

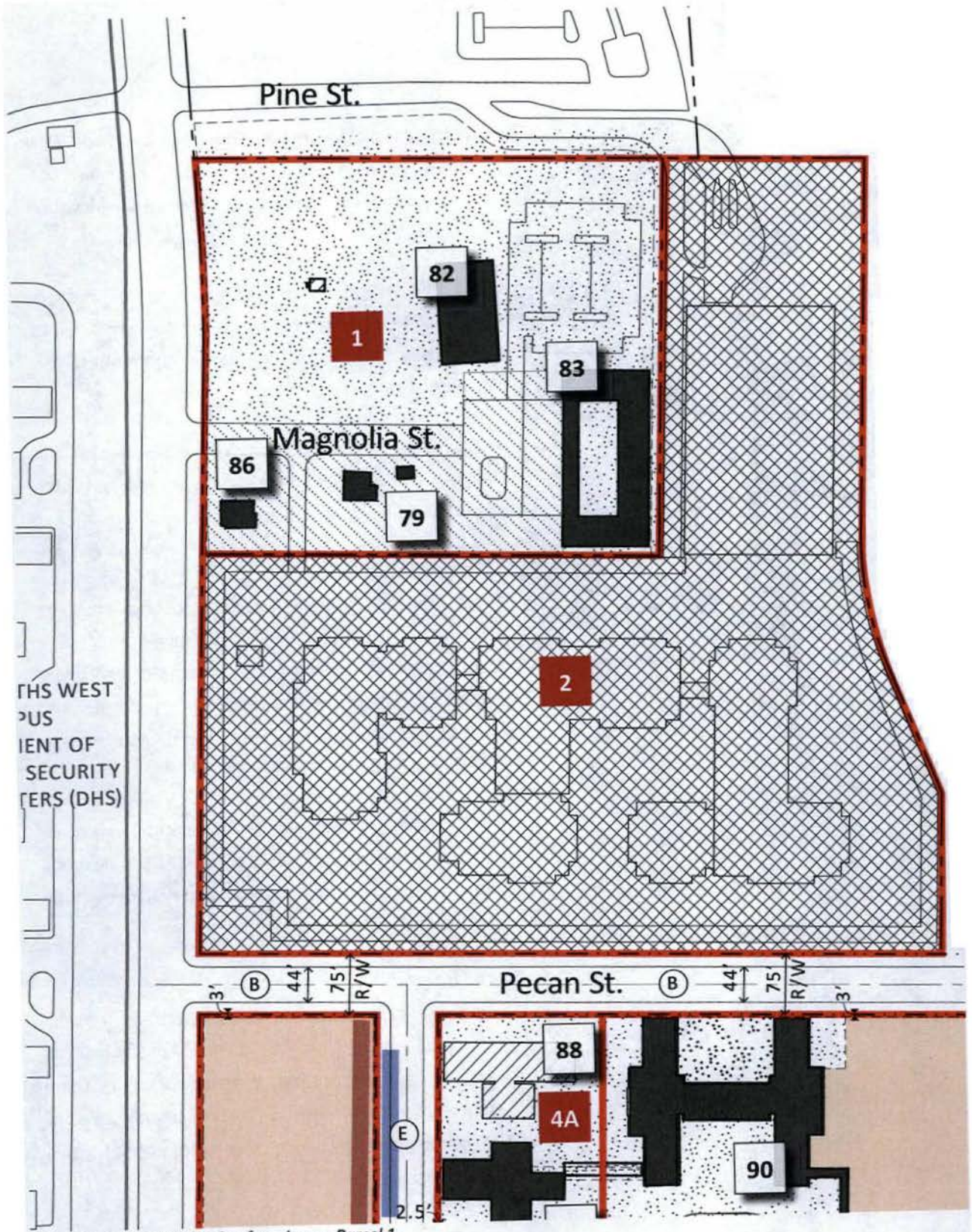


Figure 3.28: Regulating plan focusing on Parcel 1.



Figure 3.29: The Farm Complex can support community gardening.

footprints should be avoided. Necessary additions should be confined to rear elevations only, and designed to minimize impacts on the barns' agricultural character.

A.7 The integrity of the two remaining staff cottages has been diminished by their relocation and previous alterations. Alterations that further compromise that integrity should be avoided.

A.8 Additions should be compatible in size and massing, and not exceed the cornice or roof line of the associated building.

New Architecture

N.1 The development of Parcel 1 does not anticipate the construction of major buildings, but minor structures may be needed in support of agriculture and/or community uses. Agricultural improvements to the land should enhance rather than detract from the historic structures.

N.2 Modest surface parking adjacent to buildings 82 and 83 would be permitted, so long as it is designed to minimize impervious surfaces and is screened with landscape buffers.

Landscape

No distinctive landscape characteristics remain. The road leading from MLK to the barns retains its original alignment but has no material integrity. Open space around the buildings has been largely paved or developed, and the relocated cottages are not within their original setting.

L.1 It is anticipated the new paving is needed for new circulation and parking areas. Parking should be placed behind buildings so it is not seen from MLK Ave to help restore the agricultural setting of the Farm Complex.

L.2 The existing alignment of Magnolia Street should be preserved. If its width needs to be adjusted, that should be done carefully in order to retain the concrete piers at the entry gate. Widening should be done in coordination with the General Services Administration and Department of Homeland Security East Campus North Parcel Master Plan.

L.3 The remnants of cobblestone at the entry to the Horse Barn should be preserved, as should the ramps to the Dry Barn. Any other cobblestone remnants uncovered should also be preserved.

SECTOR: MAPLE QUADRANGLE

The Maple Quadrangle Sector lies toward the north end of the East Campus, between Martin Luther, Jr. Avenue and 13th Street. It is among the most prominent areas of the Saint Elizabeths East Campus, and contains two groups of significant buildings and associated landscapes: the 1902 Buildings and the Maple Quadrangle Buildings. These two groups are the oldest hospital buildings on the East Campus.

Because of the size and quality of these historic buildings and the proximity to and views from MLK, the Maple Quadrangle represents a major opportunity for development and public life. It is intended to become a vibrant economic and social center for both the East Campus and the location for an Innovation Hub that combines research, educational, and business activities. Key to this development will be an appropriate and a compatible balance between the area's historic quality and new development.

Maple Quadrangle Urban Design Principles

- » Retain, respect and adaptively reuse the 1902 Buildings and Maple Quadrangle Buildings.
- » Create new development that is distinctive in design and compatible with the historic character of the Maple Quadrangle Sector.
- » Create a spatially and visually significant point of entry from MLK to the East Campus, and maintain a visual connection between the East and West campuses of Saint Elizabeths Hospital.
- » Provide a pedestrian-friendly streetscape that attracts users from the West Campus, Congress

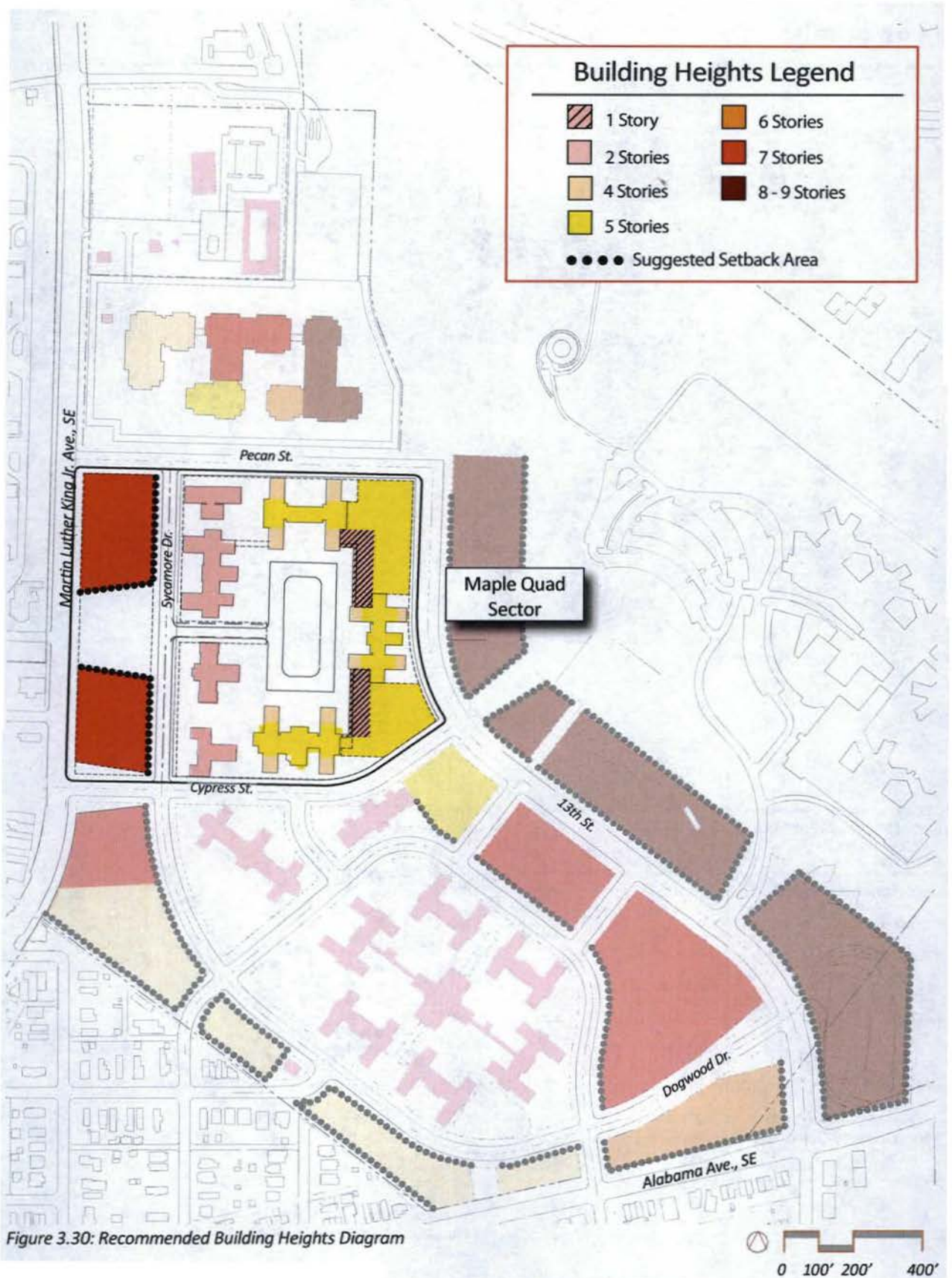
Heights, and nearby areas.

- » Preserve spatial and landscape relationships that convey the distinct phases of historic development within the Sector.
- » Preserve and enhance the historic Maple Quadrangle as a distinct building-defined landscape.
- » Use the open spaces to provide hubs of public activity for the East Campus.
- » Respect the cupolas of Building 92 and the 1902 Buildings as focal points.
- » Coordinate design decisions with the principles and guidelines of adjacent Sectors.

Parcel Summary

The Maple Quadrangle Sector includes development Parcels 3, 4 and 5.





PARCEL 3



Figure 3.31: Illustrated plan focused on Parcel 3.

Parcel Area	4.1 Acres
New Development Pad Area	2.8 Acres
Recommended Building Heights	7 Stories
Allowable Land Uses	Commercial Office, Residential
Ground Floor Retail	Allowed, See Fig. 2.15 for specific locations
Recommended FAR	2.5
Programmed Open Space	MLK Forecourt

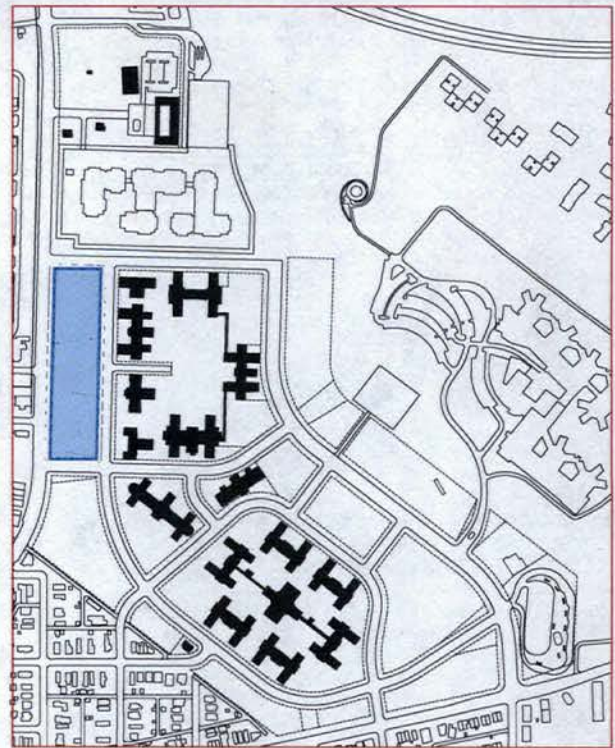


Figure 3.32: Parcel 3 Key Map



Figure 3.33: The open MLK Forecourt can support large community activities such as outdoor movie viewing.



Figure 3.34: Impromptu or organized seating can take place on the MLK Forecourt.

PARCEL 3

Parcel 3 lies prominently along Martin Luther King, Jr. (MLK) Avenue, at the western edge of the East Campus. It offers significant development potential for the East Campus and Ward 8, and offers the opportunity to create an attractive, open, and inviting campus façade along MLK Avenue. Located near the planned FEMA headquarters, this parcel should consist of ground-floor retail with office space on upper floors marketed to the US Department of Homeland Security (DHS) contractors or similar users.

In addition to new buildings, this parcel is intended to provide a brand-new public open space, connecting MLK, Jr. Avenue directly to the historic interior of the Maple Quadrangle. This public space will become one of the most significant and best-known public spaces on the East Campus, and will help to foster a harmonious relationship between the new development and historic campus.

Parcel 3 Design Guidelines

Addition and Modification

The development of Parcel 3 does not incorporate any historic resources. Therefore, no guidance on addition or modification is required.

Historic Resources

The development of Parcel 3 does not incorporate any historic resources.

New Architecture

The new architecture within Parcel 3 will play an important role in the successful redevelopment of the East Campus. It will also define the experience of two key landscape features of the East Campus: the MLK Forecourt and the view from MLK Avenue into Maple Quadrangle.

N.1 The prominence of Parcel 3 within the historic campus provides an opportunity for design creativity and excellence that can influence the quality of new architecture on other parcels within the East Campus. This opportunity should be recognized and pursued.

N.2 Façades visible along MLK Avenue will create an image for all new development. All façades should be compatible with both the existing Maple Quadrangle and with adjacent areas of the West Campus. Consideration should be given to views from both areas.

N.3 The new buildings should encourage continuous pedestrian traffic along and between MLK Avenue and Sycamore and Dogwood Streets where feasible. Maximal ground-floor activity and transparency are encouraged at key locations such as the intersection of MLK Avenue and Cyprus Street, at the edges of the green, and at the MLK Avenue and Pecan Street

intersection.

N.4 The new buildings on Parcel 3 should frame and enhance the view of Maple Quadrangle and the cupola of Building 92. Building elevations facing onto the MLK Forecourt should be complementary and in keeping with the Forecourt objectives as described in the landscape guidelines for Parcel 3. Architectural framing devices (e.g., towers) on these buildings may detract from these objectives and are discouraged.

N.5 Similarly, the south façade of Parcel 3 should be compatible with the north façade of Parcel 7, as the two parcels will together define the MLK Neighborhood Center. Important views to consider include those both east and west along Cypress Street.

N.6 Massing should respect the build-to, setback, height and frontage parameters described in the regulating plan.

Landscape

Positioned prominently along MLK, the MLK Forecourt should be an adaptable green space. It provides both a front lawn for the Maple Quadrangle Sector and a hub of activity for the entire East Campus. The MLK Forecourt will preserve a large portion of the green lawn that historically occupied this parcel, close to the 1902 buildings along Sycamore Street.

L.1 The Forecourt should frame views from Martin Luther King Jr. Ave into the historic Maple Quadrangle, and particularly toward the Cupola of Building 92. To protect these views, vertical landscape elements such as tall trees are encouraged only toward the edges of the space.



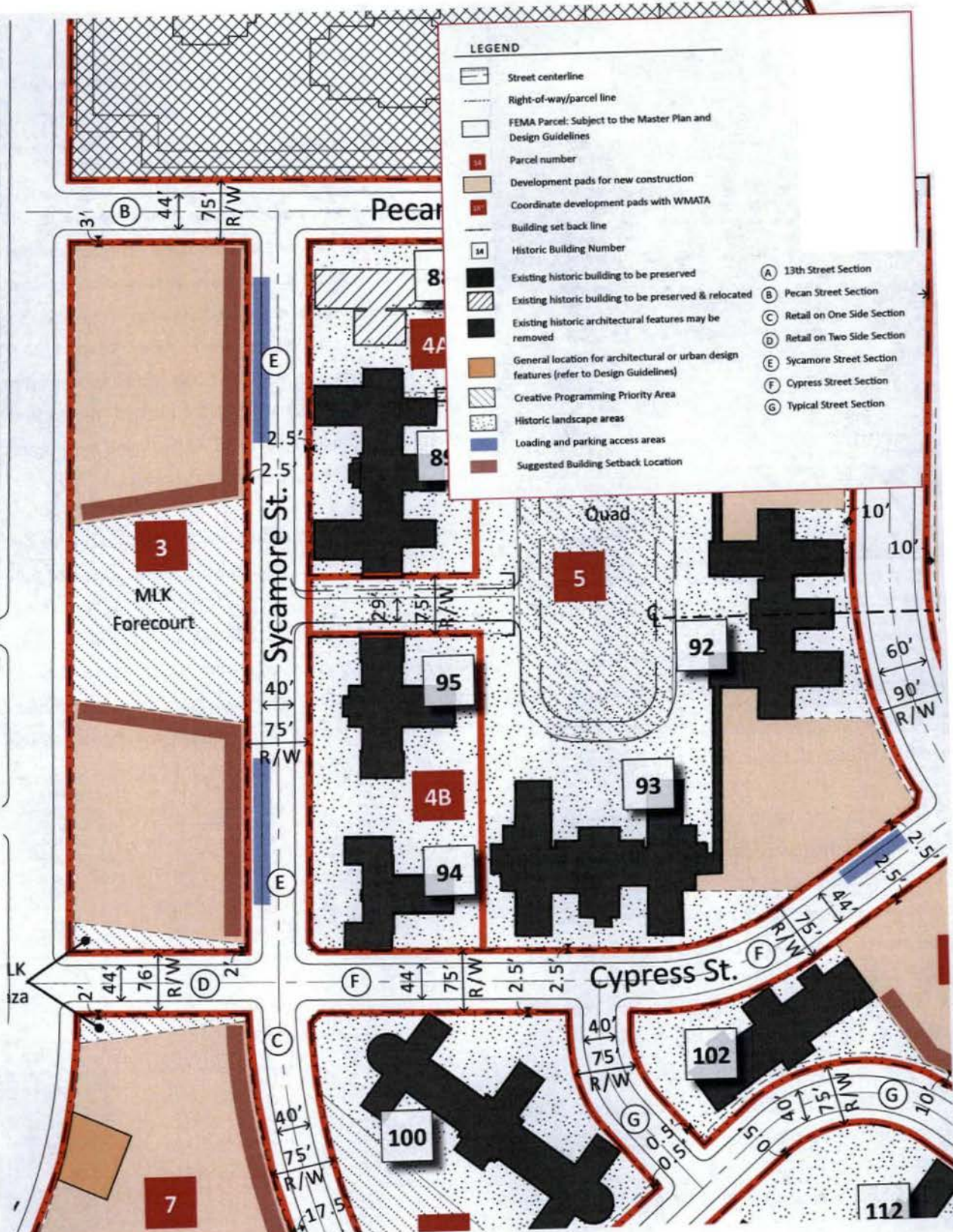


Figure 3.35: Regulating plan focusing on Parcel 3.



Figure 3.36: Shaded sidewalks will frame the lawn on the MLK Forecourt.

L.2 The majority of the space is encouraged to be planned as a flexible and durable open lawn. It should incorporate engineered soil to resist compaction and irrigation to keep the lawn green and inviting.

L.3 The north and south edges immediately adjacent to building frontages should be paved to accommodate a gracious café seating zone (approximately 12 feet wide), a walking zone (approximately 15 feet wide), and a pad area for temporary structures, carts, etc.

L.4 The walking zone should be lined on both sides by deciduous trees to reinforce both the pedestrian circulation and edges of the lawn. Trees, paving, lighting, seating, and signage will also contribute to this relationship between building and landscape.

L.5 The MLK Forecourt should be a priority site for

public art and creative programming.

L.6 Refer to the MLK Plaza landscape guidelines found in Parcel 7 in MLK Neighborhood Center sector to coordinate site design.

Publicly Accessible Open Space: MLK Forecourt

The forecourt is a large open lawn centered on the cupola on Building 92 as well as Redwood Street as it leads towards the Maple Quad. An acre in size, it is the largest park in on the East Campus. It is intended to be a focal point of the neighborhood for all surrounding activities which could include passive recreation, exhibitions, concerts, festivals, cafés, some temporary kiosk retail, and evening outdoor movies.

Much of the park should be pervious and predominantly grass. It is recommended that engineered spoil be put in place so that the ground will resist compaction from people's activities to ensure the lawn remains green and inviting. If an underground parking garage is built under the Forecourt then proposed park trees should be accommodated with an enough volume of soil to ensure long-term viability of the individual tree.



Figure 3.37: Perspective Illustration of the MLK Forecourt

PARCEL 4



Figure 3.38: Illustrated plan focused on Parcel 4.

Parcel Area	3.6 Acres
New Development Pad Area	0 Acres
Recommended Building Heights	2 Stories
Allowable Land Uses	Commercial/Innovation, Educational Institution, Civic/Community
Ground Floor Retail	Allowed, See Fig. 2.15 for specific locations
Recommended FAR	0.58
Programmed Open Space	None

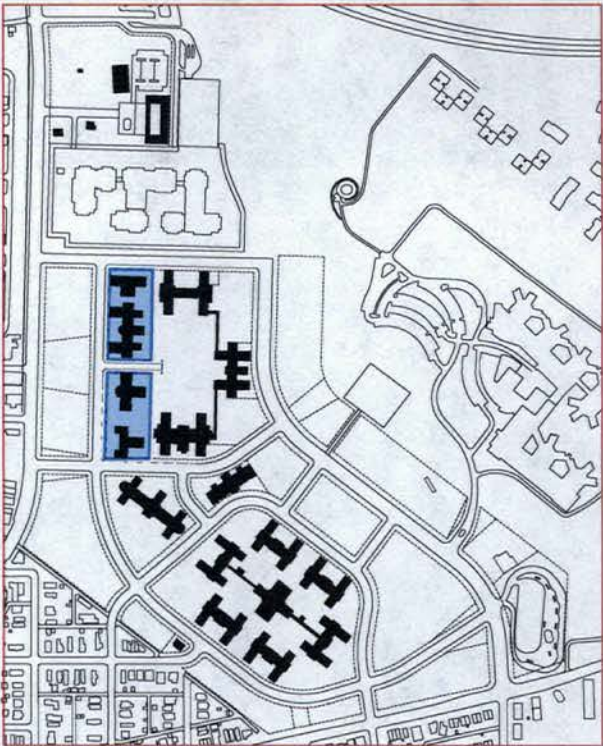


Figure 3.39: Parcel 4 Key Map

HISTORIC RESOURCES: PARCEL 4



Cupola



Secondary Entrance



Symmetry



Red brick exterior walls

Figure 3.40: Parcel 4 Character Defining Features

Parcel 4 Contributing Buildings:

- » Building 88, 1923
- » "R" Building, Building 89, 1902
- » "N" Building, Building 94, 1902
- » "I" Building, Building 95, 1902

Parcel 4 Character-Defining Features:

- » Highly articulated footprints
- » Complex roof forms and rooflines
- » Symmetry in elevation and plan
- » Red brick walls and red ceramic roof tiles
- » Overhanging eaves with exposed rafter ends and brackets
- » Cupolas
- » Brick chimneys
- » Prominent central entrances from Sycamore Street
- » Punched openings with multi-light wood windows
- » Stone and brick detailing and ornamentation
- » One- and two-story porches

LEGEND

	Street centerline	
	Right-of-way/parcel line	
	FEMA Parcel: Subject to the Master Plan and Design Guidelines	
	Parcel number	
	Development pads for new construction	
	Coordinate development pads with WMATA	
	Building set back line	
	Historic Building Number	
	Existing historic building to be preserved	(A) 13th Street Section
	Existing historic building to be preserved & relocated	(B) Pecan Street Section
	Existing historic architectural features may be removed	(C) Retail on One Side Section
	General location for architectural or urban design features (refer to Design Guidelines)	(D) Retail on Two Side Section
	Creative Programming Priority Area	(E) Sycamore Street Section
	Historic landscape areas	(F) Cypress Street Section
	Loading and parking access areas	(G) Typical Street Section
	Suggested Building Setback Location	

PARCEL 4

Parcel 4 lies immediately to the east of Parcel 3, along the east side of Sycamore Street, and includes the 1902 Buildings. These structures were the first hospital facilities constructed on the East Campus and are the only buildings on the East Campus with direct historical and architectural ties to the development on the West Campus of Saint Elizabeths Hospital.

Development in this area will focus on the preservation, rehabilitation, and judicious reuse of these precious resources for the Innovation Hub components including small office space, incubators, meeting and gathering spaces, and other specialty uses suitable for the unique spaces within the 1902 buildings. Along with the buildings themselves, the landscaped areas around them should be treated with respect and care.

Parcel 4 Design Guidelines

Addition and Modification

The 1902 Buildings are consistent with the “cottage plan” of small-scale detached buildings within a picturesque landscape to create a home-like atmosphere for patients. Designed by Shepley, Rutan, and Coolidge, the 1902 Buildings are two-story masonry structures executed in the Italian Renaissance Revival architectural style.

Each building was provided with open porches for patients to receive natural light and fresh air. These porches were enclosed in 1918 to create additional interior space for patients, but remain a prominent



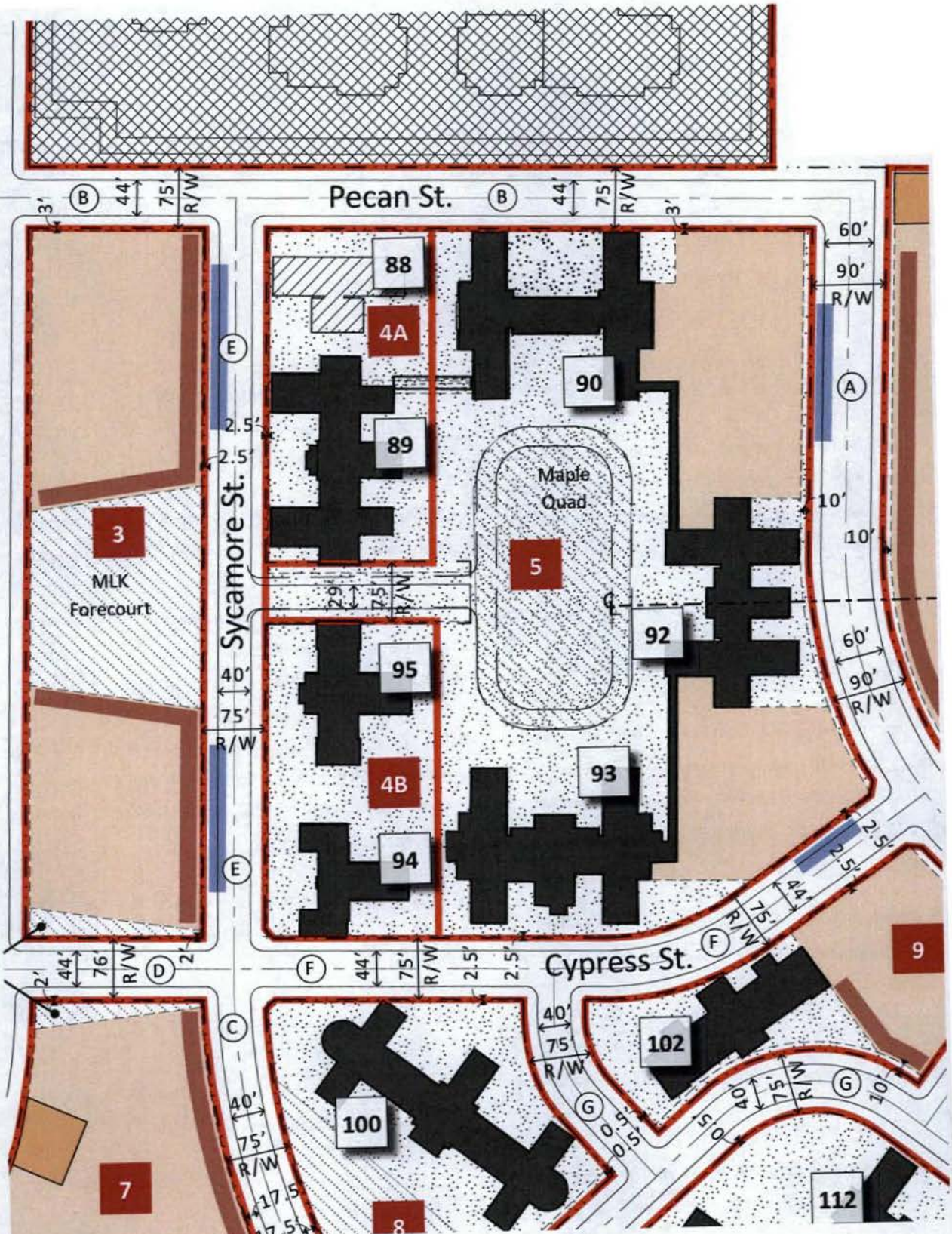


Figure 3.41: Regulating plan focusing on Parcel 4.

architectural feature. The 1902 Buildings are the most ornate on the East Campus and exhibit architectural features unique to this phase of development. These buildings have also suffered the most deterioration and will need the most intervention to stabilize and rehabilitate.

A.1 If porches are converted to conditioned spaces and glazing is introduced, new porch enclosures should remain distinct from the building's windows.

A.2 Character-defining features of the contributing buildings should be preserved as part of any rehabilitation/modification scope. The architecture of new additions should be compatible with the character of the historic buildings.

A.3 Additions to the 1902 Buildings should be limited to the original rear (east) elevations of the historic buildings and not visible from Sycamore Street.

A.4 Additions should be designed to allow the building's original footprint to remain legible and avoid creating the effect of infill.

A.5 The height of an addition should not exceed or touch the eave line of the historic building.

A.6 Porches should remain as distinct forms and features, and all porch elevations should remain unobstructed by additions.

A.7 The porches should be preserved. They were not originally enclosed and methods of enclosure have varied over time. Current enclosures (screens, windows, masonry) are generally incompatible with the character of the buildings and can be removed if the porches are to be re-opened.

A.8 Any new porch enclosures should be transparent in order to convey the original use and character of these features, and to maintain their distinction from window openings.

A.9 The incorporation of flat green roofs on additions is encouraged, but these planted roofs should not be visible from the street.

New Architecture

N.1 New architecture within Parcel 4 will be limited to additions to the existing 1902 Buildings (see the previous section for relevant design guidelines).



Landscape

The landscaping and green space around the 1902 Buildings historically consisted of dense and informal groupings of large shrubs and trees that helped to create a private and therapeutic environment for the patients and staff. Many mature plantings remain in place today, but much of the historic landscaping is no longer intact or has deteriorated.

L.1 New landscaping around the 1902 Buildings should be both informal and dense, in keeping with the character of the historic landscaping.

L.2 Foundation plantings are discouraged.

L.3 Restoration of original paving areas to green space is strongly encouraged. The need for new sidewalks and pedestrian ways will have to be balanced with the desire to respect the historic landscape character.

L.4 The circulation paths leading from Sycamore Street to the building entrances should be restored.

L.5 Designs for new accessibility features should maintain the symmetry of the building and associated green space as viewed from Sycamore Street. Disruption of the historic approach from Sycamore Street to the building entrances is discouraged.

L.6 A pedestrian connection running through the center of the MLK Forecourt connecting MLK to Sycamore Street is required. This connection should be centered with Redwood Street. This connection symbolizes the historic drive.

PARCEL 5



Figure 3.42: Illustrated plan focused on Parcel 5.

Parcel Area	8.9 Acres
New Development Pad Area	2.24 Acres
Recommended Building Heights	1 - 5 Stories
Allowable Land Uses	Commercial/Innovation, Hospitality, Educational Institution
Ground Floor Retail	Allowed, See Fig. 2.15 for specific locations
Recommended FAR	1.5
Programmed Open Space	Community Garden
Additional Information	Relocation of Unnamed Cottage

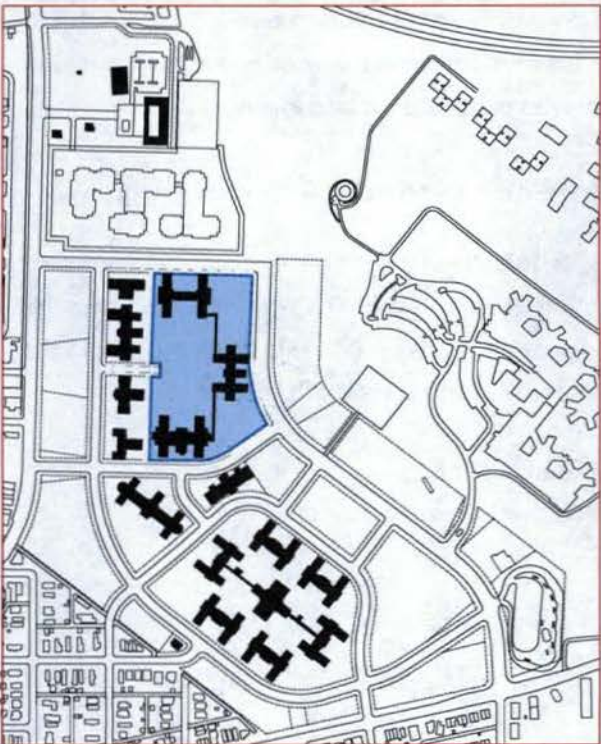


Figure 3.43: Parcel 5 Key Map

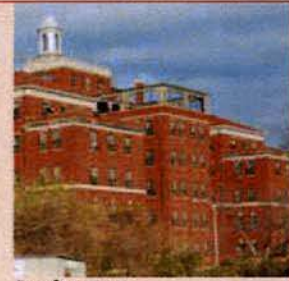
HISTORIC RESOURCES: PARCEL 5



Plants in entry court



Masonry corridor



Roof terrace



Plants in entry court



Plant Cluster



Cupola

Figure 3.44: Parcel 5 Character Defining Features

Parcel 5 Contributing Buildings within Parcel 5:

- » W. W. Eldridge Building, Building 90, 1931
- » Charles H. Nichols Building, Building 92, 1936
- » William A. White Building, Building 93, 1934

Parcel 5 Secondary Historic Built Resources:

- » Corridor between Buildings 90-91-92-93, 1934

Parcel 5 Character-Defining Features:

- » Highly articulated footprints
- » Complex massing, roof forms and rooflines
- » Cupola of Building 92
- » Symmetry in elevation and plan
- » Prominent central entrances from the quadrangle to each building
- » Raised entry courts and/or entry terraces
- » Open roof terraces
- » Prominent secondary entrances from the quadrangle to the side wings of each building.
- » Red brick exterior walls and red ceramic roof tiles
- » Punched openings with multi-light metal windows
- » Stone and brick detailing and ornamentation
- » Ornamental metal window grilles
- » Interior enclosed porches
- » One masonry corridor connecting the three buildings

PARCEL 5

Parcel 5 lies between Parcel 4 and 13th Street at the heart of the East Campus and includes the Maple Quadrangle Buildings. This group was constructed in the 1930s as a general hospital for the entire Saint Elizabeths Campus and marked a significant shift in treatment philosophies, from a moral approach to medical intervention.

The Maple Quadrangle group comprises the largest buildings expected to remain on the East Campus, and is thus a major opportunity for both economic development and historic preservation. Reuse of the Maple Quadrangle group and its major central open space should be carefully planned to balance these important objectives. Proposed uses within this parcel include hotel and Innovation Hub opportunities.

Parcel 5 Design Guidelines

Addition and Modification

The Maple Quadrangle Buildings are distinct from all other buildings at Saint Elizabeths Hospital (both East and West campuses) in size, scale, and function, and surpass their predecessors in both height and footprint. However, they are similar to other campus buildings in sharing the Italian Renaissance Revival vocabulary used throughout the East Campus.

A.1 The Maple Quadrangle Buildings retain their original metal screen porch enclosures, which were designed to allow air circulation while also providing security. If porches are converted to conditioned spaces and glazing is introduced, new porch enclosures should remain distinct from the building's windows.

A.2 Character-defining features of the contributing buildings should be preserved as part of any

LEGEND

	Street centerline	
	Right-of-way/parcel line	
	FEMA Parcel: Subject to the Master Plan and Design Guidelines	
	Parcel number	
	Development pads for new construction	
	Coordinate development pads with WMATA	
	Building set back line	
	Historic Building Number	
	Existing historic building to be preserved	(A) 13th Street Section
	Existing historic building to be preserved & relocated	(B) Pecan Street Section
	Existing historic architectural features may be removed	(C) Retail on One Side Section
	General location for architectural or urban design features (refer to Design Guidelines)	(D) Retail on Two Side Section
	Creative Programming Priority Area	(E) Sycamore Street Section
	Historic landscape areas	(F) Cypress Street Section
	Loading and parking access areas	(G) Typical Street Section
	Suggested Building Setback Location	

rehabilitation/modification scope.

A.3 Roof terraces on buildings 90, 92, and 93 should remain open. Security features provided around the terraces should not be visible from the ground.

A.4 The corridor that connects the three buildings should be retained. If the corridor is enclosed, infill within its arched window openings should be transparent and maintain the appearance of an open corridor. Refer to New Architecture Guideline N4 for this Parcel.

A.5 Building 93 has several existing additions incompatible with the character of the historic building in its back. The Master Plan shows their removal and removal of these additions is encouraged.

A.6 Additions should be limited to the original rear elevations of the historic buildings and should be designed and sited to maintain the symmetry of both the rear elevation and the building footprint.



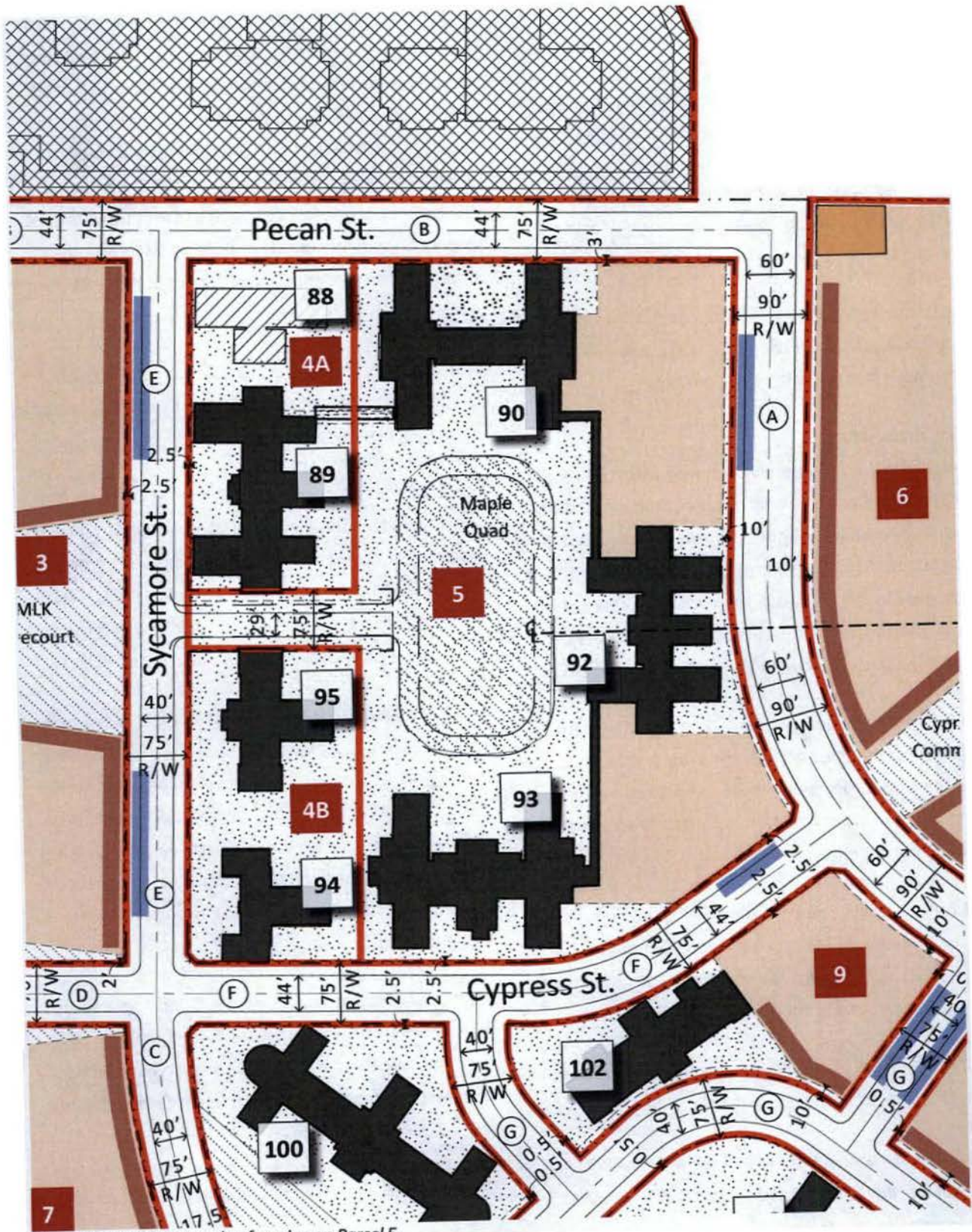


Figure 3.45: Regulating plan focusing on Parcel 5.

A.7 Additions should be designed and sited so as not to be visible from the quadrangle.

A.8 Additions should be no taller than the lowest cornice line of the rear wings of the historic building.

A.9 The addition should be set back from the rear wings of the historic building to allow the original footprint of the building to remain legible.

A.10 The incorporation of flat green roofs on additions is encouraged. However, all rooftop equipment should be hidden from view from the ground.

New Architecture

Parcel 5 will accommodate two new buildings directly adjacent to the north and south of Building 92. These buildings will play an important role in accommodating the adaptive reuse of the Maple Quadrangle Buildings for new tenants. They can provide large interior spaces that cannot be accommodated inside the historic buildings, such as a conference center for a hotel.

N.1 The new buildings should be compatible with the Maple Quadrangle Buildings by paying special attention to massing, proportions, order, fenestration, rhythm, texture, and ornamentation, particularly on elevations visible from the west.

N.2 Although the new buildings will differ in footprint, they should together provide a complementary frame for Building 92 when viewed from the quadrangle, Pecan Street, and other points west.

N.3 The height of new buildings should not exceed the cornice line of the lowest wings of Building 92.

N.4 Physical connections between the new and historic buildings that exceed the height of the one-story

masonry corridor are discouraged. If a connection must exceed the height of the corridor, it should be lower than the height of the cornice line of the side wing of the historic building. It should be set back from the façades of the historic buildings and take advantage of existing openings in the historic building to minimize the loss of historic fabric. The height and treatment of connections on either side of Building 92 should ensure approximate symmetry of the view of Building 92 from the west.

N.5 Massing should respect the build-to, setback, height and frontage parameters described in the regulating plan.

Landscape

The Maple Quadrangle is one of the most distinctive features of the East Campus landscape. Whereas privacy had been the priority in earlier construction at Saint Elizabeths, the Maple Quadrangle Buildings promote visibility between their individual structures.

Adding to the more formal character of the quadrangle, plantings were designed to frame pedestrian paths and axial views. While some existing plantings date to the 1930s and 1940s, most are overgrown or deteriorated. The plantings within the entry court to each building are particularly overgrown, with many trees, shrubs, and vines that do not contribute to the historic character of the landscape.

L.1 The landscape of the Maple Quadrangle should be rehabilitated to restore its historic character. Refer to the "Saint Elizabeths Historic Resources Inventory" (Maple Quadrangle, p. 50) to identify the historic character of the landscape.

L.2 New landscaping should frame axial views between



the entrances to Buildings 90 and 93, and from the quadrangle to the entrance of Building 92.

L.3 Removal of overgrown or invasive vegetation is encouraged, particularly the invasive plantings within the entry court to each building.

L.4 Foundation plantings on the quadrangle side of the historic buildings are discouraged.

L.5 Rehabilitation of the dense, vegetated buffer on the west side of the quadrangle is encouraged.

L.6 The east-west pedestrian path through the quadrangle should be retained and restored. Additional pedestrian paths are encouraged to maintain the formal, axial character of the space.

L.7 The pedestrian paths connecting the quadrangle and building entrances should be respected and restored.

L.8 Designs for new accessibility features should maintain the symmetry of the historic buildings and associated green spaces as viewed from the quadrangle. The installation of a ramp or a lift may require a second ramp or a lift to balance the composition.

L.9 Direct vehicular access from the quadrangle to the entrances of Buildings 90 and 92 is not encouraged.

L.10 A significant portion of the currently impervious surfaces may be converted to landscape. Should this occur, emergency vehicle access should be provided through paved walking surfaces of proper dimension.

L.11 The Maple Quadrangle should be treated as a priority location for public art and creative programming.



Figure 2.46: Similar to the landscape show in this historic photo, the new Maple Quad landscape should be open to allow views to each building.

Publicly Accessible Open Space: Maple Quad

The intent of the new Maple Quadrangle is to continue the original design created in 1932. Central green space enclosed by the surrounding buildings of 90, 92, and 93 on the east side and buildings 89, 94, and 95 on the west side. Reminiscent of some of the most cherished college quadrangles across the country. Similar to college quadrangles, the Maple Quad is intended to remain open and covered with grass. Pathways crossing the quad at key locations may be permitted in order to respect pedestrian desire lines and supporting connectivity. Anticipated activities include passive recreation.

The existing loop road within Maple Quadrangle, called Maple Square may be retained; however it is recommended to replace the asphalt with pervious pavement.

SECTOR: MLK NEIGHBORHOOD CENTER

The Martin Luther King, Jr. Neighborhood Center lies at the southwest corner of the site, and is where the East Campus will adjoin Congress Heights along MLK Avenue. It is therefore one of the most critical and valuable areas of the entire site, and is planned for Phase One of development. Key goals for this site are to create viable commercial activity along MLK Avenue, which anchors the Main Street area; to serve as a gateway into the East Campus; and to become a welcoming, vibrant destination.

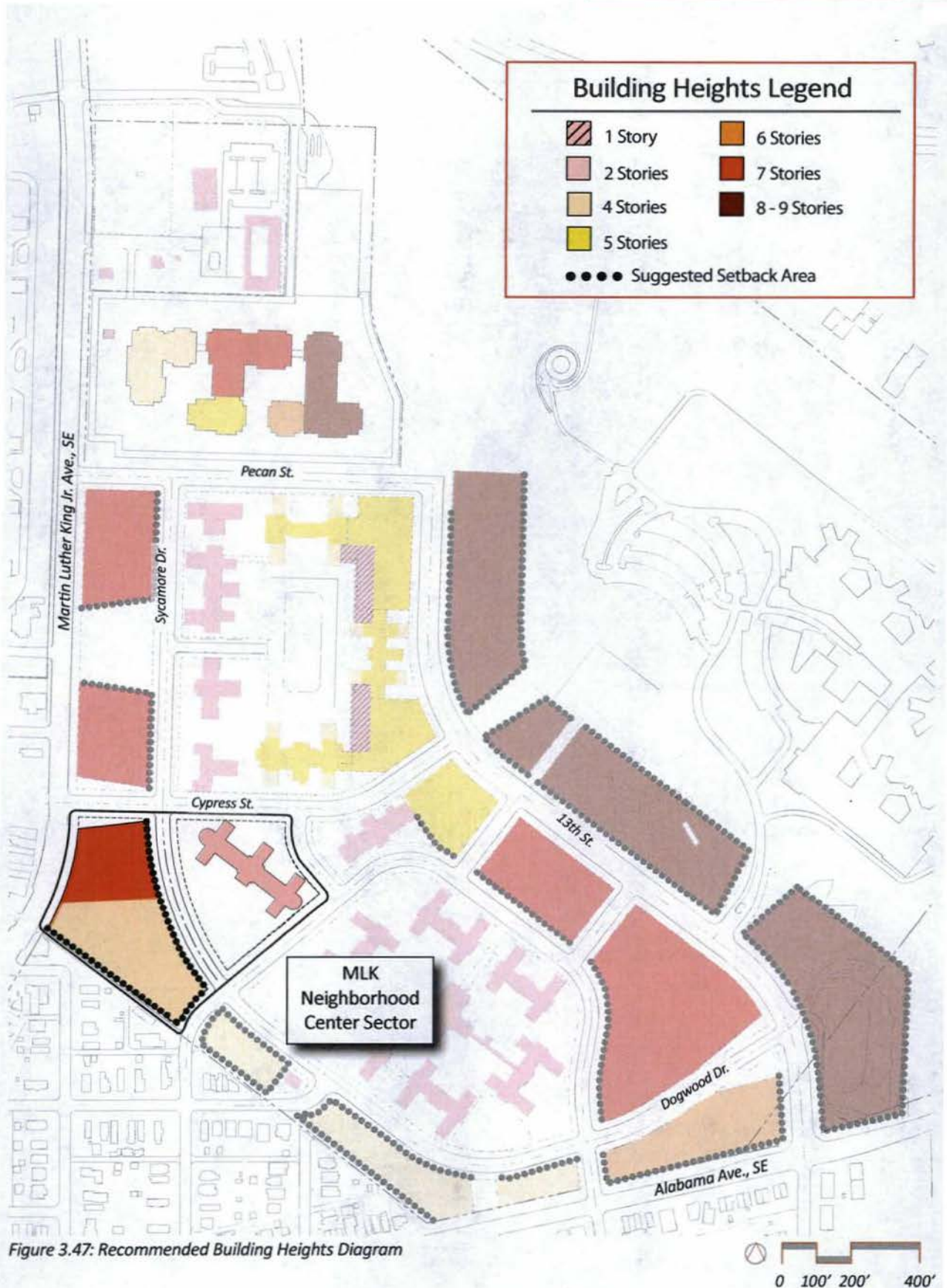
Parcel Summary

The MLK Neighborhood Center includes development of Parcels 7 and 8.

Sector Urban Design Features

- » Enhance connections to Congress Heights and create a neighborhood center.
- » Promote continuity of existing retail along MLK into the East Campus, and a strong visual connection between Sycamore and Dogwood streets.
- » Create a vibrant retail, restaurant, and public corridor along Dogwood Street.
- » Promote ground-floor transparency along MLK Avenue and Cypress and Dogwood streets. Ensure these locations incorporate ground-floor retail and street-activating uses.
- » Enhance views along Dogwood Street for pedestrians and drivers.
- » Coordinate design decisions with relationships to adjacent Sectors.





PARCEL 7



Figure 3.48: Illustrated plan focused on Parcel 7.

Parcel Area	3.4 Acres
New Development Pad Area	3.2 Acres
Recommended Building Heights	4 - 7 Stories
Allowable Land Uses	Residential, Commercial Office
Ground Floor Retail	Allowed, See Fig. 2.15 for specific locations
Recommended FAR	2.5
Programmed Open Space	MLK Plaza

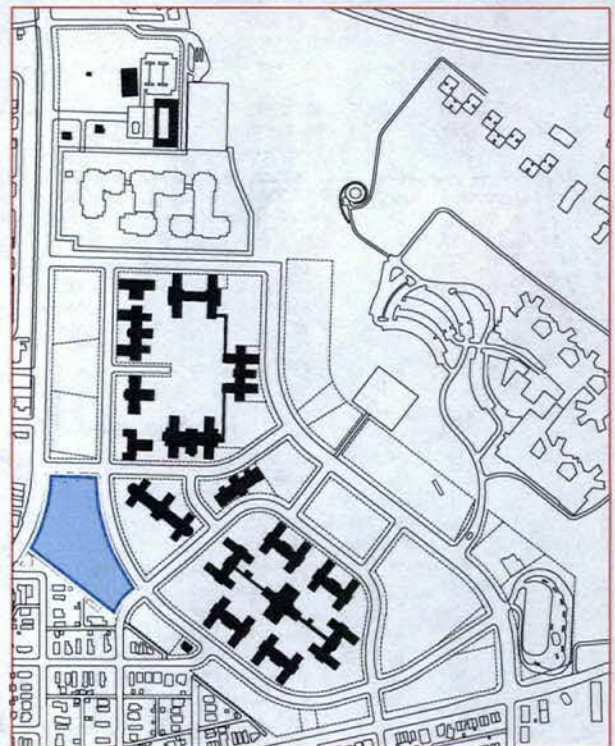


Figure 3.49: Parcel 7 Key Map

PARCEL 7

Parcel 7 comprises the new development opportunity for the MLK Neighborhood Center Sector. It is intended to support mixed-use development with ground-floor retail, while providing a lively hub of economic and public activity for the entire East Campus. This parcel frames two planned entrances to the campus and should be designed with that in mind. In addition, new designs should consider views from across the East Campus and, in particular, the relationship to Building 100 on the adjacent Parcel 8.

A local, neighborhood grocery store is one possible tenant envisioned for the ground floor of Parcel 7. With parking and within walking distance of the surrounding area, such a store could be a useful and a sustainable amenity for both the existing community as well as for new residents of the Saint Elizabeths development.

Parcel 7 Design Guidelines

Addition and Modification

The development of Parcel 7 does not incorporate any historic resources. Therefore, no guidance on addition or modification is required.

New Architecture

The prominence of Parcel 7 within the historic East Campus provides an opportunity for design creativity and excellence that can influence the quality of new architecture on other parcels within the campus. The new buildings within Parcel 7 will play a critical role in the successful redevelopment of the East Campus. They provide an opportunity to create an attractive

and inviting campus façades along MLK Avenue, while fostering an harmonious relationship with the historic buildings of the Maple Quadrangle Sector, the CT Village Sector, and Building 100. The new buildings on Parcel 3 will also define the experience of several key features of the East Campus Master Plan: the southern connection between MLK Avenue and the campus, at the MLK Neighborhood Center itself; the curved connection between Sycamore and Dogwood Streets; the entrance to the campus along 8th Street; and the southern boundary between the campus and the adjoining neighborhood of Congress Heights.

N.1 Façades visible along MLK will create an image for all new development. The projecting southwest corner of this parcel will be particularly visible to traffic moving in either direction along MLK Avenue, and so the opportunity for a tower element in this location (which is provided in the regulating plan) should be considered.

N.2 The new buildings should encourage continuous pedestrian traffic and activity along MLK Avenue, into the campus via Cypress Street and the MLK Neighborhood Center, and along Dogwood Street. They should promote ground-floor retail, signage, and street-activating uses.

N.3 The north façade of Parcel 7 should be compatible with the southernmost façade of Parcel 3, as the two both face Cypress Street and, together, will define the entrance to the MLK Neighborhood Center. Important views to consider include those both east and west

LEGEND

	Street centerline	
	Right-of-way/parcel line	
	FEMA Parcel: Subject to the Master Plan and Design Guidelines	
	Parcel number	
	Development pads for new construction	
	Coordinate development pads with WMATA	
	Building set back line	
	Historic Building Number	
	Existing historic building to be preserved	(A) 13th Street Section
	Existing historic building to be preserved & relocated	(B) Pecan Street Section
	Existing historic architectural features may be removed	(C) Retail on One Side Section
	General location for architectural or urban design features (refer to Design Guidelines)	(D) Retail on Two Side Section
	Creative Programming Priority Area	(E) Sycamore Street Section
	Historic landscape areas	(F) Cypress Street Section
	Loading and parking access areas	(G) Typical Street Section
	Suggested Building Setback Location	

along Cypress Street, as well as those internal to the space itself.

N.4 Façades internal to the campus will be broadly visible and should be designed accordingly. Designs should consider particular views including: south along Sycamore Street; northwest along Dogwood Street; and northwest through the CT Village.

N.5 Parcel 7 will define the 8th Street campus entrance. In combination with Parcel 10 Special consideration should be given both to views north along 8th Street (from outside the campus) and to views southwest along Oak Street (from inside the campus).

N.6 The new buildings in Parcel 7 should be compatible with the historic character of Building 100 to the east and the CT Village to the southeast.

N.7 Although not street-facing, the southwest edge of Parcel 7 will be broadly visible from Congress Heights, and should be articulated as if it was street-facing.. Consideration should be given to the scale and general compatibility of architectural relationships directly to the southwest.

N.8 Massing should respect the build-to, setback, height and frontage parameters described in the regulating plan.

Landscape

L.1 MLK Plaza is proposed to be a neighborhood center connecting Congress Heights to Saint Elizabeths, and providing a retail hub for the campus.

L.2 The plaza includes symmetrical public spaces opening onto Cypress Street toward MLK Avenue that invite the community into the development. The design of paving and plantings should support this objective.

L.3 The plaza paving should provide retail frontage access and allow for café seating and street trees should help to frame the space. However, the foliage density should be carefully considered to promote visibility, access, and safety.

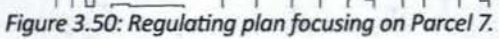




Figure 3.51: Similar to the proposed MLK Plaza, buildings are set back to create additional civic space along the street in San Diego, California..

Publically Accessible Open Space: MLK Plaza

Positioned on both sides of the intersection of Cypress Street and MLK Avenue, MLK Plaza is intended to be a new neighborhood center of Congress Heights. New businesses join the established retail along MLK Avenue, from the Center of Congress Heights, leading north towards the East Campus. Retail will then turns into the campus at Cypress Street and locate on the north and south sides of the plaza.

The buildings facing the plaza should have a noteworthy design that helps create a sense of place, with a level of transparency that helps activate the space and enliven the plaza at night. Pervious paving and landscaping appropriate for an active retail venue should be included. This will be a neighborhood gathering place, with benches, and café seating.



Figure 3.52: Wide, tree-planted sidewalks accommodate multiple uses in Barcelona, Spain.



Figure 3.53: Perspective Illustration of the MLK Plaza

PARCEL 8



Figure 3.54: Illustrated plan focused on Parcel 8.

Parcel Area	2.6 Acres
New Development Pad Area	0 Acres
Recommended Building Heights	2 Stories
Allowable Land Uses	Civic/Community
Ground Floor Retail	Not Allowed, See Fig. 2.15
Recommended FAR	0.37
Programmed Open Space	Community Park 1

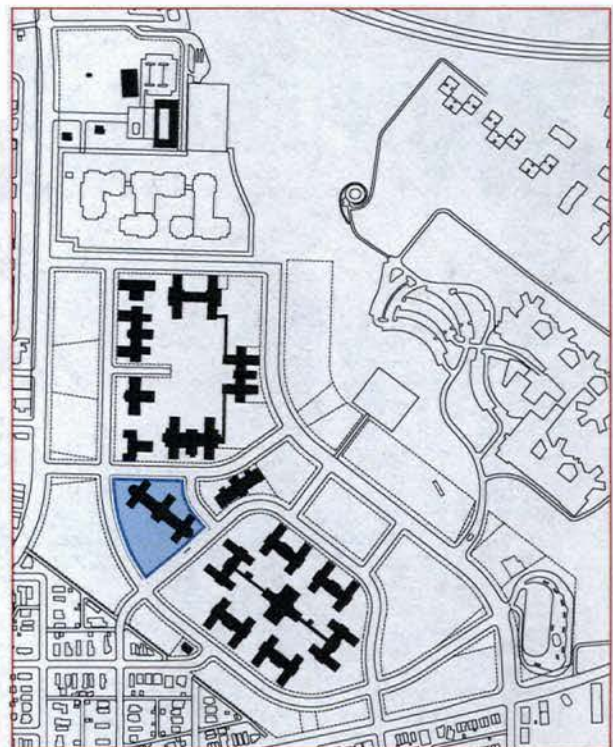


Figure 3.55: Parcel 8 Key Map

HISTORIC RESOURCES: PARCEL 8



Cupola



Brick Chimneys



Highly Articulated Footprint



Complex Roof Forms

Figure 3.56: Parcel 8 Character Defining Features

Parcel 8 Contributing Buildings:

- » "Building 100, 1902

- » Brick chimneys

Parcel 8 Character-Defining Features:

- » Highly articulated footprint
- » Complex roof forms and rooflines
- » Symmetry in elevation and plan
- » Red brick walls and red ceramic roof tiles
- » Overhanging eaves with exposed rafter ends and brackets
- » Cupolas

- » Prominent central entrance facing Dogwood Street
- » Punched openings with multi-light wood windows
- » Stone and brick detailing and ornamentation
- » One- and two-story porches

LEGEND

	Street centerline	
	Right-of-way/parcel line	
	FEMA Parcel: Subject to the Master Plan and Design Guidelines	
	Parcel number	
	Development pads for new construction	
	Coordinate development pads with WMATA	
	Building set back line	
	Historic Building Number	
	Existing historic building to be preserved	(A) 13th Street Section
	Existing historic building to be preserved & relocated	(B) Pecan Street Section
	Existing historic architectural features may be removed	(C) Retail on One Side Section
	General location for architectural or urban design features (refer to Design Guidelines)	(D) Retail on Two Side Section
	Creative Programming Priority Area	(E) Sycamore Street Section
	Historic landscape areas	(F) Cypress Street Section
	Loading and parking access areas	(G) Typical Street Section
	Suggested Building Setback Location	

PARCEL 8

Parcel 8 includes building 100 (The “P Building”), which was constructed along with the 1902 Buildings, and is similar to those buildings in many respects. Building 100 is included in the anticipated Phase One development and is identified as a center for innovation and entrepreneurship. The center should be flexibly designed and programmed to accommodate a range of activities to support the development of an “Innovation Hub” on campus. The center should support the education, workforce development, and business development needs for Ward 8 residents, District entrepreneurs, and business. Building 100 is thus one of the few buildings with direct historical and

architectural ties to development on the West Campus. Both this building and the landscapes directly around it should be sensitively programmed and rehabilitated.

Parcel 8 Design Guidelines

Addition and Modification

Building 100 is included in the intended Phase One development and is identified as a center for innovation and entrepreneurship. The center should be flexibly designed and programmed to accommodate a range of activities to support the development of an Innovation Hub on campus. It should support the education, workforce development, and business development needs for Ward 8 residents, District entrepreneurs, and local businesses.

A.1 Character-defining features of the contributing buildings should be preserved as part of any rehabilitation/modification scope.

A.2 The architecture of the addition should be compatible with the character of the historic building.

Porches should remain as distinct forms and features, and all elevations of porches should remain unobstructed by additions.

A.3 The porches should be preserved. They were not originally enclosed, and methods of enclosure have varied over time. Current enclosures (screens, windows, masonry) are generally incompatible with



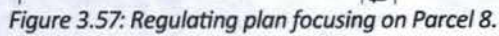




Figure 3.58: The Public Park will could be planted in a garden style.



Figure 3.59: The Park adjacent to the community building (Building 100) could have a wide variety of uses to accommodate a variety of park users.

the character of the buildings and can be removed if the porches are to be re-opened.

A.4 Any new porch enclosures should be transparent in order to convey the original use and character of these features, and to maintain their distinction from window openings.

A.5 Additions should be limited to the original rear (east) elevations of the historic buildings and not visible from Dogwood Street.

A.6 Additions should be designed and sited to maintain the symmetry of both the rear elevation and the building footprint.

A.7 Additions should be designed to allow the building's original footprint to remain legible and avoid creating the effect of infill.

A.8 The height of an addition should not exceed or touch the eave line of the historic building.

A.9 The incorporation of flat green roofs on additions is encouraged.

New Architecture

N.1 New architecture within Parcel 8 will be limited to additions to the existing building (see the previous section for relevant design guidelines).

Landscape

The landscaping and green space around the 1902 Buildings historically consisted of dense and informal groupings of large shrubs and trees, which helped to create a private and therapeutic environment for the patients and staff. Many mature plantings remain in place today, but much of the historic landscaping is no longer intact or has deteriorated.

L.1 New landscaping around the 1902 buildings should be both informal and dense, in keeping with the character of the historic landscaping.





Figure 3.60: Perspective Illustration of the Park at the Community Center (Building 100)

L.2 Foundation plantings are discouraged.

L.3 Restoration of original paving areas to green space is strongly encouraged. The need for new sidewalks and pedestrian ways will have to be balanced with the desire to respect the historic landscape character.

L.4 Designs for new accessibility features should maintain the symmetry of the building and associated green space as viewed from Dogwood Street.

Publically Accessible Open Space: Community Park 1

This park will provide ample room to create a lush experience of flower gardens featuring seasonally colored trees and flowers, including some grand trees at the heart of the space. Paved walks and seating areas with benches will provide neighborhood residents and workers a quiet place to relax. Additionally, creative programming opportunities are envisioned for this space in order to activate it and provide for an enhanced pedestrian experience leading from the Congress Heights Metro Station. "

SECTOR: CAMPUS INTERSECTION

The Intersection Sector lies at the junction of the Maple Quadrangle, CT Village, MLK Neighborhood Center, and 13th Street sectors, and shares goals and strategies with all of these areas. A key opportunity and responsibility of the Intersection Sector is successfully to link the historic areas of the East Campus with larger-scale new development along and across 13th Street. This Sector will also be an area for users of the Innovation Hub, supporting the interactions between federal, private, institutional and nonprofit stakeholders, and residents in entrepreneurial activities.

- » Coordinate design decisions with relationships to all adjacent Sectors.

Parcel Summary

The Intersection Parcel includes Parcels 9 and 12.

Sector Urban Design Principles

- » Ensure the building heights and massing are sensitive to the surrounding historic structures.
- » Promote both north-south and east-west porosity and pedestrian movement across the campus.
- » Use architectural, landscape, and related elements to frame and emphasize historic oval structures.
- » Respect Building 102 within the context of new development by decreasing the height of new buildings closer to the historic structure.
- » Provide appropriate visual backdrop for views of CT Village from the west and south.
- » Promote and enhance views along 13th Street.
- » Promote/enhance views along Cypress Street and into future open space along 13th Street.
- » Maximize utility and minimize negative effects of service/delivery traffic throughout.



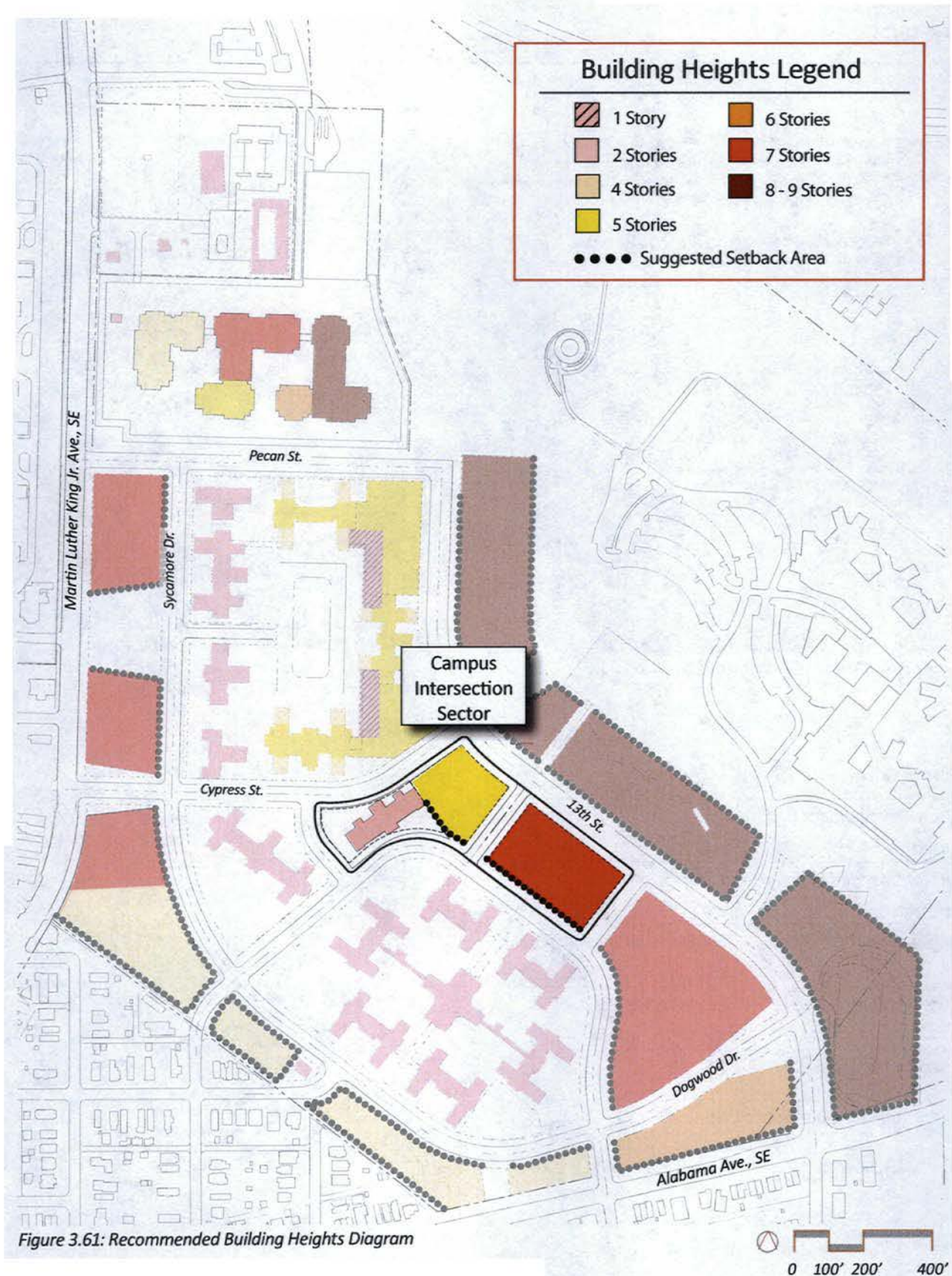


Figure 3.61: Recommended Building Heights Diagram

PARCEL 9



Figure 3.62: Illustrated plan focused on Parcel 9.

Parcel Area	2.0 Acres
New Development Pad Area	0.96 Acres
Recommended Building Heights	5 Stories
Allowable Land Uses	Commercial/Innovation, Educational Institution
Ground Floor Retail	Allowed, See Fig. 2.15 for specific locations
Recommended FAR	1.5
Programmed Open Space	None

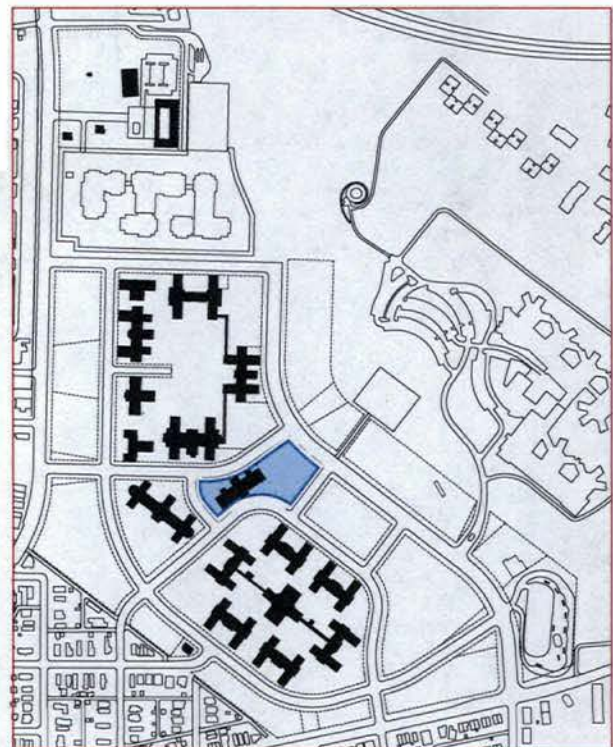


Figure 3.63: Parcel 9 Key Map

HISTORIC RESOURCES: PARCEL 9



Figure 3.64: A 1932 Picture of Building 102

Parcel 9 Contributing Buildings:

- » Building 102 on Parcel 9 is a 1902 building and shares many characteristics with that group (see section on Parcel 4).

Parcel 9 Character-Defining Features:

- » Highly articulated footprint
- » Complex roof forms and rooflines
- » Symmetry in elevation and plan
- » Red brick walls and red ceramic roof tiles
- » Overhanging eaves with exposed rafter ends and brackets
- » Cupola
- » Punched openings with multi-light wood windows
- » Stone and brick detailing and ornamentation
- » One- and two-story porches

PARCEL 9

Parcel 9 occupies the northeast corner of the CT Oval and extends along the south side of Cypress Street. It contains historic Building 102, which has a plan configuration and orientation unique on the East Campus. It also includes a buildable lot to the northeast, at the corner of Cypress and 13th Streets. New development on this lot will reap the advantages of this central location and prominent position, and should respect the multifaceted nature of its situation. Components of the Innovation Hub in this parcel could

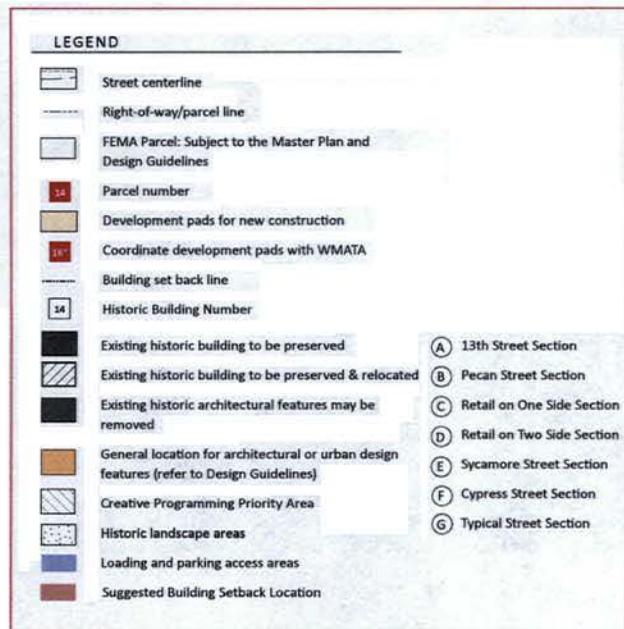
include research, development, and product assembly.

Parcel 9 Design Guidelines

Addition and Modification

A.1 Character-defining features of the contributing buildings should be preserved as part of any rehabilitation/modification scope.

A.2 The ground floor on parcel 9 should have active uses and windows to ensure transparency.



A.3 The porches on building 102 should be preserved as visually distinctive elements. The porches were not originally enclosed and methods of alterations to enclose them have not been consistent over time. Current enclosures (screens, windows, masonry) are generally incompatible with the character of the buildings and can be removed if the porches are to be re-opened.

A.4 For at least 30 feet from any point on Building 102, the height of the addition should remain below the height of the eaves of Building 102.

New Architecture

The new architecture within Parcel 9 will occur at the center of the East Campus and will define the intersection of 13th and Cypress streets as well as the entrance to the adjoining plaza. To the extent possible, Parcel 9 should work in concert with its neighboring buildings to establish a coherent urban form and identity. It will form the eastern visual edge of the CT Village and should be designed accordingly. Consideration should be given to the direct relationship to the existing CT

Village buildings as well as to the views along Oak Street in each direction and rooftop views across the entire CT Village.

N.1 The architecture of Parcel 9 should be compatible with the historic character of the CT Village and Building 102.

N.2 Preserve views along Oak Street in each direction and across the entire CT Village.

Landscape

The landscaping and green space around the 1902 Buildings historically consisted of dense and informal groupings of large shrubs and trees, which helped to create a private and therapeutic environment for the patients and staff. Many mature plantings remain in place today, but much of the historic landscaping is no longer intact or has deteriorated.

L.1 New landscaping around the 1902 Buildings should be both informal and dense in keeping with the character of the historic landscaping.

L.2 Foundation plantings are discouraged.

L.3 Restoration of original paving areas to green space is strongly encouraged. The need for new sidewalks and pedestrian ways will have to be balanced with the desire to respect the historic landscape character.

L.4 Designs for new accessibility features should maintain the symmetry of the buildings and associated green space as viewed from Dogwood Street.

L.5 Along Oak Street, the build-to line is set back from the right-of-way in order to provide generous foundation plantings between the back of the curb and the building face.



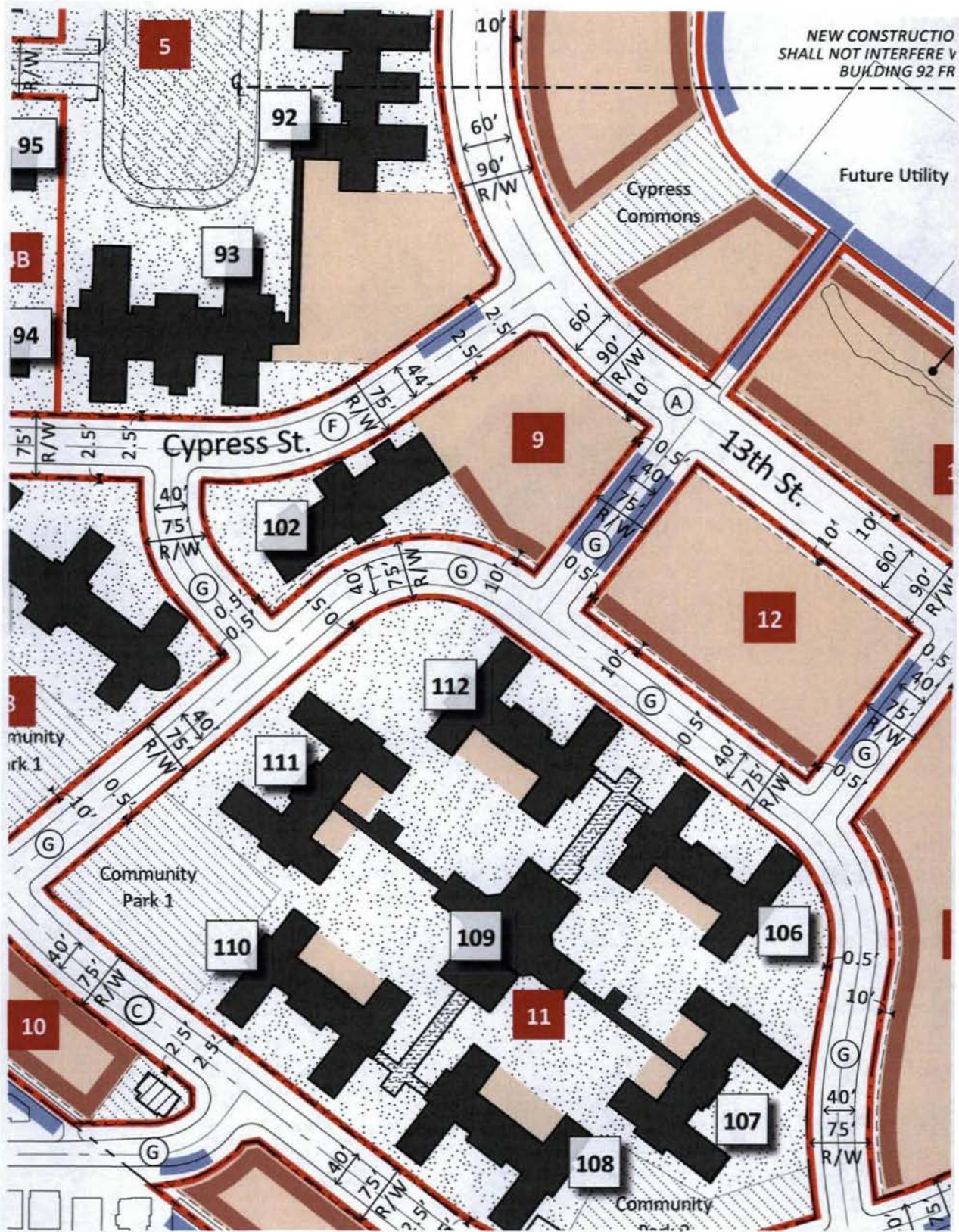


Figure 3.65: Regulating plan focusing on Parcel 9.

PARCEL 12

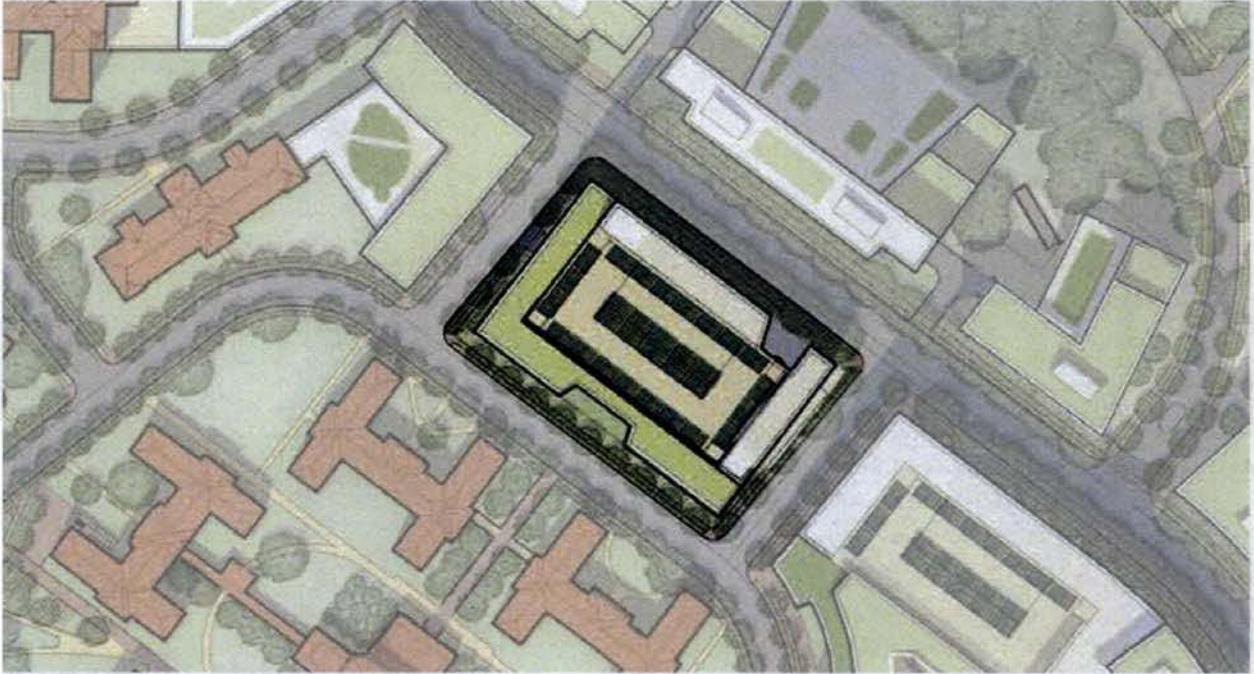


Figure 3.66: Illustrated plan focused on Parcel 12.

<i>Parcel Area</i>	1.6 Acres
<i>New Development Pad Area</i>	1.6 Acres
<i>Recommended Building Heights</i>	7 Stories
<i>Allowable Land Uses</i>	Residential, Commercial Office
<i>Ground Floor Retail</i>	Allowed, See Fig. 2.15 for specific locations
<i>Recommended FAR</i>	3.5
<i>Programmed Open Space</i>	None

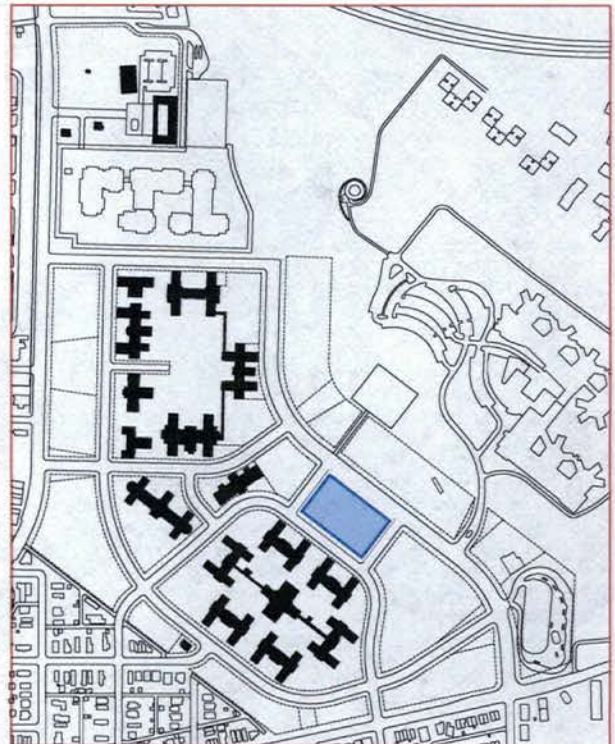


Figure 3.67: Parcel 12 Key Map

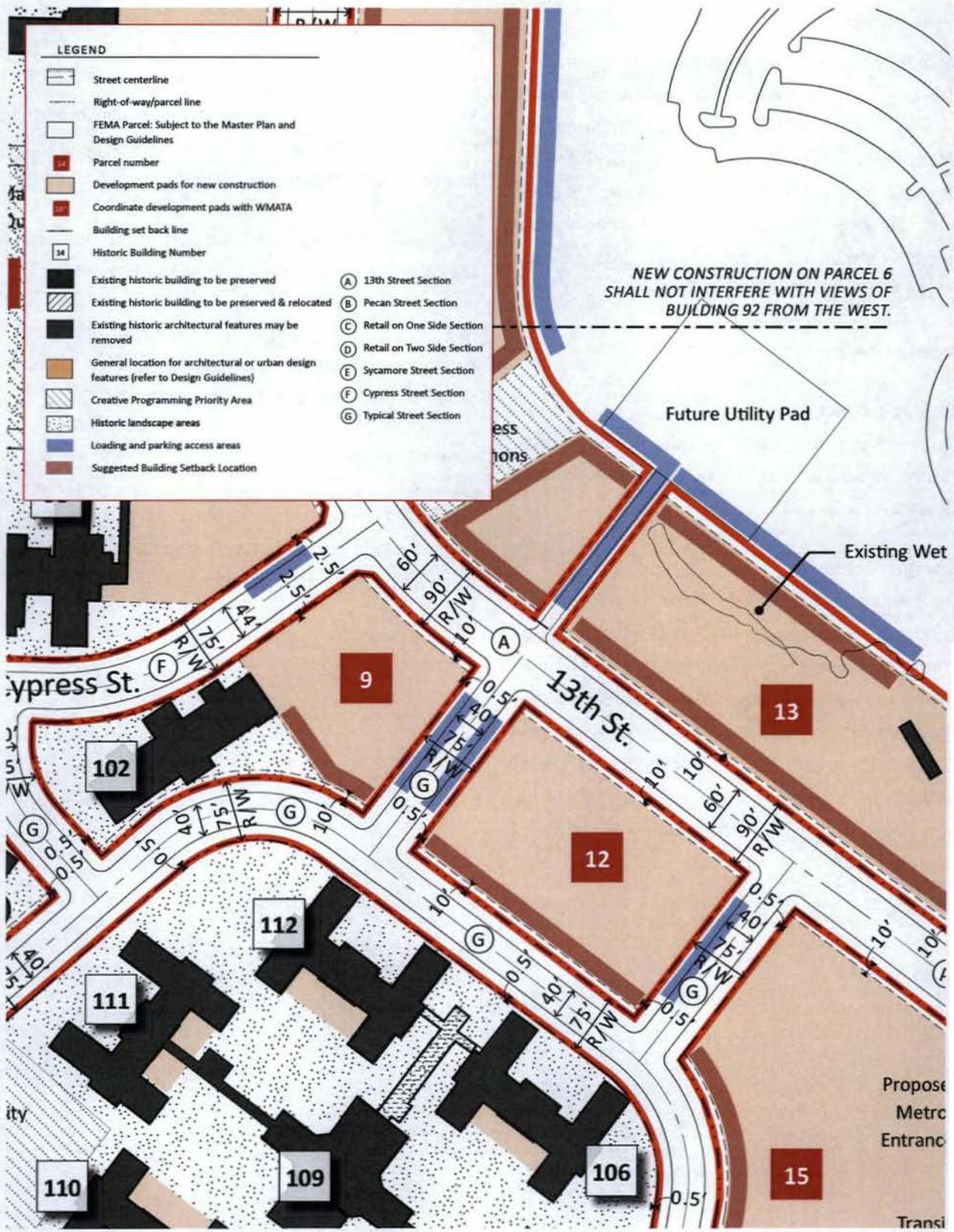


Figure 3.68: Regulating plan focusing on Parcel 12.

PARCEL 12

Parcel 12 lies directly between the CT Village and 13th Street, and provides one of the larger opportunities for development on the East Campus. Proposed uses within this parcel consist of residential and commercial office. As this site is relatively regular in shape, it offers a particular opportunity to provide parking without visual disruption to neighboring buildings or open spaces.

Parcel 12 Design Guidelines

Addition and Modification

The development of Parcel 12 does not incorporate historic resources. Therefore, no guidance is provided for addition or modification.

New Architecture

The new architecture within Parcel 12 will compose a critical link between the historic CT Village and new developments around the Congress Heights Metrorail station and along 13th Street. As these areas will vary significantly in both scale and density, designs for Parcel 12 will need to consider and manage the transitions between them and, in particular, the visibility of the west face, which will form the eastern edge of the CT Village.

N.1 Along with new buildings on Parcels 9 and 15, Parcel 12 will form the eastern visual edge of the CT Village and should be designed so the building heights of the new development step down to the scale of the low-rise historic structures.

N.2 New buildings should incorporate entrances on the sides facing the CT Oval road and 13th Street.

N.3 The use of photovoltaic systems or structures over parking areas is encouraged, especially if they can be screened from view from the ground.

Landscape

L.1 On Oak Street, the build-to line is set back from the right-of-way in order to provide generous foundation plantings between the back of the curb and the building face.

