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CATHOLIC UNIVERSITY OF AMERICA SOUTH CAMPUS REDEVELOPMENT



ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC
MAURICE WALTERS ARCHITECT, PC
ASADOORIAN RETAIL SOLUTIONS
OEHME, VAN SWEDEN & ASSOCIATES, INC.
MACRIS, HENDRICKS AND GLASCOCK, PA
WALTER L. PHILLIPS, INC.
PILLSBURY WINTHROP SHAW PITTMAN LLP



PUD Submission September 5, 2008
Pre-hearing Submission July 10, 2009

ZONING COMMISSION
District of Columbia
CASE NO. 08-24
EXHIBIT NO. 19

ZONING COMMISSION
District of Columbia
CASE NO.08-24
EXHIBIT NO.19A1

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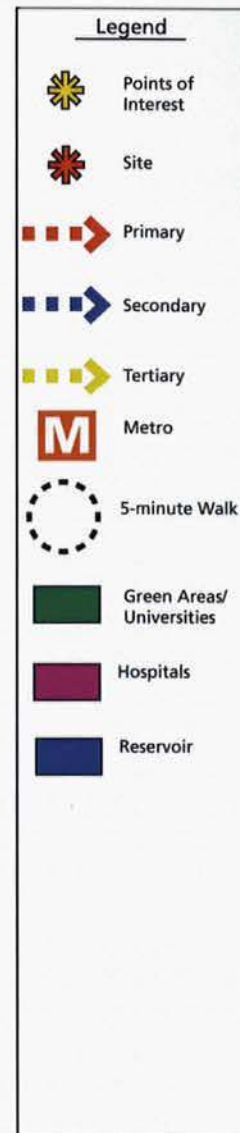
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Regional Analysis

ABDO DEVELOPMENT, LLC
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Context Plan

ABDO DEVELOPMENT, LLC
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Site Plan in Context

ABDO DEVELOPMENT, LLC
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Site Photos

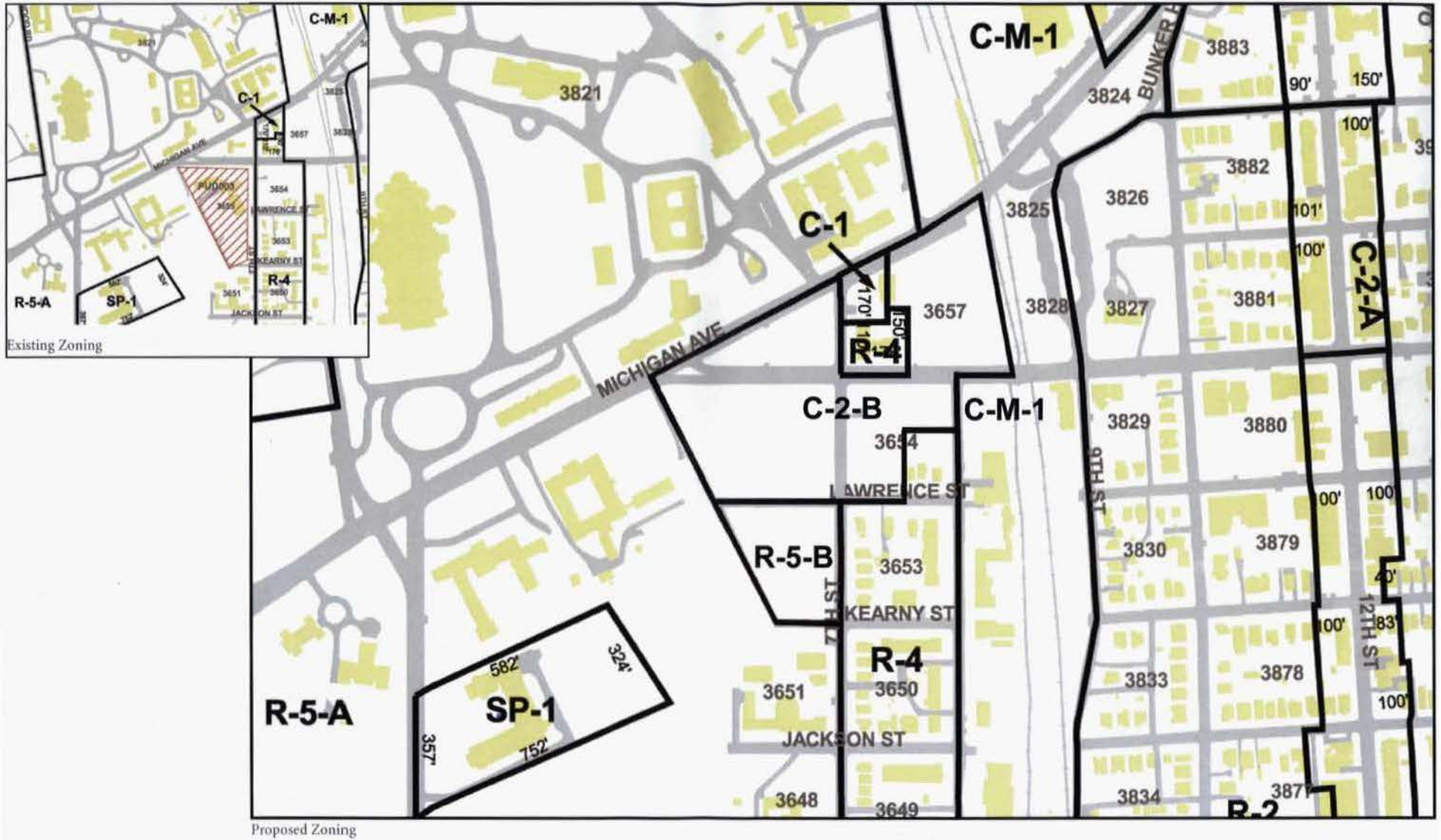
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Site Photos

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July 10, 2009

Existing and Proposed Zoning

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC. | MAURICE WALTERS ARCHITECT, PC

CUA SOUTH CAMPUS REDEVELOPMENT

Block A1

Square: 3655 Lot: 800

Lot Area: 136,746 sf *

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
FAR	9 (1.0 PUD)	3.5 (8.0 PUD) 1.5 Commercial (2.0 PUD Commercial)	2.7 Total 0.23 Commercial Gross Floor Area by Level 5th 46,020 4th 54,330 3rd 73,750 2nd 60,180 1st (Residential) *** 44,030 1st (Retail) 17,830 G1 Level (Residential) 14,850 G1 Level (Retail) *** 12,300 G1 Level (Service)** 32,990 Total Building Area 356,280 gsf Gross Floor Area by Use Residential 263,160 Retail 30,130 Service** 32,990 Total 356,280 gsf
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	37 increase in FAR per 11 DCMR (411.7) 37 x 136,746 sf = 50,596 sf	3,670 sf
Penthouse	One continuous structure 1:1 Setback	One continuous structure 1:1 Setback	RELIEF FOR ONE CONTINUOUS STRUCTURE RELIEF FOR 1:1 SETBACK
Lot Occupancy	40%	80% at residential uses 132,544 x .80 = 106,035 sf	77.4% 102,600 sf
Building Height	40 feet 3 stories	65 feet (90 feet PUD) stories-no limit	70'-0" to top of roof measured from L.O.C. at center of Monroe St frontage 5 stories
Dwelling Units	NA	NA	306 units Note: Number of units may vary
Rear Yard	20 ft minimum; to centerline of street abutting rear per 11 DCMR (404.2)	15 ft minimum; to centerline of street abutting rear per 11 DCMR (774.11)	43'-0" Measured from C.L. of Lawrence St. (Property line)
Side Yard	3 inches per foot of height not < 8 feet	None required. If provided 3 inches per foot of height not < 8 feet 73'-6" x 3" = 16'-5"	13'-8" RELIEF REQUESTED (16'-6" including balconies)
Courtyards	Open Min. Width: 4" per ft of height not < 10 feet Closed Min. Width: 4" per ft of height not < 15 feet Area: Twice square of req'd width not < 350 sf	Min. Width: 3" per ft of height (non-res) Min. Width: 4" per ft of height not < 15' (res) Area: Twice square of req'd width not < 250 sf (non-res) Area: Twice square of req'd width not < 350 sf (res)	Provided as req'd Provided as req'd

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
Parking Requirement			394 Total Parking Spaces****
Residential	1 for each dwelling unit 306 x 1 = 306 spaces	0.33 space per D.U. 306 / 3 = 103 spaces Min. 60% of required to be full size (11 DCMR 2115.2) 103 x .6 = 62 full size required	204 Res. Spaces Provided**** sf. 66 space per dwelling unit
Retail	NA	1 space for each add'l 750 sf over 3000 sf of retail Block A: 30,130 sf Block B: 16,390 sf Block C: 13,453 sf Block E: 23,100 sf Total retail area: 83,073 sf -3000/750=107 spaces Min. 60% of required to be full size 107 x .6 = 64 full size required	190 Retail spaces RELIEF REQUESTED FOR PARKING BLOCKS A1, B, C, + E RETAIL ALL IN BLOCK A1
Bicycles	NA	5% of required retail spaces per 11 DCMR (2119.2) 107 spaces x .05 = 5 spaces	50 spaces provided-Retail 50 spaces provided-Res
Loading			
Residential	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'
Retail	NA	None required per 11 DCMR (2201.2) for any use > or = 90% GFA, loading calculated as if greater use occupies entire building A1 Retail area = 30,130 SF < 10% of total bldg area	1 berth @ 12' x 30' 1 platform @ 100 sf

* Lot area for Block A has been divided at centerline of new road to reflect FAR for two new blocks and 4,202 sf proposed street vacation at Monroe Square.

** Service area includes area of Garage that counts in FAR as well as service areas on the G-1 garage level

*** Retail area includes 170 sf for canopies, Residential area includes 650 sf for tower (Total of 820 sf of covered exterior space not in public right of way)

**** 11 residential parking spaces on proposed Lawrence Street

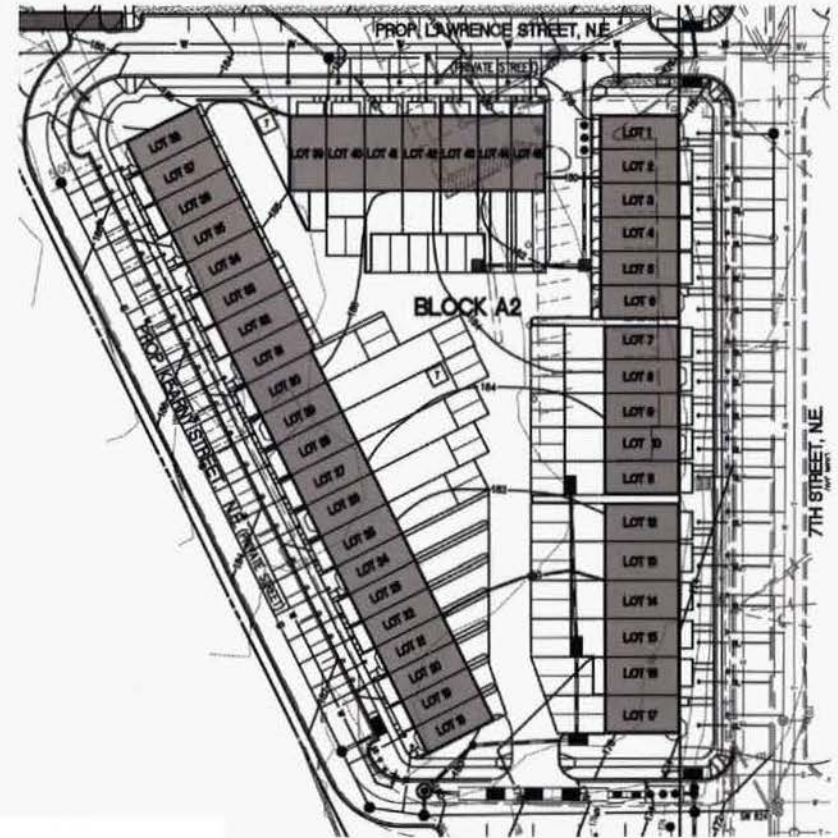
Block A2

Square: 3655 Lot: 800 Lot Area: 93,079 sf *

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (R-5-B)	Provided
FAR	9 (1.0 PUD)	1.8 (3.0 PUD)	90 Total Gross Floor Area Building Area 80,842 Exterior Covered Porches 1,925 Area below rear decks 1,344 Total Building Area 84,111 gsf
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	37 increase in FAR per 11 DCMR (411.7) 37 x 132,544 sf = 49,041 sf	None Provided
Penthouse	One continuous structure 1.1 Setback	One continuous structure 1.1 Setback	None Provided
Lot Occupancy	40%	80% 93,079 x .80 = 55,846 sf	33% 30,000 sf
Building Height	40 feet 3 stories	50 feet (80 feet PUD) stories-no limit	Provided as required Four stories or less
Dwelling Units	NA	NA	45 units Note: Number of units may vary
Rear Yard	20 ft minimum	4" per foot of height not < 15' (per DCMR 404.1)	Once lot is subdivided RELIEF REQUESTED
Side Yard	3 inches per foot of height not < 8 feet	None required; if provided 3 inches per foot of height not < 8 feet	Once lot is subdivided RELIEF REQUESTED
Courtyards	Open Min. Width: 4" per ft of height not < 10 feet Closed Min. Width: 4" per ft of height not < 15 feet Area: Twice square of req'd width not < 350 sf	Min. Width: 4" per ft of height not < 10 feet Min. Width: 4" per ft of height not < 15 feet Area: Twice square of req'd width not < 350 sf	Provided as req'd Provided as req'd
Parking Requirement			
Residential	1 for each dwelling unit 45 x 1 = 45 spaces	1 for each 2 dwelling units 45 x .5 = 23 spaces	64 Res. Spaces Provided ** at 1 space per dwelling unit
Loading	NA	NA	None Provided

* Lot area for Block A has been divided at centerline of new private road (Lawrence Street NE) to reflect FAR for two new blocks.

** Surface parking or at grade garage parking, including 19 spaces on new private street



BLOCK A2
45 DWELLING UNITS

Lot	Unit Type	Lot Area	Unit Area	Unit Footprint	Height						Rear Yard			Side Yard			Front Yard			Floor Area Ratio			Lot Occupancy		
					M.O.R.		R-5-B		Proposed		M.O.R.	R-5-B	Proposed	M.O.R.	R-5-B	Proposed	M.O.R.	R-5-B	Proposed	M.O.R.	R-5-B	Proposed	M.O.R.	R-5-B	Proposed
					Feet	Stories	Feet	Stories	Feet	Stories															
1	B1	673	2238	664	40	3	60	N/A	50	4	20	15	4	12.5	0	0	N/A	N/A	0	0.9	3.0	3.33	40%	60%	99%
2	B1	673	2174	664	40	3	60	N/A	50	4	20	15	4	N/A	0	N/A	N/A	N/A	0	0.9	3.0	3.23	40%	60%	99%
3	B1	673	2174	664	40	3	60	N/A	50	4	20	15	4	N/A	0	N/A	N/A	N/A	0	0.9	3.0	3.23	40%	60%	99%
4	B1	673	2174	664	40	3	60	N/A	54	4	20	15	4	N/A	0	N/A	N/A	N/A	0	0.9	3.0	3.23	40%	60%	99%
5	B1	673	2174	664	40	3	60	N/A	54	4	20	15	4	N/A	0	N/A	N/A	N/A	0	0.9	3.0	3.23	40%	60%	99%
6	B1	673	2174	664	40	3	60	N/A	54	4	20	15	4	13.5	0	0	N/A	N/A	0	0.9	3.0	3.23	40%	60%	99%
7	B2	1137	1632	608	40	3	60	N/A	40	3	20	15	35	10	10	5	N/A	N/A	0	0.9	3.0	1.44	40%	60%	53%
8	B2	1137	1644	608	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.45	40%	60%	53%
9	B2	1137	1632	608	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.44	40%	60%	53%
10	B2	1137	1644	608	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.45	40%	60%	53%
11	B2	1137	1632	608	40	3	60	N/A	40	3	20	15	35	10	0	0	N/A	N/A	0	0.9	3.0	1.44	40%	60%	53%
12	C	1279	1612	648	40	3	60	N/A	40	3	20	15	35	10	10	5	N/A	N/A	0	0.9	3.0	1.26	40%	60%	51%
13	C	1279	1612	648	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.26	40%	60%	51%
14	C	1279	1612	648	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.26	40%	60%	51%
15	C	1279	1612	648	40	3	60	N/A	40	3	20	15	35	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.26	40%	60%	51%
16	C	1223	1612	648	40	3	60	N/A	40	3	20	15	28	N/A	0	N/A	N/A	N/A	0	0.9	3.0	1.32	40%	60%	53%
17	C	1110	1676	680	40	3	60	N/A	40	3	20	15	22	10	0	0	N/A	N/A	0	0.9	3.0	1.51	40%	60%	61%
18	A	713	1870	552	40	3	60	N/A	48	4	20	15	6	12	0	0	N/A	0	4	0.9	3.0	2.62	40%	60%	77%
19	A	745	1868	630	40	3	60	N/A	47	4	20	15	8	N/A	0	N/A	N/A	0	8	0.9	3.0	2.51	40%	60%	85%
20	A	821	1868	630	40	3	60	N/A	47	4	20	15	11	N/A	0	N/A	N/A	0	8	0.9	3.0	2.28	40%	60%	77%
21	A	919	1806	552	40	3	60	N/A	46	4	20	15	18	N/A	0	N/A	N/A	0	8	0.9	3.0	1.97	40%	60%	60%
22	A	1017	1868	630	40	3	60	N/A	46	4	20	15	25	N/A	0	N/A	N/A	0	8	0.9	3.0	1.84	40%	60%	62%
23	A	1114	1868	630	40	3	60	N/A	49	4	20	15	32	N/A	0	N/A	N/A	0	8	0.9	3.0	1.68	40%	60%	57%

Note: Areas in yellow indicate where flexibility is required from R-5-B PUD requirements.

BLOCK A2
45 DWELLING UNITS

Lot	Unit Type	Lot Area	Unit Area	Unit Footprint	Height						Rear Yard			Side Yard			Front Yard			Floor Area Ratio			Lot Occupancy		
		Proposed Square Footage	Square Footage	Square Footage	M.O.R. R-5-A		R-5-B PUD		Proposed		M.O.R. Standard	R-5-B PUD	Proposed	M.O.R. R-5-A	R-5-B PUD	Proposed	M.O.R. R-5-A	R-5-B PUD	Proposed	M.O.R. R-5-A	R-5-B PUD	Proposed	M.O.R. R-5-A	R-5-B PUD	Proposed
					Feet	Stories	Feet	Stories	Feet	Stories															
24	A	1212	1806	568	40	3	50	4	49	4	20	15	39	N/A	0	N/A	N/A	0	8	0.9	3.0	1.49	40%	60%	47%
25	B2	1441	1536	692	40	3	50	4	39	3	20	15	46	N/A	0	N/A	N/A	0	8	0.9	3.0	1.07	40%	60%	48%
26	B2	1569	1560	704	40	3	50	4	39	3	20	15	54	N/A	0	N/A	N/A	0	8	0.9	3.0	0.99	40%	60%	45%
27	B2	1696	1632	692	40	3	50	4	39	3	20	15	62	N/A	0	N/A	N/A	0	8	0.9	3.0	0.96	40%	60%	41%
28	B2	1824	1632	692	40	3	50	4	39	3	20	15	70	N/A	0	N/A	N/A	0	8	0.9	3.0	0.89	40%	60%	38%
29	B2	1834	1560	704	40	3	50	4	39	3	20	15	70	N/A	0	N/A	N/A	0	8	0.9	3.0	0.85	40%	60%	38%
30	B2	1320	1632	692	40	3	50	4	39	3	20	15	38	N/A	0	N/A	N/A	0	8	0.9	3.0	1.24	40%	60%	52%
31	B1	803	2186	676	40	3	50	4	48	4	20	15	4	N/A	0	N/A	N/A	0	8	0.9	3.0	2.72	40%	60%	84%
32	B1	803	2264	754	40	3	50	4	48	4	20	15	4	N/A	0	N/A	N/A	0	8	0.9	3.0	2.82	40%	60%	94%
33	B1	803	2264	754	40	3	50	4	48	4	20	15	4	N/A	0	N/A	N/A	0	8	0.9	3.0	2.82	40%	60%	94%
34	B1	771	2186	676	40	3	50	4	48	4	20	15	2	N/A	0	N/A	N/A	0	8	0.9	3.0	2.84	40%	60%	88%
35	B1	771	2186	676	40	3	50	4	48	4	20	15	2	N/A	0	N/A	N/A	0	8	0.9	3.0	2.84	40%	60%	88%
36	B1	771	2264	754	40	3	50	4	48	4	20	15	2	N/A	0	N/A	N/A	0	8	0.9	3.0	2.94	40%	60%	98%
37	B1	771	2264	754	40	3	50	4	48	4	20	15	2	N/A	0	N/A	N/A	0	8	0.9	3.0	2.94	40%	60%	98%
38	B1	771	2218	676	40	3	50	4	48	4	20	15	2	12	0	0	N/A	0	8	0.9	3.0	2.88	40%	60%	88%
39	C	1058	1721	725	40	3	50	4	39	3	20	15	18	9.75	0	0	N/A	0	9	0.9	3.0	1.63	40%	60%	69%
40	C	1350	1689	725	40	3	50	4	39	3	20	15	30	N/A	0	N/A	N/A	0	9	0.9	3.0	1.25	40%	60%	54%
41	C	1549	1689	725	40	3	50	4	39	3	20	15	38	N/A	0	N/A	N/A	0	9	0.9	3.0	1.09	40%	60%	47%
42	C	1494	1689	725	40	3	50	4	39	3	20	15	38	N/A	0	N/A	N/A	0	9	0.9	3.0	1.13	40%	60%	49%
43	C	1494	1689	725	40	3	50	4	39	3	20	15	38	N/A	0	N/A	N/A	0	9	0.9	3.0	1.13	40%	60%	49%
44	B1	1274	2134	692	40	3	50	4	40	3	20	15	38	N/A	0	N/A	N/A	0	9	0.9	3.0	1.68	40%	60%	54%
45	B1	1325	2134	692	40	3	50	4	40	3	20	15	38	10	0	0	N/A	0	7	0.9	3.0	1.61	40%	60%	52%

Note: Areas in yellow indicate where flexibility is required from R-5-B PUD requirements.

Block B

Square: 3656 Lot: 800 Lot Area: 31,560 sf *

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
FAR	9 (1.0 PUD)	3.5 (8.0 PUD) 1.5 Commercial (2.0 PUD Commercial)	4.0 Total 0.52 Commercial Gross Floor Area by Level 6th 19,850 5th 20,740 4th 20,870 3rd 20,870 2nd 20,870 1st (Residential) ** 3,780 1st (Retail) ** 16,390 Total Building Area 123,370 gsf Gross Floor Area by Use Residential 106,980 Retail 16,390 Total 123,370 gsf
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	37 increase in FAR per 11 DCMR (411.7) 37 x 31,560 sf = 11,677 sf	3,610 sf
Penthouse	One continuous structure 1:1 Setback	One continuous structure 1:1 Setback	RELIEF FOR ONE CONTINUOUS STRUCTURE RELIEF FOR 1:1 SETBACK
Lot Occupancy	40%	80% at lowest residential uses 31,682 x .80 = 25,346 sf	66% 20,870 sf
Building Height	40 feet 3 stories	65 feet (90 feet PUD) stories-no limit	70'-0" to top of roof measured from l.o.c. at center of Michigan Ave frontage 6 stories
Dwelling Units	NA	NA	100 units Note: Number of units may vary
Rear Yard	20 ft minimum; to centerline of street abutting rear per 11 DCMR (404.2)	15 ft minimum; to centerline of street abutting rear per 11 DCMR (774.11)	42'-0" Measured from C.L. of Monroe Street NE R.O.W.
Side Yard	3 inches per foot of height not < 8 feet	None required, if provided 3 inches per foot of height not < 8 feet 90'-0" x 3" = 22'-6"	None
Courtyards	Open Min. Width: 4" per ft of height not < 10 feet	Min. Width: 3" per ft of height (non-res) Min. Width: 4" per ft of height not < 15' (res)	Provided as req'd
	Closed Min. Width: 4" per ft of height not < 15 feet Area: Twice square of req'd width not < 350 sf	Area: Twice square of req'd width not < 250 sf (non-res) Area: Twice square of req'd width not < 350 sf (res)	No closed courts

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
Parking Requirement			
Residential	1 for each dwelling unit 140 x 1 = 140 spaces	0.33 space per D.U. 140 / 3 = 47 spaces Min. 60% of required to be full size (11 DCMR 2115.2) 47 x .6 = 29 full size required	112 Res. Spaces Provided at 1.12 space per dwelling unit
Retail	NA	1 space for each add'l 750 sf over 3000 sf of retail Retail area: 16,390 sf -3000/750=18 spaces Min. 60% of required to be full size 18 x .6 = 11 full size required	Retail spaces parked in Block A1 RELIEF REQUESTED FOR PARKING RETAIL OFF BLOCK
Bicycles	NA	5% of required retail spaces per 11 DCMR (2119.2) 18 spaces x .05 = 1 space	Retail Bike Parking in Block A1 20 Spaces provided - Res
Loading			
Residential	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'
Retail	NA	Required per 11 DCMR (2201.1) 5,000-20,000 sf Retail 1 loading berth @ 12' x 30' 1 platform @ 100 sf	None provided RELIEF REQUESTED

* Lot area for Block B has been modified to account for road realignment

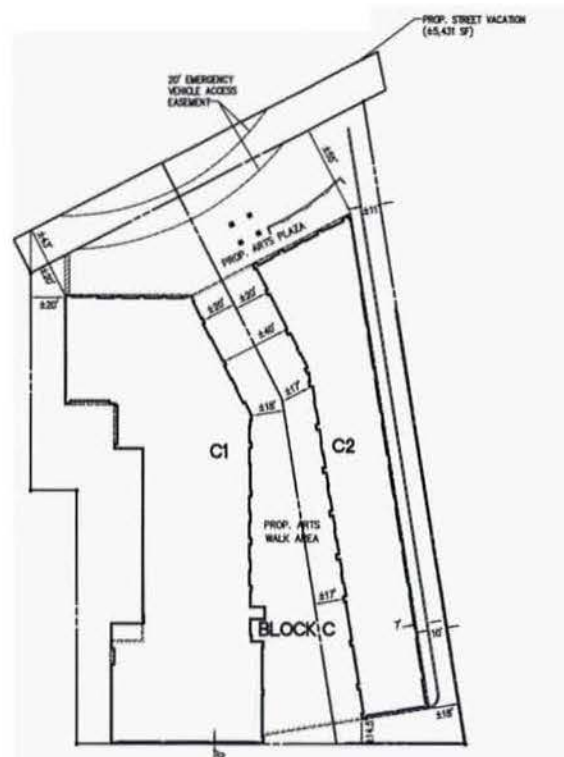
** Retail area includes 90 sf for canopies, Residential area includes 280 sf for canopies (Total of 370 sf of covered exterior space not in public right of way)

Block C

Square: 3657 Lots: 805, 821 & 826 Lot Area: 78,878 sf

Allowable	Existing Zoning (C-M-1)	Proposed Zoning (C-2-B)	Provided
FAR	3	3.5 (6.0 PUD) 1.5 Commercial (2.0 PUD Commercial)	2.15 Total 0.36 Commercial Gross Floor Area by Level 5th 33,590 4th 33,590 3rd 33,590 2nd 33,590 1st (Residential) 6,387 * 1st (Retail) 13,453 ** 1st (Artists Studios) 15,100 *** Total Building Area 169,300 gsf Gross Floor Area by Use Residential 140,747 Retail 13,453 Artist Studios 15,100 Total 169,300 gsf Note: *Retail area includes 798 sf for canopies. **Artist Studios area includes 2,000 sf for canopies. ***Residential area includes 162 sf for canopies Total of 2,960 sf of covered area not in public right of way
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	37 increase in FAR per 11 DCMR (411.7) 37 x 73,147 sf = 27,064 sf	33,590 sf x .33 = 11,085 sf allowable 2,000 sf Roof Structures provided
Penthouse	One continuous structure 1:1 Setback	One continuous structure 1:1 Setback	RELIEF FOR ONE CONTINUOUS STRUCTURE RELIEF FOR 1:1 SETBACK
Lot Occupancy	60%	80% at residential uses 73,147 x .80 = 58,518 sf	43% 33,590 sf at lowest residential floor
Building Height	40 feet 3 stories	65 feet (90 feet PUD) stories-no limit	65'-0" to top of parapet measured from t.o.c. at center of Monroe Street frontage 5 stories
Dwelling Units	NA	NA	156 units Note: Number of units may vary
Rear Yard	2 1/2 inches per foot of height at mean finished grade at middle of rear of structure, not < 12 ft., per 11 DCMR (842.1)	15 ft minimum; per 11 DCMR (774.1)	Varies, 20'-8" min. to 55'-4" max Measured from exist. north property line Varies, 43'-2" min. to 77'-10" max Measured from new north property line from Bunker Hill road vacation
Side Yard	none required per 11 DCMR (843.1)	None required, if provided 3 inches per foot of height not < 6 feet per 11 DCMR (775.4)	3' x 65 ft. = 195-3" req'd 18'-0" provided at east side, 7'-0" of which is porches of 3 - 5 ft in height RELIEF REQUESTED FOR EAST SIDE 20'-0" min. at west side
Courtyards	Open Min. Width: 2 1/2" per ft of height not < 6 feet per 11 DCMR (844)	Min. Width: 3" per ft of height not < 12' (non-res) Min. Width: 4" per ft of height not < 15' (res) per 11 DCMR (776)	4' x 73 ft. = 292-4" req'd at low end of Arts Walk 40'-0" provided
	Closed Min. Width: 2 1/2" per ft of height not < 12 feet Area: Twice square of req'd width not < 250 sf	Area: Twice square of req'd width not < 250 sf (non-res) Area: Twice square of req'd width not < 350 sf (res)	No closed courts

Allowable	Existing Zoning (C-M-1)	Proposed Zoning (C-2-B)	Provided
Parking Requirement			108 Total Parking spaces
Residential	NA	0.33 space per D.U. 152 / 3 = 51 req'd Min. 60% of required to be full size (11 DCMR 2115.2) 51 x .6 = 31 full size required	91 Res. Spaces Provided at 0.60 space per dwelling unit
Retail	1 space for each add'l 300 sf over 3000 sf of retail	1 space for each add'l 750 sf over 3000 sf of retail Retail area: 13,453 sf / 3,000 / 750=14 spaces Min. 60% of required to be full size 14 x .6 = 9 full size required	Retail spaces parked in Block A1 RELIEF REQUESTED FOR PARKING RETAIL OFF BLOCK
Artist Studios	1 space for 600 sf	1 space for 600 sf	15,025 sf / 600 = 25 spaces req'd 17 Artist Studio Parking Spaces Provided 27 Artist Studios Provided at 0.63 spaces per Artist Studio RELIEF REQUESTED
Bicycles	NA	5% of required retail spaces per 11 DCMR (2119.3) 14 spaces x .05 = 1 space	20 min. spaces provided
Loadings			
Residential	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'
Retail	1 loading berth @ 30' 1 platform @ 100 sf	1 loading berth @ 30' 1 platform @ 100 sf per 11 DCMR (2201.1)	1 loading berth @ 30' 1 platform @ 100 sf
Artists	NA	NA	NA



BLOCK C
THEORETICAL LOT SUBDIVISION ANALYSIS

Lot	Lot Area	Building Area	Bldg Footprint**	Height						Rear Yard			Side Yard			Front Yard			Floor Area Ratio			Lot Occupancy**		
	Proposed Square Footage	Square Footage	Square Footage	M.O.R. C-M-1		C-2-B PUD		Proposed		M.O.R. Standard	C-2-B PUD	Proposed Feet	M.O.R. C-M-1	C-2-B PUD	Proposed	M.O.R. C-M-1	C-2-B PUD	Proposed Feet	M.O.R. C-M-1	C-2-B PUD	Proposed	M.O.R. C-M-1	C-2-B PUD	Proposed
				Feet	Stories	Feet	Stories	Feet	Stories															
C 1 (West)	44,504	103,750	20,858	40	3	65	n/a	65	5	14.8	15	43 ft. min.	N/A	16.25	20 ft west yard, 18 ft min. east yard	n/a	n/a	0	3.0	6.0	2.33	60%	80%	47%
C2 (East)	34,074	65,550	12,731	40	3	65	n/a	60	5	15	15	50 ft. min.	N/A	15	17 ft min. west yard, 11 ft east yard*	n/a	n/a	14.5	3.0	6.0	1.92	60%	80%	37%
total	78,578	169,300																			2.15			

Note: Areas in yellow indicate where flexibility is required from C-2-B PUD requirements.

* Primary building face of Block C East is set back 18 feet from the east property line, however a number of the side porches are approximately 5 feet in height and encroach 7 feet into the side yard resulting in a 11 feet wide side yard, therefore relief is requested.

** Building Footprint and Lot Occupancy calculated at lowest residential floor.

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Zoning Analysis - Block C

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Block D

Square: 3531 Lots: 818 Lot Area: 5,169 sf

Allowable	Existing Zoning (C-M-1)	Provided
FAR	3	0.58 Total Gross Floor Area by Level Ground Floor 2,882 Basement / Mechanical 121 Total Building Area 3,003 gsf Gross Floor Area by Use Ground Floor 2,882 Basement / Mechanical 121 Total 3,003 gsf
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	NA
Penthouse	One continuous structure 1:1 Setback	NA
Lot Occupancy	NA	56% 2,882
Building Height	40 feet 3 stories	36'-0" to top of sloped roofs measured from t.o.c. at center of 8th Street frontage 1 story plus basement
Dwelling Units	NA	NA
Rear Yard	2 1/2 inches per foot of height at mean finished grade at middle of rear of structure, not < 12 ft., per 11 DCMR (842.1)	2 1/2" x 40 ft. = 8'-4", 12 ft. req'd 40' - 0" provided at rear parking lot rear stoop and dumpster and transformer enclosures located in rear yard
Side Yard	3 inches per foot of height, not less than 8 feet per 11 DCMR (843.1)	3" x 36'-0" = 9'-0" required, 0'-0" provided RELIEF REQUESTED FOR NO SIDEYARD
Courtyards	Open Min. Width: 2 1/2" per ft of height not < 8 feet per 11 DCMR (844) Closed Min. Width: 2 1/2" per ft of height not < 12 feet Area: Twice square of req'd width not < 250 sf	NA NA
Parking Requirement		
Place of Public Assembly	1 space for each 10 seats, each 7 sf usable for seating shall be considered a seat	2,081 sf / 7 sf = 298 seats / 10 = 30 spaces 4 spaces provided RELIEF REQUESTED FOR PARKING
Bicycles	5% of required parking spaces	30 spaces x 5% = 2 spaces required RELIEF REQUESTED TO PROVIDE 2 BIKE SPACES IN BLOCK C
Loading Any Other Use	less than 30,000 sf, none required	none provided

Block E

Square: 3654 Lot: Multiple Lot Area: 52,711 sf			
Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
FAR	9 (1.0 PUD)	3.5 (6.0 PUD) 1.5 Commercial (2.0 PUD Commercial)	3.5 Total 0.44 Commercial Gross Floor Area by Level 6th 23,030 5th 23,340 4th 33,380 3rd 33,410 2nd 33,460 Mezzanine 1,750 1st (Residential) 13,900 1st (Retail)* 23,100 Total Building Area 185,370 gsf Gross Floor Area by Use Residential 162,270 Retail 23,100 Total 185,370 gsf
Roof Structures	1/3 of roof area per 11 DCMR (411.8)	37 increase in FAR per 11 DCMR (411.7) 37 x 52,711 sf = 19,503 sf	3,640 sf
Penthouse	One continuous structure 1:1 Setback	One continuous structure 1:1 Setback	RELIEF FOR ONE CONTINUOUS STRUCTURE RELIEF FOR 1:1 SETBACK
Lot Occupancy	40%	80% at residential uses 52,711 x .80 = 42,169 sf	76.8% 40,500 sf
Building Height	40 feet 3 stories	85 feet (90 feet PUD) stories-no limit	70'-0" to top of roof measured from L.O.C. at center of Monroe St. frontage 6 stories
Dwelling Units	NA	NA	156 units Note: Number of units may vary
Rear Yard	20 ft minimum; to centerline of street abutting rear per 11 DCMR (404.2)	15 ft minimum; to centerline of street abutting rear per 11 DCMR (774.11)	45'-0" Measured from C.L. of Lawrence Street NE R.O.W.
Side Yard	3 inches per foot of height not < 8 feet	None required, if provided 3 inches per foot of height not < 8 feet 90'-0" x 3" = 22'-6" 32'-0" x 3" = 8'-0" (@ sideyard by garage ramp)	Provided as req'd
Courtyards	Open Min. Width: 4" per ft of height not < 10 feet	Min. Width: 3" per ft of height (non-res) Min. Width: 4" per ft of height not < 15' (res)	Provided as req'd
	Closed Min. Width: 4" per ft of height not < 15 feet Area: Twice square of req'd width not < 350 sf	Area: Twice square of req'd width not < 250 sf (non-res) Area: Twice square of req'd width not < 350 sf (res)	Provided as req'd

Allowable	Existing Zoning (R-5-A)	Proposed Zoning (C-2-B)	Provided
Parking Requirement			
Residential	1 for each dwelling unit 203 x 1 = 203 spaces	0.33 space per D.U. 203 / 3 = 68 spaces Min. 60% of required to be full size (11 DCMR 2115.2) 68 x .6 = 41 full size required	171 Res. Spaces Provided at 1.1 space per dwelling unit
Retail	NA	1 space for each add'l 750 sf over 3000 sf of retail Retail area: 23,100 sf -3000/750=27 spaces Min. 60% of required to be full size 27 x .6 = 17 full size required	Retail spaces parked in Block A1 RELIEF REQUESTED FOR PARKING RETAIL OFF BLOCK
Bicycles	NA	5% of required retail spaces per 11 DCMR (2119.2) 27 spaces x .05 = 2 spaces	Retail Bike Parking in Block A1 40 Spaces provided - Res
Loading			
Residential	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'
Retail	NA	Required per 11 DCMR (2201.1) 20,000-30,000 sf Retail 2 loading berth @ 12' x 30' 2 platform @ 100 sf 1 service/delivery @ 10' x 20'	1 berth @ 12' x 30' 1 platform @ 100 sf RELIEF REQUESTED

* Retail area includes 240 sf for canopies (covered exterior space not in public right of way)

CUA South Campus Redevelopment

FAR SUMMARY	BLOCK						Total
	A1*	A2*	B*	C*	D	E*	
RETAIL (gsf)	30,130	0	16,390	13,453	0	23,100	83,073
ARTIST STUDIO (gsf)	0	0	0	15,025	0	0	15,025
ART FLEX BUILDING (gsf)	0	0	0	0	2,882	0	2,882
RESIDENTIAL (gsf)	293,160	80,959	106,980	140,822	0	162,270	784,191
SERVICE (gsf) **	32,990	0	0	0	121	0	33,111
TOTAL (gsf)	356,280	80,959	123,370	169,300	3,003	185,370	918,282
Site Area (sf)	136,746	93,079	31,560	78,578	5,169	52,711	397,843
FAR	2.70	0.87	4.00	2.15	0.58	3.52	2.31

* Building area includes exterior covered space not in public R.O.W.-see zoning analysis for each block for amount of exterior space included in FAR

** Service area includes area of Garage that counts in FAR as well as service areas on the G-1 garage/basement level

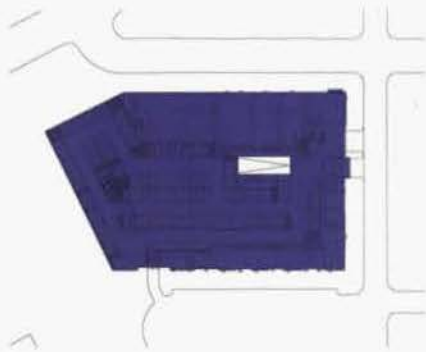
RES. UNIT SUMMARY	BLOCK						Total (units) *
	A1	A2	B	C	D	E	
TOTAL (units) *	308	45	100	152	0	156	761

* Unit count may vary based on final unit mix

PARKING SUMMARY	BLOCK						Total (spaces)
	A1**	A2**	B	C	D	E	
RETAIL (spaces) *	190	0	0	0	0	0	190
ARTIST STUDIO (spaces)	0	0	0	17	0	0	17
ART WORKSHOP (spaces)	0	0	0	0	4	0	4
RESIDENTIAL (spaces)	204	64	112	91	0	171	642
TOTAL (spaces)	394	64	112	108	4	171	853

* All retail parked on Block A1

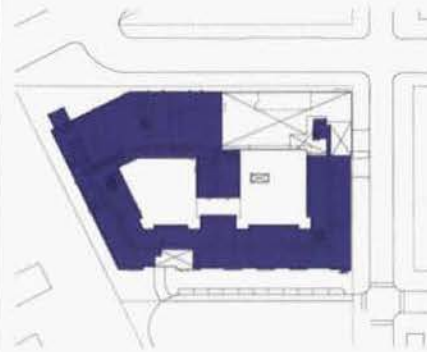
** Block A1 - 11 residential spaces on proposed Lawrence Street, Block A2 - 19 residential spaces on proposed Kearny Street NE



GFA G1 LEVEL

1" = 180'-0"

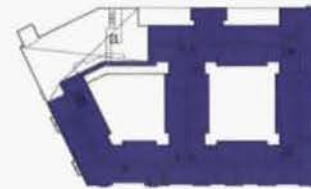
59,970 SF + 170 SF CANOPIES = 60,140 SF



GFA 1ST FLOOR

1" = 180'-0"

61,210 SF + 650 SF TOWER = 61,860 SF



GFA 2ND FLOOR

1" = 180'-0"

60,180 SF



GFA 3RD FLOOR

1" = 180'-0"

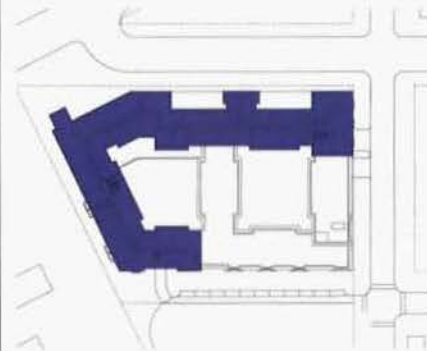
73,750 SF



GFA 4TH FLOOR

1" = 180'-0"

54,330 SF



GFA 5TH FLOOR

1" = 180'-0"

46,020 SF



ROOF

1" = 180'-0"

3,670 SF - PENTHOUSE AREA DOES NOT COUNT IN GFA

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FAR Block A1

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GFA GROUND FLOOR
19,800 SF + 370 SF CANOPIES = 20,170 SF

1" = 180'-0"



GFA 2ND THRU 4TH FLOORS
20,870 SF EACH

1" = 180'-0"



GFA 5TH FLOOR
20,740 SF

1" = 180'-0"



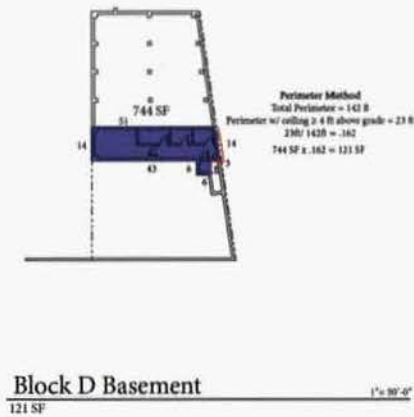
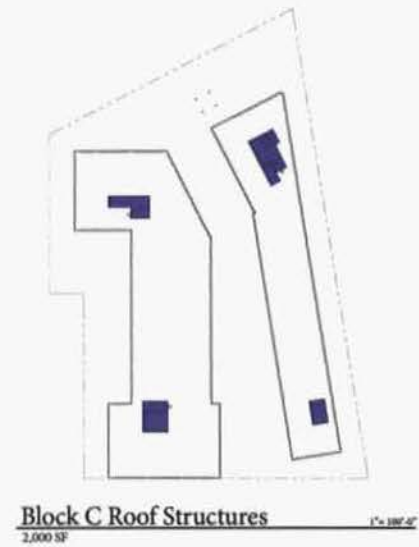
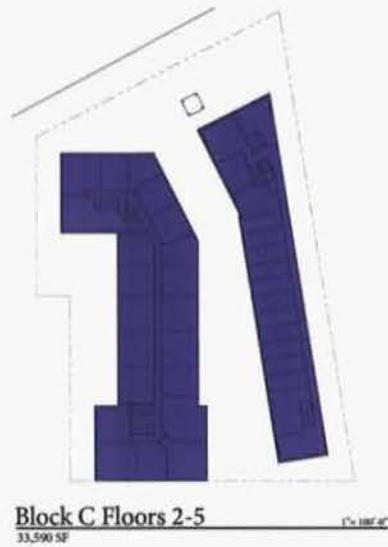
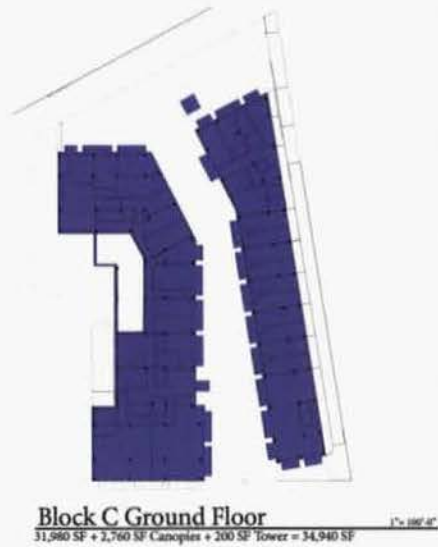
GFA 6TH FLOOR
19,850 SF

1" = 180'-0"



ROOF
3,610 SF - PENTHOUSE AREA DOES NOT COUNT IN GFA

1" = 180'-0"



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FAR Block C + D

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GFA GROUND FLOOR

36,760 SF + 240 SF CAMPIES = 37,000 SF

1" = 180'-0"



GFA MEZZANINE LEVEL

1,750 SF

1" = 180'-0"



GFA 2ND FLOOR

33,460 SF

1" = 180'-0"



GFA 3RD AND 4TH FLOORS

33,410 SF (3RD FL); 33,380 SF (4TH FL)

1" = 180'-0"



GFA 5TH FLOOR

23,920 SF EACH

1" = 180'-0"



GFA 6TH FLOOR

23,030 SF

1" = 180'-0"



ROOF

3,640 SF - PENTHOUSE AREA DOES NOT COUNT IN GFA

1" = 180'-0"

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FAR Block E

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G1 Levels

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Parking Diagram

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G2 Levels

July 10, 2009



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Rendering of Public Square

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding. These renderings are for illustrative purposes and are intended to convey the general appearance, mass and scale of the buildings and structures. Please refer to the elevations for the individual buildings for more details regarding the finish materials and facade treatments of the various buildings and structures.

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Rendering of Monroe Street

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding. These renderings are for illustrative purposes and are intended to convey the general appearance, mass and scale of the buildings and structures. Please refer to the elevations for the individual buildings for more details regarding the finish materials and facade treatments of the various buildings and structures.

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Rendering of Arts Plaza

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Rendering of Arts Walk

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Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding. These renderings are for illustrative purposes and are intended to convey the general appearance, mass and scale of the buildings and structures. Please refer to the elevations for the individual buildings for more details regarding the finish materials and facade treatments of the various buildings and structures.



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Overall Roof Plan

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Overall Ground Floor Plan

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Overall Typical Floor Plan

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Elevation A - West Side of 7th Street NE



Elevation B - North Side of Lawrence Street Elevation



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Street Elevations

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Elevation C - South Side of Monroe Street Elevation



Elevation D - North Side of Monroe Street Elevation



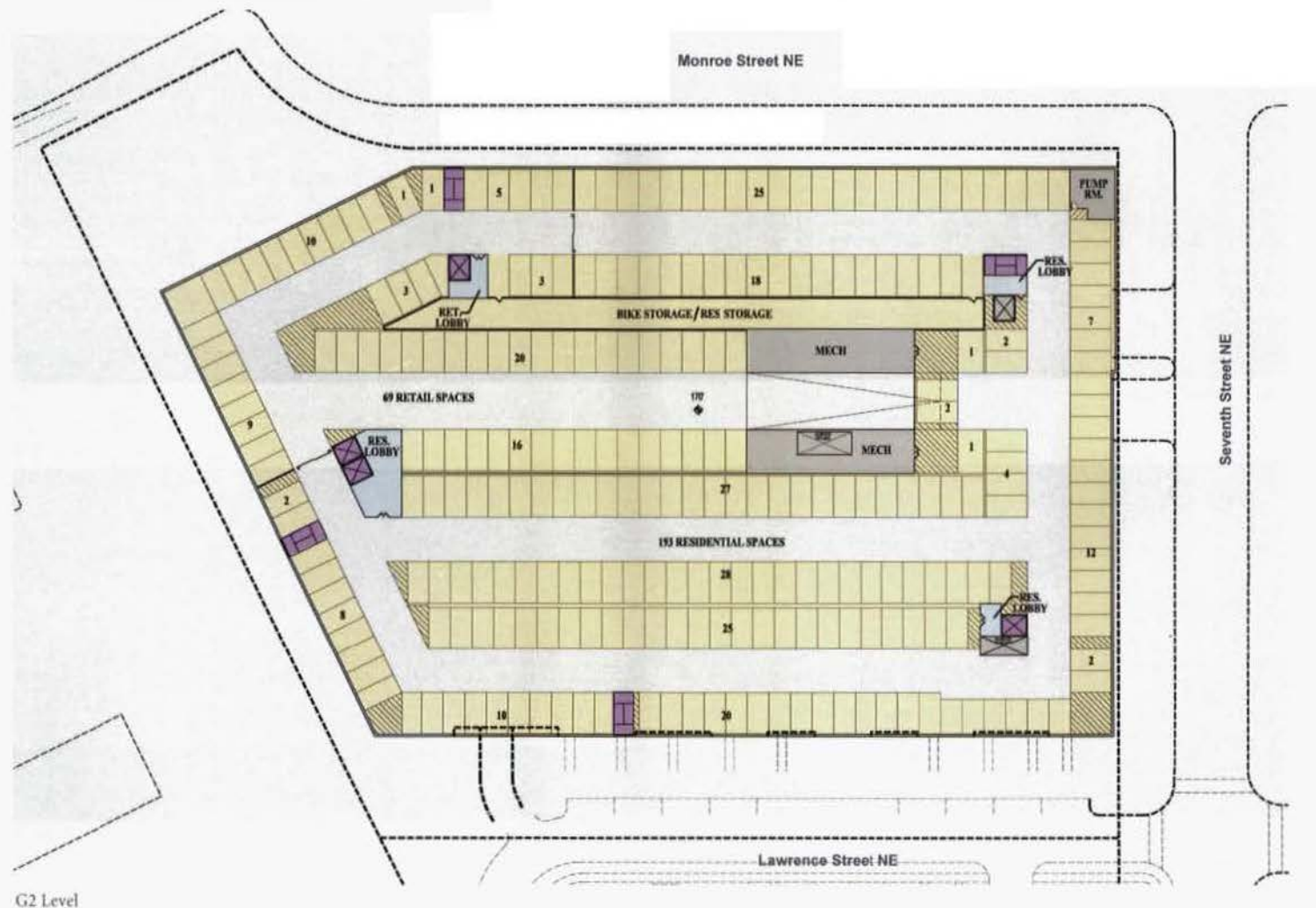
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Street Elevations

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Block A1



G2 Level

Note - The interior layouts shown on the building plans are schematic. Changes in the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

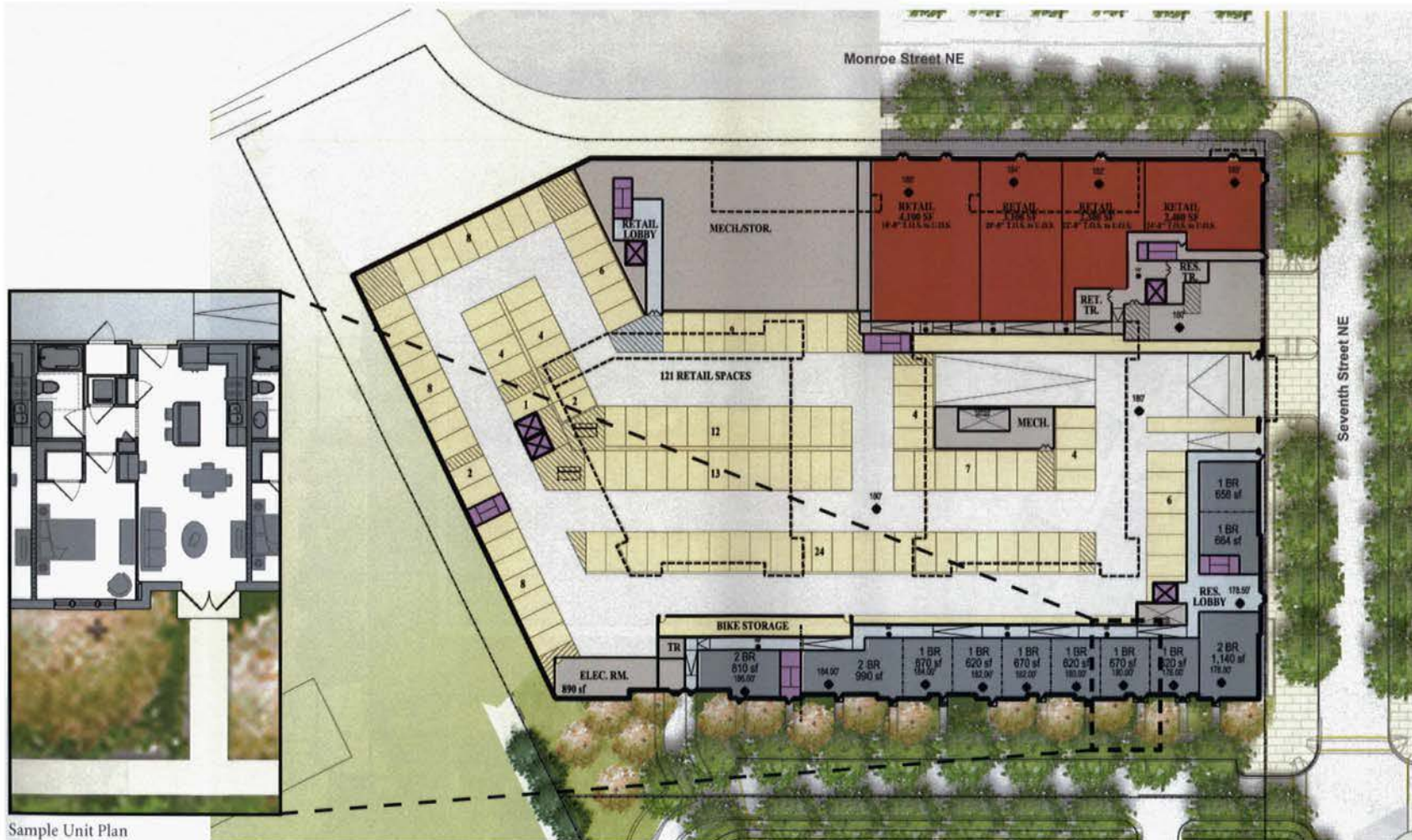
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Block A1 - Garage G2 Level

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Block A1



Sample Unit Plan

G1 Level

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1 - Garage G1 Level



July 10, 2009

Block A1



First Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1 - First Floor Plan

ABDO DEVELOPMENT, LLC
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Block A1



Second Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1 - Second Floor Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC. | MAURICE WALTERS ARCHITECT, P.C.



July 10, 2009

Block A1



Third Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1 - Third Floor Plan

ABDO DEVELOPMENT, LLC
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Block A1



Fourth Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

Walter Tord Gallas and Partners, Inc. | 4100 Spring Street, 4th Floor, Silver Spring, Maryland 20910 301.688.4100

Block A1 - Fourth Floor Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC. | MAURICE WALTERS ARCHITECT, PC

Block A1



Fifth Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1 - Fifth Floor Plan

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Block A1



Roof/Building Dimension Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block A1- Roof/Building Dimension Plan

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July 10, 2009

Block A1



Elevation A - North Elevation - Monroe Street NE



Elevation B - East Elevation - 7th Street NE

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

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Block A1 - Elevations

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July 10, 2009

Block A1



Elevation C - West Elevation



Elevation D - South Elevation - Lawrence Street NE

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

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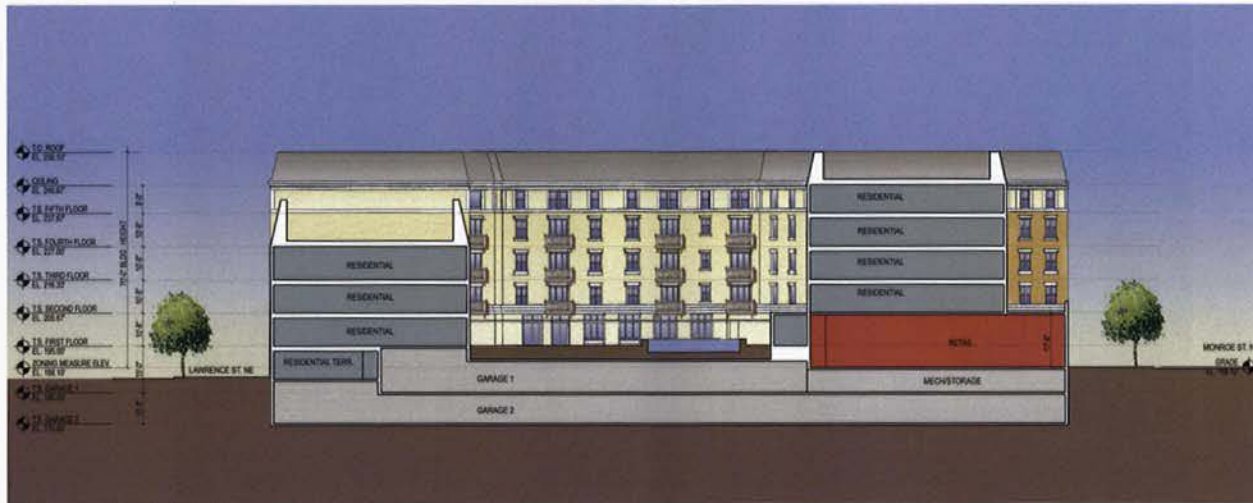
Block A1- Elevations

ABDO DEVELOPMENT, LLC
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July 10, 2009

Block A1



Section A-A (North-South)

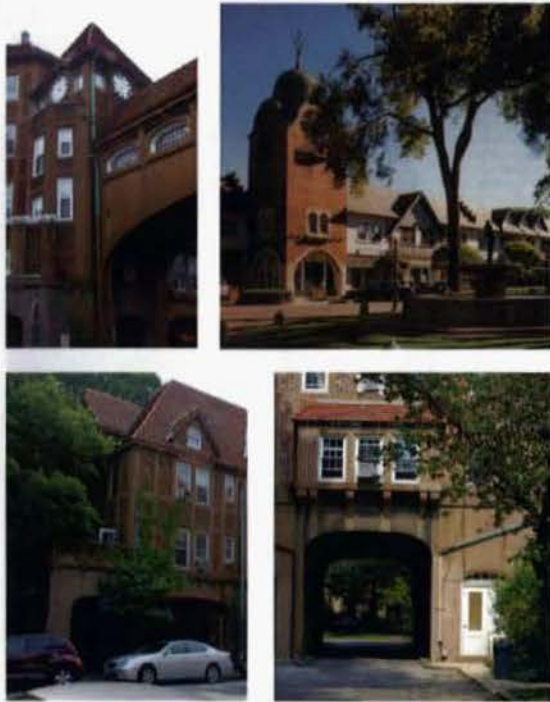


Section B-B (East-West)

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Block A1 - Sections

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Precedent Images - Forest Hills, NY and Lake Forest, IL



Brick Samples

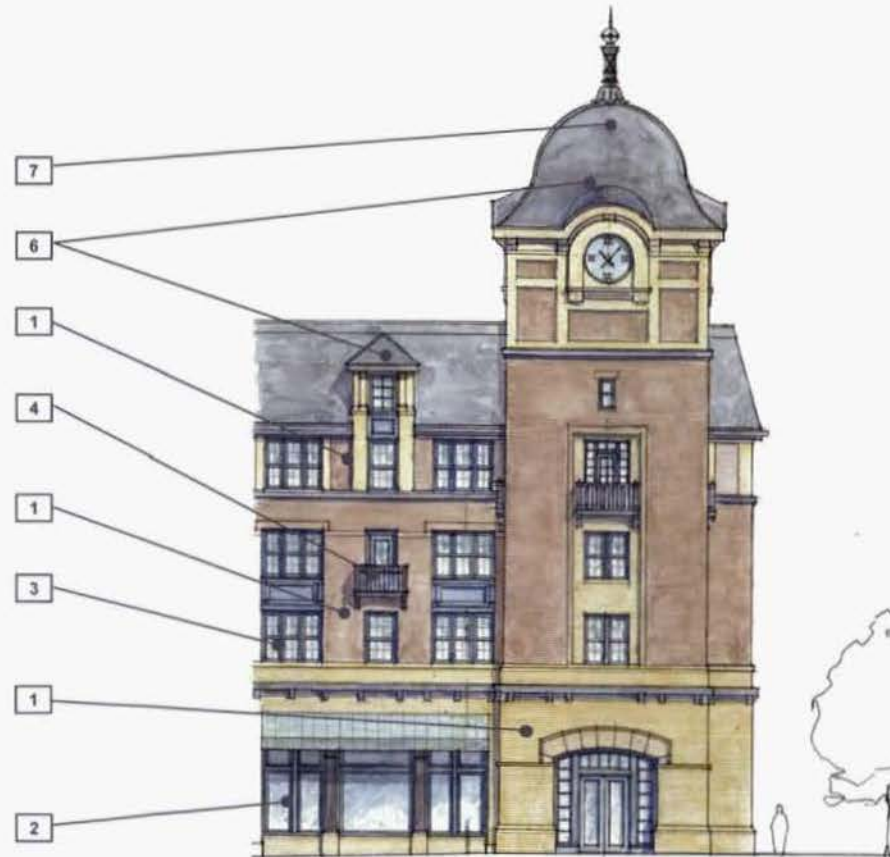
Note: For illustrative purposes only. The final selection of the exterior materials will be of a similar quality and in a similar color range as those depicted.

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Block A1 - Bay Studies

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Block A1



MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Storefront
- 3 - Window
- 4 - Decorative Railing
- 5 - Canopy
- 6 - Architectural Embellishment
- 7 - Shingle Roofing



July 10, 2009

CUA SOUTH CAMPUS REDEVELOPMENT

Block A1



Precedent Photos - Forest Hills, NY



MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Storefront
- 3 - Window
- 4 - Decorative Railing
- 5 - Canopy
- 6 - Architectural Embellishment
- 7 - Shingle Roofing



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Block A1 - Bay Studies

ABDO DEVELOPMENT, LLC
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Block B



G2 Level



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Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block B - Garage Plans

ABDO DEVELOPMENT, LLC
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Block B



G1 Level



First Floor Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block B - Garage and First Floor Plans

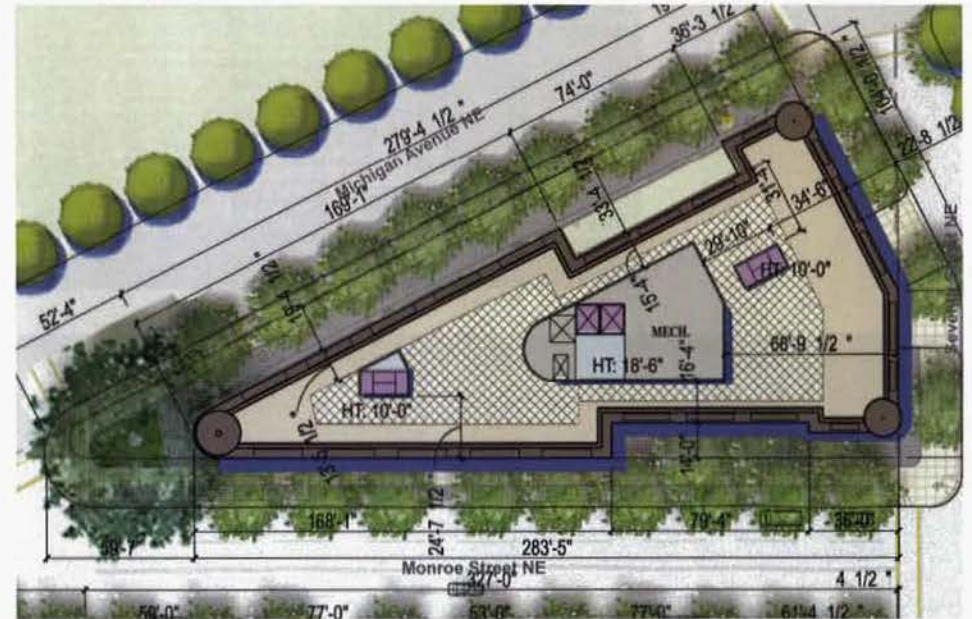
ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC. | MAURICE WALTERS ARCHITECT, PC



Block B



Typical Floor Plan (2nd - 5th Floors, 6th Floor Similar)



Roof/Building Dimension Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block B - Typical Floor and Roof/Building Dimension Plans

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Block B



Elevation A - North Elevation- Michigan Street NE



Elevation B - South Elevation - Monroe Street NE

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

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Block B - Elevations

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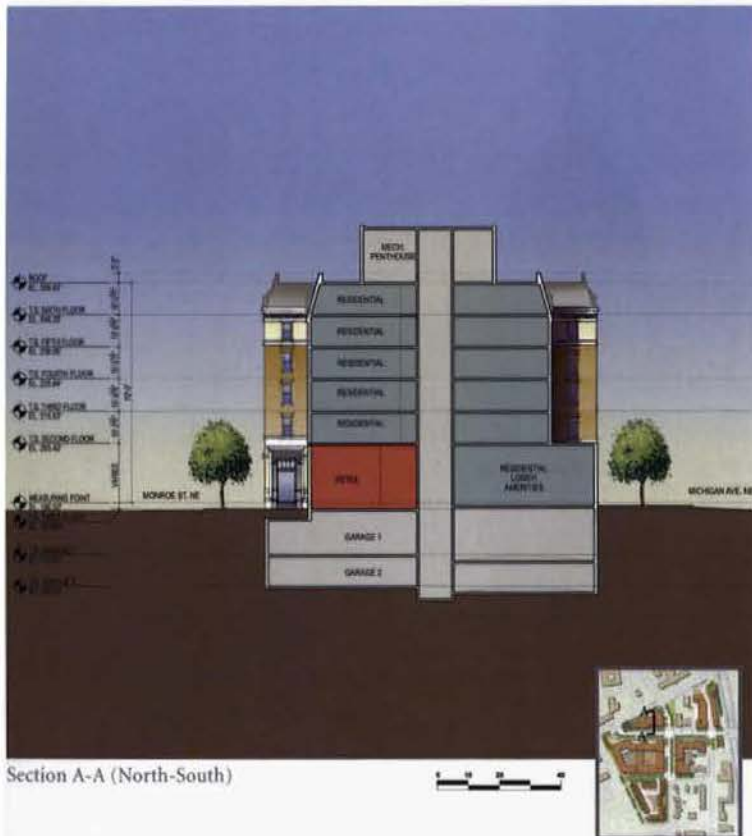


Elevation C - East Elevation - 7th Street NE



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Block B



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Block B - Section and Bay Study

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Precedent Image - Staunton, VA

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Storefront
- 3 - Windows
- 4 - Decorative Railing
- 5 - Canopy
- 6 - Architectural Embellishment
- 7 - Shingle Roofing



Brick Samples



Note: For illustrative purposes only. The final selection of the exterior materials will be of a similar quality and in a similar color range as those depicted.



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Block B



Precedent Image - Portland Flats, DC (Demolished 1962)

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Storefront
- 3 - Windows
- 4 - Decorative Railing
- 5 - Canopy
- 6 - Architectural Embellishment
- 7 - Shingle Roofing



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Brick Samples



Note: For illustrative purposes only. The final selection of the exterior materials will be of a similar quality and in a similar color range as those depicted.

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Block B - Section and Bay Studies

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Block C



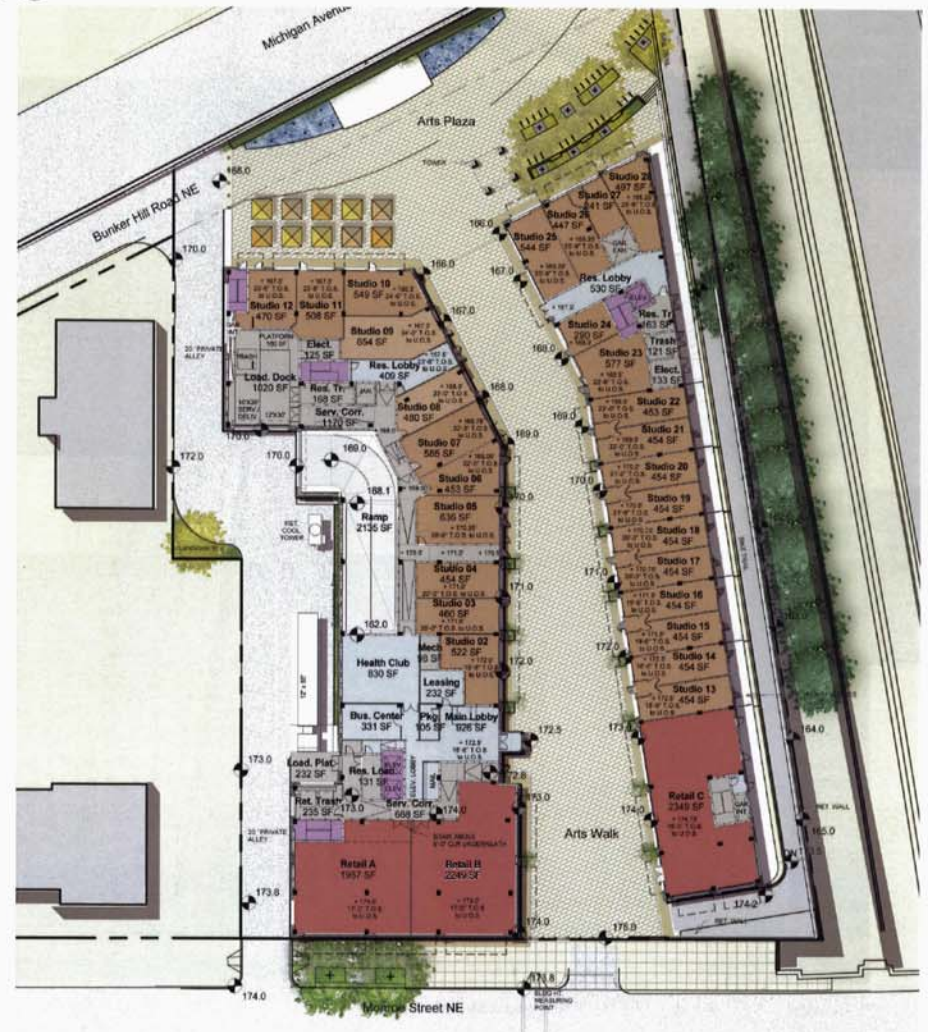
G1 Level

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block C - Garage and First Floor Plans

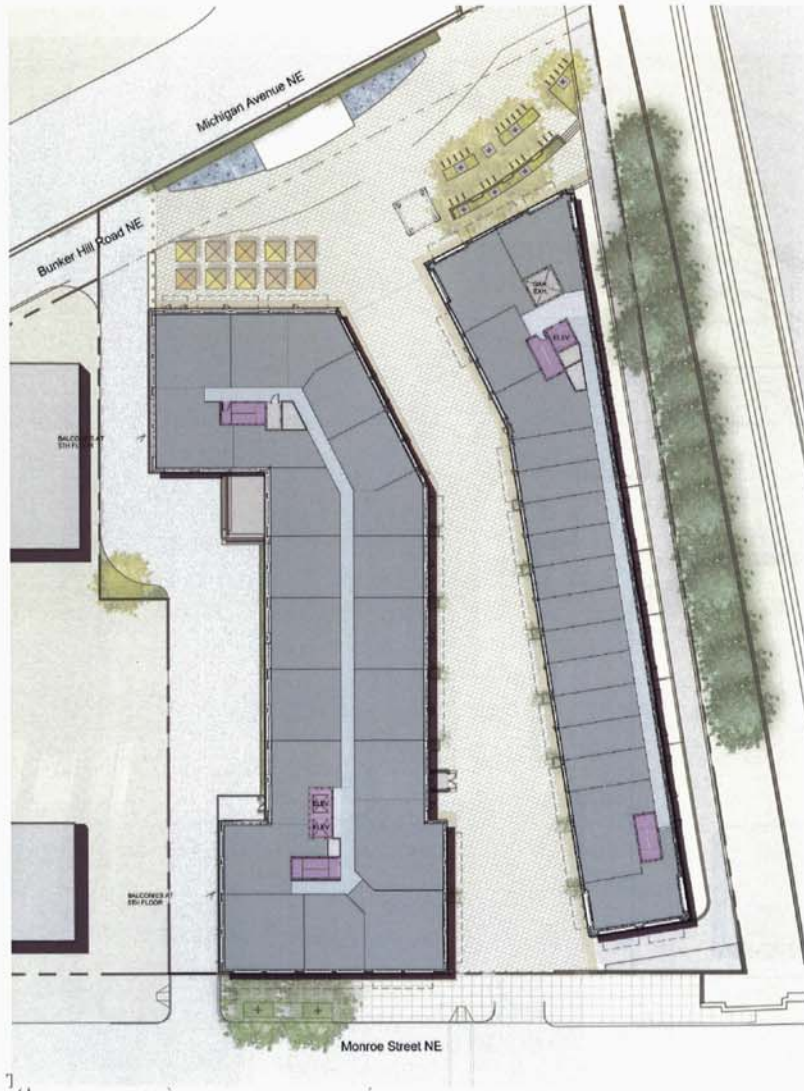
ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS, INC. | MAURICE WALTERS ARCHITECT, PC



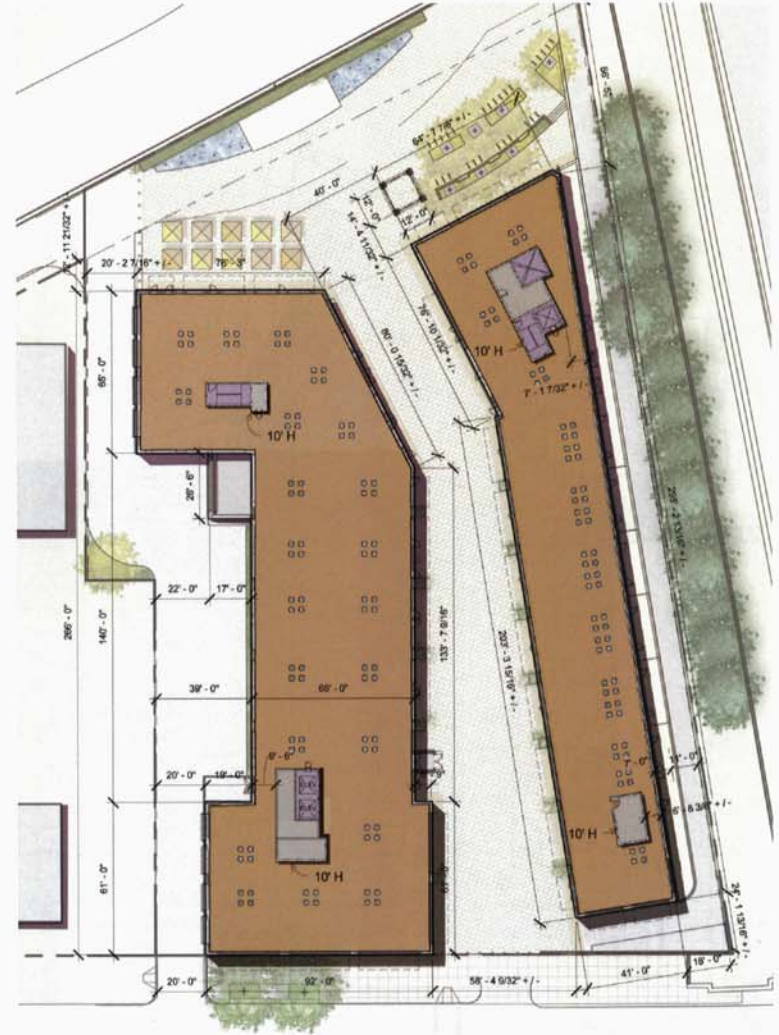
First Floor Plan



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Block C



Roof / Building Dimension Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

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Block C - Typical Floor and Roof Level Plans

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