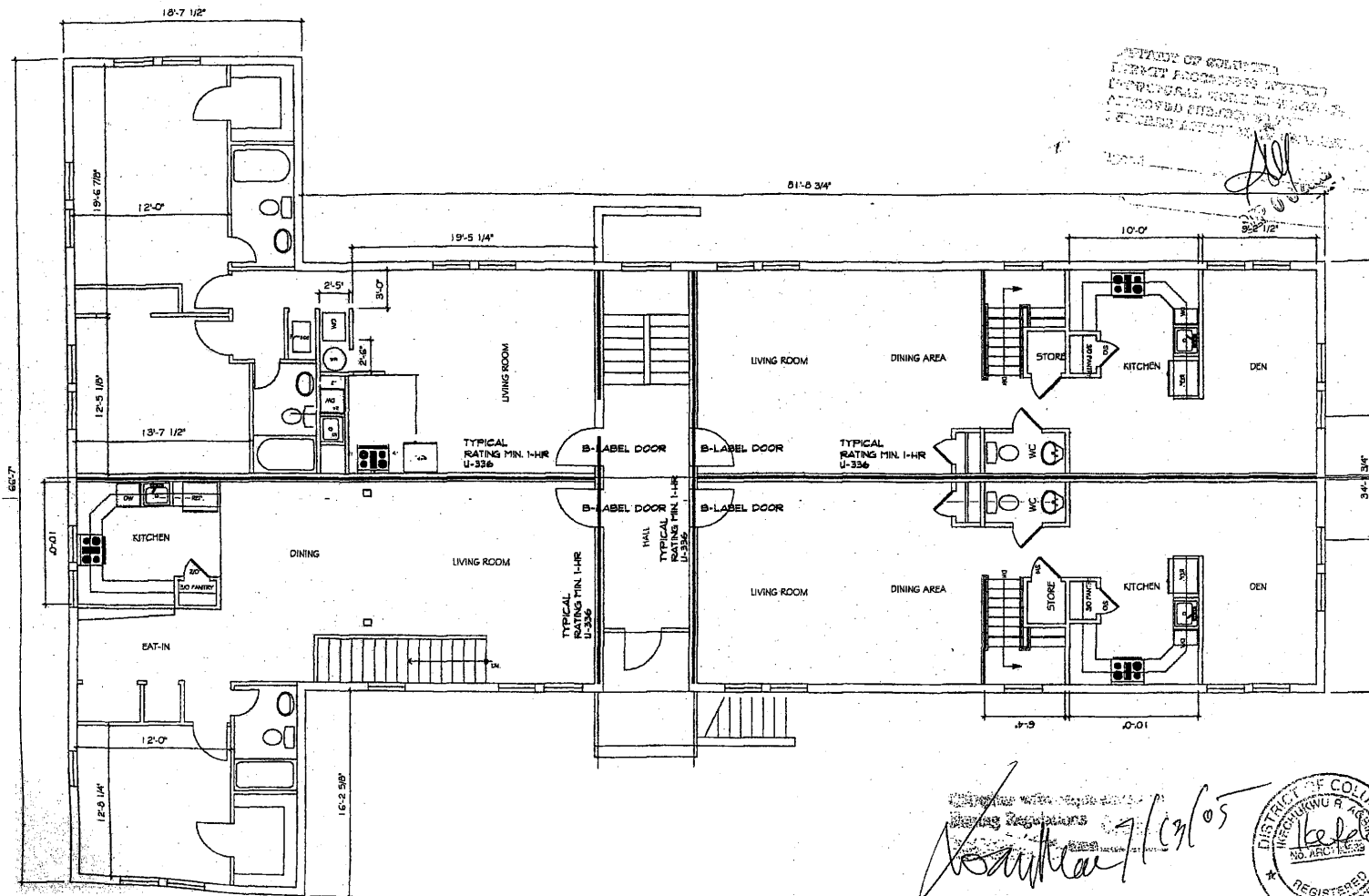


1 BASEMENT PLAN



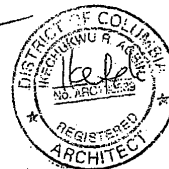
BUILDING PERMIT:
1235 MORSE STREET, NE

A-1



1 FIRST FLOOR PLAN

Handwritten signature and date: 7/19/05



BUILDING PERMIT:
1233 MORSE STREET, NE

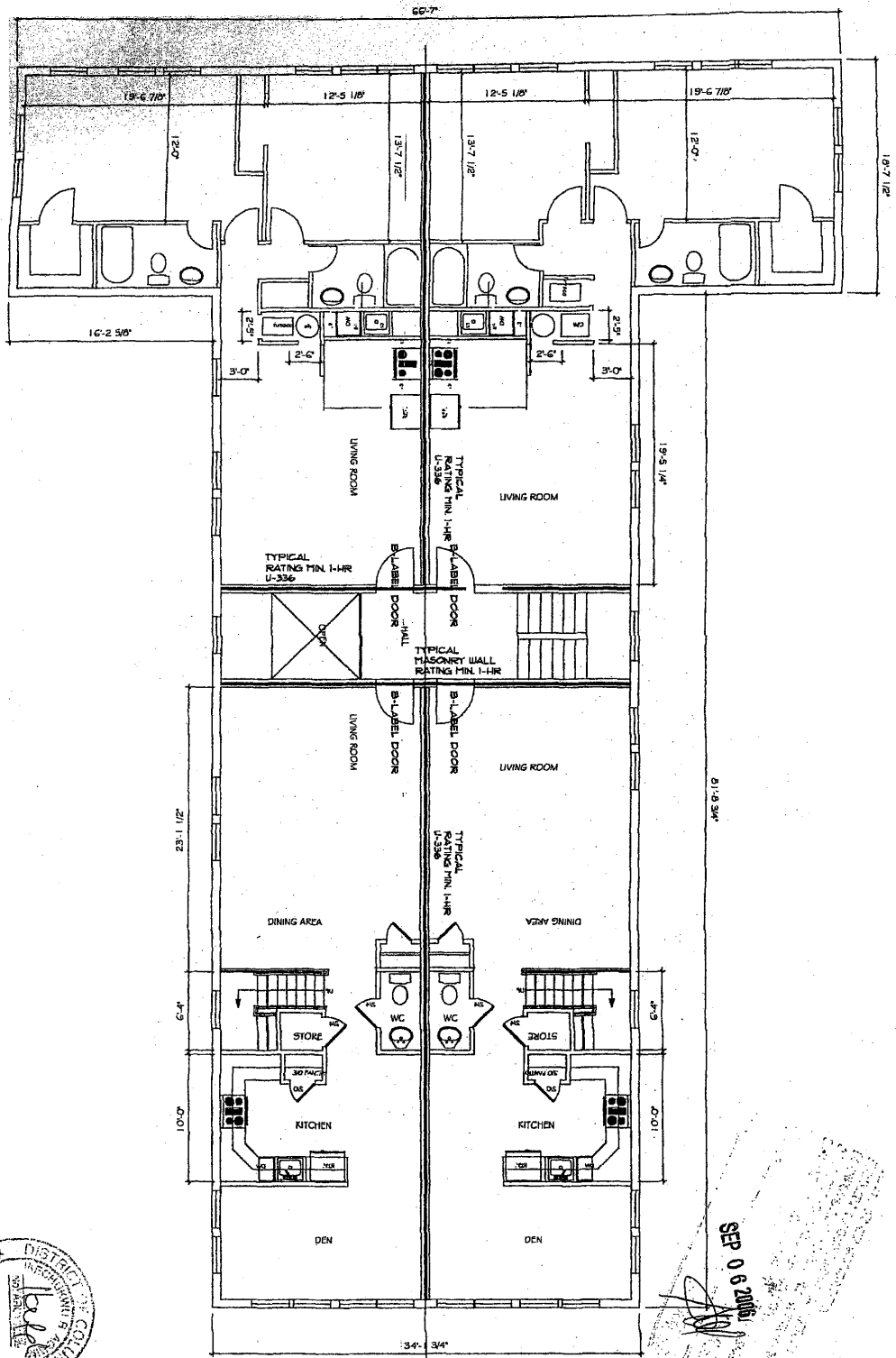
A-2

1 SECOND FLOOR PLAN

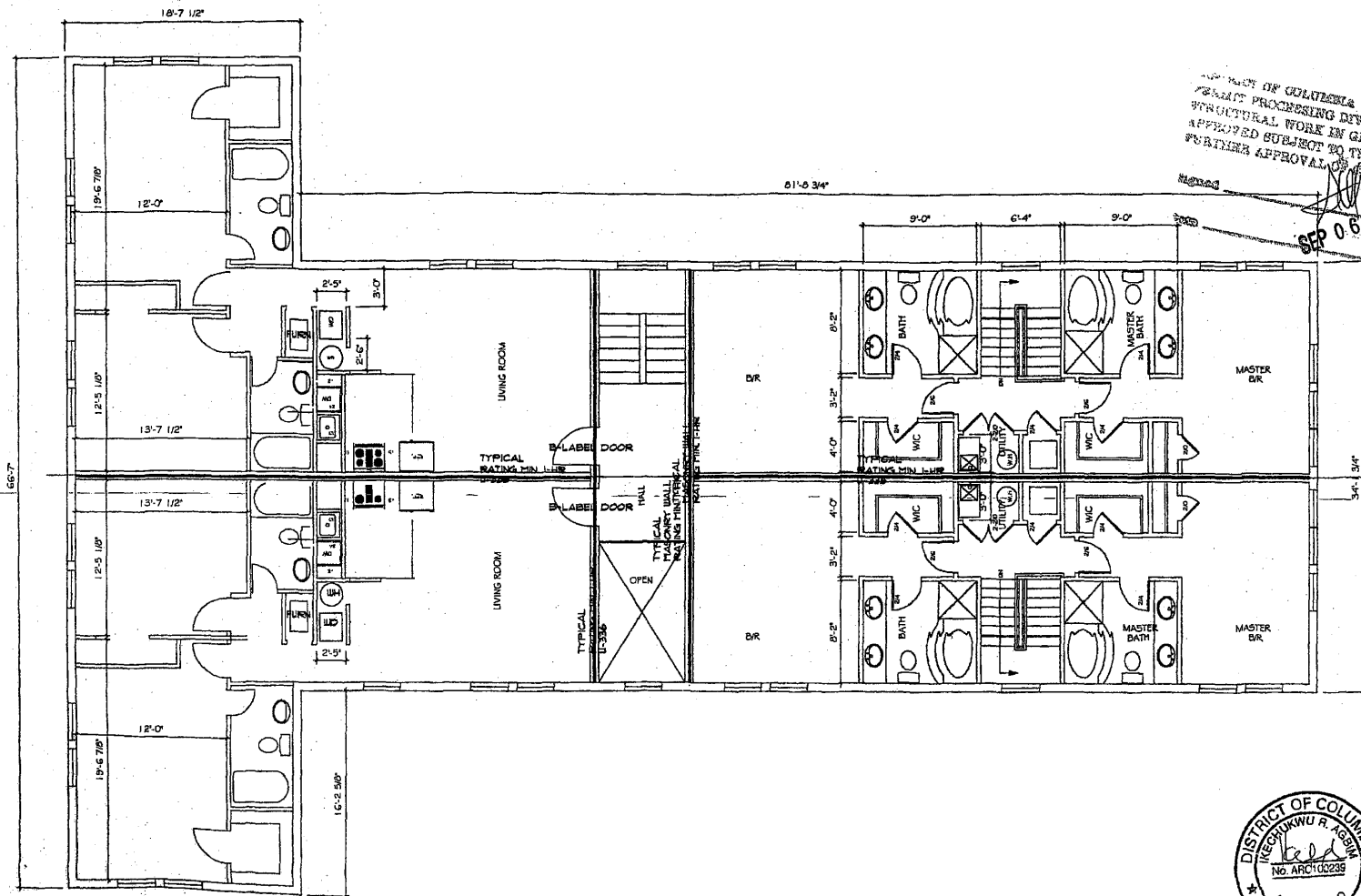


BUILDING PERMIT:
1233 MORSE STREET, NE

A-3



SEP 06 2006



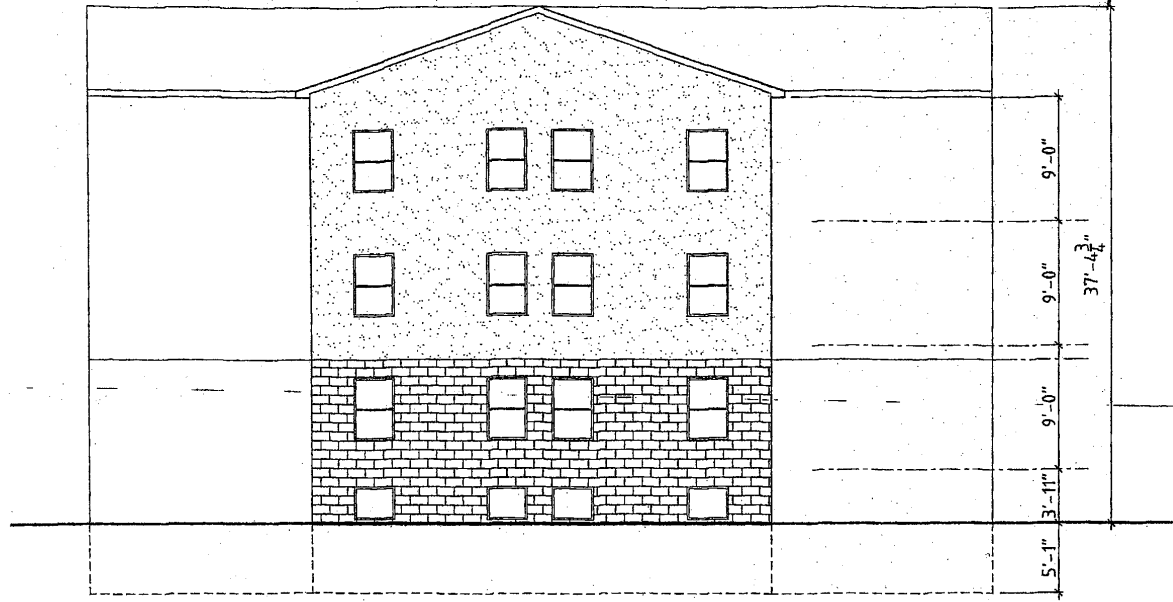
DEPT OF COMMERCE
PLANT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF COMMERCE

1 THIRD FLOOR PLAN



BUILDING PERMIT:
1253 MORSE STREET, NE
SQUARE 4049. LOT

A-4



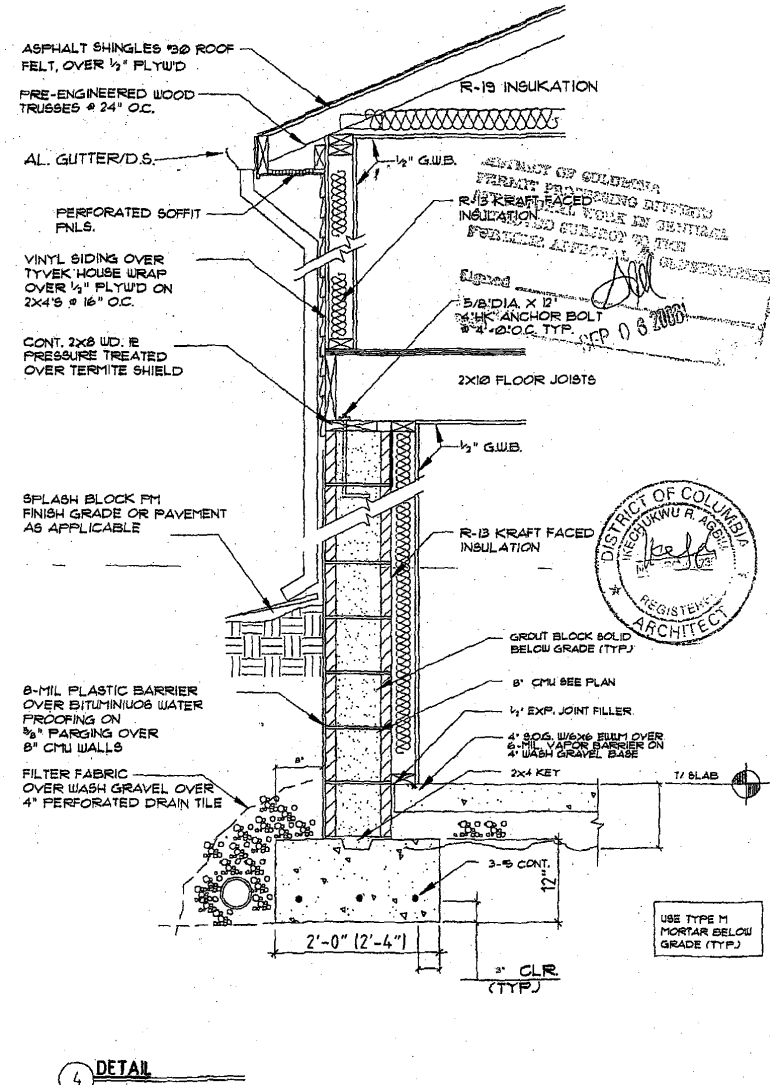
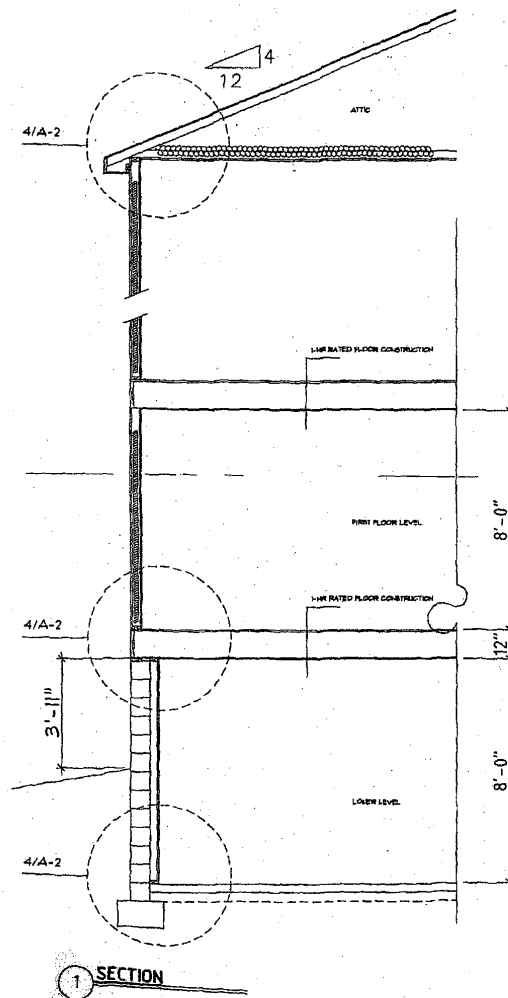
1 FRONT ELEVATION

DISTRICT OF COLUMBIA
 PERMIT PROCESSING DIVISION
 STRUCTURAL WORK IN GENERAL
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 SIGNED _____
 SEP 06 2008

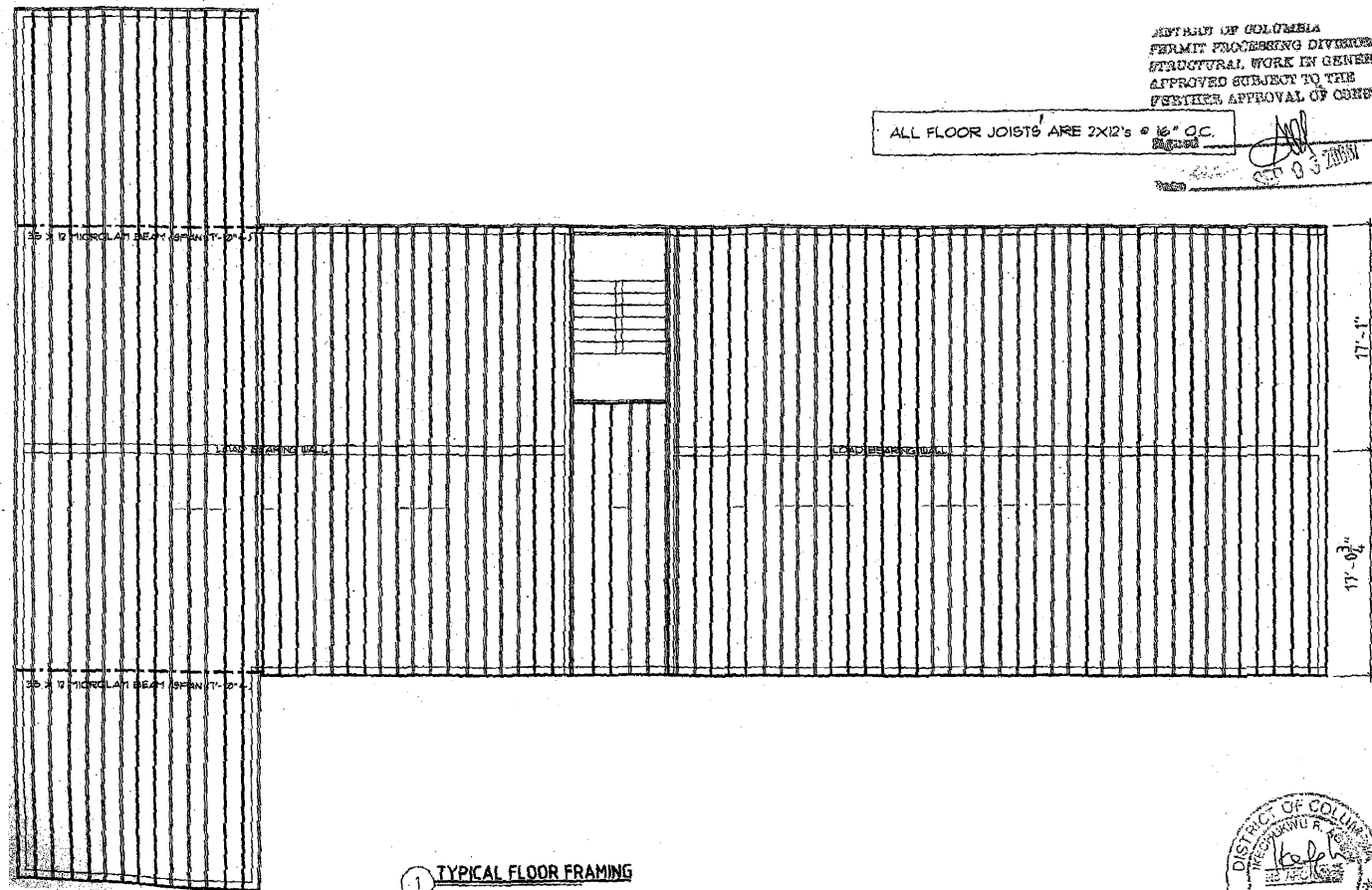


BUILDING PERMIT:
 1233 MORSE STREET, NE
 CANTINE AREA 1 CT

A-4:



BUILDING PERMIT:
1233 MORSE STREET, NE
ATLANTA, GA 30309
A-5



1 TYPICAL FLOOR FRAMING

ALL FLOOR JOISTS ARE 2X12's @ 16" O.C.

DEPT. OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION

SEP 9 3 2009



BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4089, LOT

A-5.

12" O.H. TYP.

18'-7 $\frac{1}{2}$ "

ALL ROOF TRUSSES ARE PRE-ENGINEERED
BY THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSTRUCTION DIVISION
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF THE DISTRICT OF COLUMBIA

STICK FRAME BUILT-UP AREA
WITH 2X4 @ 24" O.C.

APPROVED

[Signature]

12" O.H. TYP.

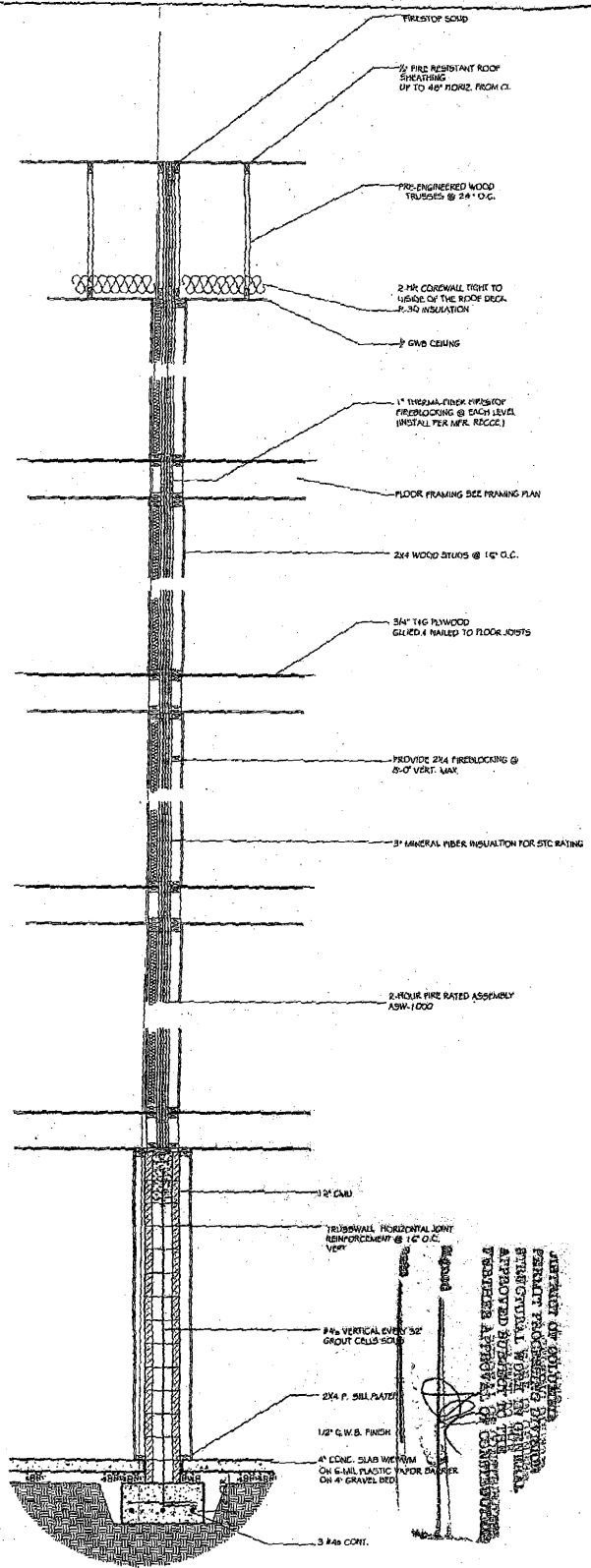
34'-7 $\frac{1}{4}$ "

1 ROOF FRAMING



BUILDING PERMIT:
1233 MORSE STREET, NE
COLUMBIA 4000, LOT

A-6


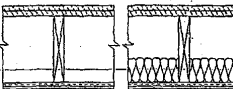
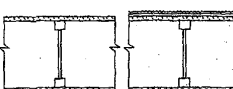


DETAIL @ PARTY WALL
U-336

LETTER OF CORRECTION
FURNISH PROPOSED REVISIONS
STANDARD WORK FOR THE
APPROVED SUBJECT TO THE
FURNISH APPROVAL OF THE
CONTRACTOR

A-0

BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4069, LOT

FLOOR-CEILING SYSTEMS, WOOD-FRAMED			
GA FILE NO. FC 5107	PROPRIETARY*	1 HOUR FIRE	55 to 59 FSTC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS, GYPSUM FLOOR UNDERLAYMENT One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W screws. Wood joists supporting 1/2" plywood subfloor and 3/4" 1000 psi sanded gypsum floor underlayment.			
PROPRIETARY GYPSUM BOARD BPB America Inc. - 5/8" ProRoc™ Type C Gypsum Panels G-P Gypsum - 5/8" ToughRock® Fireguard® C Lafarge North America Inc. - 5/8" Firecheck® Type C National Gypsum Company - 5/8" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Wallboard PARCO Gypsum - 5/8" FLAME CURB® Super 'C' Temple-Inland Forest Products Corporation - 5/8" TG-C United States Gypsum Company - 5/8" SHEETROCK® Brand Gypsum Panels, FIRECODE® C Core		Approx. Ceiling Weight: 3 psf Fire Test: UL R1319-65, 11-16-64, UL Design L514 Field Sound Test: INTEST 5-761-3, 12-5-77	
GA FILE NO. FC 5110	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM LATH, GYPSUM PLASTER, RESILIENT CHANNELS 1/2" 1-2-1-3 gypsum-sand plaster applied over 3/8" type X gypsum lath applied at right angles to resilient furring channels 16" o.c. with three 3/8" Type S drywall screws at each furring channel 3" wide woven wire strips applied over gypsum lath and parallel to and directly over resilient channels with 7/8" Type S drywall screws with diamond washers 16" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/4" heads. Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor.			
Sound tested with 3" glass fiber insulation batts in joist space, sound deadening felt, and carpet and pad. A face layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.		Approx. Ceiling Weight: 6.25 psf Fire Test: SFT-42, 5-7-66 Sound Test: CK 6712-5, 6-9-67 (68 C & P) IIC & Test: CK 6712-5, 6-9-67	
GA FILE NO. FC 5111	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS Base layer 3/8" type X gypsum wallboard applied at right angles to resilient channels 16" o.c. with 1 1/4" Type S drywall screws 12" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W screws. Face layer 1/2" type X gypsum wallboard applied at right angles to channels with 1 1/4" Type S drywall screws. Face layer end joints located midway between channels and attached to base layer. 1/2" Type W screws 12" o.c. Edge joints offset 24" from base layer edge. 1/2" oriented strand board applied at right angles to 1-2-1-3 gypsum-sand plaster applied over 3/8" type X gypsum lath applied at right angles to resilient channels 16" o.c. with three 3/8" Type S drywall screws at each furring channel 3" wide woven wire strips applied over gypsum lath and parallel to and directly over resilient channels with 7/8" Type S drywall screws with diamond washers 16" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/4" heads. Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor.			
1/2" carpet over 1/4" foam pad.		Approx. Ceiling Weight: 5 psf Fire Test: NRCC A-4440.1 (Revised), 6-24-97 Sound Test: NRCC B-3150.2, 6-30-00 (68 C & P) IIC & Test: NRCC B-3150.2, 6-30-00	

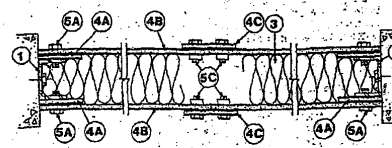
*For manufacturer for more detailed information on proprietary products.

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684

FIRE RESISTANCE DIRECTORY (BXRH)

FIRE RESISTANCE RATINGS - ANSI/UL263 (BXUV)—Continued

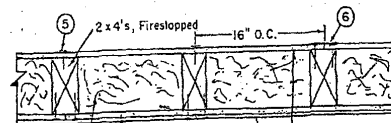


VERTICAL SECTION (HORIZONTAL JOINTS)

1. Floor, Ceiling and Side Channels—Channel-shaped, nominal 3 in. wide with nominal 2 in. legs fabricated from 1/4 in. pressed mild steel.
2. Support Channels—Channel-shaped, nominal 3 in. wide with nominal 3-1/4 in. legs fabricated from 1/4 in. thick rolled mild steel.
3. Batts and Blankets—Mineral wool batts, minimum 10 lb/cu ft and nominal 4 in. thick.
USG Interiors, Inc.
4. Units Partition Panels—Nominal 3/8 in. thick insulated panels supplied as fillets, sheets, and cover profiles.
 - A. Fillets—Nominal 3/8 in. thick by 3-1/2 in. wide insulated panels installed over the steel channels.
 - B. Sheets—Nominal 3/8 in. thick by 36 in. wide insulated panels installed on both surfaces of the mineral wool.
 - C. Cover Profiles—Nominal 3/8 in. thick by 4 in. wide insulated panels installed over the vertical and horizontal joints.
5. Fasteners—Various size, as described below, hex bolts used to secure the fillets, sheets, and cover profiles to the steel supports.
 - A. Countersunk Bolts—Nominal 1/4 in. diameter by 1 in. long steel countersunk bolts with nominal 1/4 in. diameter steel nuts used to secure the fillets and sheets to the steel channel.
 - B. Hex Bolts—Nominal 5/16 in. diameter by 1-3/8 in. long steel bolts with 5/16 in. diameter nuts spaced 12 in. O.C. used to secure the fillets and sheets to the steel channel. (Item No. 1)
 - C. Hex Bolts—Nominal 5/16 in. diameter by 1-3/4 in. long steel hex bolts with 5/16 in. diameter nuts spaced maximum 12 in. O.C. used to secure the fillets, sheets and cover profiles to the support channel. (Item No. 2)
 - D. Hex Bolts—Nominal 5/16 in. diameter by 1-3/8 in. long hex bolts with 5/16 in. diameter steel nuts spaced 6 in. O.C. used to secure the cover profiles into the sheets.

*Bearing the UL Classification Marking

Design No. U032
Bearing Wall Rating—1 HR.



1. Hard board Paneling—Mineral and Fiber Boards—Untreated panels nom 7/16 or 1/2 in. thick, 6 to 48 in. wide. Ship lapped panel sidings are fastened to framing members with 10d rust-resistant nails thru the lap spaced 6 in. O.C. vertically. Butted panel siding fastened to framing members with 10d nails 3/8 in. from edge spaced 6 in. O.C. vertically. Lap sidings fastened to framing members with 12d nails 3/8 in. from edges spaced 16 in. O.C. horizontally. (Aluminum joint molding as required for lap products).
- 1A. In lieu of Item 1, the following Molded Plastic* may be used: Solid vinyl siding mechanically secured to framing members in accordance with manufacturer's recommended installation instructions.
Associated Materials, Inc. Div. of Alside
Gentek Building Products Ltd.
Heartland Building Products.

LOOK FOR THE UL MARK ON PRODUCT

FIRE RESISTANCE DIRECTORY (BXRH)

FIRE RESISTANCE RATINGS - ANSI/UL263 (BXUV)—Continued

Vytec Corp.

2. Wallboard, Gypsum—Nom 5/8 in. thick gypsum sheathing sup min 2 ft wide sheets, installed horizontally. Attached to each wall with 2 in. long 6d nails spaced vertically 8 in. O.C.
See Wallboard, Gypsum (CKNX) category for non manufacturers.
3. Batts and Blankets—Min. 3 in. thick mineral or glass fiber ba
See Batts and Blankets (BZJZ) category for non manufacturers.
4. Wallboard, Gypsum—Nom 5/8 in. thick wallboard, with b square or tapered edges. Wallboard nailed 7 in. O.C. with 6d nails in. long. When used in widths other than 48 in., wallboard is installed horizontally.
See Wallboard, Gypsum (CKNX) category for non manufacturers.
5. Nailheads—Covered with joint compound.
6. Joints—Covered with paper tape and joint compound.

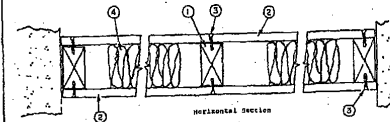
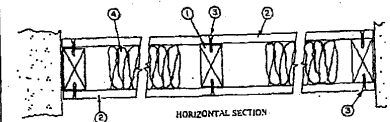
*Bearing the UL Classification Marking

Design No. U036

Nonbearing Wall Rating—1 or 2 HR.

(See Item 2)

Finish Rating—13 min (See Item 2)

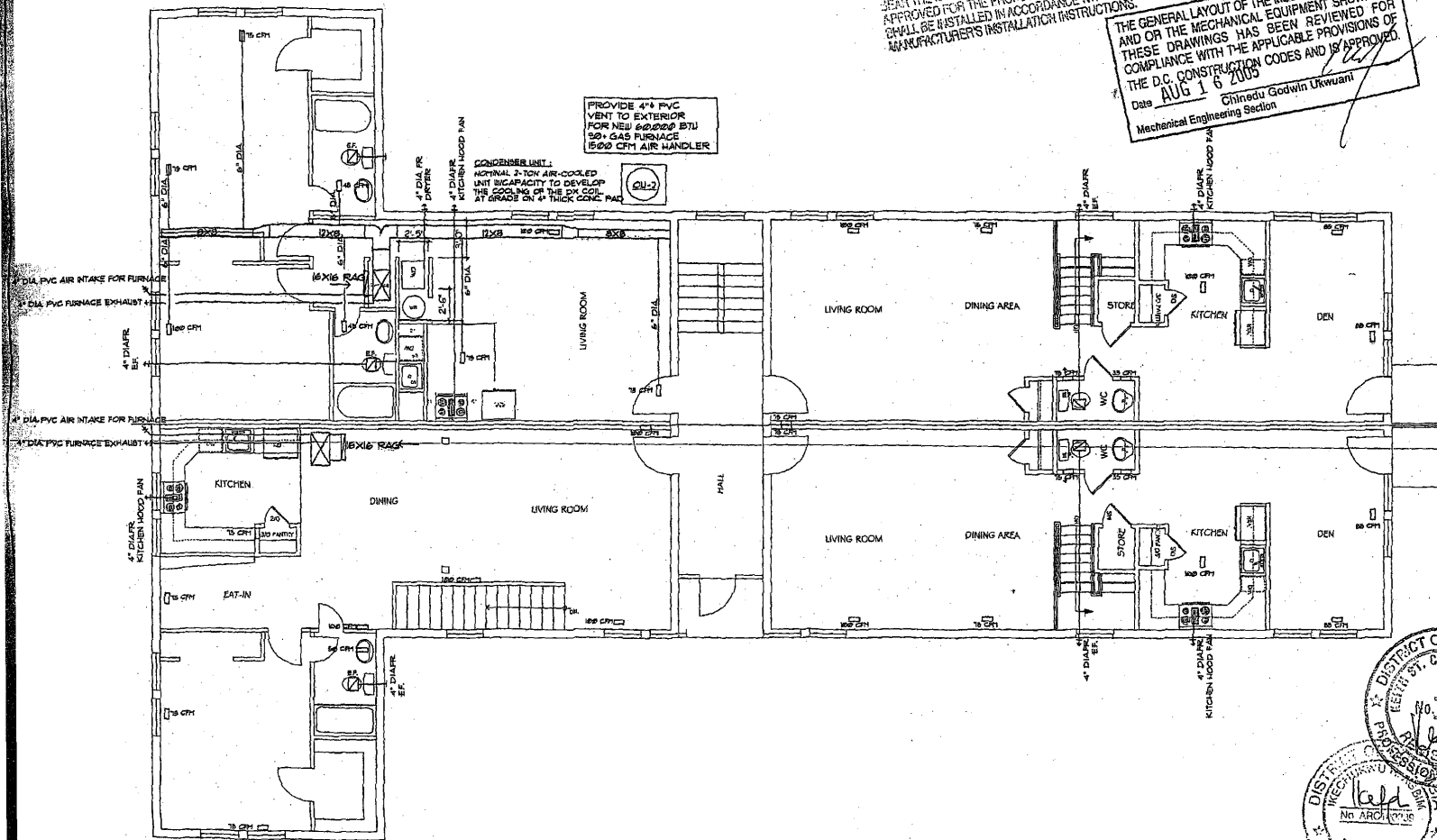


1. Wood Studs—Nom 2 by 4 in., spaced 24 in. O.C.
2. Mineral and Fiber Boards—Board panels nom 0.394 in. (10 mm) for the 1 hr assembly rating and nom 0.591 in. (15 mm) for the assembly rating, 48 in. (1220 mm) wide by 96 in. (2440 mm) long, butted on and fastened to wood studs. The finish rating is for the in. (15 mm) board only.
Eternit Inc.—PROMAT-H.
3. Fasteners—No. 7 by 1-1/4 in. long self-tapping, bugle-head steel s to attach 0.394 in. (10 mm) thick board. No. 7 by 1-5/8 in. self-tapping bugle-head steel screws to attach 0.591 in. (15 mm) board. Screws located at 3/8 in. from edges and spaced 10 in. O.C.
4. Batts and Blankets—Min 3-1/2 in. thick, 4 lb per cu ft mineral batts.

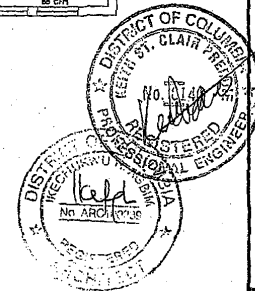
*Bearing the UL Classification Marking

THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS
AND/OR THE MECHANICAL EQUIPMENT SHOWN ON
THESE DRAWINGS HAS BEEN REVIEWED FOR
COMPLIANCE WITH THE APPLICABLE PROVISIONS OF
THE D.C. CONSTRUCTION CODES AND IS APPROVED.

Date AUG 16 2005 *Chinedu Godwin Ukwuan*
Chinedu Godwin Ukwuan
Mechanical Engineering Section



1 FIRST FLOOR PLAN



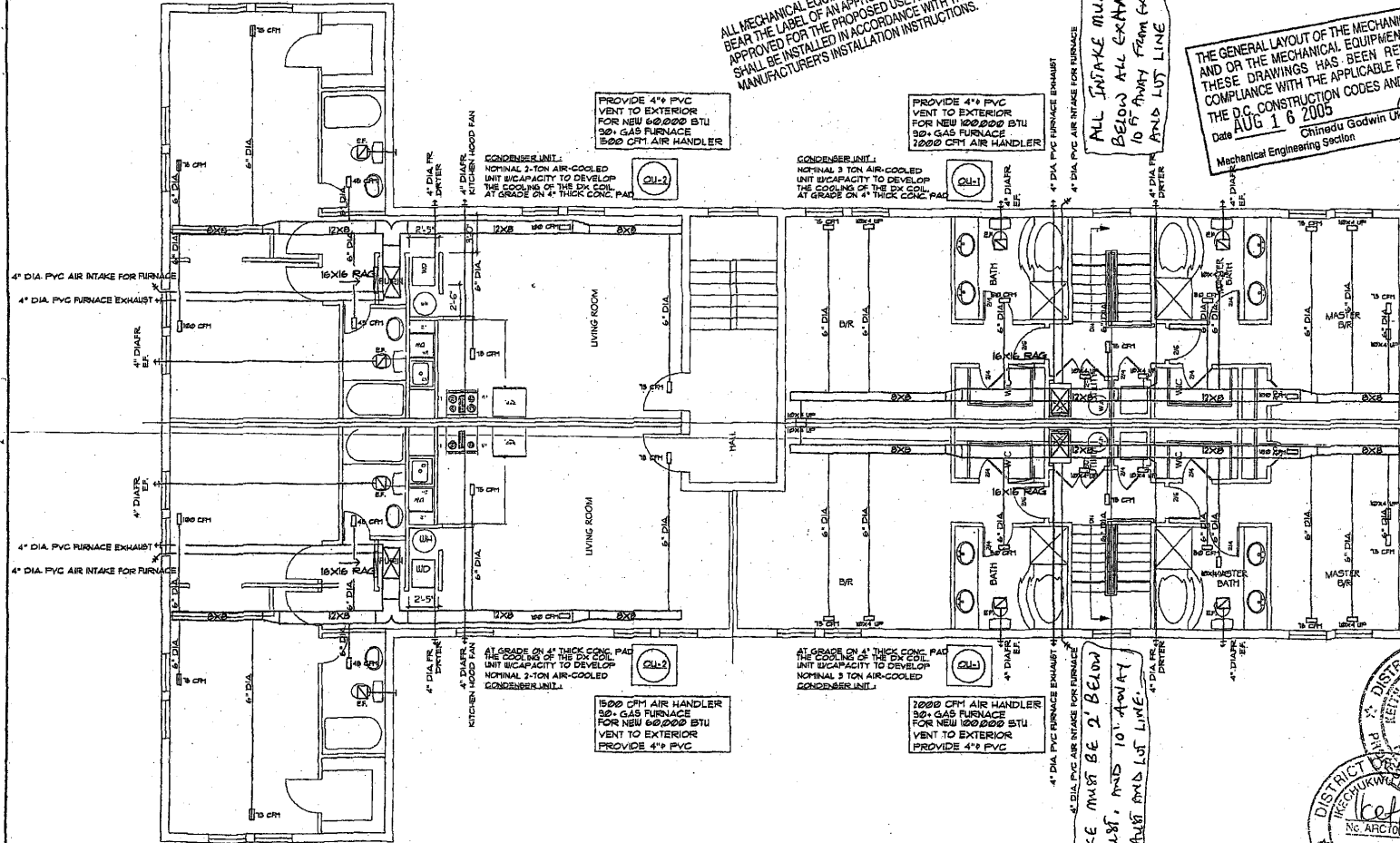
BUILDING PERMIT:
1233 MORSE STREET, NE

M-2

ALL MECHANICAL EQUIPMENT AND/OR APPLIANCES SHALL BEAR THE LABEL OF AN APPROVED AGENCY SHALL BE APPROVED FOR THE PROPOSED USE AND LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

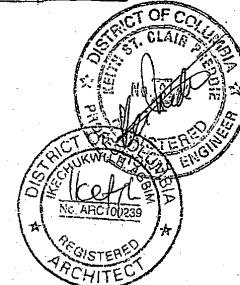
ALL INTAKE MUST BE 2' BELOW ALL EXHAUST AND 10' AWAY FROM EXHAUST AND LOT LINE

THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND/OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinedu Godwin Ukwuani
Mechanical Engineering Section



1 THIRD FLOOR PLAN

ALL INTAKE MUST BE 2' BELOW ALL EXHAUST, AND 10' AWAY FROM EXHAUST AND LOT LINE.



BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4086, LOT

M-4

1 SCOPE - WORK INCLUDES FURNISHING AND INSTALLING FIRST CLASS WORKING SYSTEMS, TESTED READY FOR OPERATIONS, COMPLETE WITH LABOR, MATERIALS, APPARATUS, TRANSPORTATION AND TOOLS REQUIRED FOR THE INSTALLATION IN CONFORMANCE WITH DRAWINGS AND SPECIFICATIONS.

2 COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. ALL DEVICES AND MATERIALS NOT SHOWN ON DRAWINGS BUT REQUIRED BY CODE SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR AT NO ADDITIONAL COST.

ALL ELECTRICAL WORK CONTAINED HEREIN MUST BE DONE BY DC LICENSED ELECTRICAL CONTRACTOR AFTER OBTAINING APPROPRIATE PERMITS FOR THE SAME.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH NEG
CONTRACTOR SHALL PROVIDE NECESSARY GROUND TO EITHER SIDE
OF WATER MAIN OR R.O. 8" DEEP IN GROUND (MIN)

ALL EXISTING CIRCUITS SHALL BE TESTED TO DETERMINE CONDITION
RELIABILITY

ALL EXISTING CUTLETS SHALL BE TESTED AS ABOVE

CIRCUITS, OUTLETS AND OTHER ELECTRICAL INSTALLATION NOT REUSABLE
OR NOT MEETING CURRENT CODE GUIDELINES SHALL BE DISCONNECTED,
CAPPED OFF AND WORK REDONE

EACH CIRCUIT CAN BE LOADED ONLY TO 80% OF RATING.

SWITCHES MUST BE ON HOT SIDE OF CIRCUIT, NOT ON NEUTRAL SIDE

220 VOLT CIRCUITS DO NOT REQUIRE CONNECTION TO NEUTRAL BUSES

USE ONLY #2 AWG WIRE FOR 20AMP CIRCUIT, #0 FOR 30AMP.

ALL CLOSET LIGHT FIXTURES SHALL BE OF THE PULL CHAIN TYPE

ALL EXTERIOR LIGHT FIXTURES SHALL BE EQUIPPED WITH MOTION SENSOR

PANEL SCHEDULE

150A-120/240V-10-3W-MAIN LUGS

ONLY WITH:

6-2P-30A C/B

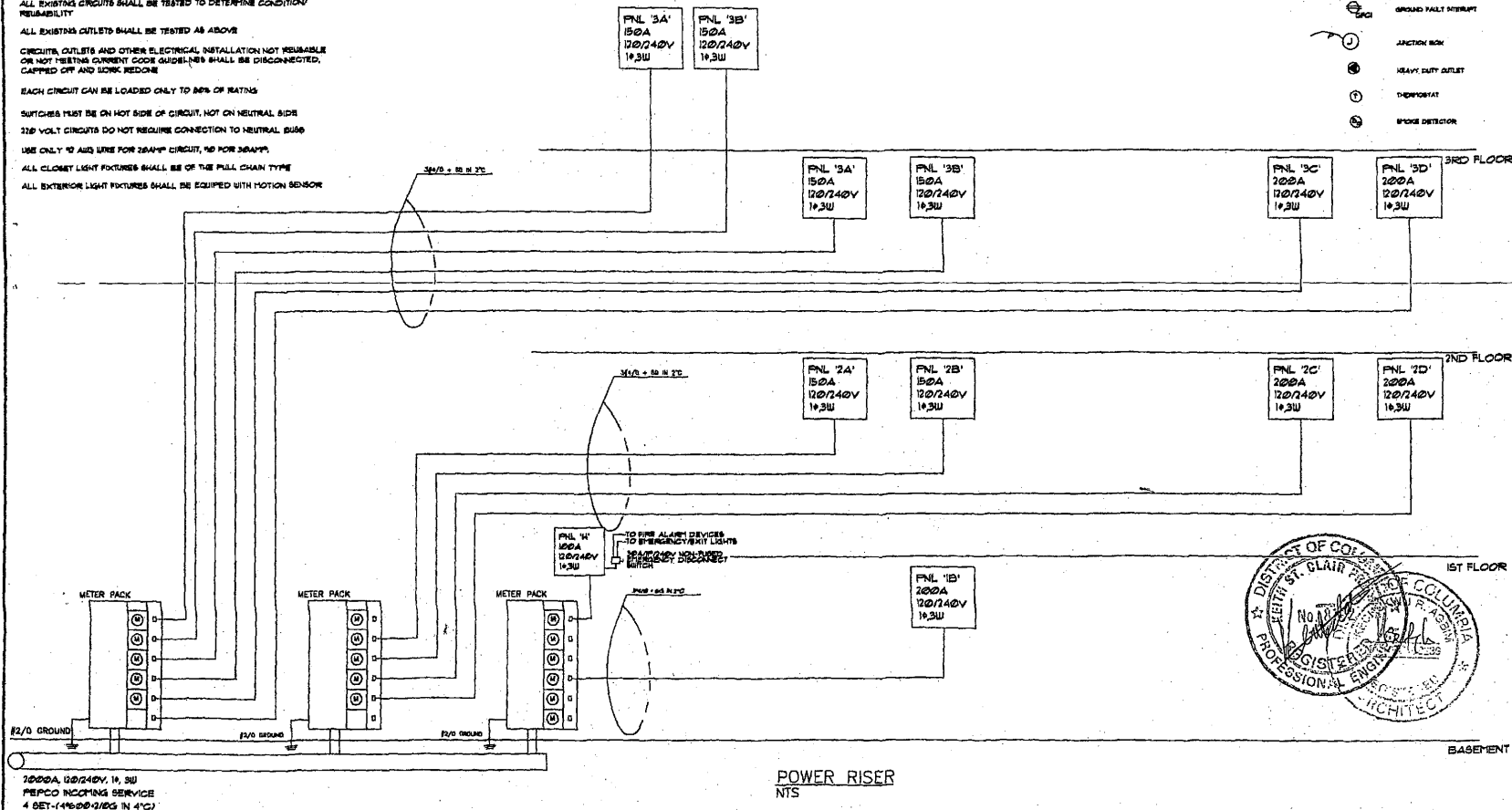
(WIND, UNITS, WASHER/DRYER, WATER HEATER, STOVE)

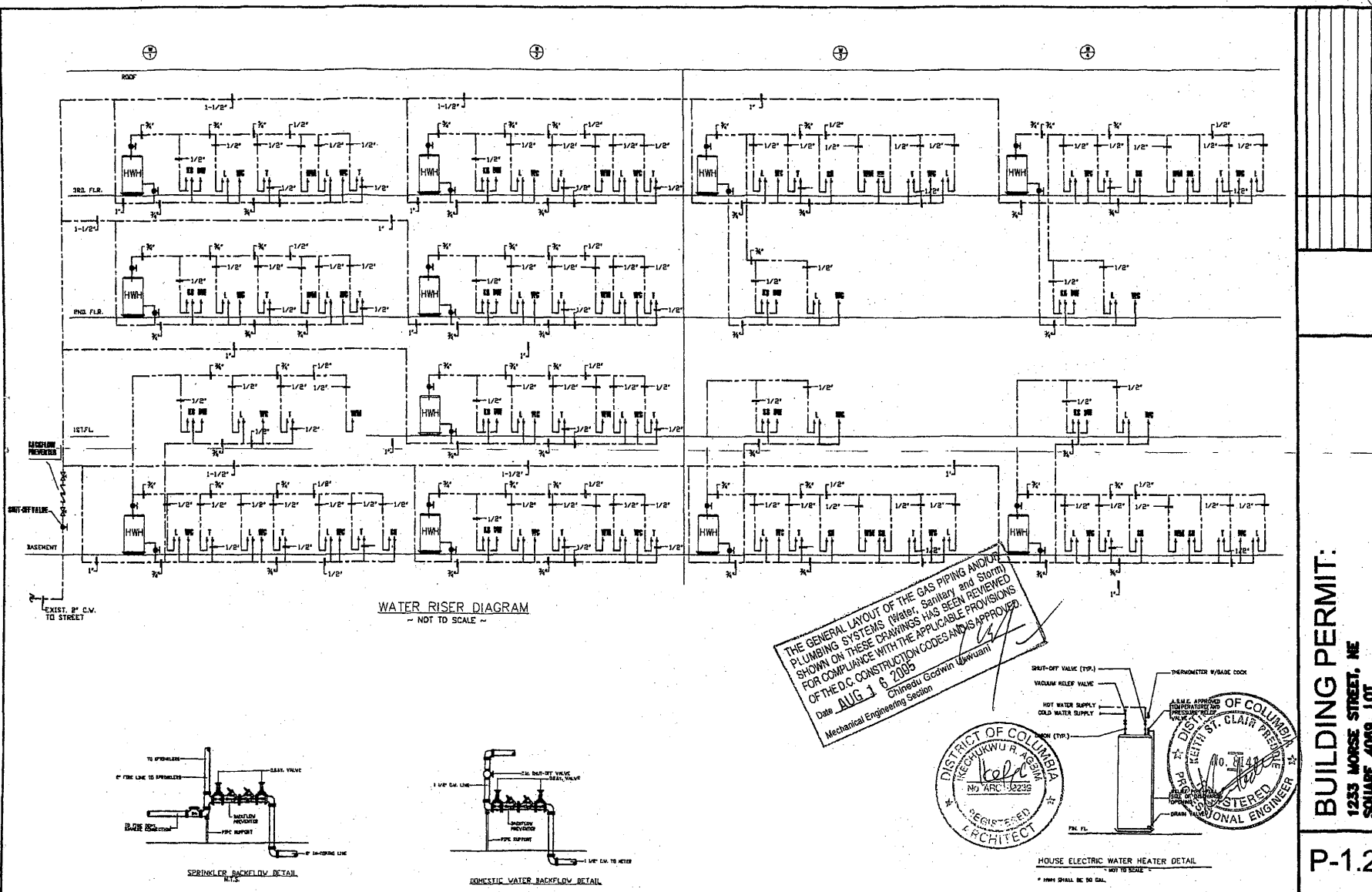
4-1P-20A C/B

(KITCHEN, DINING RECEPTACLE, DISHWASHER)

B-1P-15A C/B

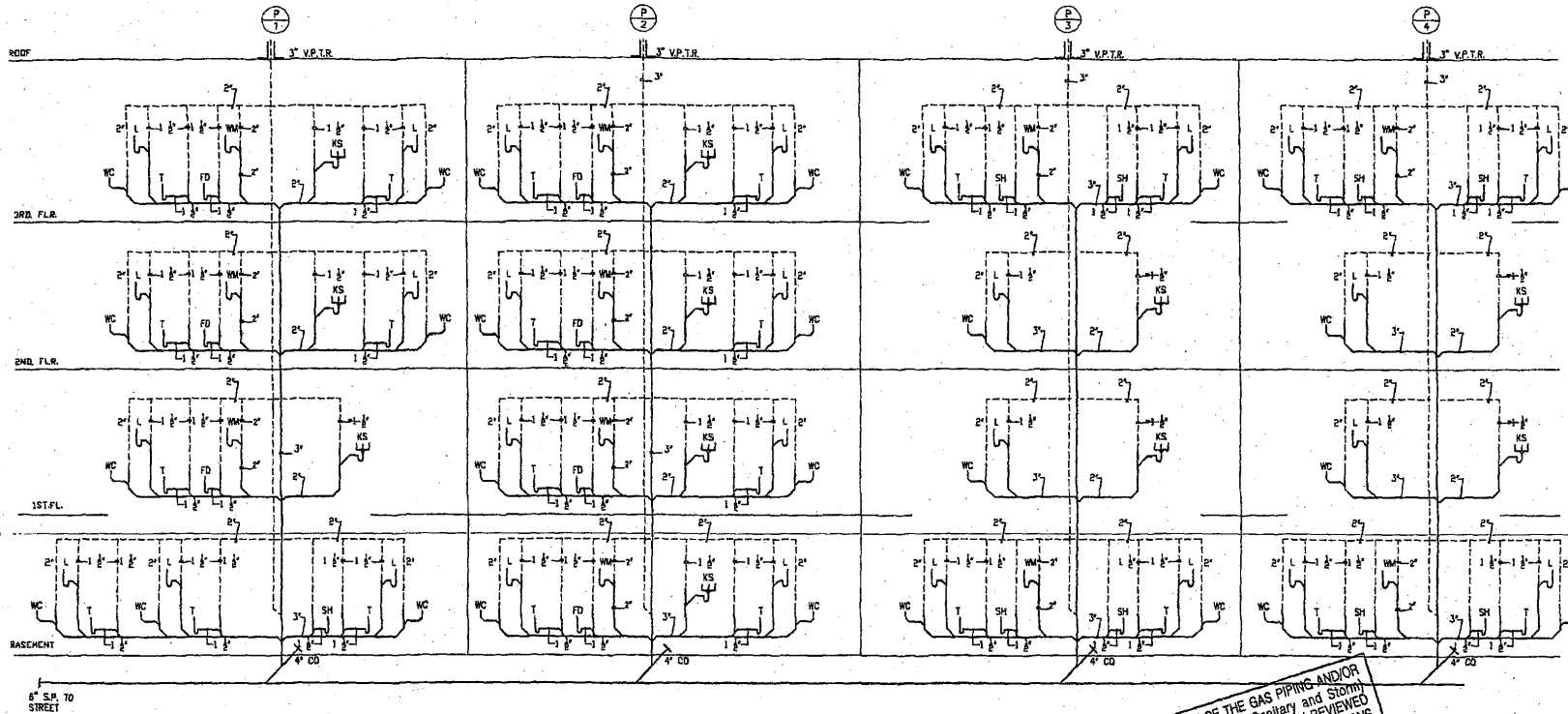
(DISPOSAL, LIGHTS, RECEPTACLES, S/D'S.)





BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4060, LOT

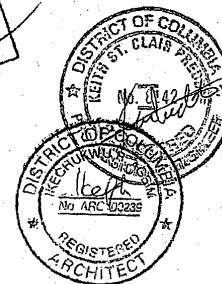
P-1.2



PLUMBING RISER DIAGRAM
- NOT TO SCALE -

ITEM	DESCRIPTION	C.W.	H.W.	DRAIN		VENT	REMARK
				DIR.	INCH.		
1	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
2	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
3	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
4	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
5	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
6	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
7	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
8	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
9	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	
10	WATER CLOSET	1/2"	1/2"	1/2"	1/2"	1/2"	

THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date AUG 16 2005
Chinedu Godwin Okwuani
Mechanical Engineering Section

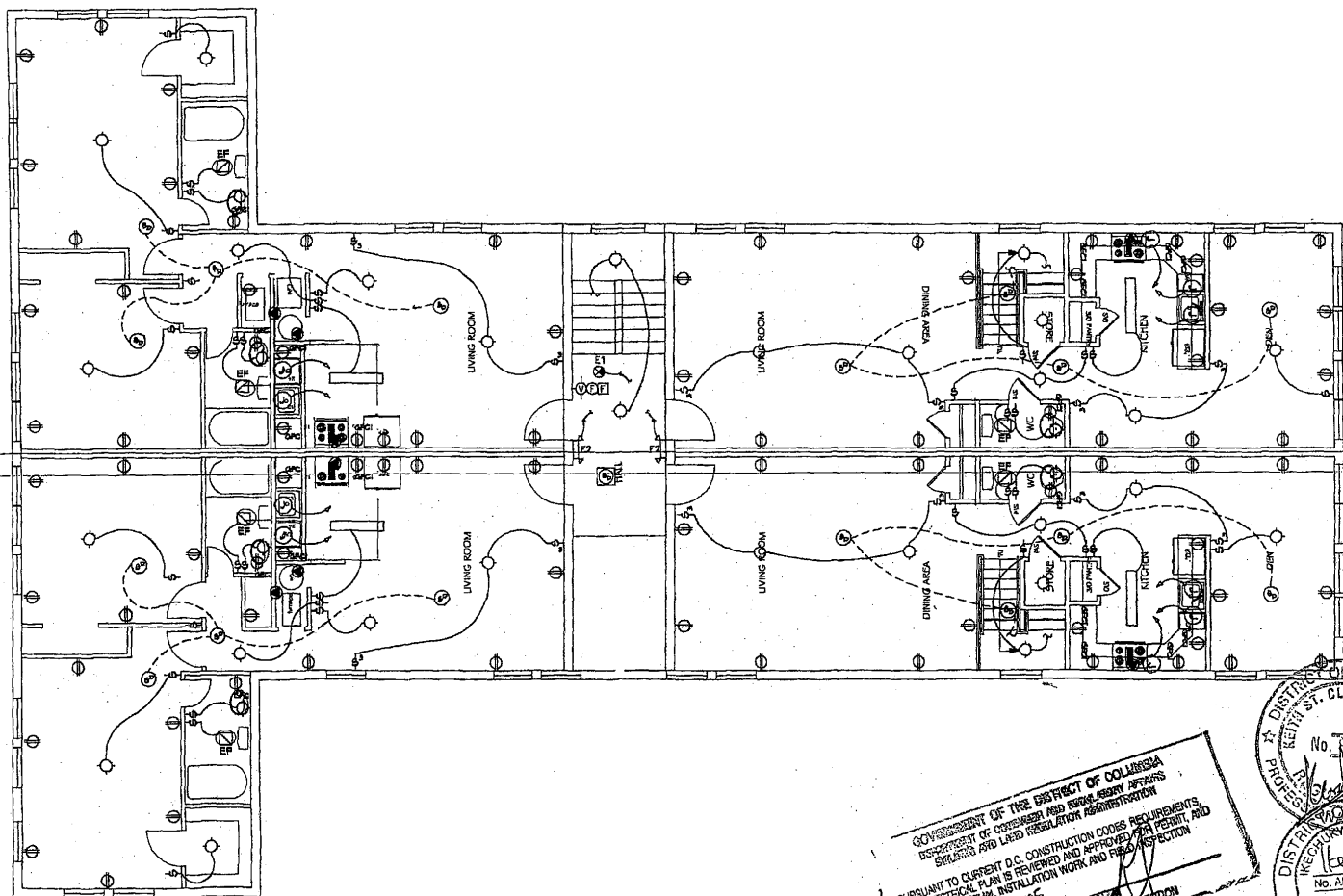


BUILDING PERMIT:
1235 MORSE STREET, NE
SQUARE 4089, LOT

P-1.1



BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4000 LOT

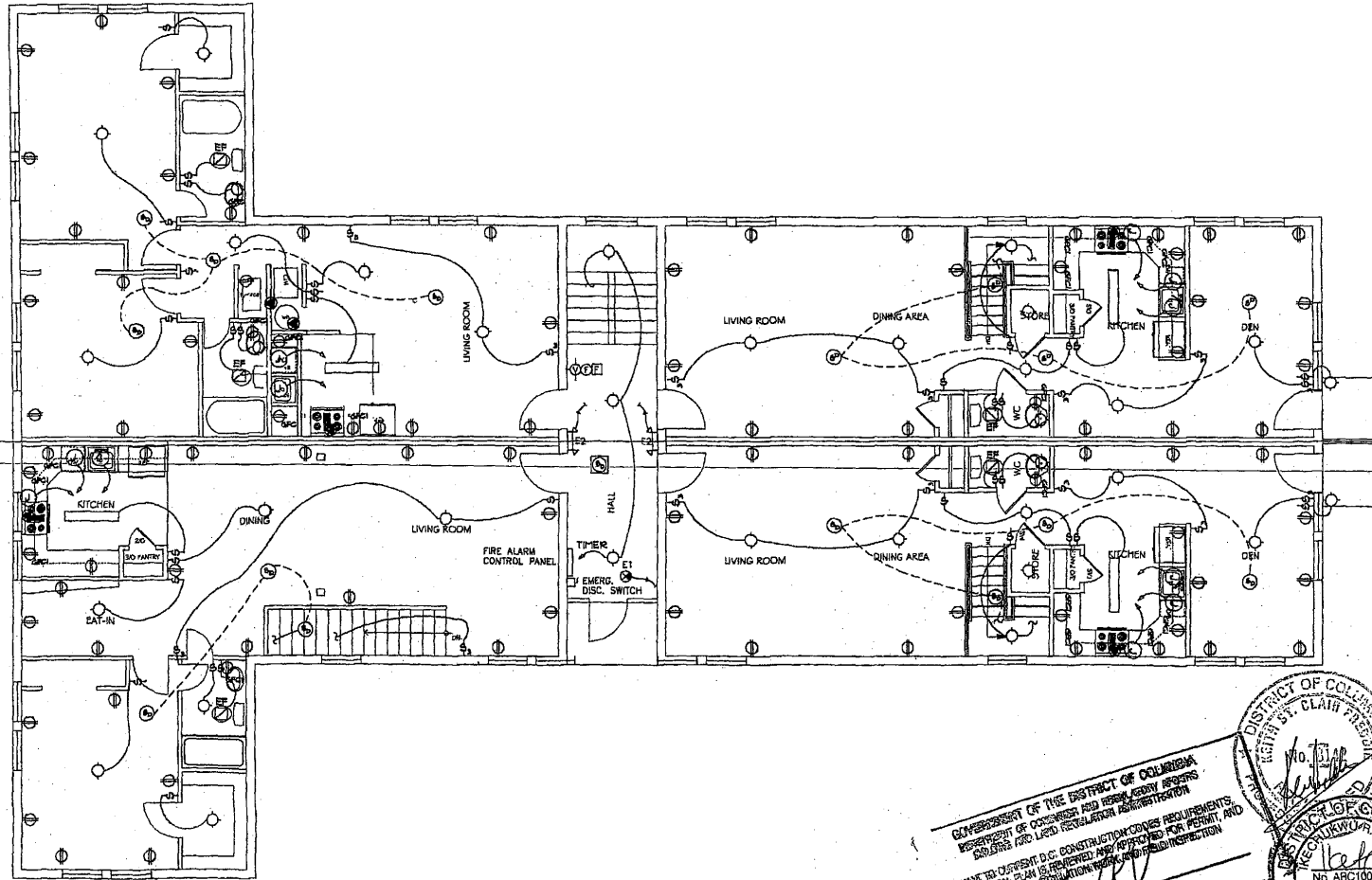


1 SECOND FLOOR PLAN

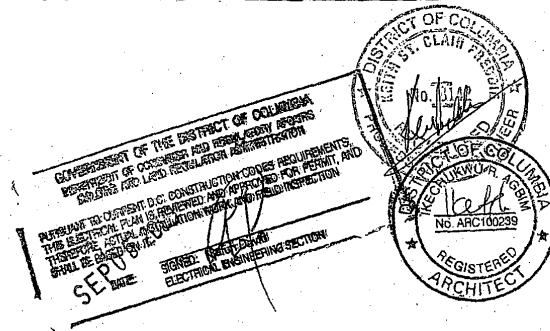
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 DEPARTMENT OF CONSUMER AND INDUSTRY AFFAIRS
 DIVISION OF LAND REGULATION ADMINISTRATION
 PURSUANT TO CURRENT D.C. CONSTRUCTION CODES REQUIREMENTS
 THIS ELECTRICAL PLAN IS REVIEWED AND APPROVED FOR PERMIT, AND
 THEREFORE, ACTUAL INSTALLATION WORK AND FIELD INSPECTION
 SHALL BE BASED ON IT.
 SEP 25 2015
 BRUCE D. MOORE
 ELECTRICAL ENGINEERING SECTION



BUILDING PERMIT:
 1233 MORSE STREET, NE
 SQUARE 4069, LOT

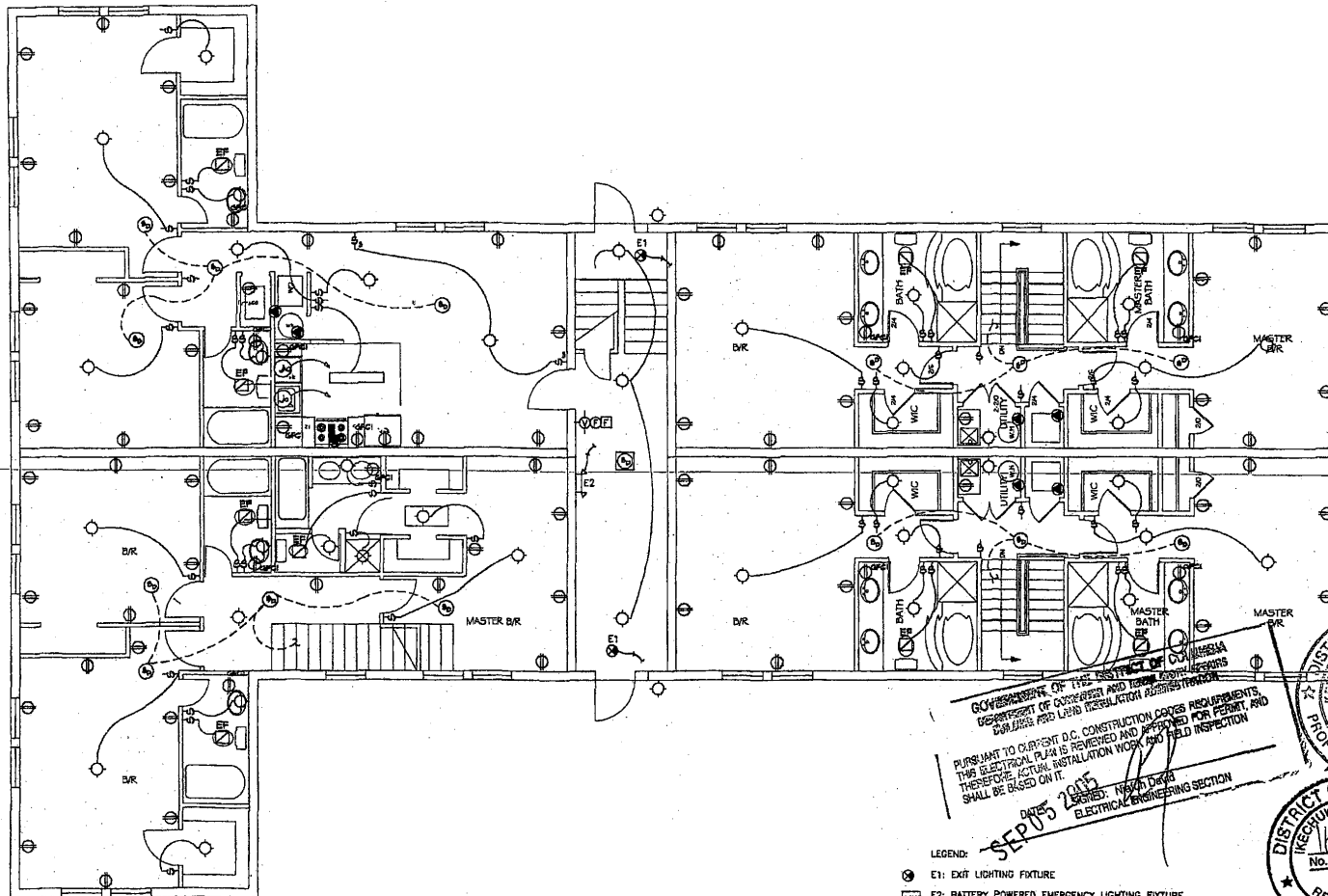


1 **FIRST FLOOR PLAN**



BUILDING PERMIT:
1233 MORSE STREET, NE
SQUARE 4099, LOT

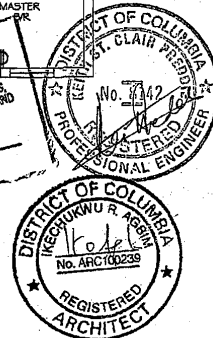
E-2



1 **BASEMENT PLAN**

- LEGEND:
- ⊙ E1: EXIT LIGHTING FIXTURE
 - ⬇ E2: BATTERY POWERED EMERGENCY LIGHTING FIXTURE
 - [M] MANUAL PULL STATION (MID. 48" AFF)
 - ⊙/⊙ HORN/VISUAL STROBE
 - [F] FUSED DISCONNECT SWITCH

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 DEPARTMENT OF CONSTRUCTION AND LOCAL AFFAIRS
 DIVISION OF PERMITS AND REGULATION ASSISTANCE
 PURSUANT TO DISTRICT OF COLUMBIA CONSTRUCTION CODES REQUIREMENTS,
 THIS ELECTRICAL PLAN IS REVIEWED AND APPROVED FOR PERMIT, AND
 THEREFORE, ACTUAL INSTALLATION WORK AND FIELD INSPECTION
 SHALL BE BASED ON IT.
 DATE: 2015
 DESIGNED: IVAN D. DIAZ
 ELECTRICAL ENGINEERING SECTION



BUILDING PERMIT:
 1233 MORSE STREET, NE
 SQUARE 4069, LOT