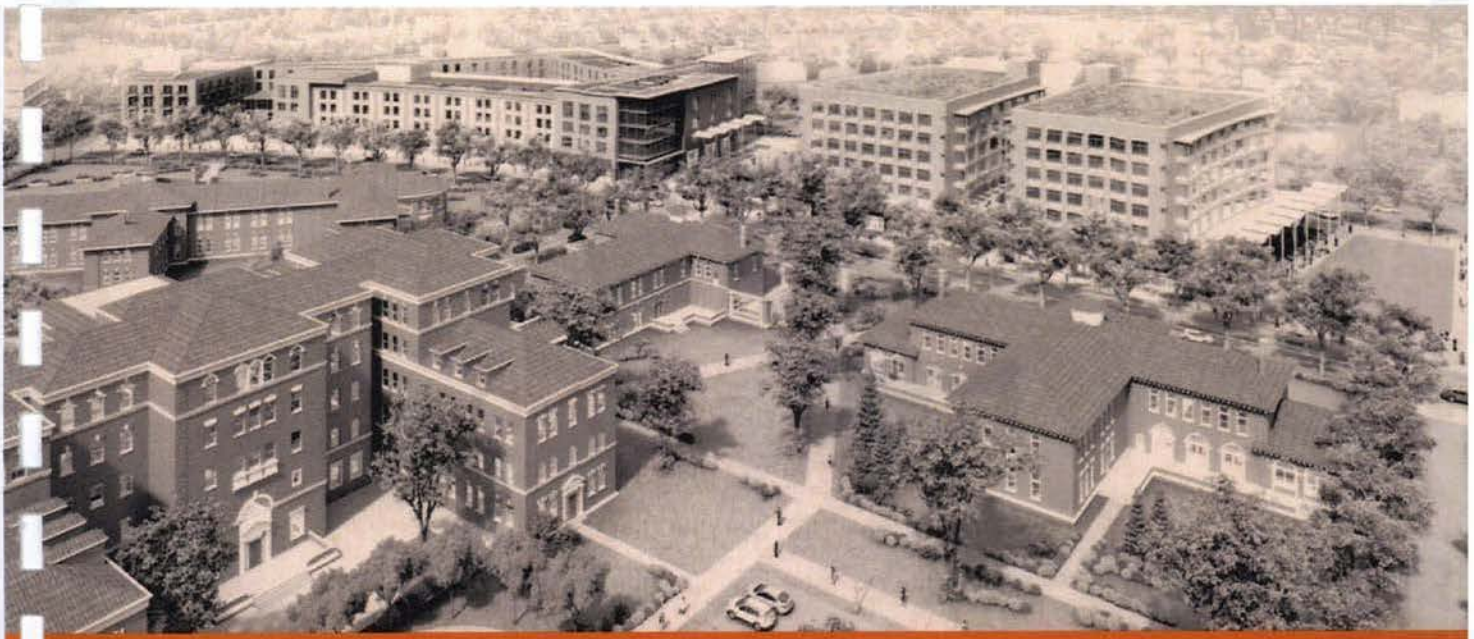




St Elizabeths East



Master Plan and Design Guidelines

Government of the District of Columbia

June 4, 2012

Final Plan

ZONING COMMISSION
District of Columbia

CASE NO. 12-08

EXHIBIT NO. 3

ATTACHMENT 4

ZONING COMMISSION
District of Columbia
CASE NO.12-08
EXHIBIT NO.3A1



This report was generated in collaboration with the following organizations:

The District of Columbia Office of Planning

The Deputy Mayor for Planning & Economic Development

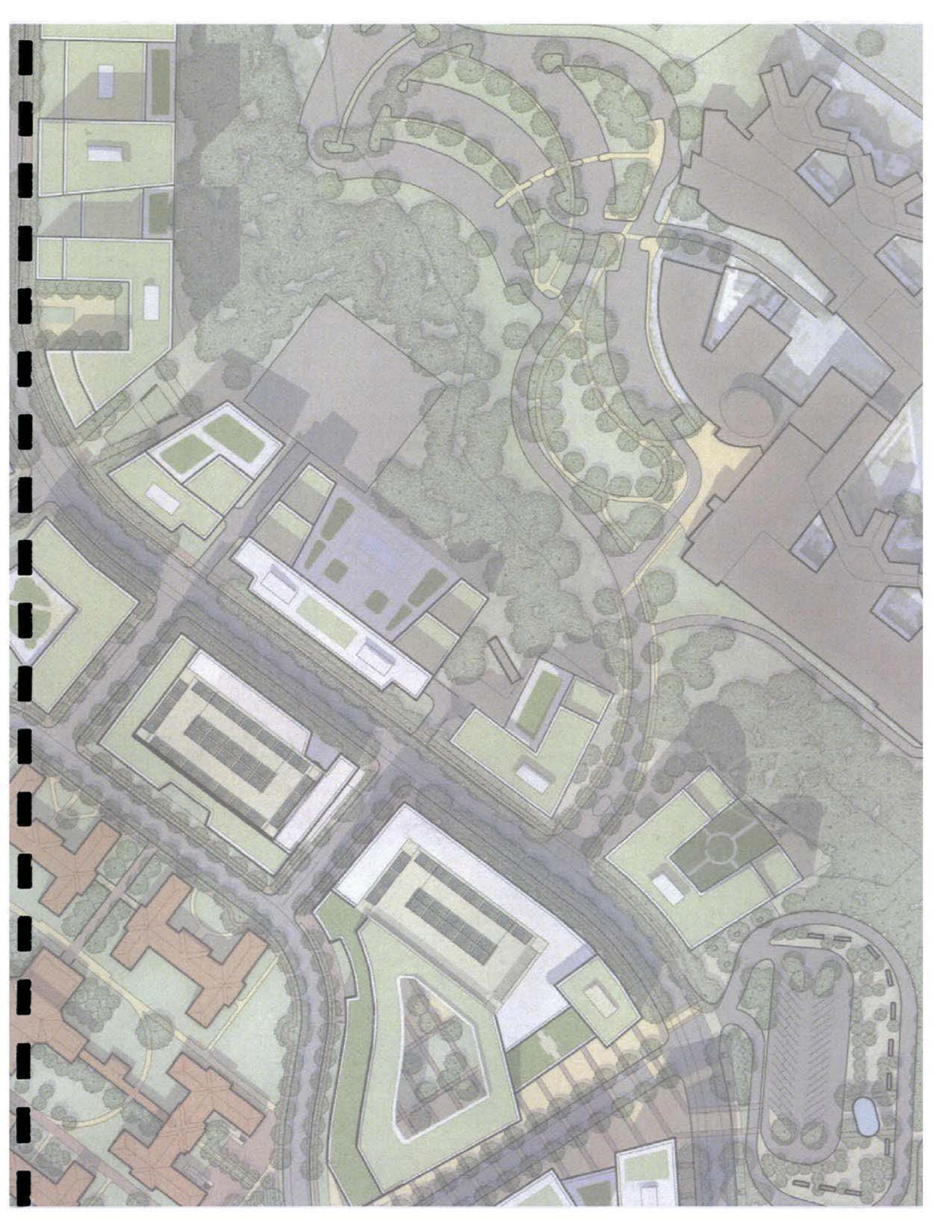
The District of Columbia Department of Transportation



Consultant Team:

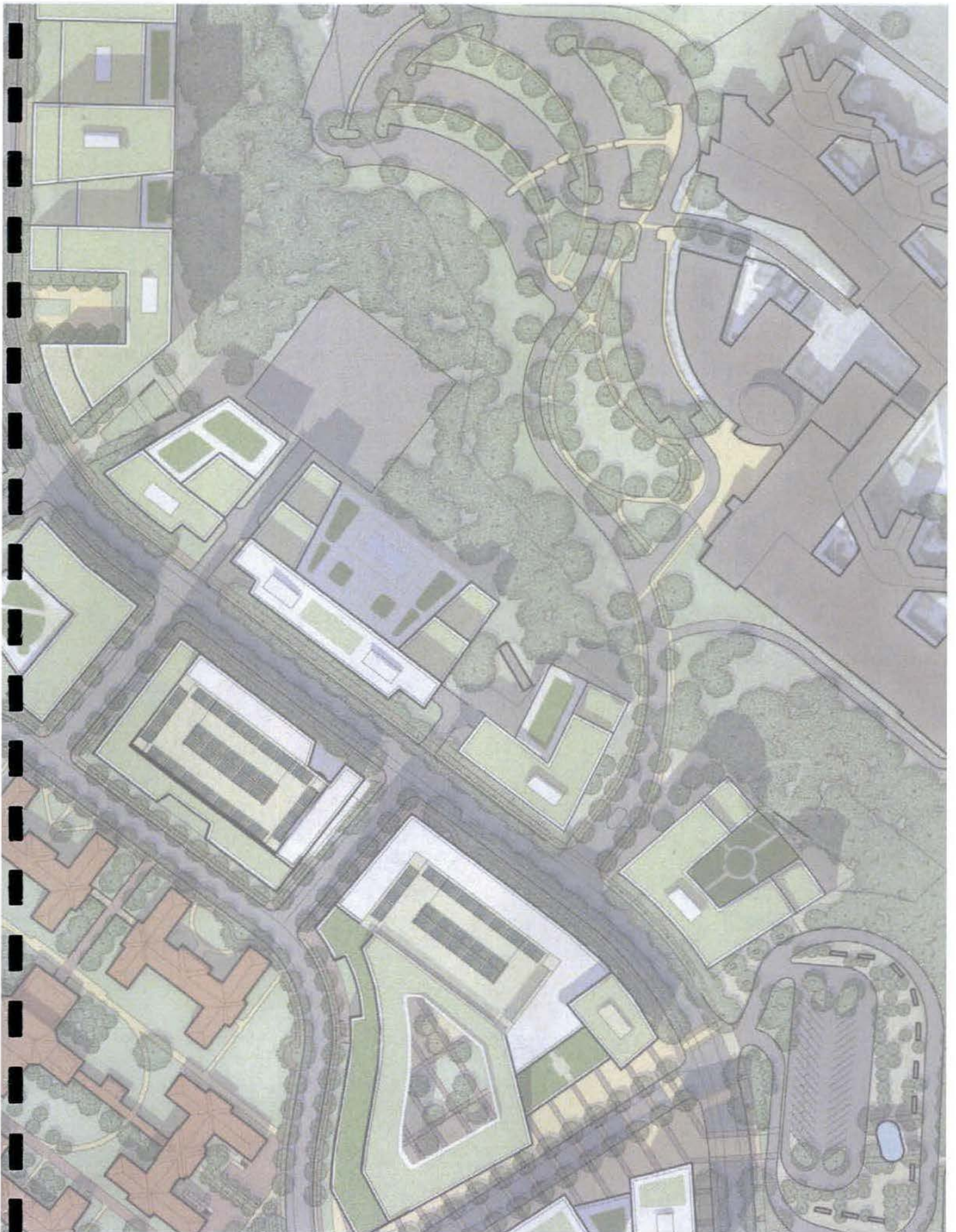


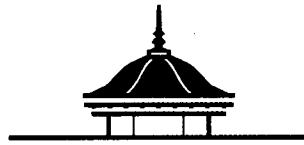
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St Elizabeths East

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Executive Summary



EXECUTIVE SUMMARY

SAINT ELIZABETHS EAST CAMPUS

For more than a decade, the District of Columbia has been an enduring bright spot in the national economy, with substantial job growth, widespread real estate development, and improved quality of life. The redevelopment of the Saint Elizabeths East Campus offers the opportunity to build significantly on these successes. The 180-acre campus, comprising part of a former mental health hospital complex, is one of the District's largest redevelopment sites. Its unique setting offers the capacity to support approximately five million square feet of mixed-use development. District Mayor Vincent C. Gray and other city officials recognize that this site presents a once-in-a-generation opportunity to transform a historic landmark into a vibrant neighborhood center to showcase the District's emerging innovation economy.

The East Campus Master Plan builds on this potential by creating the framework for an important community hub within the Congress Heights neighborhood, while promoting the District's emerging innovation economy through redevelopment. Its recommendations for residential, commercial, cultural, and institutional uses aim to bring renewed vibrancy to the East Campus as well as to surrounding areas, Ward 8, and the city of Washington.

At the same time, the Master Plan respects the remarkable history of Saint Elizabeths. The hospital was established by the United States Congress in the 1850s, largely as the result of the efforts of mental health advocate Dorothea Dix, and became known for its pioneering treatments and distinctive facilities. Both the East and West campuses were added to the National Register of Historic Places in 1979, designated a National Historic Landmark in 1990, and declared a local historic district in 2005.

In 1987, the federal government transferred the 180-acre East Campus to the District and, in 2004, the General



Figure 0.1: 1950s Photo of Maple Quad

Services Administration (GSA) assumed control of the West Campus for use as a future federal government facility. In 2007, the US Department of Homeland Security (DHS) decided to consolidate its operations on the West Campus and redevelop that site.

From the District's perspective, the DHS consolidation is seen as a potential catalyst for expanding the city's innovation sector and diversifying its economy. Over time, this federal agency will increase neighborhood demand for improved retail amenities and services. Moreover, proximity to DHS and the historic character of the Saint Elizabeths campus provide a unique advantage in attracting federal contractors and security-related businesses to this area. Such economic activity, in turn, will help increase entrepreneurial activity, venture capital investment, and workforce development within the District.

Therefore, this Master Plan is comprehensive in scope to provide standards for revitalization of historic resources, land use and development, infrastructure, building height and density, public open space, and sustainable measures in every sector of the site. Its recommendations are buttressed by a Transportation Plan of improvements to the East Campus that have been coordinated and approved by the District of Columbia Department of Transportation (DDOT) and the Federal Highway Administration (FHWA).

Chapter One of this document provides background on the Saint Elizabeths East Campus and the planning process. It includes analyses of its position in the region, contextual conditions in and around the planning area, and a summary description of the community process to develop this plan.

A MASTER PLAN FOR SAINT ELIZABETHS EAST

Chapter Two presents the Master Plan and site-wide guidelines. Part of the plan sets forth a Vision representing the future assets and characteristics of the East Campus as desired by the District, community representatives, and local stakeholders. The Vision Statement is supported by a series of goals that summarize the principal aspirations of the Master Plan along with specific steps for achieving each objective.

This Master Plan is intended to be a roadmap for future development and its implementation, which will evolve over the next five to 20 years. Specifically, the Plan is organized around the following key issues:

- » Historic Resources
- » Transportation and Connectivity
- » Building Height and Density
- » Land Use and Development
- » Public Open Space
- » Sustainability and Site-Wide Infrastructure

The Illustrative Concept Plan, a graphic interpretation of redevelopment ideas, has been the primary means to develop and test ideas on the East Campus. Multiple iterations of the Illustrative Concept Plan were developed and presented to the public and community stakeholders. They were subsequently united to produce the Illustrative Concept Plan presented in Chapter Two.

This plan includes a reconfigured street network (based on the DDOT Transportation Plan), proposals for new public open space, sites for either new development

and/or redevelopment, and many other urban design components. The Illustrative Concept Plan is not a specific development plan for the East Campus but a tool for understanding a shared vision of Saint Elizabeths as a physical setting as well as for gauging how well future development proposals conform to this overall vision.

ARCHITECTURAL GUIDELINES

Chapter Three presents the Architectural and Design Guidelines for the East Campus, setting standards for:

- » Historic Structure Treatment and Building Addition
- » New Architectural Design and Materials
- » Parcel-Specific Guidelines

The Guidelines and Principles found in Chapters Two and Three communicate the intent of the Master Plan and help to inform future implementation efforts as redevelopment of the East Campus progresses.

TAKING THE NEXT STEPS

Chapter four describes in more detail the way that the Master Plan is implemented. The Saint Elizabeths East Campus Master Plan provides a foundation for preserving and enhancing the best of this historic setting, while making the most of opportunities that come with new development. Implementation of the Master Plan will require a planned and coordinated



Figure 0.2: Perspective illustration of the proposed East Campus.

effort, involving the community as whole, key stakeholders, including the private sector, federal partners, and city officials and staff. The steps toward implementation involve the four key areas:

- » Master Plan approval and completion of site entitlements;
- » Infrastructure and site systems design and construction;
- » Development solicitation; and
- » Development design and construction.

While there is a general understanding of the timing of these steps, the implementation of the Master Plan will be phased to respond to market forces that will evolve over time as the market permits. It will also be influenced by the availability of resources to invest in the transportation, utility infrastructure, and rehabilitation of historic structures.



1: Introduction



Figure 1.1: Rendering of historic Saint Elizabeths East Campus

CHAPTER 1: INTRODUCTION

Over the past decade, the District of Columbia has been a bright spot in the national economy with substantial job growth, widespread real estate development, and improved quality of life.” The revitalization of the historic Saint Elizabeths East Campus offers unparalleled the opportunity to build significantly on these successes. Saint Elizabeths East Campus is the District’s largest redevelopment site in the City. With five million square feet of development potential, a Metrorail station, adjacency to the new Headquarters of the US Department Homeland Security, and the rich architectural character of the existing historic buildings, Saint Elizabeths East presents profound opportunity to renew, restore, and reconnect the campus to the surrounding neighborhoods, Ward 8, and the city of Washington.

This Master Plan for the 180-acre site is a unique opportunity to merge innovative approaches in historic preservation, economic development, and sustainability to create a once-in-a-generation chance to stimulate economic and community revitalization at multiple levels. The Master Plan lays out a vision for a vibrant, mixed-use development with community-serving amenities that will create an important hub for the Ward 8 community and District’s emerging innovation economy. It is intended to be an implementable roadmap for the future development that will evolve over the next five to twenty years. The Plan is specifically designed to build on past planning efforts and form the foundation for the entitlement process that the city will complete to prepare the site for future development.

The Master Plan presents a unifying long-term vision around which the District, development partners and the site’s neighbors can rally. In addition to site-wide requirements, it offers a compelling picture of a final build-out of the site based on the best assumptions possible today. Thus, it ensures that what the District builds today will support its vision for tomorrow.

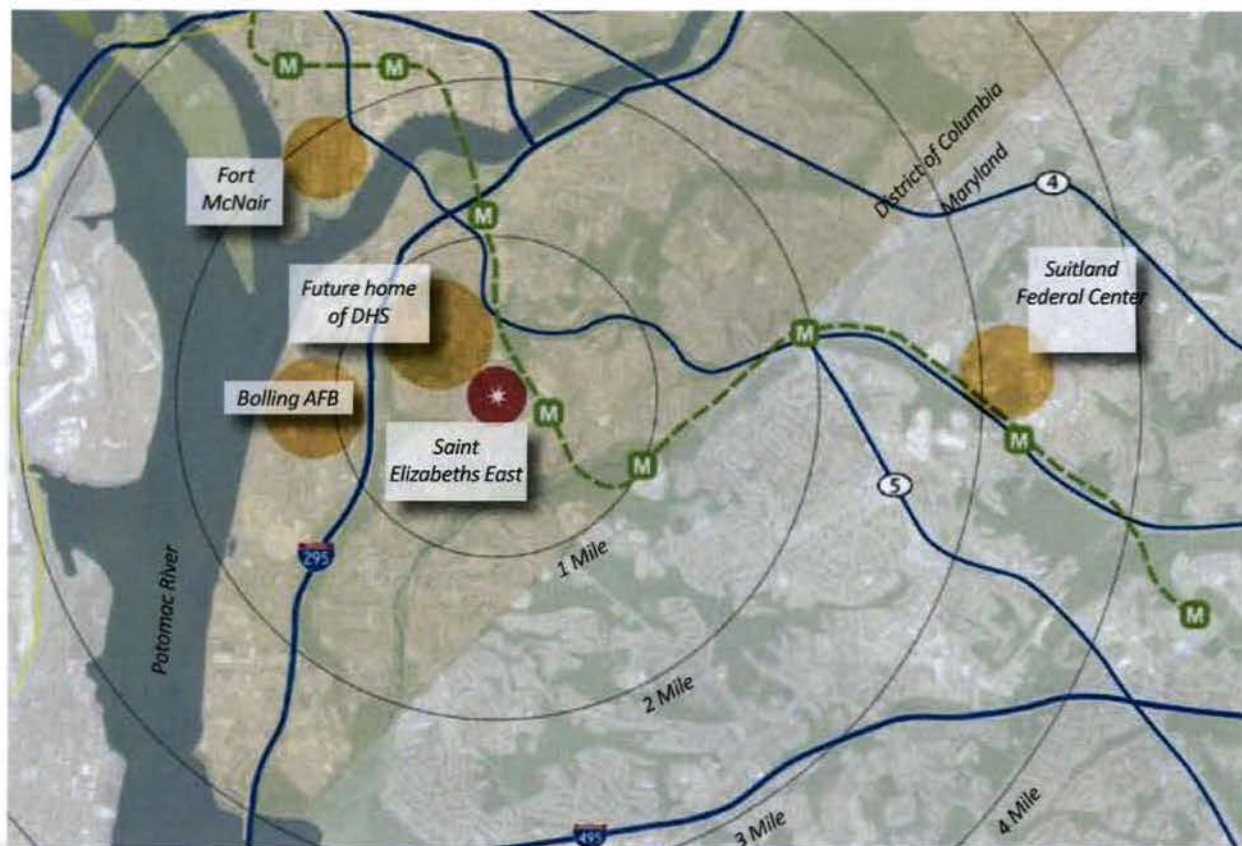


Figure 1.2: Regional context of the East Campus

THE OPPORTUNITY

The Saint Elizabeths East Campus comprises almost one half of the former mental health hospital established by the United States Congress in the 1850s. Over the last century, the buildings and landscape on the campus were developed to reflect advancements in mental health care and the functional demands of a 19th- and early 20th-century psychiatric institution. The hospital's philosophy embodied the nation's evolving views towards the mentally ill: Saint Elizabeths offered treatment in the hopes that patients could return to their previous lives, a significant departure from the widely held view that mental illness was incurable. This progressive thinking extended to the hospital's accommodation of African Americans and its pioneering of several treatments, including psychoanalysis and hydrotherapy. Due to this historic

significance as well as the architectural importance of the site, Saint Elizabeths was added to the National Register of Historic Places in 1979, designated a National Historic Landmark in 1990 and declared a local historic district in 2005.

In 1987, the federal government, thru the US Department of Health and Human Services (HHS), transferred the 180-acre East Campus to the District. HHS continued to use the West Campus until it was declared an "excess" property in 2001. In 2004 the General Services Administration (GSA) assumed control of the West Campus for use as a future federal government facility.

Saint Elizabeths' large size, its central regional location,



Figure 1.3: Site context of the East Campus

proximity to downtown and closed-off campus led the US Department of Homeland Security (DHS) and GSA to select the West Campus as the new DHS headquarters. The plans for the West Campus include DHS components, such as the National Operation Center, Customs and Border Patrol, and the US Coast Guard which are being relocated from sites across the region. Through the consolidation, DHS aims to facilitate communication, coordination, and cooperation across the Department, and achieve operational efficiency. Master planning, transportation planning and an environmental review process have been underway since 2005. Construction of the first new building on the West Campus, the US Coast Guard Headquarters, will be completed in 2013.

The DHS consolidation is seen as a potential catalyst for growing the innovation sector and diversifying the city's economy. Over time, DHS will add to the existing neighborhood demand for improved retail amenities and services; moreover, proximity to DHS and the historic character of the Saint Elizabeths campus provide a unique advantage in attracting federal contractors and security-related businesses to this area. Such economic activity, in turn, will help increase entrepreneurial activity, venture capital investment and workforce development within the District.



SITE HISTORY

In the 1850s, the United States Congress established the Government Hospital for the Insane at the urging of Dorothea Dix and other pioneering advocates for people with mental illnesses. The hospital was located in a largely rural area on a tract of land. This high plateau overlooking the city of Washington, DC, offered a natural landscape for the hospital campus to provide therapeutic and recreational opportunities for patients.

The hospital produced all of its own food on property east of the main campus. In 1902, the growth of hospital functions expanded to this East Campus. The buildings constructed during this period closely reflect the Italian Renaissance Revival architectural style of the West Campus. The Blackburn Laboratory, constructed during the late 1900s, marked a shift in the hospital's focus from purely patient care to research into mental illnesses. The buildings surrounding the Maple Quadrangle were built next, in the 1930s, and their architecture reflects the hospital's growing institutional stature. The Continuing Treatment (CT) buildings, completed in the 1940s, constitute the final phase of historic development on the East Campus.

In the 1950s, mental hospitals across the country began to discharge patients into community-based facilities as the result of backlash against large, impersonal institutions. The quality of patient care at Saint Elizabeths began to decline with this shifted focus. As a result, the federal government transferred ownership of the East Campus to the District of Columbia in 1987 to increase the city's capacity to provide mental health care for its residents. Patient care, however, continued to decline: the hospital lacked adequate medical supplies and modern facilities. The 2010 opening of the new Saint Elizabeths hospital has remedied these deficiencies and left the historic campus as a tremendous development opportunity for both the federal and the District governments.

THE VISION FOR THE FUTURE

Mayor Vincent C. Gray has prioritized the revitalization of the East Campus and elevated its importance as both a real estate project and an economic development opportunity. The Mayor and other city officials recognize that the East Campus presents an opportunity to transform a National Historic Landmark into a vibrant, mixed-use neighborhood center to showcase the District's emerging innovation economy. At the same time, the redevelopment of the East and West campuses must be connected to real opportunities for residents, businesses owners and stakeholders in the surrounding areas. The city's vision for the East Campus redevelopment is centered on interweaving these threads of opportunity into a realistic strategy for implementation.

To that end, the Mayor launched the Saint Elizabeths Redevelopment Initiative in 2011 as the umbrella effort to coordinate multiple projects and ongoing operations affecting the site, including:

- » Master Plan: The Office of Planning (OP) and the Office of the Deputy Mayor for Planning and Economic Development (DMPED), in coordination with agency partners, have developed this Master Plan to guide the physical development of the East Campus. The Plan embodies the revitalization principles of past planning efforts and aligns the physical redevelopment of the site with District policy goals for land use, transportation and economic development.



Figure 1.4: Ward 8 elementary students participated in an art contest to imagine the new development on the East Campus. The student's artwork is located in Appendix A.

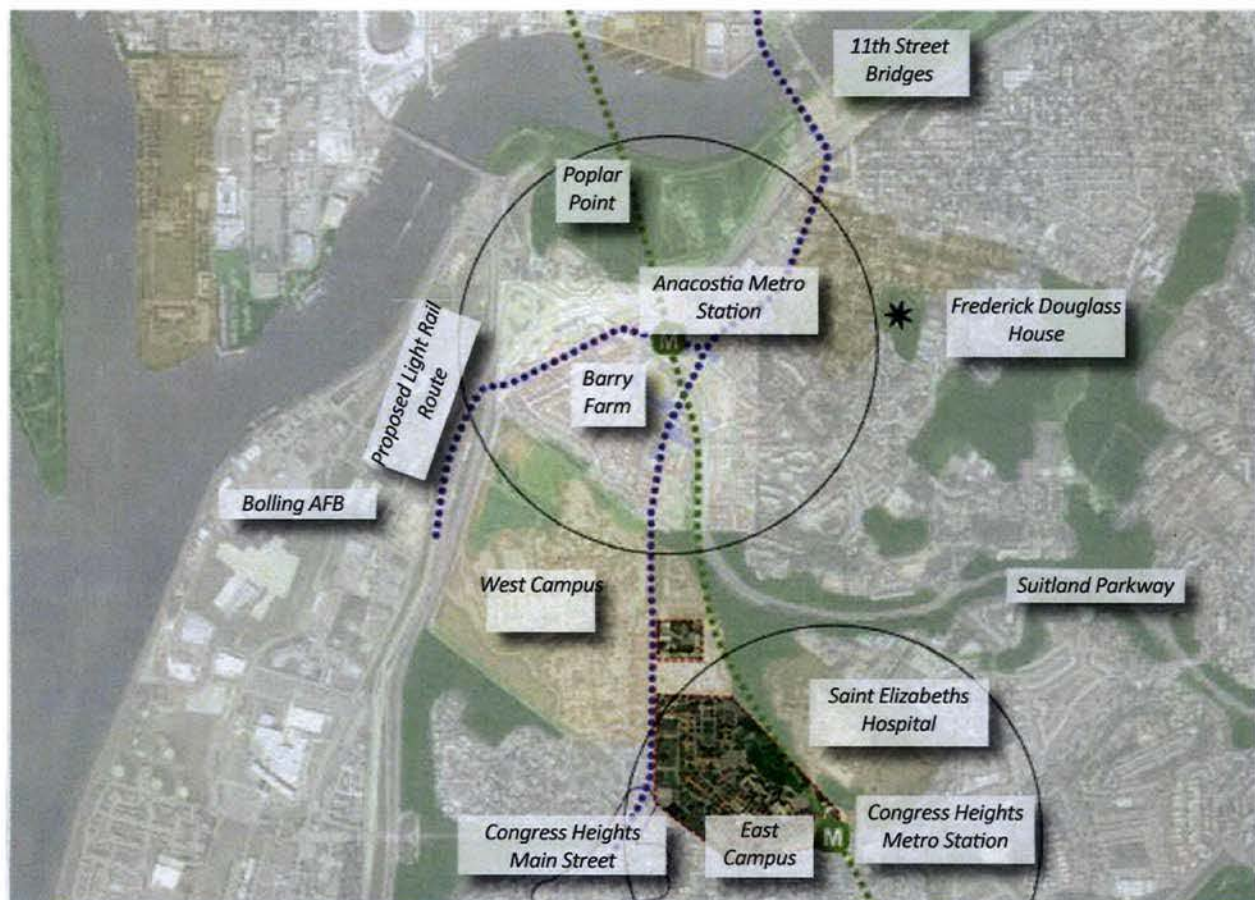


Figure 1.5: Congress Heights and Anacostia context

- » **Transportation Plan:** The District of Columbia Department of Transportation (DDOT) and the Federal Highway Administration (FHWA) are proposing improvements to the transportation network serving the Saint Elizabeths East Campus. Prior to moving the project through final design and construction, an Environmental Assessment (EA) of the proposed action and its potential effects is being prepared in accordance with the National Environmental Policy Act of 1969 (NEPA), the Council of Environmental Quality (CEQ) regulations 40 CFR 1500-1508), and the FHWA's Environmental Impact and Related Procedures (23 CFR 771).
- » **Innovation Strategy for Economic Development:** Funded by a grant from the US Economic Development Administration, the District's Innovation Strategy seeks to elevate the District into a world-wide leader in innovation and homeland security technologies. Developing this strategy involved an assessment of the DHS economy and the creation of an implementation road map that informed key elements of the East Campus Master Plan.
- » **District Investment and Facilities:** Planning for the East Campus redevelopment has been heavily



Figure 1.6: Saint Elizabeths Hospital

coordinated with existing users to ensure that new development and an open campus do not compromise function and security. These existing assets include: the new, state-of-the-art Saint Elizabeths hospital in the southeastern portion of the site; the District's Homeland Security and Emergency Management Agency; and the Office of Unified Communication housed on the northernmost portion of the campus. Another planned asset is the DC Water tower in the eastern ravine. This replacement facility will rise approximately 170 feet above grade to support a volume of at least 2 million gallons.

- » **Linkage to Neighborhood Investments:** To ensure that the East Campus is not developed in a vacuum, careful consideration is given to the many other development initiatives in Anacostia and Congress Heights neighborhoods that are planned or underway. This holistic approach ensures the campus development complements and leverages key assets and investments, such



Figure 1.7: Sheridan Station

as an Anacostia connection to the proposed DC Streetcar network, the Congress Heights Main Street and new residential development such as Mathew Memorial and Sheridan Station.

- » **Federal Coordination:** Since 2006, the District has been intensely coordinating the redevelopment of Saint Elizabeths with the GSA and DHS. This effort has focused on land use and transportation planning issues related to the DHS consolidation. In 2008, it became clear that the square footage for the consolidation on the West Campus was too intensive for that fragile historic site, so the District engaged in discussions with the federal government to locate the Federal Emergency Management Agency (FEMA) on the East Campus. The subsequent federal planning for this facility and the District's master plan have been closely coordinated to ensure that the physical development of the site is supportive of the District's redevelopment goals.

2008 FRAMEWORK PRINCIPLES

- » Capture the unique identity to create a sense of place.
- » Reinvigorate the campus as an important neighborhood center.
- » Preserve and celebrate heritage resources.
- » Embody the District's urban design and sustainability goals.
- » Create a strong public realm.
- » Improve community connectivity and open up access to the campus.
- » Enhance multi-modal transportation networks.
- » Support wider economic development initiatives.

THE NEED FOR A MASTER PLAN

Planning for Saint Elizabeths has been underway for more than a decade. Longtime residents and stakeholders have patiently contributed their ideas to a host of planners, consultants and city officials who initiated the early planning efforts for the campus. The District reached a significant milestone in 2008 with the completion of the Saint Elizabeths East Redevelopment Framework Plan and its approval by the DC Council. This Plan was the culmination of previous efforts and the first steps toward implementation of real improvements on the campus. It set out a vision for the

future redevelopment of the site that corresponded to eight guiding principles (see text box):

The Framework Plan also outlines the parameters of future development in terms of general land uses, maximum building heights, and development intensity. Its standards were incorporated in the District's Comprehensive Plan, as amended in 2011 and solidified the District's guiding policies for the site.

The Framework Plan is broad and aspirational in order to guide future planning and development activities at Saint Elizabeths. Additional master planning efforts were always anticipated in order to complete key requirements of the Plan and prepare the site for development. Accordingly, in 2011, the District undertook master planning, infrastructure planning, and site entitlement processes, with the Framework plan serving as a foundation, specific goals of the Master Plan include:

- » Identifying a market-based, implementable development program that realizes the economic development objectives of the city, while enabling the preservation of historic assets and character of the site;
- » Establishing a diverse mix of land uses and development densities that will support the vision of a vibrant, mixed use development that implement two key objectives:



- › Anchoring the Martin Luther King Jr. Avenue retail corridor and activating the edges of the campus with neighborhood-serving amenities;
- › Accommodating uses that support the District's emerging innovation economy tied to national security industries;
- » Ensuring the plan promotes a unique sense of place rooted in the reuse of historic buildings and retention of the original campus character;
- » Designing a complimentary public realm and street network that reinforces placemaking principles and creates destinations that link to the surrounding community and the West Campus ;
- » Cultivating a comprehensive sustainability approach that informs the master planning process and leads to innovative solutions for the site; and
- » Crafting design guidelines that supply the ground rules for future development and provide the flexibility to respond to changing times.

The goals formed the backbone of the planning process that was the result of collaboration between diverse groups of stakeholders. The resulting Master Plan seeks to balance these goals by providing both site wide principles and specific design guidelines for development parcels.



Figure 1.8: 2008 Framework Plan Illustrative 1



Figure 1.9: 2008 Framework Plan Illustrative 2

2011 MASTER PLANNING PROCESS

Creating the Master Plan followed a collaborative process that included extensive engagement with Ward 8 residents, historic preservation community, federal partners, private sector, and local and regional stakeholders. The District worked closely with Ward 8 Councilmember Marion Barry and his staff on all aspects of the planning process who offered guidance, support, and access to their community leaders that have been invaluable to shaping the vision for the East Campus.

Because of the size and impact of the development of the East Campus, the planning process included the entire city in its conception of stakeholders. Accordingly, Mayor Gray appointed a Saint Elizabeths Redevelopment Initiative Advisory Board, composed of national civic, political, educational and business leaders. Since its inception, the Board has offered feedback and advice to the planning process and has

brought a an expertise that will ensure the realization and success of the vision contained in this document.

Stakeholder engagement was undertaken jointly with the District Department of Transportation so that stakeholders could provide guidance on both the Master Plan and the Environmental Assessment for the East Campus Transportation Network. Collectively, these events provided the stakeholders with multiple platforms for engaging with the team during the three phases of the plan development process: analysis, exploration of alternatives, and development of the final plan.

During the analysis phase, the planning team acquired an understanding of the site context and constraints, with community members providing insight into neighborhood priorities. Throughout this stage there was continual engagement with both community and

STAKEHOLDER ENGAGEMENT TIMELINE

- | | |
|--|--|
| » May 4, 2011 - Saint Elizabeths Community Advisory Group | » September 9, 2011 - Mayor's Advisory Meeting One |
| » May 12, 2011 - Public Meeting One | » September 27, 2011 - Consulting Party Four |
| » June 2, 2011 - Public Walking Tour | » October 4, 2011 - Mayor's Advisory Meeting Two |
| » June 6, 2011 - Saint Elizabeths Community Advisory Group | » October 19, 2011 - Saint Elizabeths Community Advisory Group |
| » June 27, 2011 - Consulting Party One | » October 25, 2011 - Consulting Party Five |
| » July 6, 2011 - Saint Elizabeths Community Advisory Group | » October 26, 2011 - Mayor's Advisory Meeting Three |
| » July 14, 2011 - Public Meeting Two | » October 27, 2011 - Public Meeting Three |
| » July 19, 2011 - Consulting Party Two | » November 9, 2011 - Mayor's Advisory Meeting Four |
| » August 5, 2011 - Consultant Party Walking Tour | » December 13, 2011 - Consulting Party Six |
| » August 16, 2011 - Consulting Party Three | » February 29, 2012 - Consulting Party Seven |



historic preservation stakeholders to provide guidance on plan approaches, priorities, and requirements. The team held a series of meetings, workshops and walking tours to develop a community vision for the East Campus. The District also formed the Saint Elizabeths Community Advisory Group to provide more detailed guidance during the planning process. Please refer to Appendix 'E' for a complete list of Stakeholder participation.

Based on this input, the team developed two equally viable schemes addressing the same issues -- transportation, open space and new development -- on the site. The community and stakeholder groups then evaluated how well each scheme achieved the Framework Plan's eight development principles. The strengths from each scheme were combined to create the final Master Plan concept, which was again presented to the community for public comment. This work became the foundation for the Master Plan and Design Guideline document.

In a parallel effort throughout the planning process, the District also led a structured historic preservation consultation process that influenced the Master Plan and associated transportation actions. To ensure that the submitted Master Plan is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the historic covenants contained in the Deed, the city initiated consultation with stakeholders (including the DC SHPO and the ACHP) early in the process and has conducted six formal consultation meetings. The purpose of the consultation was to identify historic resources; identify and assess potential effects on historic properties; and



Figure 1.10: Three public meetings were conducted during the development of the East Campus Master Plan in order to receive community feedback.

resolve potential adverse effects through avoidance, minimization or mitigation in a unified campus plan. More detailed information on the consultation process can be found in Appendix D.

As a product of this process, the East Campus Master Plan provides all stakeholders with a vision of what their community can achieve, as well as a standard by which all future development proposals for the East Campus can be evaluated.

APPLYING THE MASTER PLAN

The Master Plan and corresponding design guidelines comprise recommendations for future development that address significant planning and development. This document provides the community and stakeholders with a refined vision and a guiding framework for future development on the East Campus, with a special focus on urban design, building form, and height, land use, public open space, environmental sustainability, energy use, and other key attributes of the built environment and public realm. Its principal objective is to steer future development so it is consistent with this preferred vision of the final Master Plan.

The Master Plan guidelines will help shape the development by establishing careful and coherent design direction for building forms and public spaces while recognizing the need for flexible parameters relative to building use and density. This greater emphasis on physical form is intended to produce safe, attractive and enjoyable public spaces supportive of mixed-use development. The guidelines present simple, clear graphic representations for height and siting of building elements to address the basic necessities of safe and pedestrian friendly streets and public spaces. The document is intended to be a resource and tool for the multiple parties that will play a role in the eventual development of the campus.

FOR THE CITY:

For city staff and public officials, this document forms the basis for the text to establish zoning on the site. Furthermore, the Master Plan, in combination with the subsequent zoning, will be used to shape the development solicitation and disposition process, as future projects are evaluated for consistency with the Master Plan. The Plan also lays out the next steps for additional infrastructure, utility and environmental coordination for the implementation phase of the project. Finally, the Plan will be used by project approval bodies, such as the Zoning Commission, Board of Zoning Adjustment, and the Historic Preservation Review Board, as guidance for evaluating future development on the East Campus.

FOR THE COMMUNITY:

This Master Plan articulates the community's desires for the future of the Saint Elizabeths East Campus and documents the results of extensive participation fruition. The Master Plan will be used as a resource for Advisory Neighborhood Commissions (ANC), specifically ANC 8C, and other stakeholders to assess specific development proposals for the East Campus for future building projects in Ward 8 and in the City.



FOR THE DEVELOPMENT COMMUNITY:

The Plan outlines the city's vision and expectations for future building on the East Campus. Set forth in the document are standards for allowable development in various areas of the site. These recommendations include Architectural and Design Guidelines addressing the various sectors of the campus as well as specific parcels within the site. They extend from the public realm to acceptable building massing, architectural styles, and materials. These recommendations are intended to provide the basis of developer's proposals for buildings and other improvements on the site.

This chapter has provided an overview of the purpose and goals of the Master Plan, as well as the outline of the planning process. Chapter Two describes the vision for the redevelopment, design character, and major components of the Master Plan. Chapter Three focuses on the architectural design of the East Campus to set forth the massing and character of the buildings. Chapter Three also breaks the campus into a series of sectors and provides specific design principles and guidelines to shape the development within that area. Lastly, Chapter Four describes the anticipated next steps and implementation recommendations for the campus. The document ends with a glossary of terms as well as an appendix of background studies supporting the Master Plan.



Figure 1.11: Public site tours were conducted to introduce the East Campus to the community.





2: MASTER PLAN

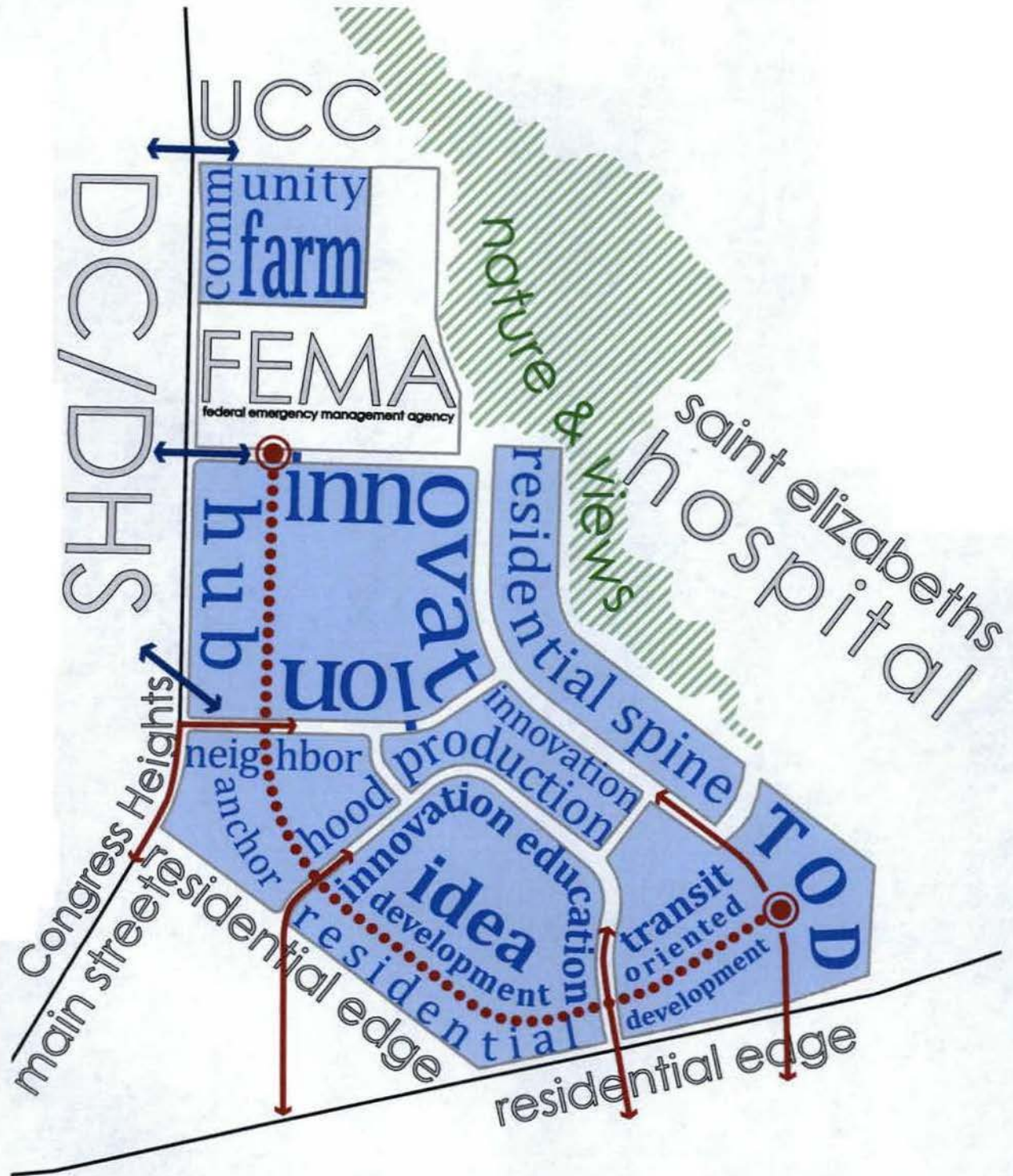


Figure 2.1: Master Plan Descriptive Concept

CHAPTER 2: MASTER PLAN

MASTER PLAN INTENT

The Saint Elizabeths East Master Plan will guide the city, the community, and the private sector in the revitalization of this National Historic Landmark by providing detailed development goals and design principles to shape future development and historic preservation. The Master Plan intends to create a framework that renews historic and cultural resources on the campus while ensuring that new development creates dynamic urban places that reflect innovative, sustainable design solutions. To accomplish this, the Master Plan carefully balances preservation goals with a market-responsive development approach; this is critical to ensure that the resources generated from private sector development can be reinvested into the renewal of the campus's infrastructure and historic resources. Master Plan also links to parallel economic development planning efforts to ensure thoughtful placement of uses and programs that stimulate the city's burgeoning innovation economy tied to national security industries. The result of these intentions is a Master Plan that knits together the unique historic campus with the Congress Heights neighborhood, to create a destination for both current and future residents to live, work, shop, play, and learn.

MASTER PLAN OVERVIEW

Achieving this vision of revitalization and renewal requires thoughtful consideration of 'placemaking' components to guide the plan's urban design, development, and historic preservation approaches. For example, the provision of neighborhood-serving retail amenities was a strong desire and important plan objective for Congress Heights neighbors and Ward 8 residents. Thus, an important goal of the Master Plan became to focus development at two



Figure 2.2: An early concept for the Master Plan linking a neighborhood center and a transit center with a “great street” for walking.

neighborhood centers that deliver goods and services within close proximity for area residents, while also becoming destinations for the Ward. In this spirit, there are three main placemaking themes that form the basis of the master plan: places, paths, and connections. The themes work together to create a unified sense of place and are the organizing principles of the plan itself; individually they will also create distinct destinations as the site is developed over time. The following section discusses the goals and aspirations of each theme that link to the planning and design recommendations in the remainder of the Master Plan chapter.

PLACES: NEIGHBORHOOD ANCHORS

MLK Neighborhood Center

The Master Plan aims to integrate the Saint Elizabeths East Campus into the surrounding community and provide much needed services and amenities for the residents of the Ward. This objective will be reached on the western side of the campus with a neighborhood center and ground-level retail within the new buildings fronting Martin Luther King Jr. Avenue. The shops and restaurants in these locations will complement the existing businesses along the Congress Heights Main Street and extend the retail corridor to the East Campus. This sector also includes the reuse of Building 100 as a center for innovation and entrepreneurship. The center should be programmed with a wide range of community uses designed to support individuals and businesses from the area that are interested in the innovation and national security industries. This sector also features several public plazas and open spaces that should be programmed with public art and street activating uses to ensure vibrant street life along both Dogwood Street and MLK Jr. Avenue.

Congress Heights Transit Center

The gateway to the East Campus from the Congress Heights Metrorail station is envisioned as a vibrant, mixed-use neighborhood center. New structures will offer ground-floor retail and restaurants, and offices and apartments on the higher floors. Wide sidewalks, café seating, fountains, outdoor entertainment, unique architecture and a diverse offering of local and national retailers are recommended for the development to ensure energetic street life and 24/7 activity. The District is also coordinating with the Washington Metro Area Transit Authority to assess the feasibility of adding a second entrance at the north end of the station. The

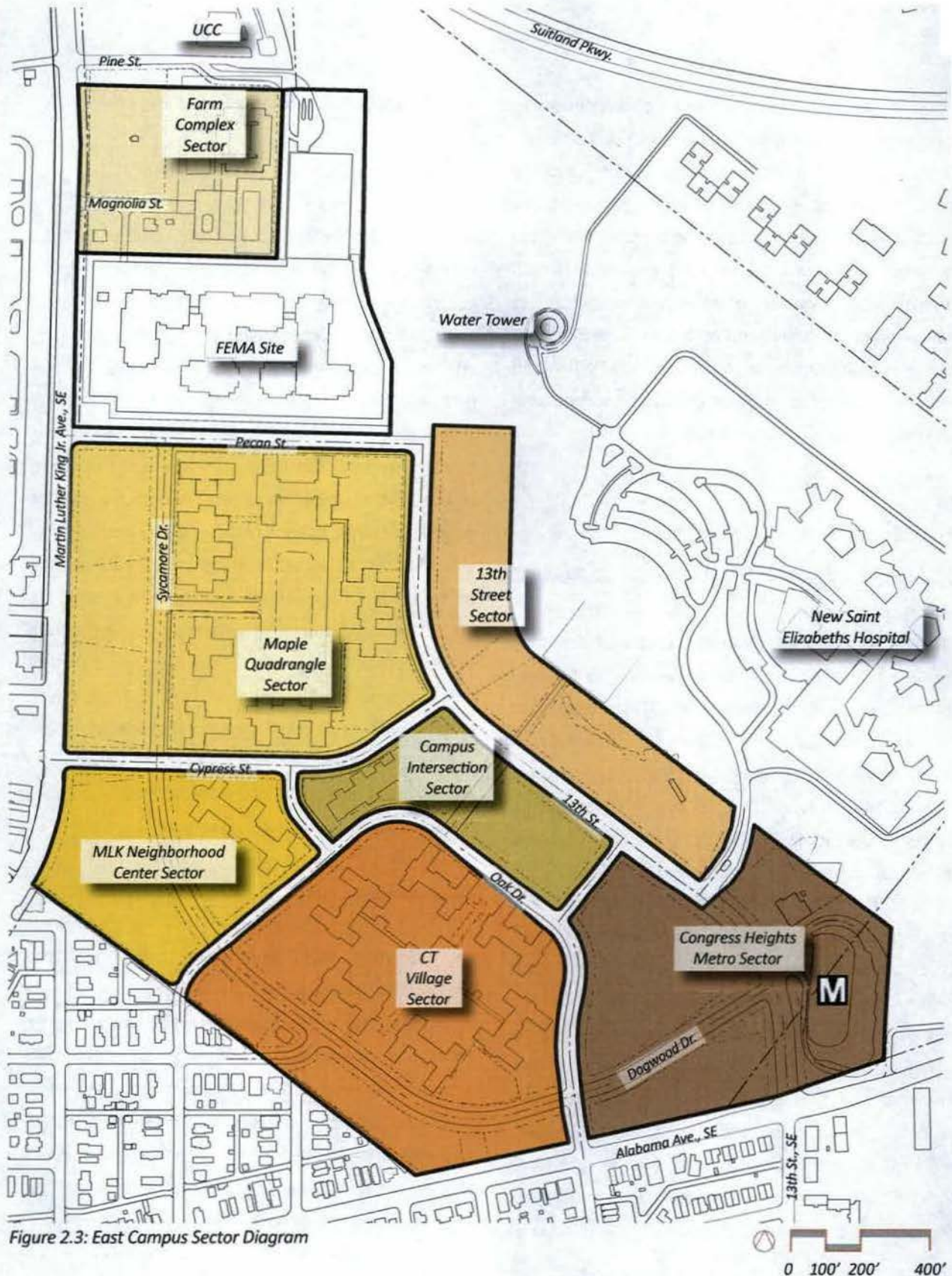


Figure 2.3: East Campus Sector Diagram

second entrance would provide direct and convenient access to the southern end of the Saint Elizabeths East Campus, enhancing the pedestrian experience along the proposed retail corridor along Dogwood Street, which is an overall goal of the master plan. Given the importance of this second entrance, WMATA will determine the feasibility of improvements to project stakeholders for review and comment. Based on that review, the program of improvements will be finalized and then concept level plans, including concept level cost estimates, will be completed.

PLACES: INNOVATION HUB

On the interior of the campus, the historic quadrangles of the Maple and CT campuses will become an “Innovation Hub,” an integrated center of research, education, training, entrepreneurship, technology transfer and private sector commercial activities tied to the homeland security and national defense industries. The hub will leverage proximity to DHS on the West Campus and be at the core of a regional innovation cluster for the sector. The District’s Innovation Strategy for Saint Elizabeths seeks to expand and diversify the city’s economy by linking to business, research and employment opportunities in the innovation sector. The leadership and expertise of DHS on the West Campus will create a synergy with the Innovation Hub on the East Campus that will drive technological advances and industry collaboration. Beyond its key functions, the hub will also support activities such as hotel, conference center, retail, and potentially residential. The different sectors within the Innovation Hub have discrete focuses, but the programming and use mix should be flexible to allow for the phasing of

various Hub components to evolve over time.

Maple Quadrangle

The Maple Campus will feature the core of the Innovation Hub’s private sector and commercial uses, such as a large-scale office space for secured tenants, potential university or research institution presence, and small-scale office space for innovation sector start-ups and incubators. The Maple Quadrangle will also be home to important support functions for the Hub including a hotel, conference center, and retail along MLK Jr. Avenue. The large open space in the center of the building grouping is reminiscent of a verdant quadrangle on a college campus. Its grassy expanse is framed by the largest buildings on the East Campus to create a setting for informal exchange of ideas, collaboration, and networking among Innovation Hub users such as DHS program managers, researchers, investors and local entrepreneurs. The Master Plan recommends preserving the formal character of the Maple Quad while enhancing its pedestrian-oriented environment with new pathways, lighting, outdoor furnishings, and creative programming.

Campus Intersection

The Intersection sector is the programmatic link between the Maple Quadrangle and the Community Technology (CT) Village. It should incorporate Innovation Hub functions with a specific focus on production, technology transfer, and commercialization. Facilities could include small scale production and assembly, technology testing and evaluation center; other unique functions could include a prototyping and proof-of-concept center, where prototypes are assessed for market readiness.



In addition, some supportive office space to incubate ideas and products, and a demonstration center where companies show their products and services, are also feasible in this location. From a planning and design perspective, buildings located at this sector will vary in height to transition from the higher density Maple Quadrangle and 13th Street sectors to the lower scale, historic CT Village.

Community Technology (CT) Village

This historic quadrangle of seven buildings was formerly known as the Continuing Treatment area during the hospital's existence; the Master Plan recommends linking the community and innovation themes by changing the CT acronym to Community Technology Village. The Innovation Hub uses in this village-like setting should support talent development, education, business development, and entrepreneurship. The focus of this sector is to connect Ward 8 residents and businesses to the innovation economy by providing opportunities to expand education, business, and career advancement. Specific programmatic activities could include job training, placement and internship coordination; community college or university programs; small business support services and entrepreneurship and business start-up assistance. The original two-story buildings could become the future home of a university or a community college, and the large kitchen facility at the center of the quad could be repurposed for the culinary arts. The low density and open spaces of the sector will be preserved to create a transition between the East Campus and the surrounding residential community. New courtyards, plazas and pathways will help to connect new and existing structures, and better define the sector as distinctive campus within the larger site.

PLACES: RESIDENTIAL/COMMUNITY SECTORS

The final two sectors of the campus are the 13th Street spine and the Farm Complex on the North Parcel. The 13th Street sector has an advantage being at the rear of the campus and situated on the edge of the topographic bowl. The views from this location are expansive and would be suitable for residential development. The Farm Complex also has a unique and challenging location on the campus that limits its suitability for new development; as the historic agricultural center for the hospital there is a unique opportunity to create a community resource for urban agriculture that will improve access to fresh and healthy food while supporting the District's growing local food movement.

13th Street

The spine of the campus, 13th Street, has the most potential for dense new development, yet also has challenging topography and existing Metrorail tunnels run through various portions of the sector. The 13th Street Sector includes areas to the east of 13th Street, along the ravine which separates the historic East Campus from the new hospital. As there are no historic buildings and few roads in this area, the development sites are relatively large, and the opportunities relatively flexible. In addition, new development is encouraged to promote connection to and awareness of the ravine landscape, so that the verdant character of the present Saint Elizabeths Campus continues to be present along this built-up street. At the north end of 13th Street, where new buildings since adjacent to historic ones, particular attention should be paid to the scale and detail of architectural relationships. Residential uses are preferred in this location, along

with a short stay hotel and ancillary ground floor retail at key intersections. The public realm, open spaces, and public art program will be critical in this area in order to ensure a vibrant street life that has activity at all hours of the day.

Farm Complex

The North Parcel enjoys tremendous visibility from Martin Luther King Jr. Avenue, but its development is constrained because it is disconnected from the rest of the East Campus and surrounded by high security users (West Campus US Department of Homeland Security, East Campus site of Federal Emergency Management Agency, and the District's Unified Communication Center and Homeland Security and Emergency Management Agency). Nevertheless, the barn, stable, and farm scale link this area directly to the agricultural heritage of the East Campus and offer a unique opportunity for adaptive reuse. The Master Plan preserves this heritage by reserving the North Parcel for urban agriculture and community uses. Agricultural uses that could include a commercial urban farm and/or community garden plots; several historic buildings in the complex could be reused as in service to the garden, for community spaces, or for creative programming.

PATHS

The proposed new road network for the East Campus developed through the Transportation Environmental Assessment and the Master Plan features a series of important paths through the site that are placemaking features to themselves. The site wide design guidelines for Public Realm emphasize the importance of creating great, walkable streets throughout the campus that are

rich with activity. The most important path within the campus is a reconstructed Dogwood Street that links the two community anchors in the Master Plan - the MLK Neighborhood Center and the Congress Heights Metro Station. Dogwood Street is envisioned as a vibrant, walkable promenade that brings people to and from the Metro Station and MLK Jr. Avenue. This path does not exist today and is not accessible to residents in the neighborhood; by opening up the campus and creating this connection there is the opportunity to draw neighbors to the site and create vibrant street life early in the development.

CONNECTIONS

Connecting the campus to the surrounding neighborhood was a fundamental principle of the 2008 Framework Plan that is further developed in this Master Plan. The site wide principles on Circulation and Connectivity emphasize the importance of making connections into the campus by extending the roads from the Congress Heights neighborhood to the south. Connections are also created along MLK Jr. Avenue at key intersection, which will also be reinforced by the porous nature of the campus boundary once the perimeter fence is removed. While physical connections to DHS's headquarters on the West Campus is not feasible because of security constraints, the Master Plan intends for there to be symbolic connections across from the West Campus's Gate 2 and Gate 3 and along Pecan Street. At all of these gateways, the Master Plan recommends active public realm, public art, creative programming, and active ground floor uses to signal that the campus is open and welcoming to all.



SITE-WIDE PRINCIPLES

The site-wide design principles presented within this chapter are intended to create a cohesive and ordered development pattern that achieves the goals of the Master Plan as outlined in Chapter 1. Accordingly the principles cover critical issues that are linked these goals including historic preservation, land use and development, circulation, the public realm, parking and loading and sustainability. The site wide guidelines seek to ensure that new development: enhances the sense of place for the East Campus; ensures high-quality urban design; enhances the public domain; encourages creative placemaking; contributes to neighborhoods where people can live, work and shop at Saint Elizabeths East.

The Plan's site wide principles are intended to provide guidance for developers and designers as they begin to plan and shape the East Campus. These principles should be considered general standards that should be studied and followed in addition to the sector and parcel guidelines described in Chapter 3. The application of both site wide principles and parcel guidelines will ensure that new development achieves the Master Plan's goal of vibrant, mixed-use development with community-serving amenities and an Innovation Hub for the national security industry.

HISTORIC RESOURCES

The process of understanding the East Campus began with a survey of its historic resources. These buildings, structures, and landscapes are designated as part of the Saint Elizabeths Hospital National Historic Landmark and are protected under federal and local laws. Figure 2.6 identifies the historic structures which contribute



Figure 2.4: Twenty-three historically significant buildings on the East Campus will be incorporated into the Master Plan.

to the historic designation (refer to the "Site History" section in Chapter One). The remaining buildings in the same diagram were built much later and are of a different period of Saint Elizabeths history and also have a much different architectural style. As a result, those latter buildings are not deemed to be contributing to the historic designation. The preservation and sensitive reuse of historic resources became an essential part of the Master Plan, even before a single line was drawn.

The preservation of the historic East Campus and its many significant resources is paramount to the success of the site's redevelopment. The East Campus provides a unique opportunity to open a once closed historic property to the community and to realize its potential

Building #	Building Name	Contribution	Proposed Status	Proposed Action
79	Staff Residence No. 8	Contributing	Remain	
81	Garage/Motor Pool	Non-Contributing	Demolished	Master Plan
81A	Temp. Homeless Shelter	Non-Contributing	Demolished	Federal Gov./FEMA
82	Dry Barn	Contributing	Remain	
83	Horse Barn	Contributing	Remain	
86	Staff Residence No. 9	Contributing	Remain	
87	Gatehouse 3	Non-Contributing	Remain	
88	Blackburn Laboratory	Contributing	Relocated	Transportation EA Road Alignment
89	R Bldg	Contributing	Remain	
90	W.W. Eldridge Bldg (Smith Center)	Contributing	Remain	
91	Glenside	Contributing	Remain	Master Plan
92	Charles H. Nichols Bldg	Contributing	Remain	
93	William A. White Bldg	Contributing	Remain	
94	N Bldg	Contributing	Remain	
95	I Bldg	Contributing	Remain	
96	Comfort Station	Contributing	Demolished	Master Plan
97	Gatehouse 4	Contributing	Demolished	Federal Gov./MLK Widening
99	Staff Residence No. 6	Contributing	Relocated	Federal Gov./MLK Widening
100	P Bldg	Contributing	Remain	
102	Behavioral Studies	Contributing	Remain	
106	CT-3	Contributing	Remain	
107	CT-4	Contributing	Remain	
108	CT-5	Contributing	Remain	
109	CT Kitchen	Contributing	Remain	
110	CT-6	Contributing	Remain	
111	CT-1	Contributing	Remain	
112	CT-2	Contributing	Remain	
115	CT-8	Contributing	Demolished	Master Plan
116	CT-7	Contributing	Demolished	Master Plan
117	Barton Hall	Non-Contributing	Demolished	Transportation EA Road Alignment
119	Haydon Bldg	Non-Contributing	Demolished	Master Plan
120	Dix Pavilion	Non-Contributing	Demolished	Federal Gov./FEMA
121	Chapel	Non-Contributing	Demolished	Master Plan
124	Rehabilitation Medicine Bldg	Non-Contributing	Demolished	Master Plan
125	Refrigeration Plant	Non-Contributing	Demolished	Transportation EA Road Alignment
127	William A. White Annex	Non-Contributing	Demolished	Master Plan
129	East Side Substation	Non-Contributing	Demolished	Transportation EA

Figure 2.5: Existing Buildings on the East Campus



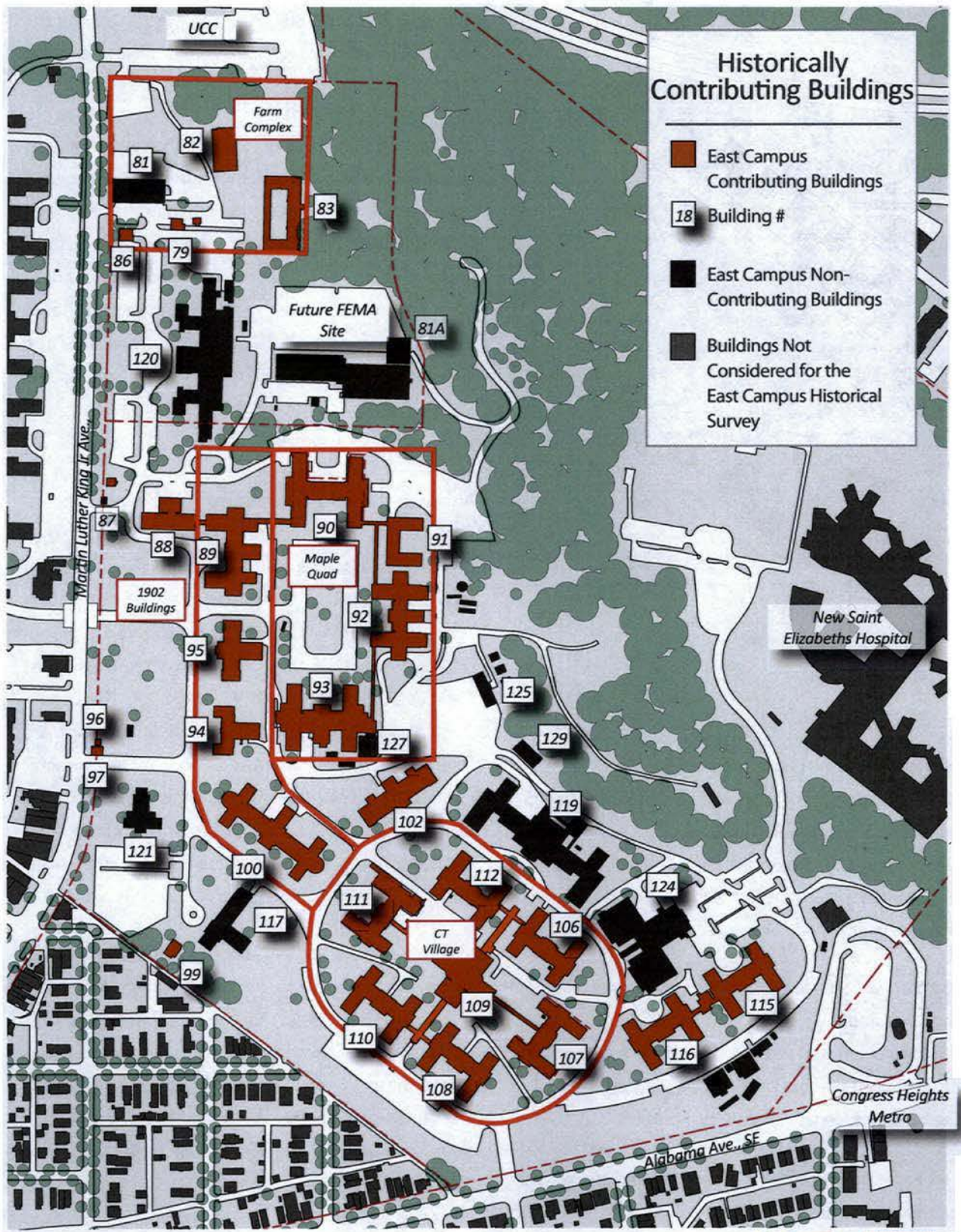


Figure 2.6: Historically Contributing Buildings Diagram



Figure 2.7: The Cottages on the East Campus have been Relocated over the Years.

as a public asset. The historic buildings, structures, and landscapes that characterize the East Campus represent a significant part of our national and local history, and the implementation of the East Campus Master Plan will ensure that this treasure is preserved, revitalized, and made accessible.

As part of the Saint Elizabeths Hospital National Historic Landmark (NHL) and local Historic District, the East Campus is protected under federal and local historic preservation laws and regulations, as well as the historic covenant contained in the Deed.

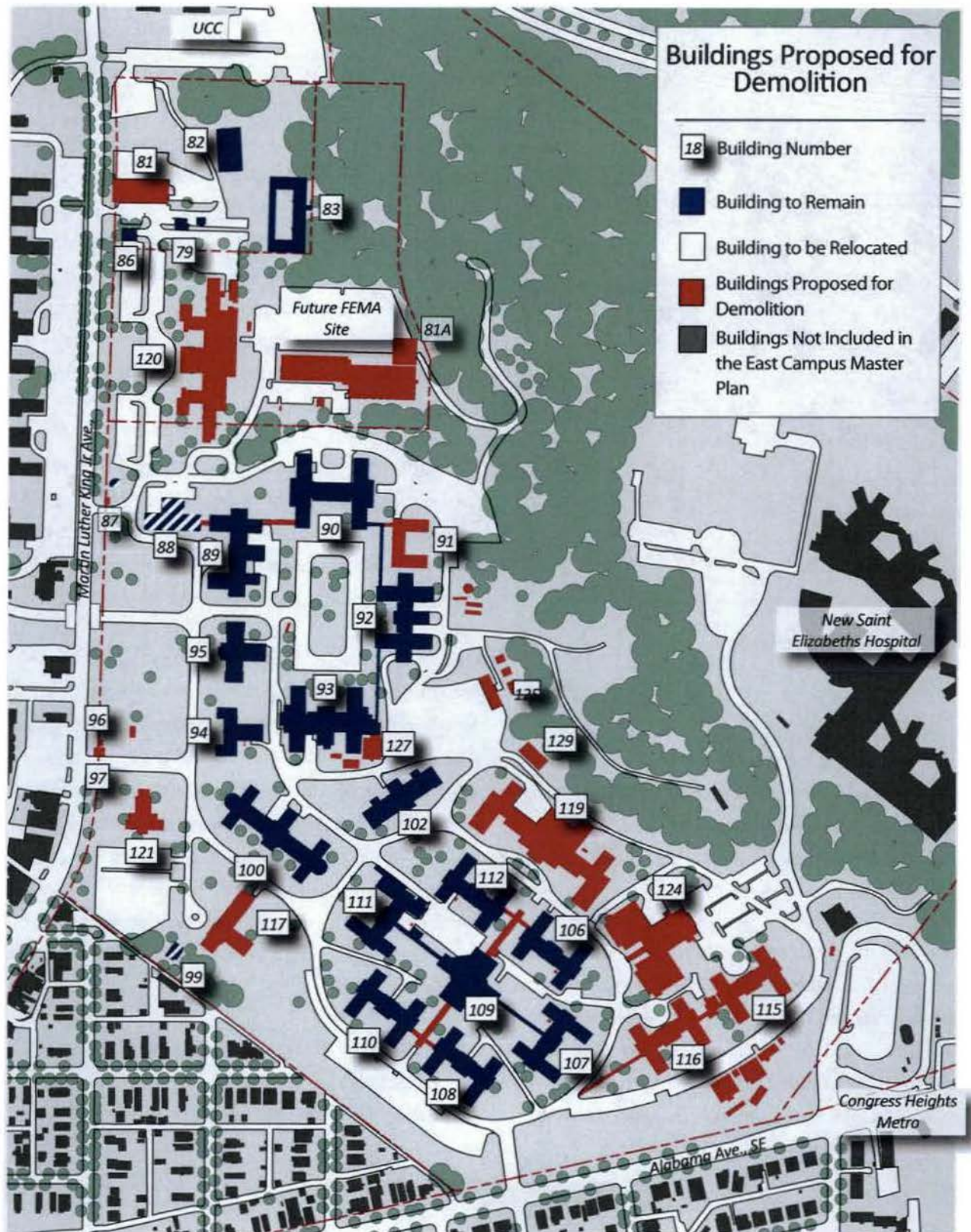
The East Campus of Saint Elizabeths Hospital consists of four major historic building groupings: the Farm

Complex, the 1902 Buildings, the Maple Quadrangle, and the Community Technology (CT) Village (see Figure 2.6).

The East Campus was purchased by the Saint Elizabeths Hospital in 1869 for the expansion of its agricultural operations (see Site History in Chapter One). The first construction on the East Campus by the hospital included barns and other farm buildings to house livestock and feed, as well as cottages to house the hospital's farm staff. Agriculture was a critical component to the self-sufficiency of the institution and therapeutic treatment of the hospital patients who were employed to work the farm.

Although the hospital intended to maintain the East Campus only for agricultural purposes, overcrowding on the West Campus resulted in expansion of patient facilities to the East Campus at the turn of the 20th century. Four of the 12 buildings constructed as part of the 1902 hospital expansion were located on the East Campus (Buildings 89, 94, 95, and 100). These two-story, Italian Renaissance Revival-style buildings are referred to as the "Richardson Group." The character of the 1902 development is consistent with the cottage plan, an archetypal approach to patient housing that created a home-like atmosphere through small-scale, detached buildings set within a picturesque landscape.

In 1923, the Blackburn Laboratory (Building 88) was constructed adjacent to the 1902 Buildings, as the first medical science building for the hospital. This building reflects a significant shift in treatment philosophies at the hospital from moral to scientific. This shift was furthered in the 1930s by the construction of a complex of buildings known today as Maple Quadrangle (Buildings 90, 92, and 93). The distinct scale and siting of these buildings reflects the hospital's need



0 100' 200' 400'

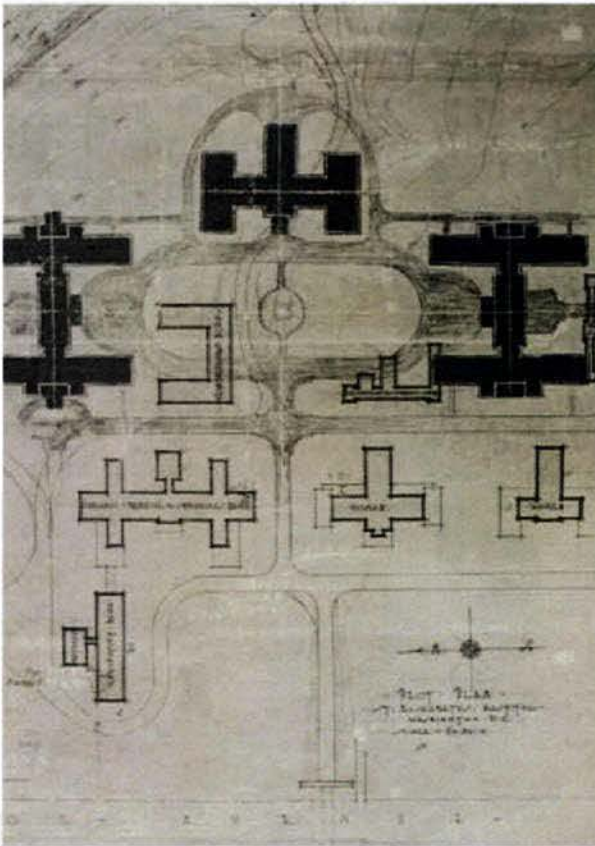


Figure 2.9: A 1930s plan of the Maple Quad.

to house a large population of short-term patients and provide a variety of clinical treatments. The buildings are arranged inwardly around a formal quadrangle, a departure from the picturesque landscape of previous development phases at Saint Elizabeths.

Soon after the construction of the Maple Quadrangle, the hospital constructed a second formal grouping of buildings referred to as the CT Village (Buildings 106, 107, 108, 109, 110, 111, 112, 115, and 116). These buildings were intended to house chronic patients who required long-term permanent housing and treatment.

Their scale and siting were more consistent with the cottage plan of earlier buildings, but their configuration within a formal, outward-facing oval is distinct from all previous development at the hospital. Other buildings, such as the Tuberculosis Building (Building 102) and Physician's Cottage (Building 99) also represent important periods at the East Campus, but have a less clear relationship to the major historic periods of development.

Today, the four primary building groupings represent the distinct phases of Saint Elizabeths Hospital development on the East Campus. They reflect the evolving treatment philosophies implemented at Saint Elizabeths in the late 19th and early 20th centuries.

One of the Master Plan's objectives is to preserve these significant building groupings and maintain the legibility of historic development on the East Campus. As a result, the Master Plan includes the retention and adaptive use of 16 existing historic buildings along with historic structures and landscape features. The Master Plan also seeks to maintain and celebrate the unique character of the historic buildings and provide the opportunity for compatible new development that continues the evolution of the campus into the 21st century.

The design principles specifically address the treatment of the historic buildings and structures contributing to the Saint Elizabeths Hospital NHL. These guidelines



Figure 2.10: Building 88 - Blackburn Laboratory

should be referenced during the design development and review of all individual projects on the East Campus and used in conjunction with the principles for new architecture and urban design provided in this chapter.

Historic Resource Principles

- » Respect the unique character of the historic campus and its historic resources by controlling the massing and materials of new buildings on the campus.
- » Retain, restore, and adaptively reuse historic buildings in a manner respectful of their character.
- » Preserve spatial relationships among and between historic buildings and their associated landscapes.
- » Preserve and restore significant landscape features that reinforce the historic character of buildings, pedestrian and vehicular circulation, and the campus boundary.
- » Integrate new development through designs of buildings and landscapes that are compatible with historic structures and settings.

CIRCULATION AND CONNECTIVITY

A critical objective of the East Campus Master Plan is to knit together Saint Elizabeths with the existing Congress Heights neighborhood. Currently, the street grid found in Congress Heights ends at the boundary of the campus. Connecting the East Campus to the neighborhood requires extending the Congress Heights street grid onto the campus where possible and designing a new street network on the East Campus to facilitate easier access to the site. The lack of a fully developed interconnected road network is a serious impediment to effective development on the site.

The existing infrastructure on the East Campus is mostly private, old, and, generally, in poor condition. Additionally, the current locations of the existing infrastructure system are situated in areas of the campus where new development is to occur.

Since the existing roads on the East Campus are insufficient, the DC Department of Transportation (DDOT) and the Federal Highway Administration (FHWA) are proposing improvements to the transportation network. As a first step in the process, an Environmental Assessment (EA) of the proposed action and its potential effects is being prepared in accordance with the National Environmental Policy Act of 1969 (NEPA), the Council of Environmental Quality (CEQ) regulations (40 CFR 1500-1508), and the FHWA's Environmental Impact and Related Procedures (23 CFR 771). FHWA is the lead federal agency for the project and the transportation planning has been closely coordinated with the master planning process.

In addition to the EA, the District is required to address two other important federal requirements for historic sites. For FHWA projects, Section 4(f) of

the Department of Transportation Act of 1966 (49 USC303), implemented by 23 CFR 771.135, calls for the protection of any publicly owned park, recreation area, wildlife refuge, or publicly or privately owned historic site. Since Saint Elizabeths Hospital is a National Historic Landmark, this project must include a Section 4(f) evaluation. Section 4(f) applies to all projects that require approval by an agency of the U.S. Department of Transportation, including FHWA.

A second requirement is that the project must also comply with Section 106 of the National Historic Preservation Act of 1966 (NHPA). This regulation requires the lead agency to identify historic properties and the impact of the proposed plans on those properties. It also stipulates a consultation process with identified parties regarding the effects the undertaking (or project) would have on historic properties. The master planning team and the transportation EA team ran a joint consultation process to ensure coordination between these related, yet distinctive processes. An overview of this process is outlined in Chapter One of this document. All of the records and technical reports associated with these processes are included within the EA.

Circulation Principles

The EA has specific "purpose and need" for the transportation network that include connecting the campus to the neighborhood, improving multi-modal transit options, and managing the expected growth in travel demand with new development. The Master Plan goals for the transportation network are to:

- » Create a well-defined network of street rights-of-way and a recognizable block structure



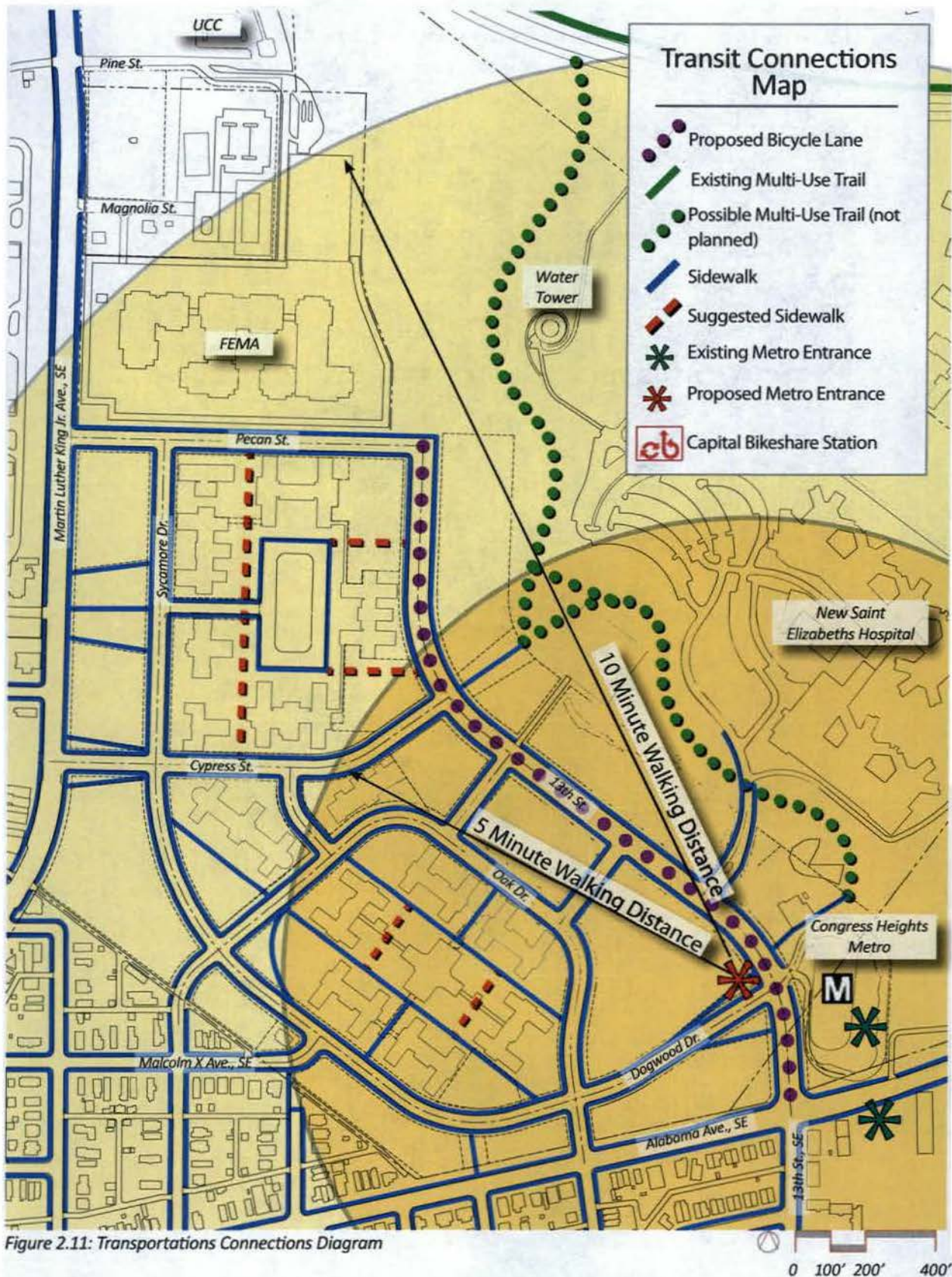
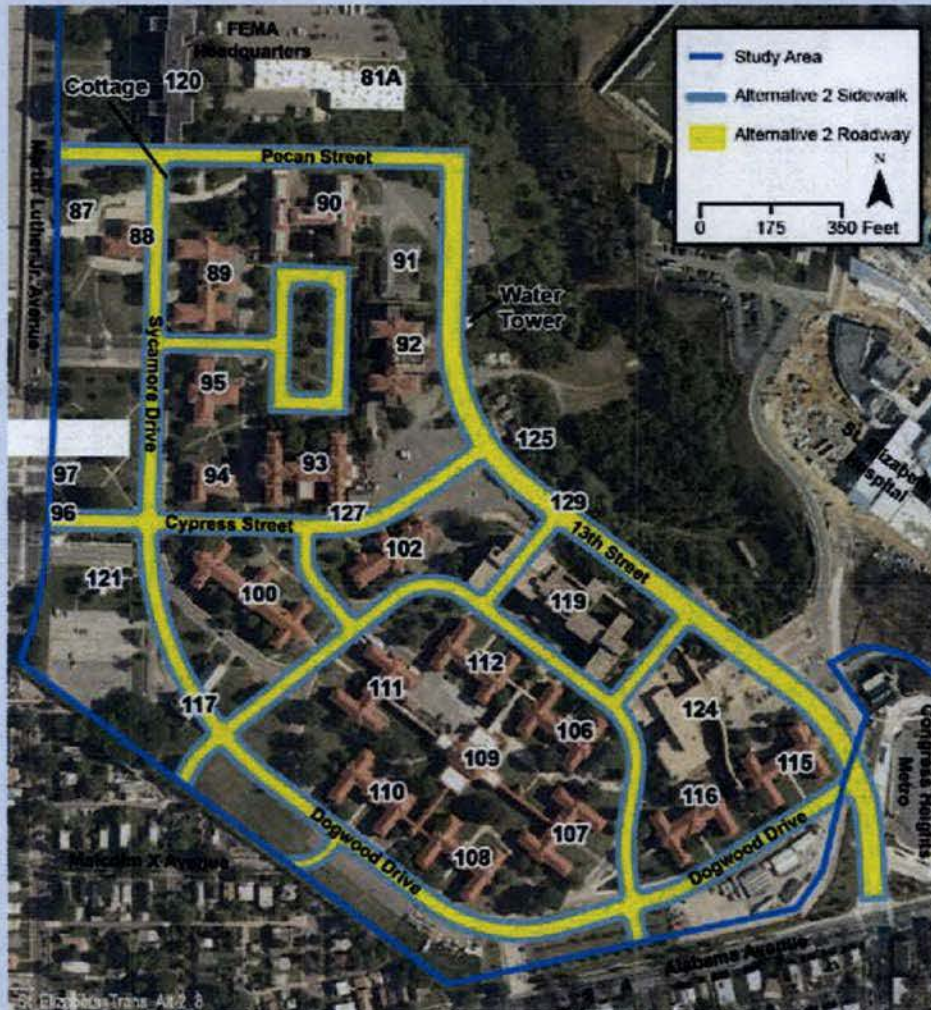


Figure 2.11: Transporations Connections Diagram

EAST CAMPUS TRANSPORTATION NETWORK



This transportation alternative entails construction of a network of urban local roadways and bicycle/pedestrian facilities to provide a complete street system within the East Campus. The major elements of the alternative include:

- » - Extension of 13th Street northward to Pecan Street
- » - Reconfiguration of Pecan Street along a new alignment between MLK Jr. Avenue and 13th Street
- » - Extension of Cypress Street from Sycamore Street to 13th Street
- » Reconfiguration of Sycamore Street and Dogwood Street to create a continuous connection between Pecan Street and 13th Street at Congress Heights Metro Station
- » New connectivity with the Congress Heights neighborhood via connections at Malcolm X Avenue and 8th Street

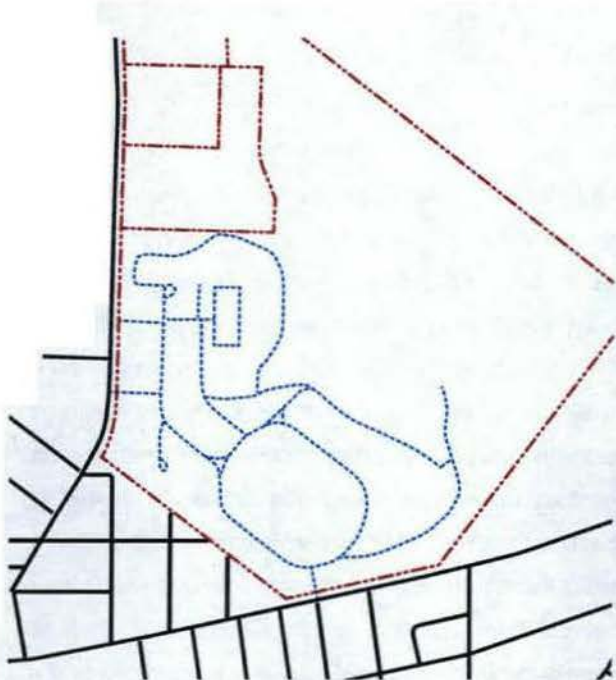


Figure 2.12: East Campus and Congress Heights existing streets

Existing Streets

- Existing Campus Drives
- District Streets
- Property Line

that respects the historic pathways on the campus, while opening up connections to the neighborhood.

- » Ensure the road network creates developable parcels on both sides.
- » Allow for an appropriately scaled public realm with generous sidewalks, landscaping, and integrated stormwater management facilities to encourage street activity and meet sustainability goals.
- » Incorporate bike lanes and transit facilities, on selected streets, to strengthen connections through the site and to the Metrorail station.

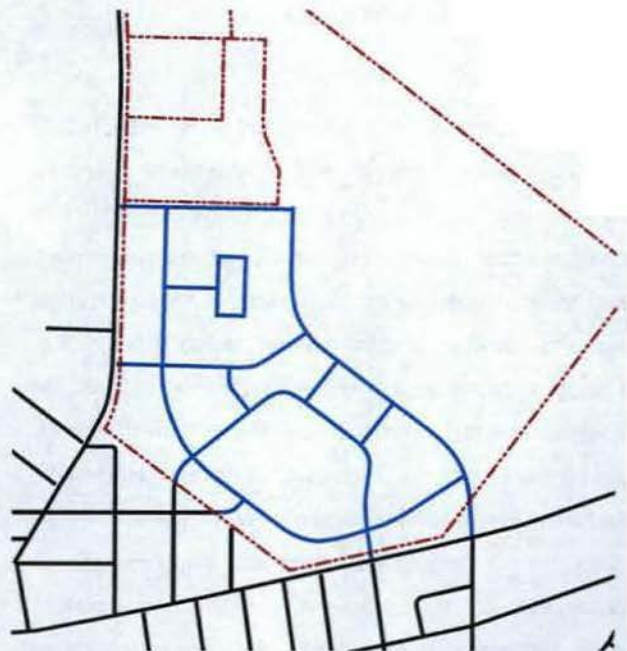


Figure 2.13: East Campus and Congress Heights proposed streets

Proposed Streets

- Proposed District Streets
- District Streets
- Property Line

- » Utilize consistent standards for paving materials, site lighting, and streetscape furnishings to convey a distinctive sense of place that both relates to the historic past and future opportunity.

As a result of the EA, coordination with the master planning team, and consultation with stakeholders, a preferred road network has emerged. This network of new and rebuilt streets clearly defines the development parcels within the campus and how these parcels relate to each other and the historic buildings. This road network coupled with the historic buildings and landscapes created the Master Plan's foundation.

PLANNING AND DESIGN

Urban Design

In order to achieve the goals of the Master Plan, future designers should pay careful attention to the core planning and urban design principles articulated in this entire section. Urban design involves the arrangement and design of building lots, public spaces, transportation systems, services and amenities within a large site. The best urban design helps to achieve identifiable neighborhoods, site-specific architecture, aesthetically pleasing public places and views, identifiable landmarks and focal points, and a human element established by compatible scales of development. Matters such as community safety, accessibility, sustainability, quality of life and protecting campus heritage are key concerns within this Master Plan and are significant elements within its urban design goals. The following principles further advance the goals of site wide urban design the each increment of new development should consider:

Urban Design Principles

- » Design and site new development sensitively to preserve existing gateways, vistas, and campus landmarks (see Figure 3.6, 3.7).
- » Create focal points, such as fountains, plazas, and courtyards, to establish a sense of place and orientation within the public realm and key open spaces.
- » Activate streets with public or semi-public uses, such as retail, on the ground floors of buildings and provide direct entry from the street where feasible (see Figure 2.15).
- » Develop and strengthen pedestrian connections within the campus by designing streets and multiuse trails which are pleasant and safe for pedestrians.

Land Use

The East Campus offers enormous potential as one of the few large remaining parcels in the District where significant development can occur. The Comprehensive Plan Future Land Use Map which is, based on the 2008 East Campus Framework Plan, sets the general range of land uses on the site. Early in the process, several studies were conducted to assess future demand for retail, residential, office, hotel, and other uses on the East Campus, and assist in the development of the Master Plan. The studies suggest that there is sufficient pent-up demand for commercial, residential, and retail development and these uses could be built immediately. The demand increases significantly when the needs of the forthcoming DHS complex are also considered. In addition, the development of the land use program was closely coordinated with the research and planning for the District's Innovation Strategy at Saint Elizabeths. This economic development planning process developed a set of proposed land use and programmatic components that form the Innovation Hub on the East Campus and inform the range of land uses proposed in Figure 2.14.

Land Use Principles

- » Support a mix of development densities, particularly those that enhance the pedestrian experience and are within easily walkable areas adjacent to major activity centers.
- » Create a safe environment by mixing uses, programming activities in public spaces, and through design techniques that foster social activity and visibility.
- » Ensure a mix of uses is present within each sector during each phase of development. Special





Figure 2.14: Proposed Allowable Land Use Diagram

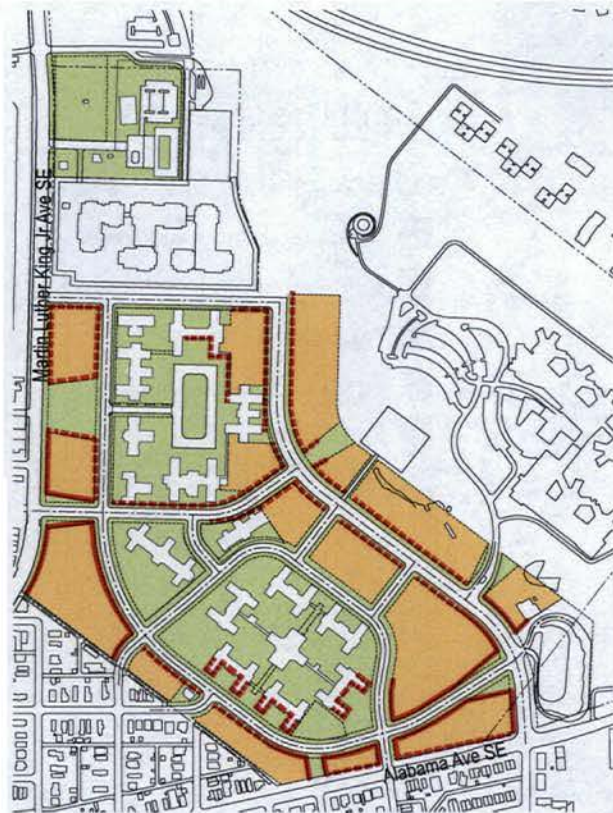


Figure 2.15: Preferred Retail Areas Diagram

Retail Areas Legend

- Required Retail Areas
- Retail Allowed
- Development Pad for New Buildings
- Public Realm

consideration should be given to residential, hotel, or university housing uses that would provide 24/7 presence in these areas.

- » Assess the mix of housing options for differing income levels, family compositions, and accessibility requirements.
- » Provide varied cultural and civic facilities, and uses for all age groups.

- » Plan new retail in concert with establishments in Congress Heights so those existing businesses will be supported and enhanced, and not competed against.

Land Use Types

- » Residential: Housing to include a mix of single or multi-family housing in the form of either apartments, duplexes, or townhomes.
- » Commercial/Innovation Hub: Commercial uses to small scale office space to support start-ups, incubators, and entrepreneurs. Also includes unique facilities such as product assembly, testing, and development.
- » Commercial Office: Commercial office space for large users, including potentially secured or SKIFF facilities.
- » Retail: General retail to serve the day-to-day needs of residents and site users, such as banks, dry-cleaning, pharmacy, coffee shop, small grocer. Does not anticipate regional serving or destination retail.
- » Hospitality: Commercial hotels and conference facility. Format would include extended stay, limited service, or business class.
- » Educational Institution: Educational institution that provide services and meet educational needs for local community, regional, or national users.
- » Civic/Community: Civic/community land uses for public or community purpose. Major religious facilities, museums, public libraries, and community centers fall within this category.

DENSITY AND BUILDING HEIGHTS

In addition to the Comprehensive Plan guidance, the physical form proposed for the East Campus is guided by the desire to increase density without diminishing the lower, historic buildings already on the East Campus. This goal governs the general placement and massing of any new buildings within the block structure described in this document. From the outset of the planning process, a number of assumptions about the development approach were explored to help guide the design of the Master Plan. For examples, density is needed on the East Campus to help the District of Columbia earn revenue to pay for needed infrastructure improvements and historic building stabilization and rehabilitation. In addition, increasing density on the East Campus would not only create more opportunities for jobs, it provide opportunities and resources to improve the physical environment for Congress Heights and Ward 8 neighborhoods, primarily in the public realm. Density also needs to be mitigated through planning and urban design decisions campus wide, such as the planned improvements to the road network and increasing the quality and quantity of public open spaces.

The physical form proposed for the East Campus is guided by the desire to increase density without diminishing the lower, historic buildings already on the East Campus. This goal governs the general placement and massing of any new buildings within the block structure described in this document. Massing rules were explored for their ability to yield new buildings that work together to shape a high-quality public realm. The methods used for controlling the placement and massing of buildings include the following:

- » High/low density zones, which govern the

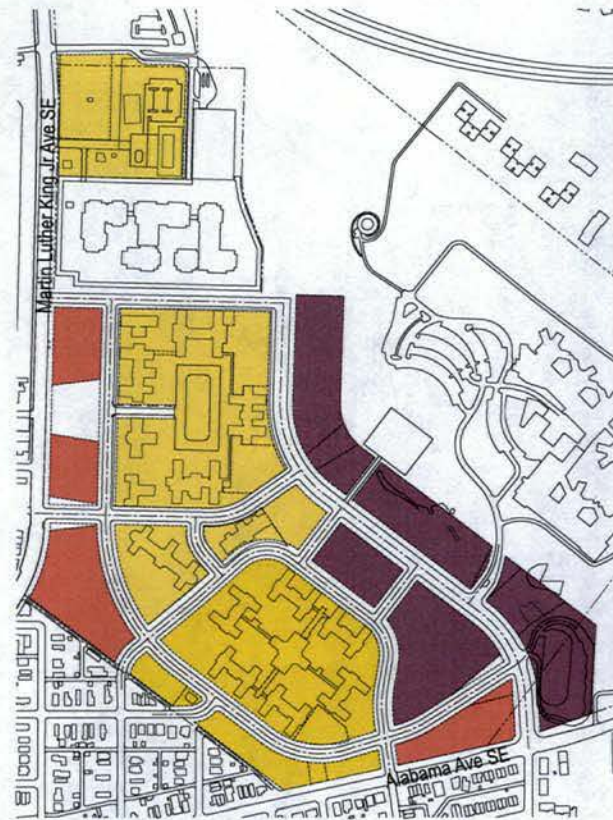


Figure 2.16: Recommended FAR Diagram

Density Zones Legend

- Low
- Moderate
- Medium

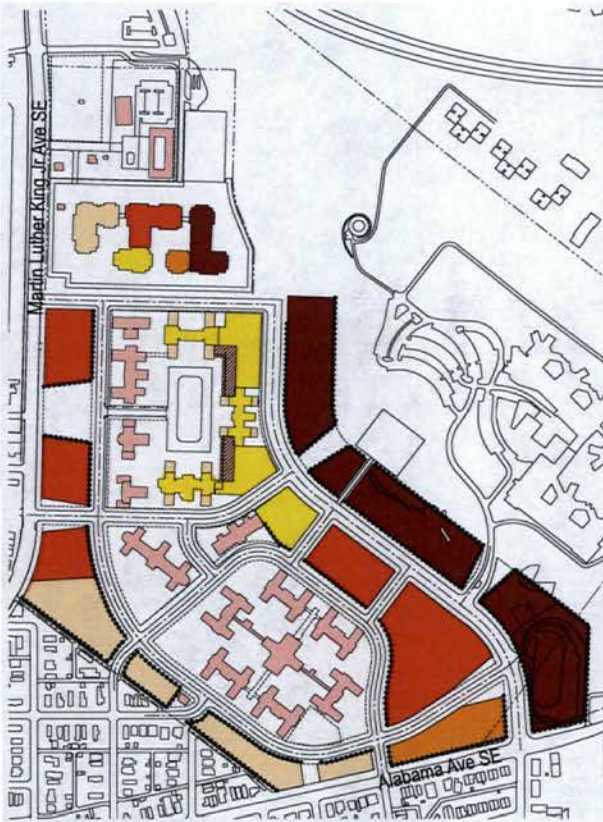


Figure 2.17: Maximum Building Height Diagram

Building Heights Legend

 1 Story	 6 Stories
 2 Stories	 7 Stories
 4 Stories	 8-9 Stories
 5 Stories	
 Suggested Setback Area	

distribution of density throughout the planning area, are based on criteria such as access to transit, proximity to historic resources and land use objectives;

- » Allowable building height is governed by the 2008 Framework Plan and the District's Comprehensive Plan;
- » Setbacks are recommended to reduce bulk and sculpt the massing of buildings;
- » Architectural features include towers and building decorations.

Under the Master Plan, density is concentrated within a limited number of locations. Figure 2.16 identifies the 13th Street corridor within the planning area as most suitable to receive the largest share of new density for several reasons. First these areas are located behind the historic core of the site and significant development has less of an impact on the existing resources; moreover the development will be concentrated on the edge of a ravine, so development can take advantage of the topography achieve additional density. The transportation EA has identified the ravine as a potentially sensitive area for development. Therefore development in the ravine should be sensitively placed, restoring the native plant communities once development is complete.

For the purposes of this document, standard site plan base density refers to the maximum planned