

Block C



East Elevation - Arts Walk



East Elevation - Train Tracks and Station

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

©2008 Torti Gallas and Partners, Inc. | 1400 Spring Street, 4th floor, Silver Spring, Maryland | 301.558.4700

Block C - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



Block C



West Elevation - Private Alley



West Elevation - Arts Walk

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

Bronx Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th Floor, Silver Spring, Maryland 20901 301-688-4800

Block C - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



Block C



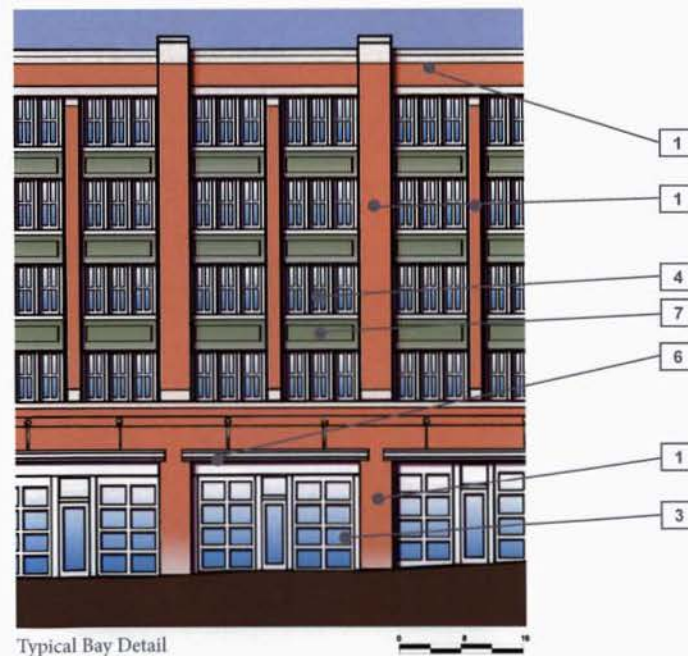
South Elevation - Monroe Street NE



North Elevation - Arts Plaza

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Fiber Cement Siding
- 3 - Storefront and Overhead Sectional Glass Doors at Artists Studios
- 4 - Windows
- 5 - Decorative Railing
- 6 - Metal Canopy
- 7 - Decorative Spandrel Panels



Typical Bay Detail

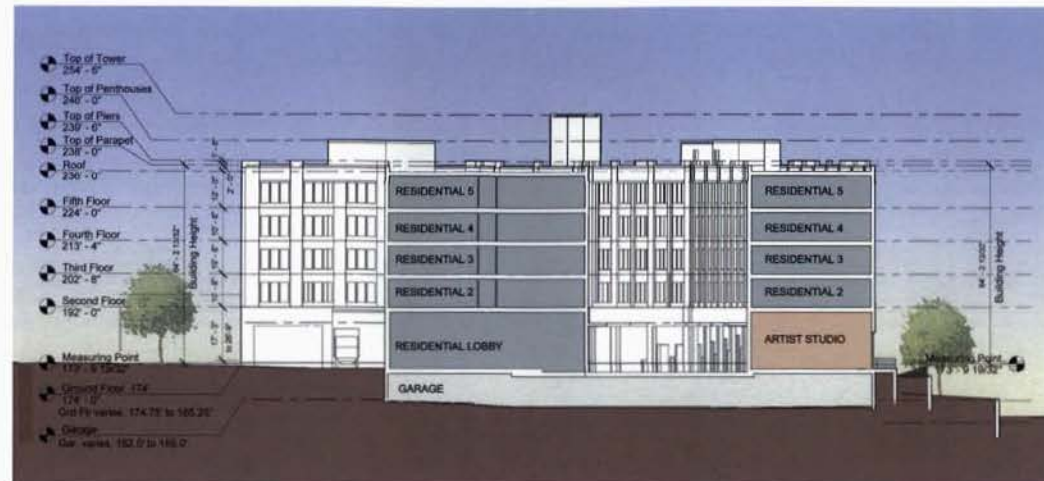
Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

©2008 Torti Gallas and Partners, Inc. | 1200 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4100

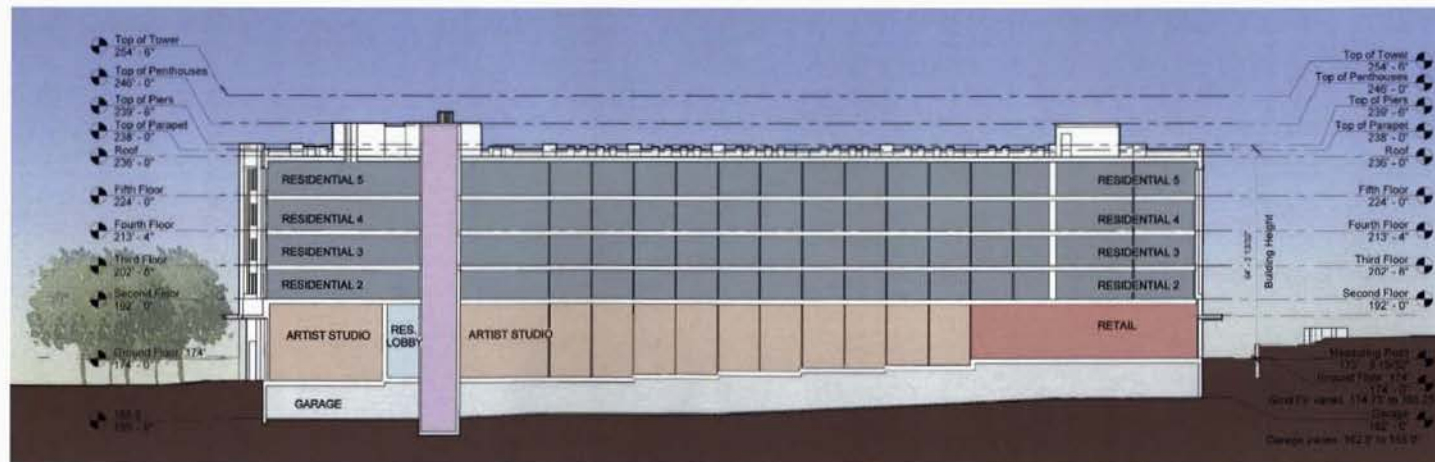
Block C - Elevations

ABDO DEVELOPMENT, LLC
 TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block C



Transverse Section (East - West)



Longitudinal Section (North - South)

©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th Floor, Silver Spring, Maryland 20901 | 301.984.4600

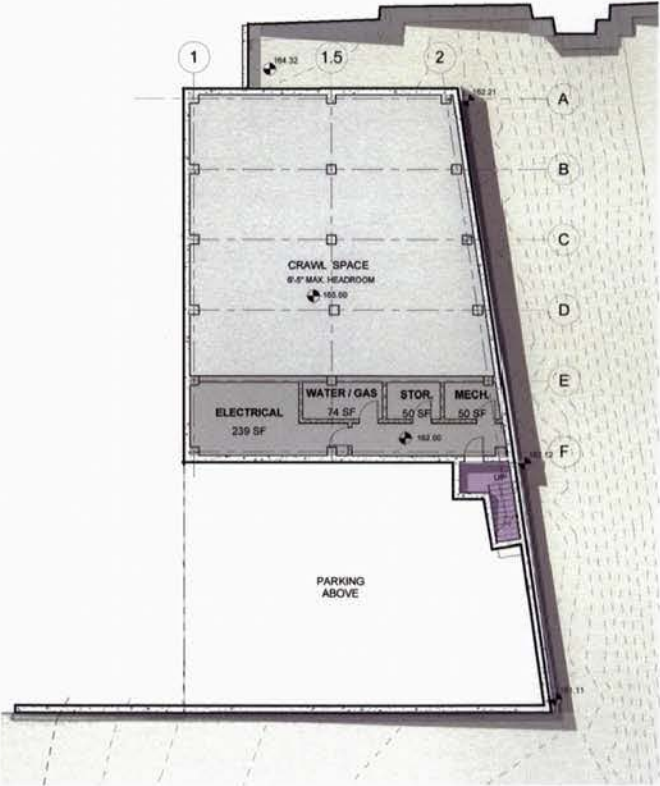
Block C - Sections

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

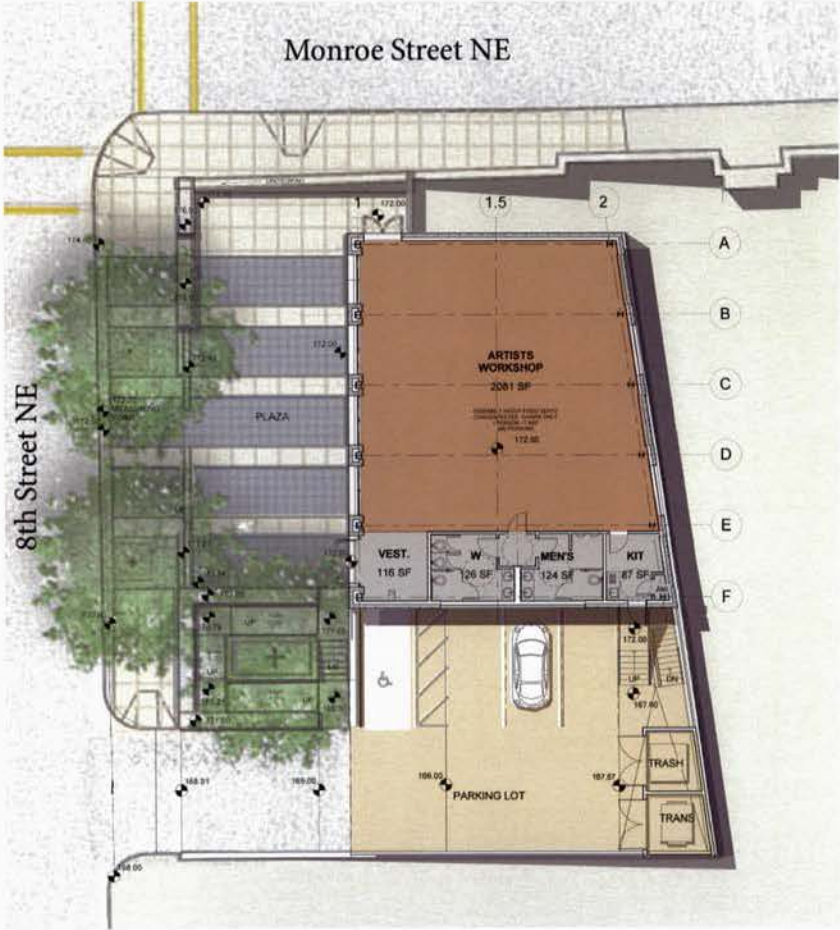


September 5, 2008

Block D

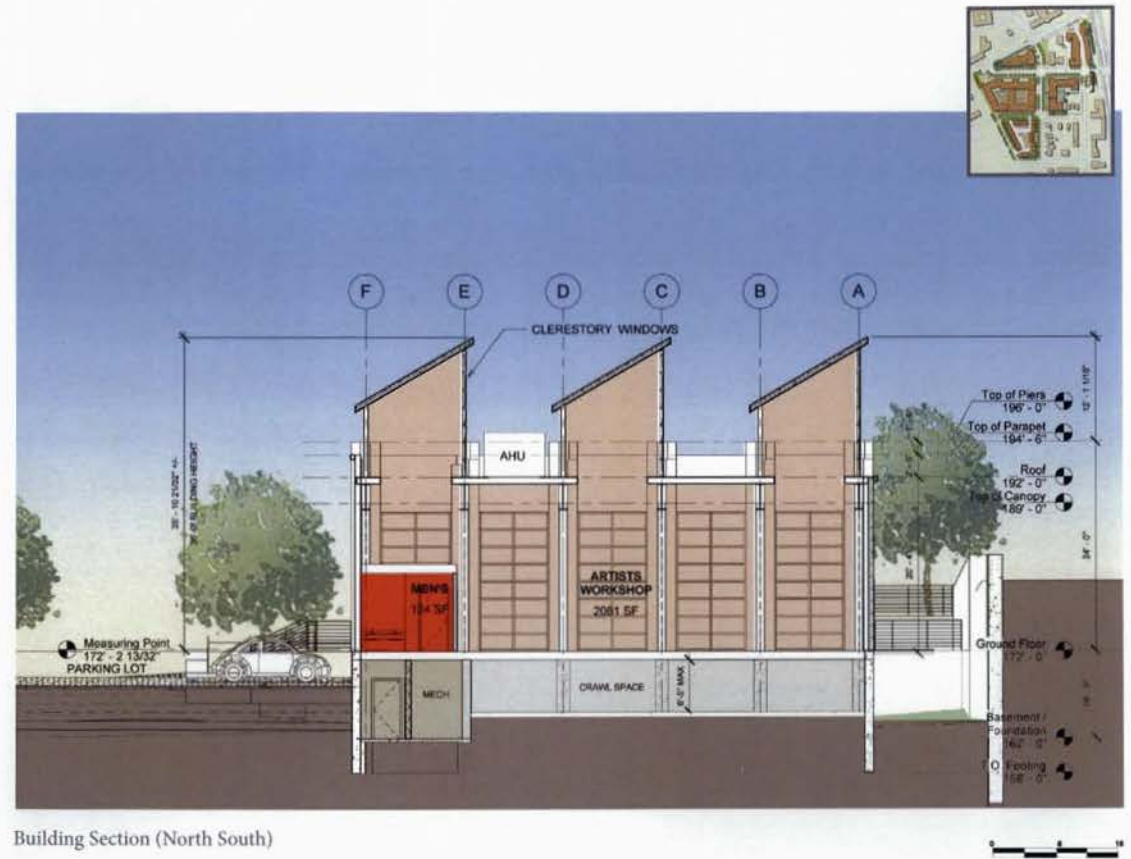


Basement Plan



Ground Floor Plan

Block D



Block D



East Elevation - Train Tracks



North Elevation - Monroe Street

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Green Grid
- 3 - Overhead Sectional Glass Doors
- 4 - Windows and Doors
- 5 - Decorative Railing
- 6 - Metal Canopy
- 7 - Translucent Panels
- 8 - Metal Siding
- 9 - Translucent Panels
- 10 - Concrete Foundation Walls



West Elevation - 8th Street



South Elevation

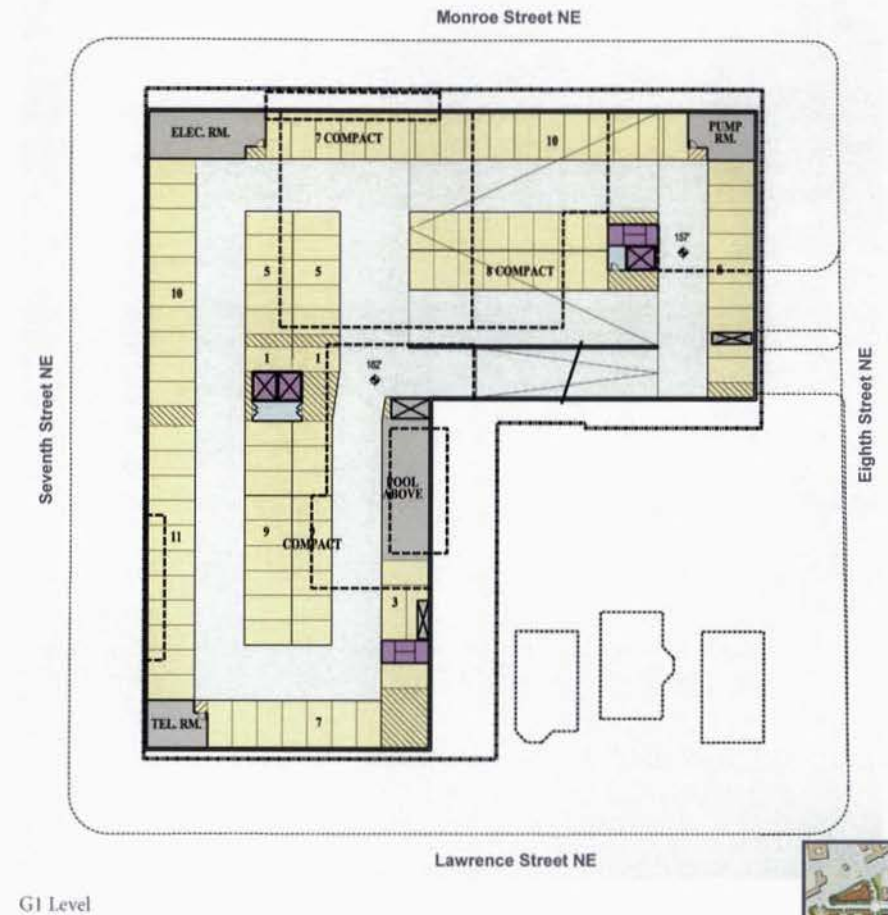
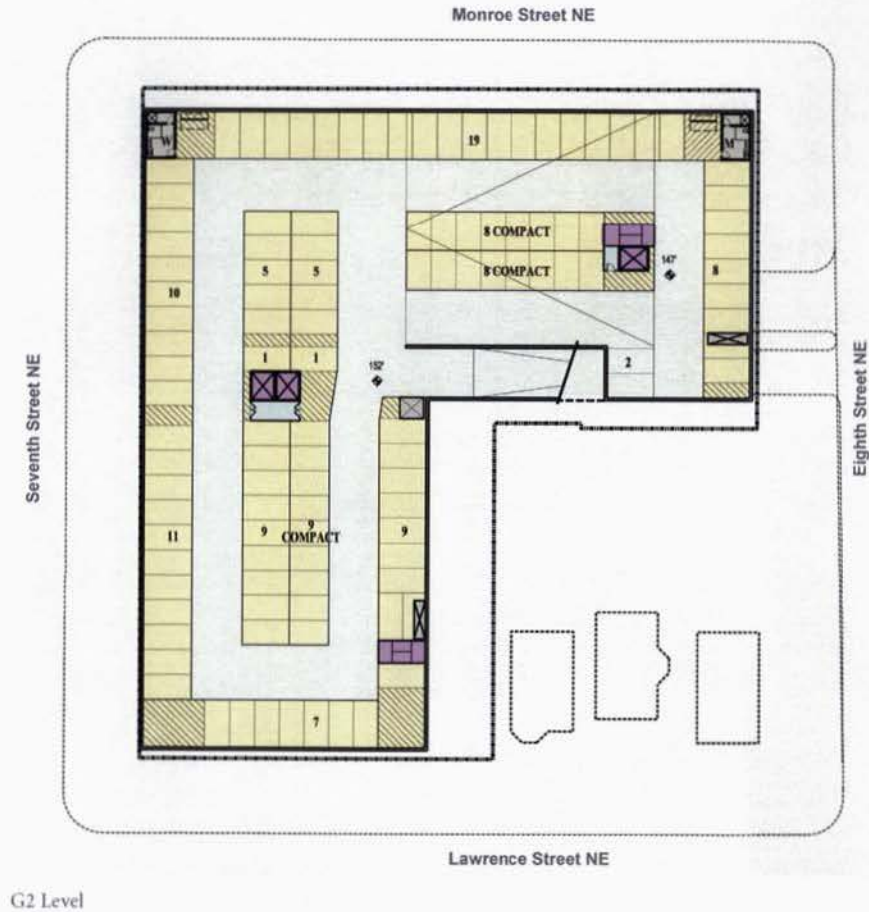


©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th Floor, Silver Spring, Maryland 20910 301.588.4000

Block D - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block E



Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

©2008 Torti Gallas and Partners, Inc. | 1400 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.582.4800

Block E - Garage Plans

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



Block E



First Floor Plan



Typical Lower Residential Floor Plans (2nd - 4th Floors)

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

© 2008 Torti Gallas and Partners, Inc. | 1500 Spring Street, 4th Floor, Silver Spring, Maryland 20910 301.588.4700

Block E - First Floor Plan and Typical Lower Floor Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



Block E



Typical Upper Residential Floor Plans (5th - 7th Floors, 8th Floor Similar)



Roof/Building Dimension Plan

Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.589.4800

Block E - Typical Upper Floor Plan and Roof/Dimension Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



September 5, 2008

Block E



Elevation A - North Elevation - Monroe Street NE



Elevation B - West Elevation - 7th Street NE

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th floor, Silver Spring, Maryland 20910-501-088-4800

Block E - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



September 5, 2008

Block E



Elevation C - East Elevation - 8th Street NE



Elevation D - South Elevation - Lawrence Street NE

Note - Storefront retail signage designs are illustrative and will vary based on actual retailer designs. Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th Floor, Silver Spring, Maryland 20910 301.587.4000

Block E - Elevations

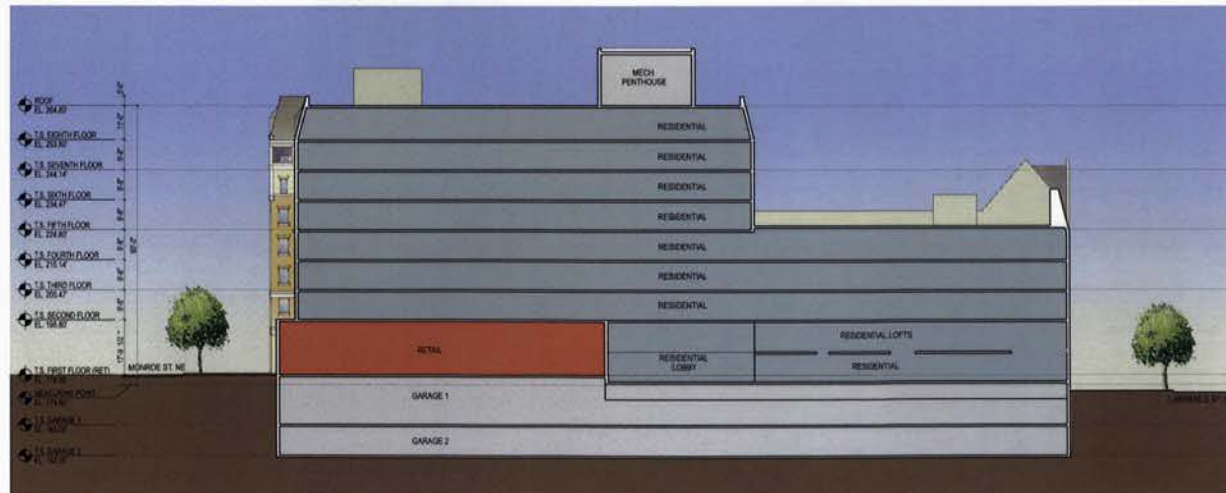
ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



Block E



Section A-A (East-West)



Section B-B (North-South)



©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.585.4601

Block E - Sections

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block E



6

7

1

5

3

1

5

2

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Storefront
- 3 - Windows
- 4 - Decorative Railing
- 5 - Canopy
- 6 - Architectural Embellishment
- 7 - Shingle Roofing



©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4600

Block E - Bay Studies

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block A2

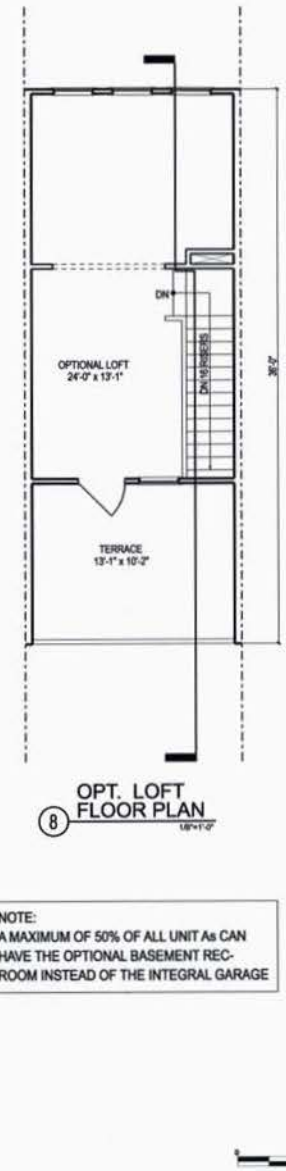
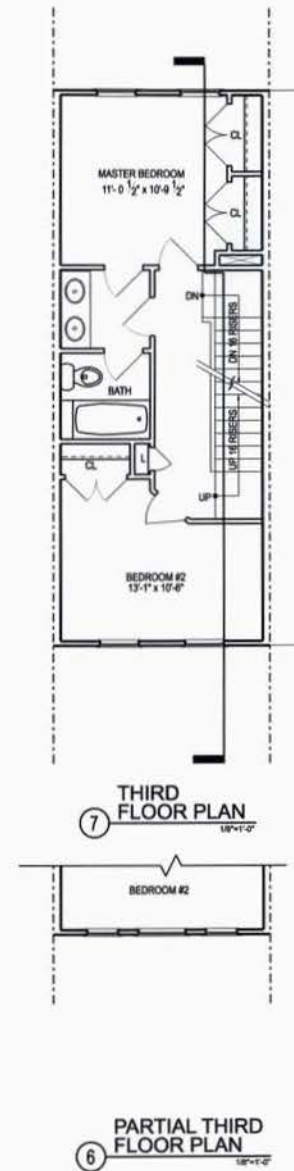
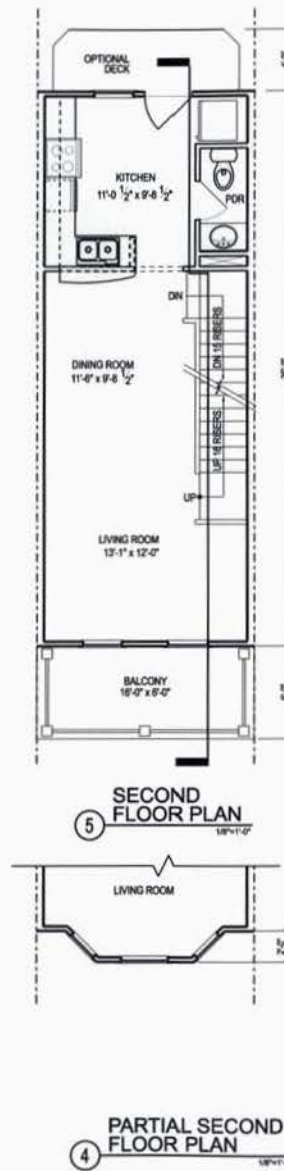
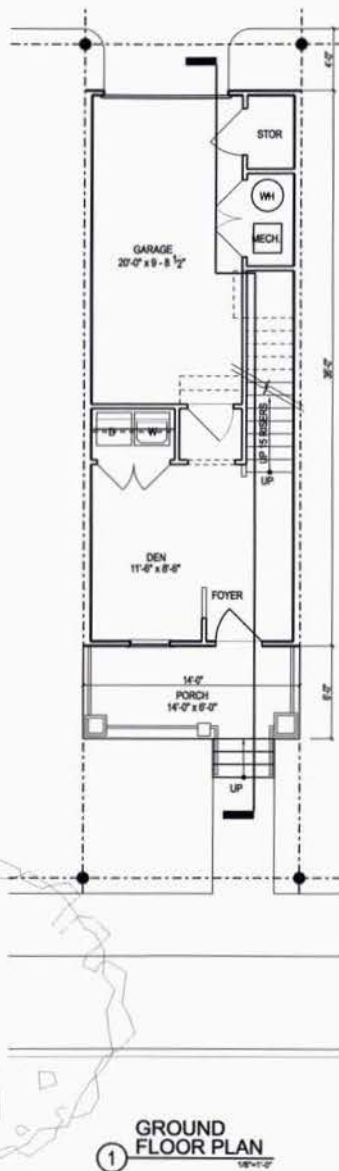


Note - The interior layouts shown on the building plans are schematic. Changes to the layouts, not affecting the exterior envelope or the square footage distribution, may occur.

©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th Floor, Silver Spring, Maryland 20910 301.588.4800

Block A2 - Site Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



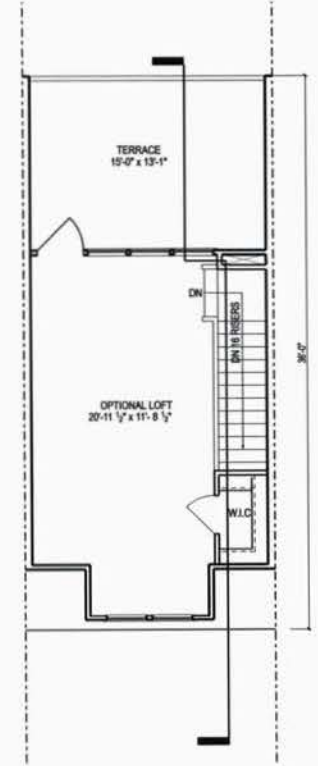
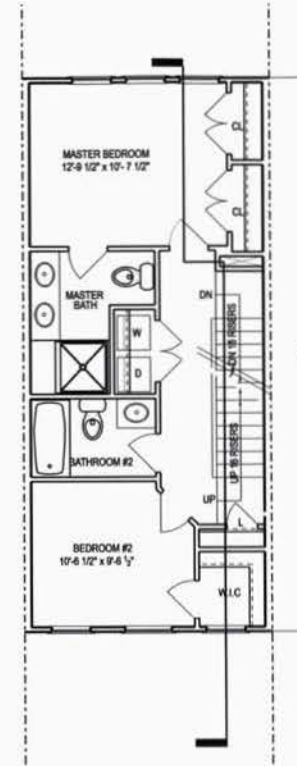
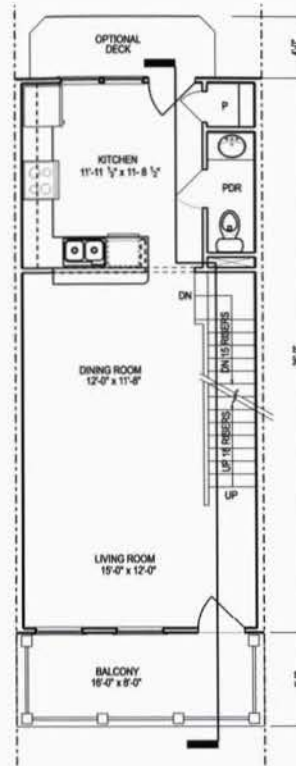
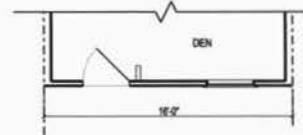
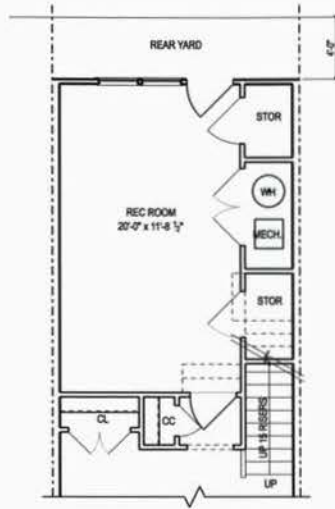
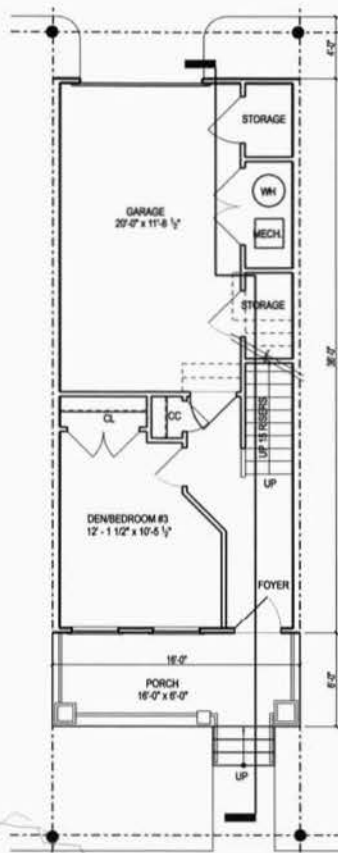
NOTE:
A MAXIMUM OF 50% OF ALL UNIT AS CAN
HAVE THE OPTIONAL BASEMENT REC-
ROOM INSTEAD OF THE INTEGRAL GARAGE



©2008 Torti Gallas and Partners, Inc. | 1500 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4000

Block A2 - A Unit Plans - 14' Townhouse with Garage

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



NOTE:
A MAXIMUM OF 50% OF ALL UNIT B1s CAN
HAVE THE OPTIONAL BASEMENT REC-
ROOM INSTEAD OF THE INTEGRAL GARAGE



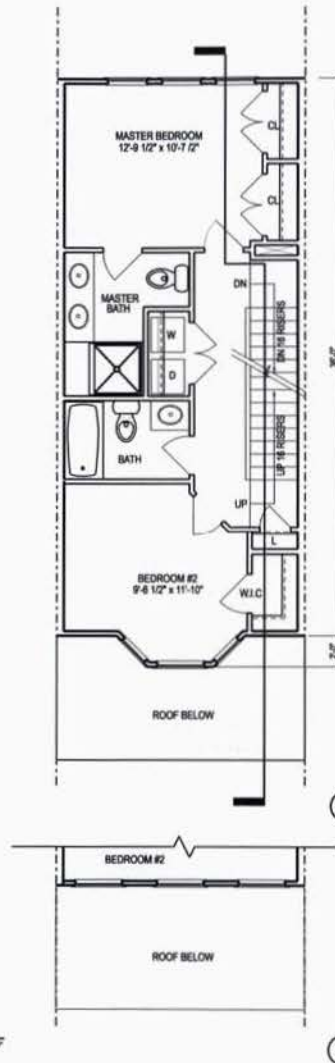
September 5, 2008

Block A2 - B1 Unit Plans - 16' Townhouse with Garage

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

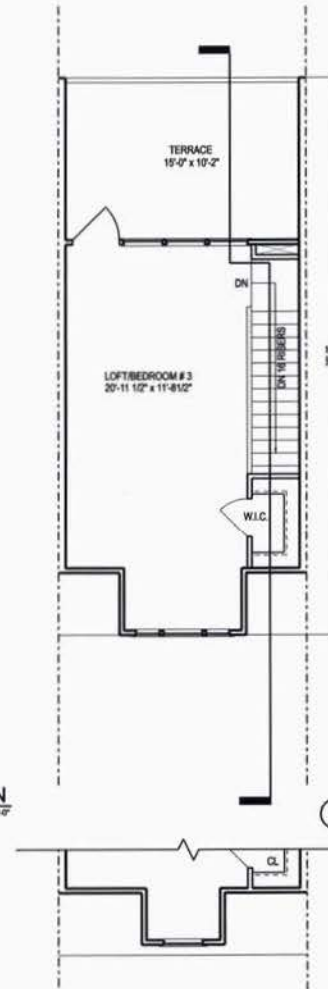


1 FIRST FLOOR PLAN
1/8"=1'-0"



3 SECOND FLOOR PLAN
1/8"=1'-0"

2 PARTIAL SECOND FLOOR PLAN
1/8"=1'-0"



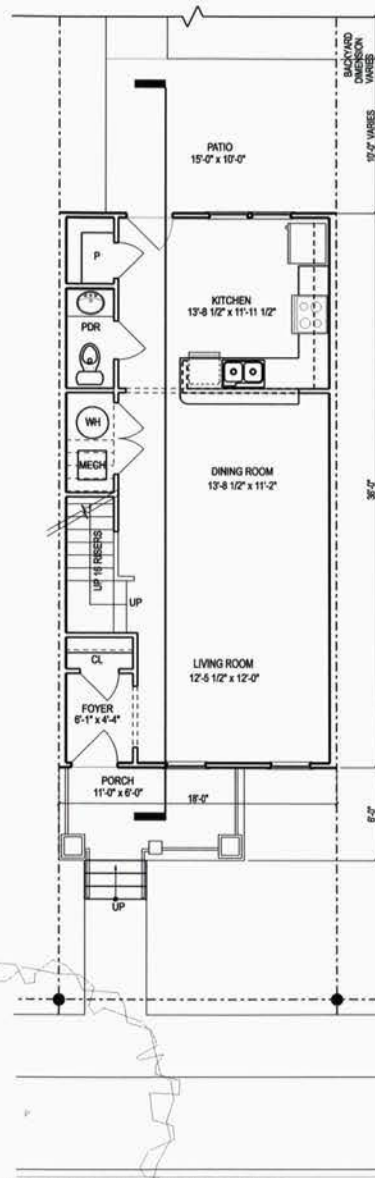
5 LOFT/BEDROOM #3 FLOOR PLAN
1/8"=1'-0"

4 PARTIAL LOFT FLOOR PLAN
1/8"=1'-0"

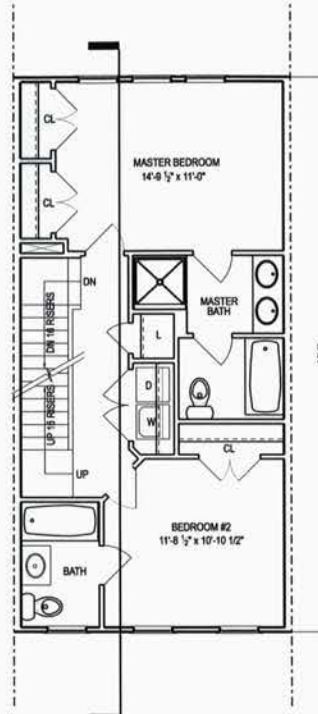
©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.488.4100

Block A2 - B2 Unit Plans - 16' Townhouse with Rear Yard and Parking Pad

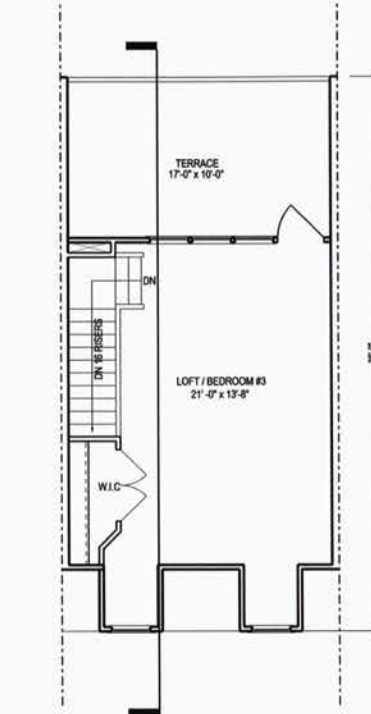
ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



① GROUND FLOOR PLAN
1/8"=1'-0"



② SECOND FLOOR PLAN
1/8"=1'-0"



④ LOFT/BEDROOM #3 FLOOR PLAN
1/8"=1'-0"



③ PARTIAL LOFT FLOOR PLAN
1/8"=1'-0"



September 5, 2008

©2008 Torti Gallas and Partners, Inc. | 1100 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4900

Block A2 - C Unit Plans - 18' Townhouse with Rear Yard and Parking Pad

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block A2



East Elevation - 7th Street NE



North Elevation - Lawrence Street NE

Note - Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.



September 5, 2008

©2008 Torti Gallas and Partners, Inc. | 1500 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4800

Block A2 - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block A2



West Elevation - Kearny Street NE

Note - Utility poles and lines not shown for graphic purposes. Although applicant is not completing the undergrounding of utilities, applicant is committed to coordinating with and allowing relevant utility companies and District government agencies to complete undergrounding.

MATERIALS LEGEND

- 1 - Masonry w/ Precast Accents
- 2 - Glass Windows and Doors
- 3 - Decorative Railing
- 4 - Porch
- 5 - Shingle Roofing

5

2

1

3

4



South Elevation - Kearny Street NE

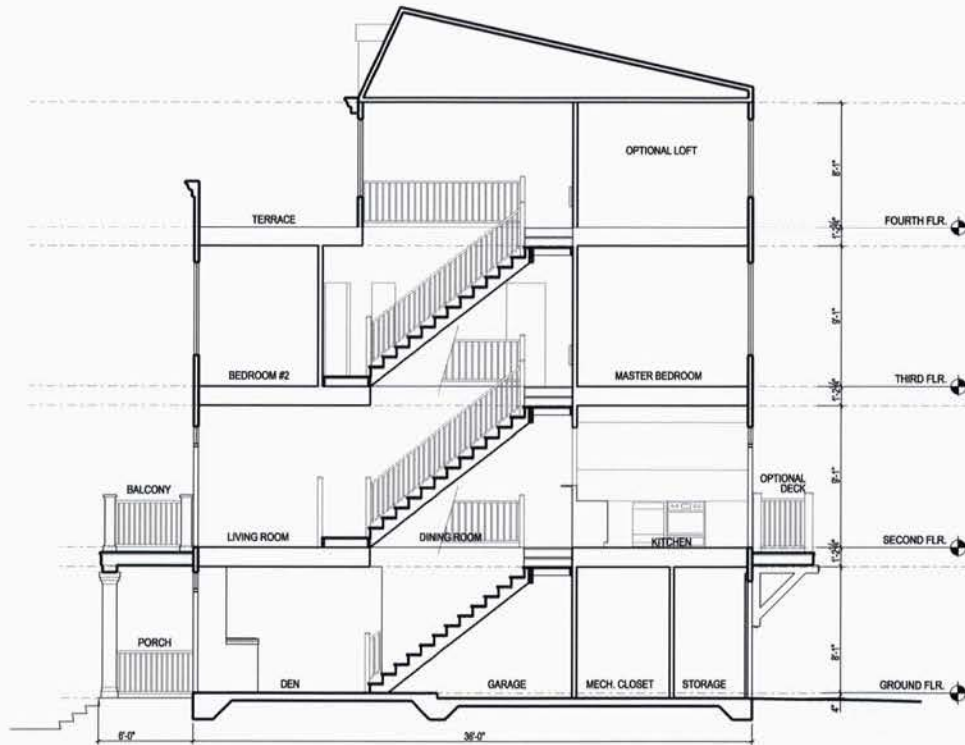


©2008 Torti Gallas and Partners, Inc. | 100 Spring Street, 4th Floor, Silver Spring, Maryland 20910-3018, 410.460.1000

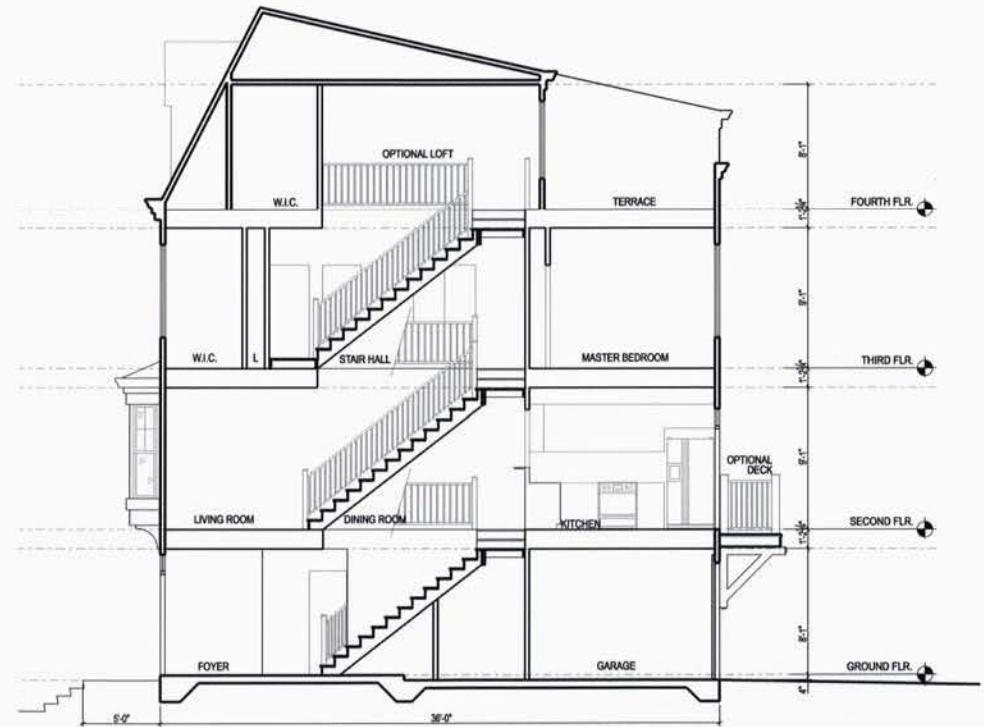
Block A2 - Elevations

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

Block A2



① UNIT A - DIAGRAMMATIC BUILDING SECTION
1/8"=1'-0"



① UNIT B1 - DIAGRAMMATIC BUILDING SECTION
1/8"=1'-0"

©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20901 301.486.4000

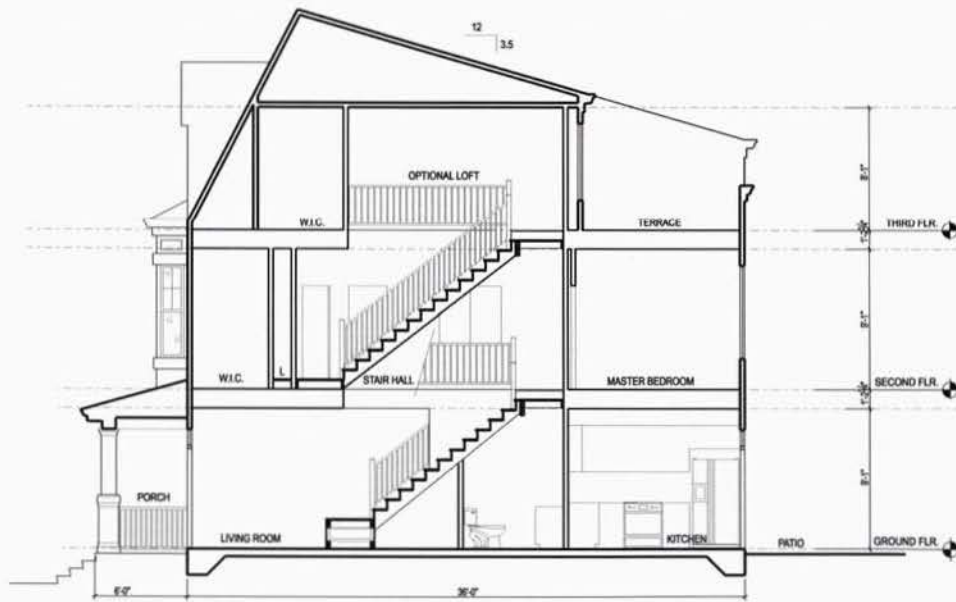
Block A2 - Sections

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

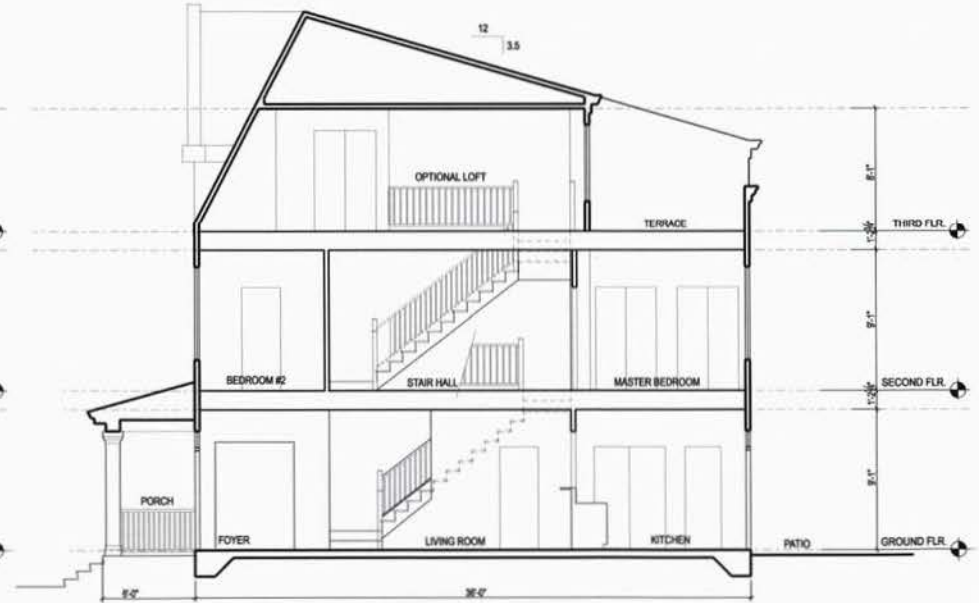


September 5, 2008

Block A2



① UNIT B2 - DIAGRAMMATIC BUILDING SECTION
18'-11" 0"



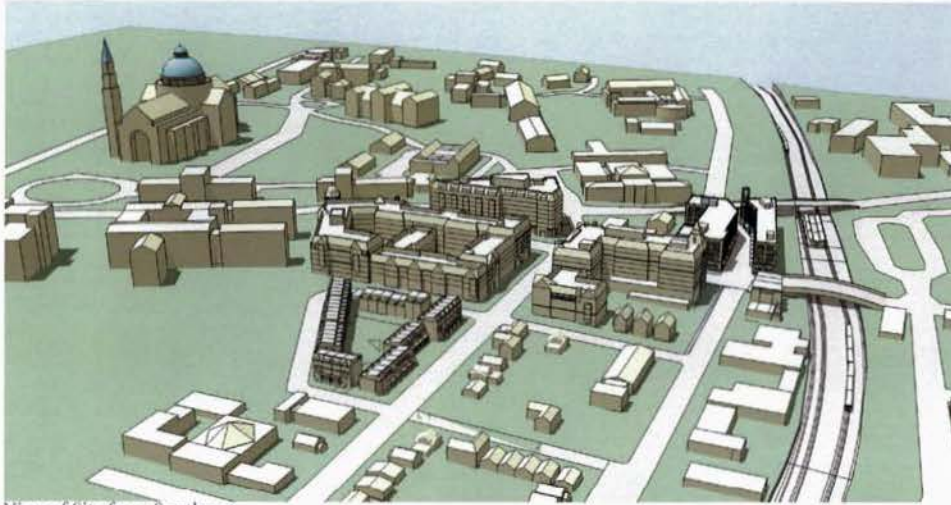
① UNIT C - DIAGRAMMATIC BUILDING SECTION
18'-11" 0"



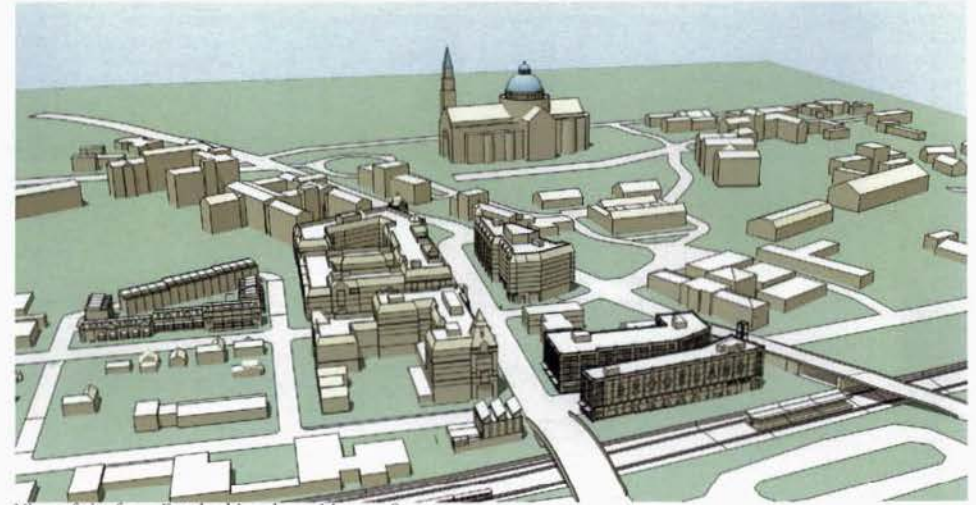
©2008 Torti Gallas and Partners, Inc. | 1200 Spring Street, 4th Floor, Silver Spring, Maryland | 301.585.4700

Block A2 - Sections

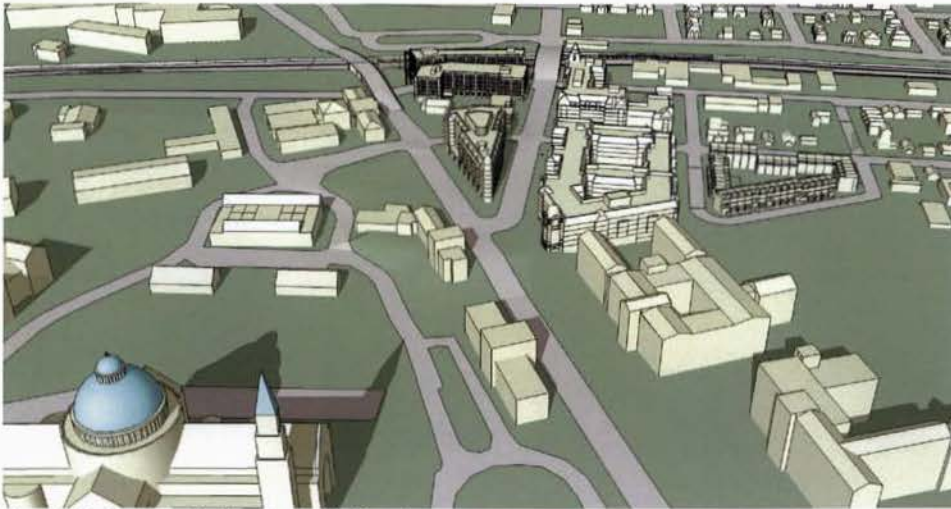
ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS



View of Site from Southeast



View of site from East looking down Monroe Street



View of Site from West looking down Michigan Avenue



View of site from Campus looking South

©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20910 | 301.581.4800

Massing Diagrams

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

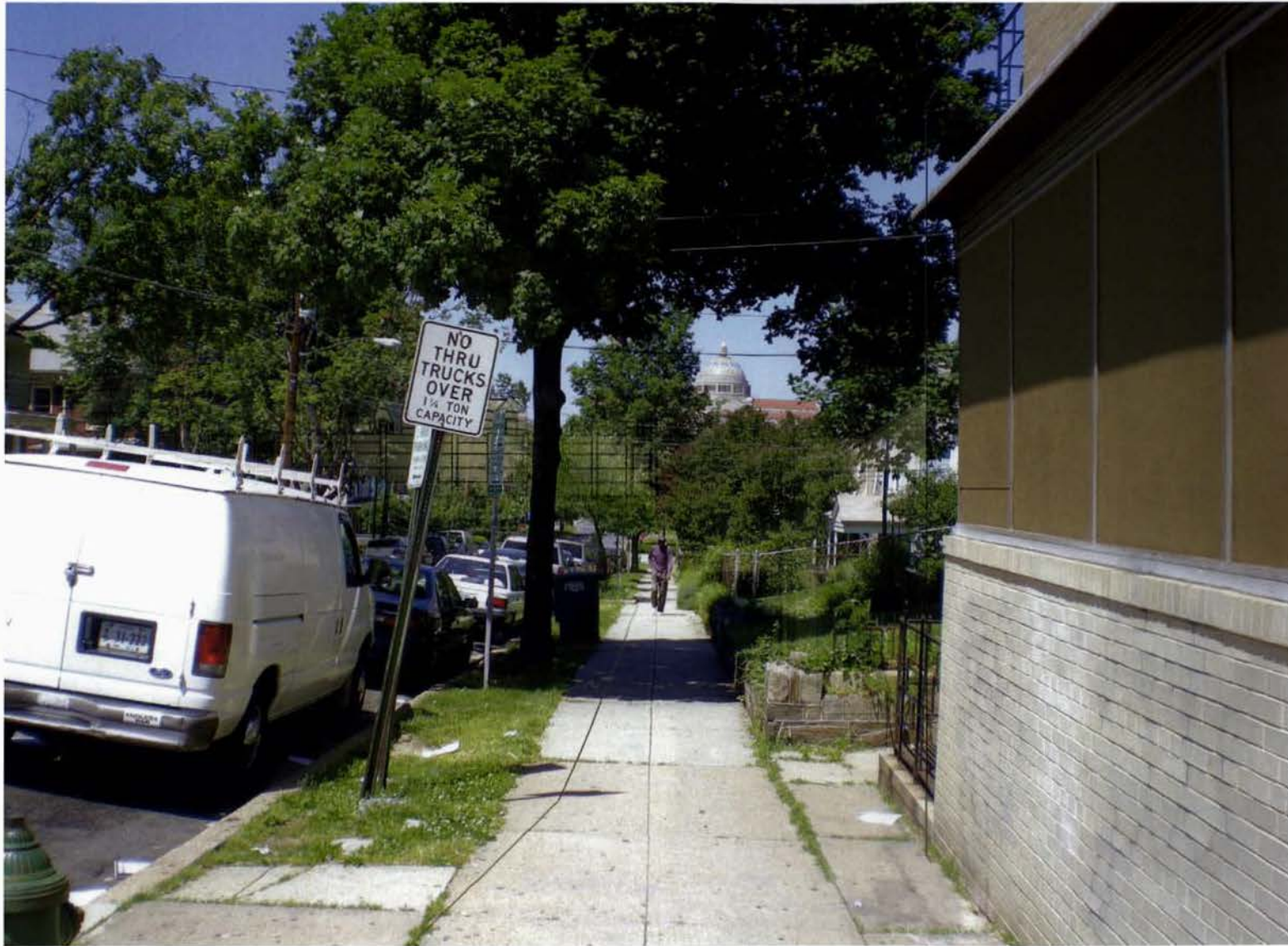


©2008 Torti Gallas and Partners, Inc. | 1100 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.508.4600

View looking toward Shrine from Monroe Street NE



September 5, 2008



©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4000

View looking toward Shrine from Newton and 12th Streets NE



September 5, 2008



- Phase I:
Block B, C, + D
- Phase II:
Block A1
- Phase III:
Block E
(Temporary Surface
Parking during Phases I + II)
- Phase TBD:
Block A2



©2008 Torti Gallas and Partners, Inc. | 4300 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.588.4100

Phasing Plan

ABDO DEVELOPMENT, LLC
TORTI GALLAS AND PARTNERS | MAURICE WALTERS ARCHITECTS

LANDSCAPE DRAWINGS

LANDSCAPE SITE PLAN



©2008 Stern Gallie and Partners, Inc. | 1500 Spring Street, 6th floor, Silver Spring, Maryland 20910 | 301.587.4100

Landscape Site Plan

ABDO DEVELOPMENT, LLC
OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



©2008 Torti Gallas and Partners, Inc. | 1500 Spring Street, 4th floor, Silver Spring, Maryland 20910 | 301.588.4800

Rendering of Public Square

ABDO DEVELOPMENT, LLC
 OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA

PUBLIC SQUARE

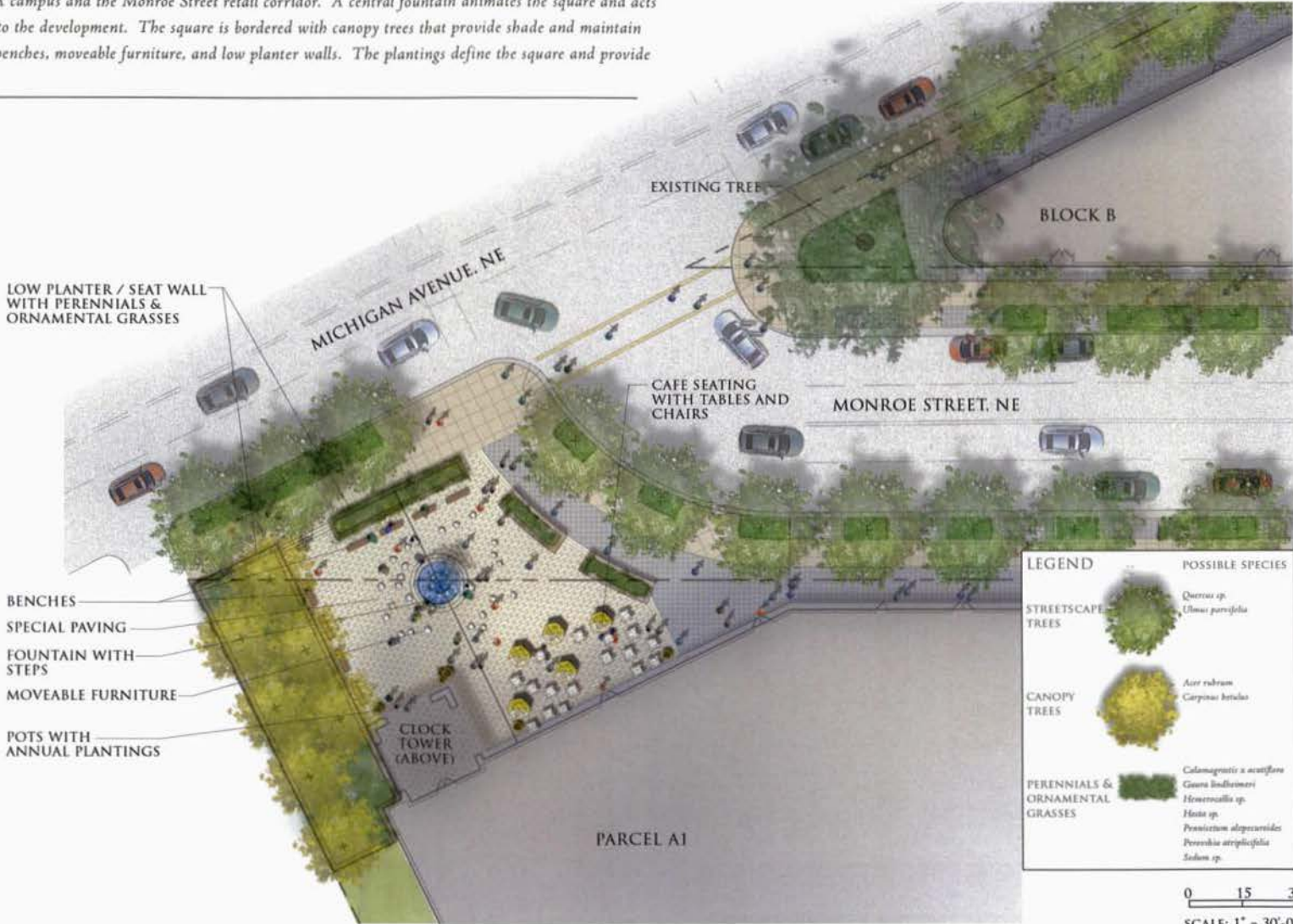
The Public Square attracts pedestrians from the CUA campus and the Monroe Street retail corridor. A central fountain animates the square and acts in conjunction with the Clock Tower as a gateway into the development. The square is bordered with canopy trees that provide shade and maintain open views to campus. Seating is accommodated by benches, moveable furniture, and low planter walls. The plantings define the square and provide seasonal color and texture.



CENTRAL FOUNTAIN animates the square and pairs with the Clock Tower as a gateway into the development.



CAFE SEATING accommodates outdoor dining.



NOTE: PHOTOGRAPHS ARE FOR ILLUSTRATIVE PURPOSES ONLY

©2008 Yorta Gallo and Partners, Inc. | 1500 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.581.4100

Landscape - Public Square

ABDO DEVELOPMENT, LLC
OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



©2008 Torti Gallas and Partners, Inc. | 1300 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.508.4800

Rendering of Arts Plaza

ABDO DEVELOPMENT, LLC
 OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



ARTS PLAZA / ARTS WALK

The Arts Plaza welcomes pedestrians from the Arts Walk, the CUA campus, and the Metro. The plaza is focused on a stage with in-ground fountain jets and a green wall backdrop that provides a buffer between Michigan Avenue and the public space. The area accommodates markets, performances and community events.



STAGE WITH IN-GROUND FOUNTAIN JETS provides flexible space for performances or additional market space (fountain jets can be turned off).



GREEN WALL provides a backdrop to the stage and fountain and screens the Michigan Avenue overpass.



FLEXIBLE MARKET SPACE accommodates temporary vendors.



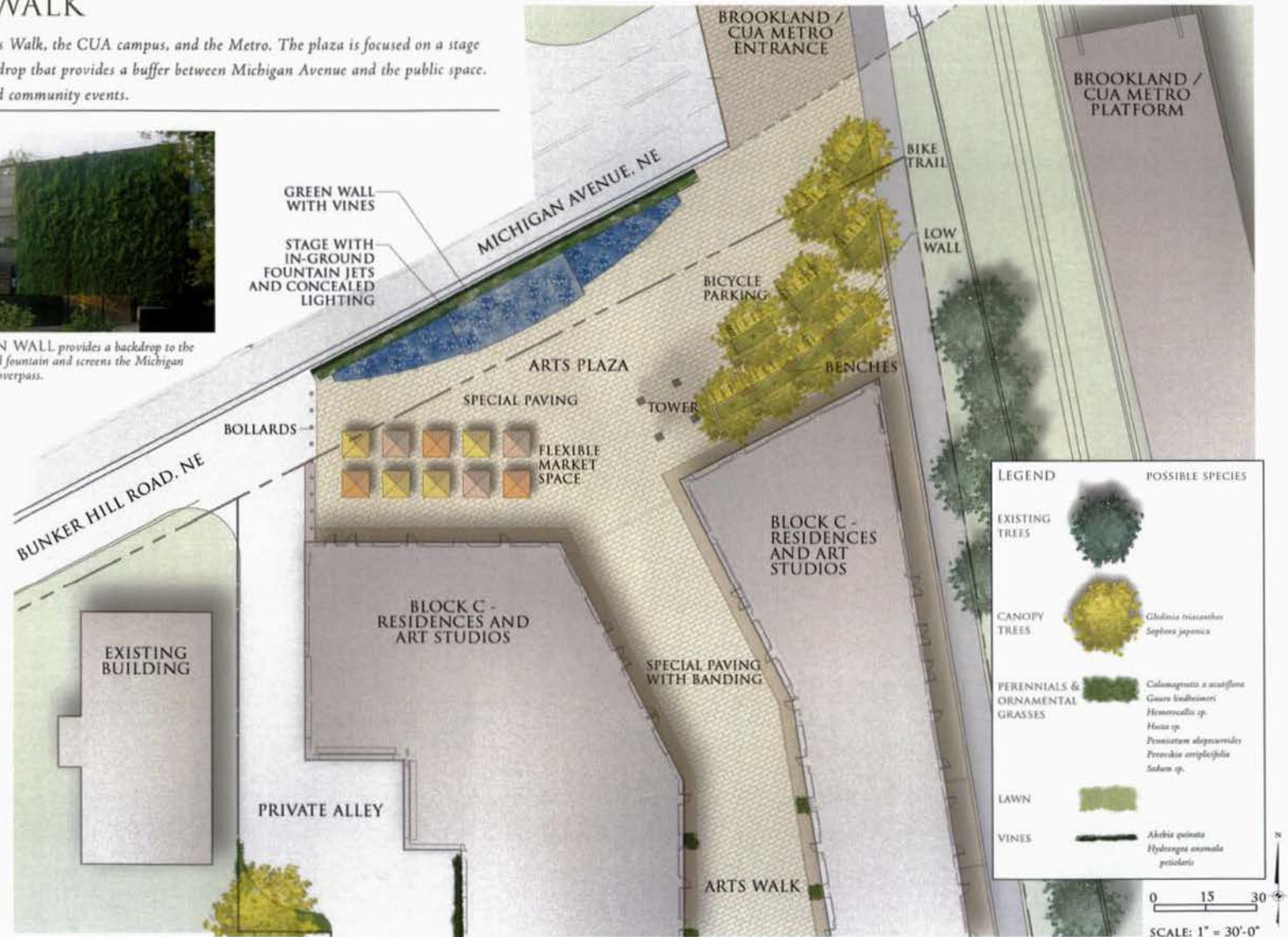
BICYCLE PARKING provides bike racks for commuters, residents, students and visitors.

NOTE: PHOTOGRAPHS ARE FOR ILLUSTRATIVE PURPOSES ONLY

©2008 Torii Gallo and Partners, Inc. | 1100 Spring Street, 9th Floor, Silver Spring, Maryland 20901 x01108-0001

Landscape- Arts Plaza

ABDO DEVELOPMENT, LLC
OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



LEGEND	POSSIBLE SPECIES
EXISTING TREES	
CANOPY TREES	<i>Gliricidia triflorata</i> <i>Sapota japonica</i>
PERENNIALS & ORNAMENTAL GRASSES	<i>Calamagrostis a. acutiflora</i> <i>Guiera hirsutissima</i> <i>Hemerocallis sp.</i> <i>Hemerocallis sp.</i> <i>Pennisetum setosum</i> <i>Pennisetum setosum</i> <i>Sedum sp.</i>
LAWN	
VINES	<i>Akebia quinata</i> <i>Hydrocotyle anomala</i> <i>perfoliata</i>

0 15 30
SCALE: 1" = 30'-0"

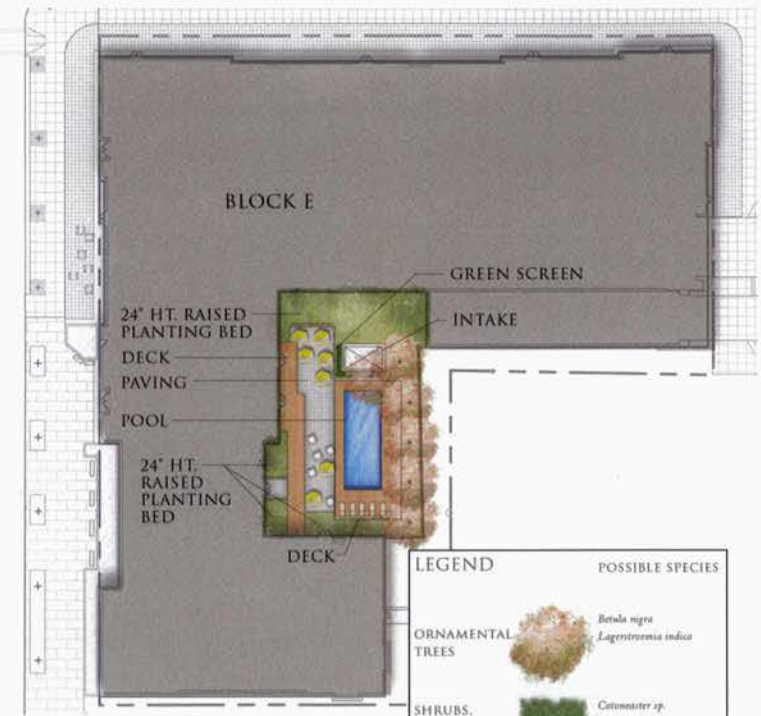
September 5, 2008

RESIDENTIAL COURTYARDS

Private gardens in buildings A1 and E extend interior perspectives, express seasonal change, and provide a dynamic composition when viewed from above. They also provide recreational amenities and private space for building residents.



SEVENTH STREET, NE



SHADED RETREATS extend interior perspectives.



POOL is both a harmonious water feature in the garden and a recreational amenity.

NOTE: PHOTOGRAPHS ARE FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND		POSSIBLE SPECIES
ORNAMENTAL TREES		<i>Betula nigra</i> <i>Lagerstroemia indica</i>
SHRUBS, PERENNIALS & ORNAMENTAL GRASSES		<i>Cotinus sp.</i> <i>Hydrangea sp.</i> <i>Nandina domestica</i> <i>Calamagrostis x acutiflora</i> <i>Gaura lindheimeri</i> <i>Hemerocallis sp.</i> <i>Hosta sp.</i> <i>Prunisetum alepcurioides</i> <i>Potentilla atriplicifolia</i> <i>Sedum sp.</i>
VINES		<i>Akebia quinata</i> <i>Hydrocorys amicalis</i> <i>petiolaris</i>

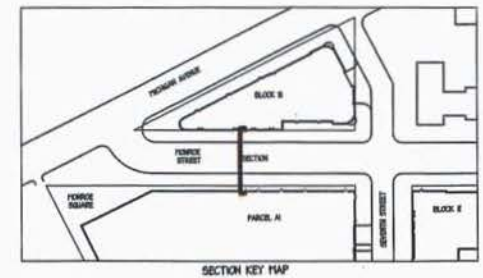
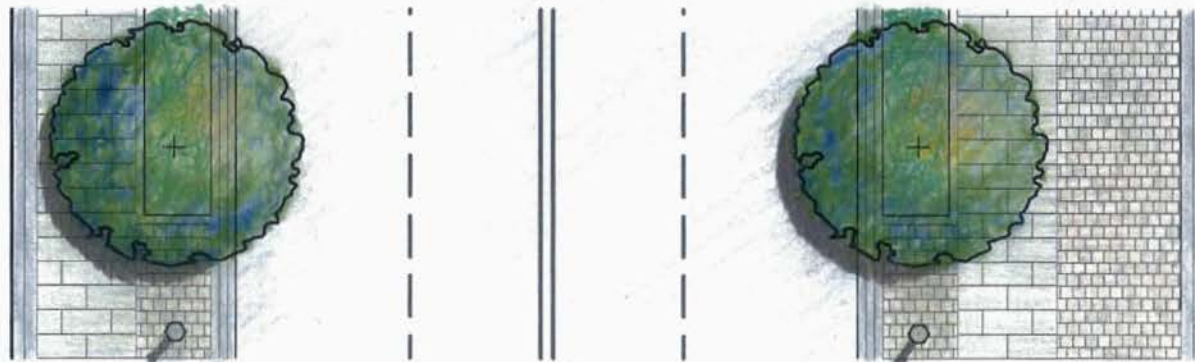
0 25 50
SCALE: 1" = 50'-0"

September 5, 2008

©2008 Tori Gallas and Partners, Inc. | 1000 Spring Street, 4th floor, Silver Spring, Maryland 20910 301.368.4700

Landscape - Residential Courtyards

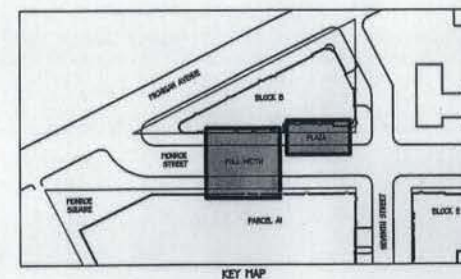
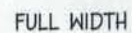
ABDO DEVELOPMENT, LLC
OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



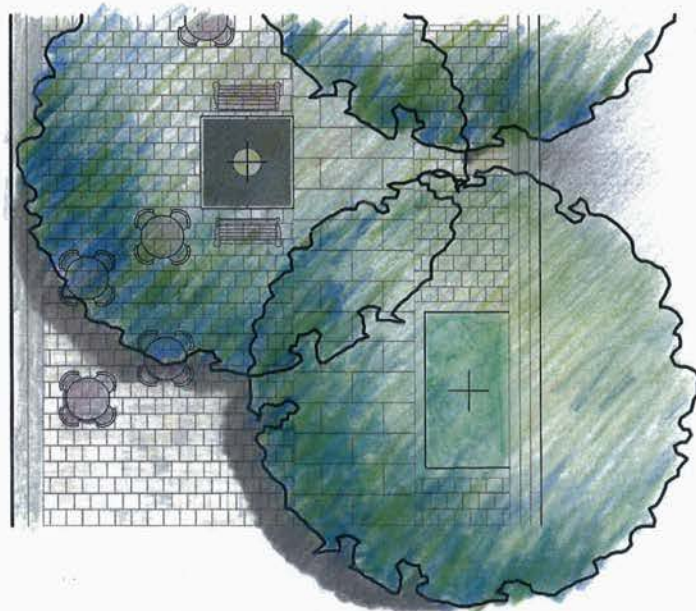
©2008 Torti Gallas and Partners, Inc. | 1000 Spring Street, 4th Floor, Silver Spring, Maryland 20910 | 301.588.4800

Landscape- Monroe Street Cross Section

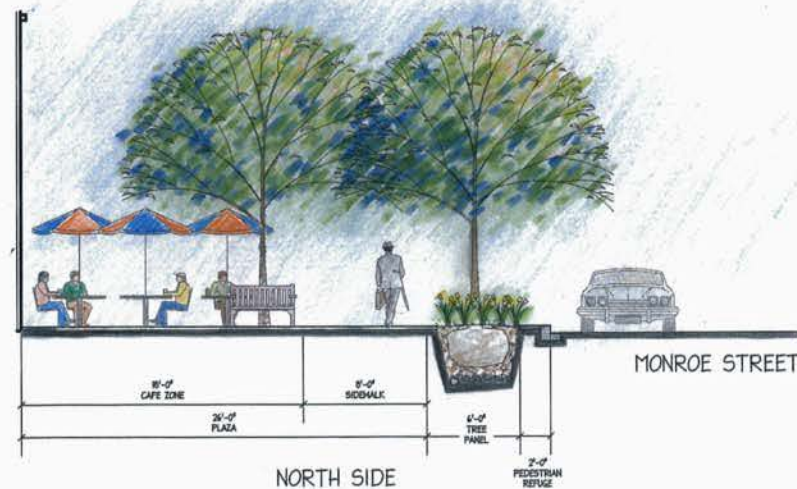
ABDO DEVELOPMENT, LLC
OEHME, VAN SWEDEN AND ASSOCIATES - MACRIS, HENDRICKS AND GLASCOCK, PA



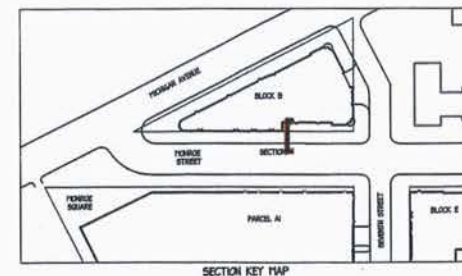
MONROE STREET PLAN VIEWS
SCALE: 1" = 20'



MONROE STREET PLAN VIEW
NORTH SIDE PLAZA



MONROE STREET CROSS SECTION
NORTH SIDE PLAZA



SECTION KEY MAP

CIVIL DRAWINGS

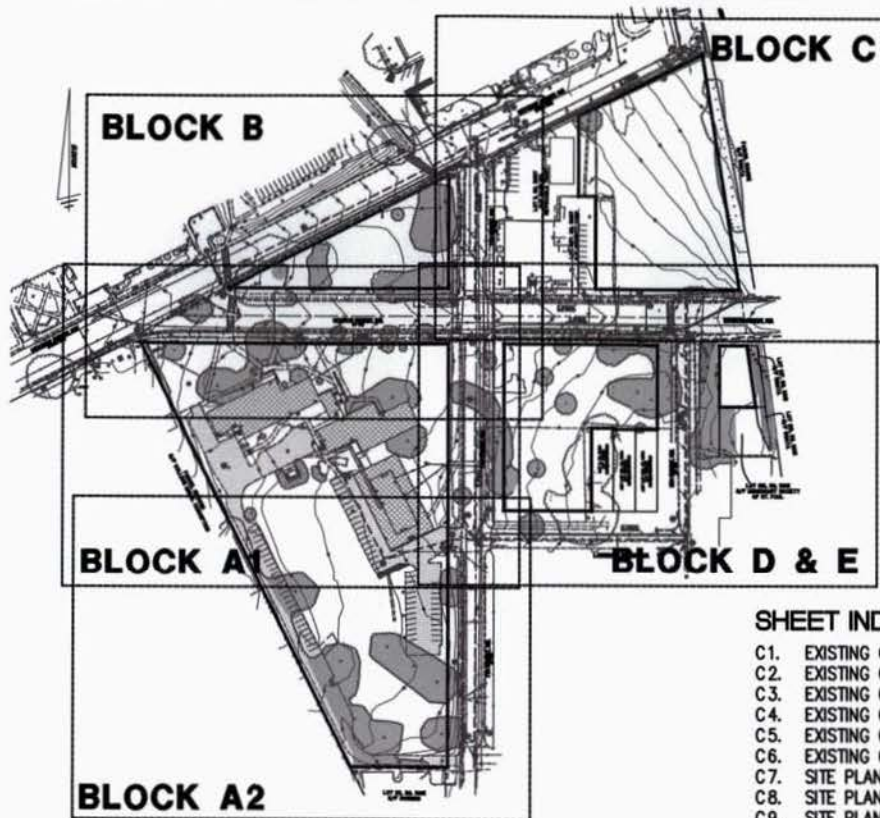
NOTE:

* CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT, EXTENT AND DESIGN OF SHEETING, SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN DC, HIRED BY THE CONTRACTOR AS NECESSARY TO ENSURE SUPPORT OF SURROUNDING STRUCTURES AND UTILITIES.

* PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES VERIFY INVERT ELEVATION OF EXISTING UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH INFORMATION SHOWN PRIOR TO ORDERING ANY STRUCTURES. OTHER MATERIALS RESULTING FROM ALL DEMOLITION OPERATIONS TO A LEGAL DISPOSAL OFF SITE.

DEMOLITION NOTES:

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED. IN ADDITION, THESE ACTIVITIES SHALL BE COORDINATED WITH DESIGN TEAM IN ADVANCE.
- CONTRACTOR SHALL REMOVE AND TRANSPORT ALL DEBRIS, RUBBISH AND THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCY TO THE PROJECT MANAGER. FOR MARKING LOCATIONS OF EXISTING UTILITIES, CONTACT "MISS UTILITY" AT 1-800-257-7777, 48-HOURS PRIOR TO ANY EXCAVATION.
- REMOVAL OF ASPHALT AND CONCRETE PAVEMENT SHALL INCLUDE THE REMOVAL OF ALL SURFACE, BASE AND SUBBASE MATERIALS.
- ALL UNDERGROUND UTILITY LOCATIONS, INCLUDING WATER, STORM DRAINAGE, SANITARY SEWER, ELECTRICAL, TELEPHONE AND GAS WERE TAKEN FROM AVAILABLE EXISTING RECORDS. THE LOCATION OF ALL UTILITIES SHOWN ARE APPROXIMATE. IT IS RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PRIVATE UTILITY LOCATOR SERVICE AND SHALL DOCUMENT UTILITY LOCATIONS.
- THE CONTRACTOR MUST HAND-DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES WELL IN ADVANCE OF DEMOLITION WORK AND PRIOR TO ORDERING PIPE MATERIALS AND STRUCTURE. UTILITIES FOUND DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. THE PROJECT MANAGER SHALL BE NOTIFIED IMMEDIATELY OF ANY UTILITY FINDINGS WHICH DEVIATE FROM THE CONDITIONS SHOWN.
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR DEMOLITION AS PER D.C. EROSION AND SEDIMENT CONTROL HANDBOOK. IF ANY ONSITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
- SEE SEDIMENTATION AND EROSION CONTROL PLAN FOR ALL EXISTING TREES TO REMAIN AND BE PROTECTED.
- NOTE PROXIMITY OF ADJACENT STRUCTURES AND UTILITY LINES AND MAINTAIN CONTINUED SERVICE DURING CONSTRUCTION. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND ENGINEER SHOULD RELOCATION OF SERVICE BE REQUIRED.
- EXISTING UTILITIES (STRUCTURES AND LINES) NOT REQUIRED FOR FUTURE SERVICE TO BE REMOVED TO FACILITATE CONSTRUCTION. UTILITIES TO BE CAPPED AND ABANDONED PER UTILITY COMPANY STANDARDS AND SPECIFICATIONS. COORDINATE REQUIREMENTS WITH COMPANIES.
- REMOVAL OF ALL WALLS/RETAINING WALLS AND FENCES SHALL INCLUDE THE REMOVAL OF THEIR FOUNDATION UNLESS INDICATED ON THESE DRAWINGS.

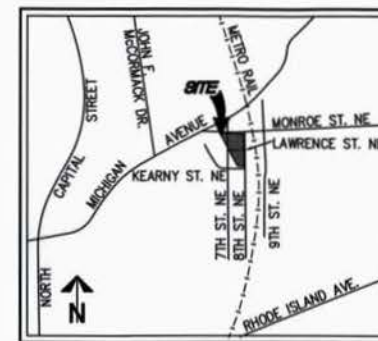


LEGEND

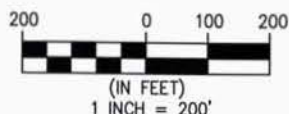
△	FIRE HYDRANT	AC	AIR CONDITIONER
△	DOORWAY/ENTRANCE	CONC	CONCRETE
△	UTILITY POLE	EMER	EMERGENCY
☆	LIGHT POLE	EP	EDGE OF PAVEMENT
X	FENCE	EVLT	ELECTRIC VAULT
—	GUY WIRE	FC	HEADER CURB
—	OVERHEAD WIRES	FDC	FIRE DEPARTMENT CONNECTION
—	UNDERGROUND GAS LINE	GM	GAS METER
—	UNDERGROUND WATER LINE	GV	GAS VALVE
—	CURB AND GUTTER	HC	HANDICAPPED RAMP
—	BOLLARD	MB	MAILBOX
—	ELECTRIC TRANSFORMER	N/F	NOW OR FORMERLY
—	SPOT ELEVATION	POB	POINT OF BEGINNING
—	SIGN	RD	ROOF DRAIN
—	ELECTRIC MANHOLE	RET	RETAINING WALL
—	TELEPHONE MANHOLE	SD	STORM SEWER STRUCTURE
—	UTILITY MANHOLE	SS	SANITARY SEWER STRUCTURE
—	WATER MANHOLE	TCB	TRAFFIC CONTROL BOX
—	TREE	TRLP	TRAFFIC LIGHT/SIGNAL POLE
—	LIMITS OF TREE CANOPY/VEGETATION	WV	WATER VALVE

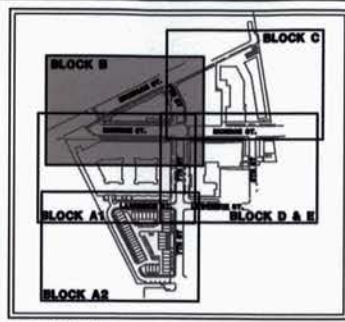
SHEET INDEX

- EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL
- EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK B
- EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK C
- EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK A1
- EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK D & E
- EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK A2
- SITE PLAN - OVERALL
- SITE PLAN - BLOCK B
- SITE PLAN - BLOCK C
- SITE PLAN - BLOCK A1
- SITE PLAN - BLOCK D & E
- SITE PLAN - BLOCK A2
- SEDIMENT AND EROSION CONTROL PLAN - OVERALL
- SEDIMENT AND EROSION CONTROL PLAN - B
- SEDIMENT AND EROSION CONTROL PLAN - C
- SEDIMENT AND EROSION CONTROL PLAN - A1
- SEDIMENT AND EROSION CONTROL PLAN - D & E
- SEDIMENT AND EROSION CONTROL PLAN - A2
- SEDIMENT AND EROSION CONTROL DETAILS
- SITE UTILITY PLAN - OVERALL
- SITE UTILITY PLAN - B
- SITE UTILITY PLAN - C
- SITE UTILITY PLAN - A1
- SITE UTILITY PLAN - D & E
- SITE UTILITY PLAN - A2
- UTILITY NOTES AND CALCULATIONS
- SWM DETAILS
- SWM DETAILS
- SWM DETAILS
- SWM DETAILS
- SWM DETAILS



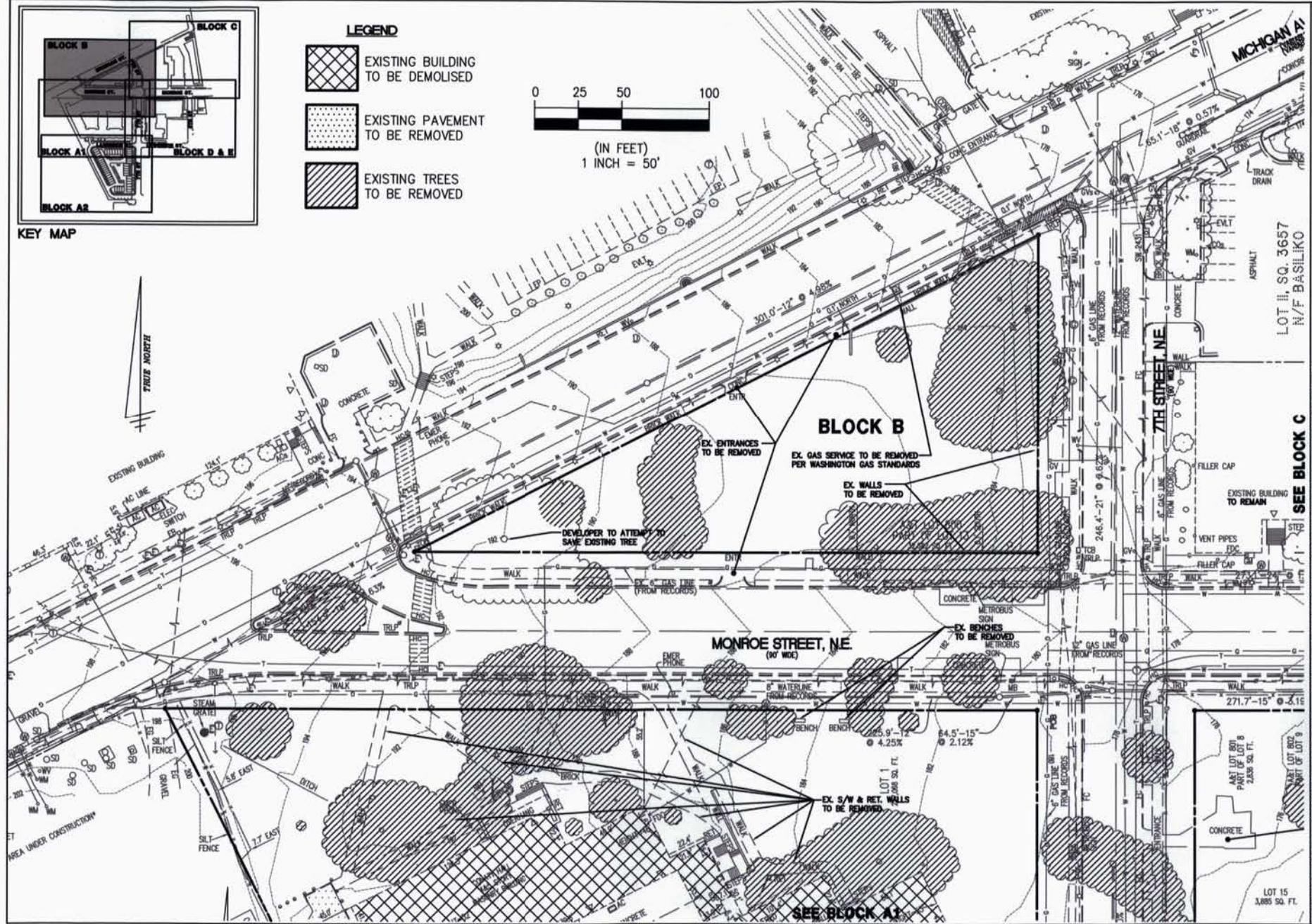
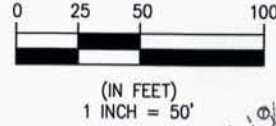
VICINITY MAP





KEY MAP

- LEGEND**
-  EXISTING BUILDING TO BE DEMOLISHED
 -  EXISTING PAVEMENT TO BE REMOVED
 -  EXISTING TREES TO BE REMOVED



EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK B

CATHOLIC UNIVERSITY OF AMERICA
WASHINGTON, DC

REVISION NO. DESCRIPTION DATE

1. DATE: 9/5/08

2. DATE: 9/5/08

3. DATE: 9/5/08

4. DATE: 9/5/08

5. DATE: 9/5/08

6. DATE: 9/5/08

7. DATE: 9/5/08

8. DATE: 9/5/08

9. DATE: 9/5/08

10. DATE: 9/5/08

11. DATE: 9/5/08

12. DATE: 9/5/08

13. DATE: 9/5/08

14. DATE: 9/5/08

15. DATE: 9/5/08

16. DATE: 9/5/08

17. DATE: 9/5/08

18. DATE: 9/5/08

19. DATE: 9/5/08

20. DATE: 9/5/08

21. DATE: 9/5/08

22. DATE: 9/5/08

23. DATE: 9/5/08

24. DATE: 9/5/08

25. DATE: 9/5/08

26. DATE: 9/5/08

27. DATE: 9/5/08

28. DATE: 9/5/08

29. DATE: 9/5/08

30. DATE: 9/5/08

31. DATE: 9/5/08

32. DATE: 9/5/08

33. DATE: 9/5/08

34. DATE: 9/5/08

35. DATE: 9/5/08

36. DATE: 9/5/08

37. DATE: 9/5/08

38. DATE: 9/5/08

39. DATE: 9/5/08

40. DATE: 9/5/08

41. DATE: 9/5/08

42. DATE: 9/5/08

43. DATE: 9/5/08

44. DATE: 9/5/08

45. DATE: 9/5/08

46. DATE: 9/5/08

47. DATE: 9/5/08

48. DATE: 9/5/08

49. DATE: 9/5/08

50. DATE: 9/5/08

51. DATE: 9/5/08

52. DATE: 9/5/08

53. DATE: 9/5/08

54. DATE: 9/5/08

55. DATE: 9/5/08

56. DATE: 9/5/08

57. DATE: 9/5/08

58. DATE: 9/5/08

59. DATE: 9/5/08

60. DATE: 9/5/08

61. DATE: 9/5/08

62. DATE: 9/5/08

63. DATE: 9/5/08

64. DATE: 9/5/08

65. DATE: 9/5/08

66. DATE: 9/5/08

67. DATE: 9/5/08

68. DATE: 9/5/08

69. DATE: 9/5/08

70. DATE: 9/5/08

71. DATE: 9/5/08

72. DATE: 9/5/08

73. DATE: 9/5/08

74. DATE: 9/5/08

75. DATE: 9/5/08

76. DATE: 9/5/08

77. DATE: 9/5/08

78. DATE: 9/5/08

79. DATE: 9/5/08

80. DATE: 9/5/08

81. DATE: 9/5/08

82. DATE: 9/5/08

83. DATE: 9/5/08

84. DATE: 9/5/08

85. DATE: 9/5/08

86. DATE: 9/5/08

87. DATE: 9/5/08

88. DATE: 9/5/08

89. DATE: 9/5/08

90. DATE: 9/5/08

91. DATE: 9/5/08

92. DATE: 9/5/08

93. DATE: 9/5/08

94. DATE: 9/5/08

95. DATE: 9/5/08

96. DATE: 9/5/08

97. DATE: 9/5/08

98. DATE: 9/5/08

99. DATE: 9/5/08

100. DATE: 9/5/08

101. DATE: 9/5/08

102. DATE: 9/5/08

103. DATE: 9/5/08

104. DATE: 9/5/08

105. DATE: 9/5/08

106. DATE: 9/5/08

107. DATE: 9/5/08

108. DATE: 9/5/08

109. DATE: 9/5/08

110. DATE: 9/5/08

111. DATE: 9/5/08

112. DATE: 9/5/08

113. DATE: 9/5/08

114. DATE: 9/5/08

115. DATE: 9/5/08

116. DATE: 9/5/08

117. DATE: 9/5/08

118. DATE: 9/5/08

119. DATE: 9/5/08

120. DATE: 9/5/08

121. DATE: 9/5/08

122. DATE: 9/5/08

123. DATE: 9/5/08

124. DATE: 9/5/08

125. DATE: 9/5/08

126. DATE: 9/5/08

127. DATE: 9/5/08

128. DATE: 9/5/08

129. DATE: 9/5/08

130. DATE: 9/5/08

131. DATE: 9/5/08

132. DATE: 9/5/08

133. DATE: 9/5/08

134. DATE: 9/5/08

135. DATE: 9/5/08

136. DATE: 9/5/08

137. DATE: 9/5/08

138. DATE: 9/5/08

139. DATE: 9/5/08

140. DATE: 9/5/08

141. DATE: 9/5/08

142. DATE: 9/5/08

143. DATE: 9/5/08

144. DATE: 9/5/08

145. DATE: 9/5/08

146. DATE: 9/5/08

147. DATE: 9/5/08

148. DATE: 9/5/08

149. DATE: 9/5/08

150. DATE: 9/5/08

151. DATE: 9/5/08

152. DATE: 9/5/08

153. DATE: 9/5/08

154. DATE: 9/5/08

155. DATE: 9/5/08

156. DATE: 9/5/08

157. DATE: 9/5/08

158. DATE: 9/5/08

159. DATE: 9/5/08

160. DATE: 9/5/08

161. DATE: 9/5/08

162. DATE: 9/5/08

163. DATE: 9/5/08

164. DATE: 9/5/08

165. DATE: 9/5/08

166. DATE: 9/5/08

167. DATE: 9/5/08

168. DATE: 9/5/08

169. DATE: 9/5/08

170. DATE: 9/5/08

171. DATE: 9/5/08

172. DATE: 9/5/08

173. DATE: 9/5/08

174. DATE: 9/5/08

175. DATE: 9/5/08

176. DATE: 9/5/08

177. DATE: 9/5/08

178. DATE: 9/5/08

179. DATE: 9/5/08

180. DATE: 9/5/08

181. DATE: 9/5/08

182. DATE: 9/5/08

183. DATE: 9/5/08

184. DATE: 9/5/08

185. DATE: 9/5/08

186. DATE: 9/5/08

187. DATE: 9/5/08

188. DATE: 9/5/08

189. DATE: 9/5/08

190. DATE: 9/5/08

191. DATE: 9/5/08

192. DATE: 9/5/08

193. DATE: 9/5/08

194. DATE: 9/5/08

195. DATE: 9/5/08

196. DATE: 9/5/08

197. DATE: 9/5/08

198. DATE: 9/5/08

199. DATE: 9/5/08

200. DATE: 9/5/08

201. DATE: 9/5/08

202. DATE: 9/5/08

203. DATE: 9/5/08

204. DATE: 9/5/08

205. DATE: 9/5/08

206. DATE: 9/5/08

207. DATE: 9/5/08

208. DATE: 9/5/08

209. DATE: 9/5/08

210. DATE: 9/5/08

211. DATE: 9/5/08

212. DATE: 9/5/08

213. DATE: 9/5/08

214. DATE: 9/5/08

215. DATE: 9/5/08

216. DATE: 9/5/08

217. DATE: 9/5/08

218. DATE: 9/5/08

219. DATE: 9/5/08

220. DATE: 9/5/08

221. DATE: 9/5/08

222. DATE: 9/5/08

223. DATE: 9/5/08

224. DATE: 9/5/08

225. DATE: 9/5/08

226. DATE: 9/5/08

227. DATE: 9/5/08

228. DATE: 9/5/08

229. DATE: 9/5/08

230. DATE: 9/5/08

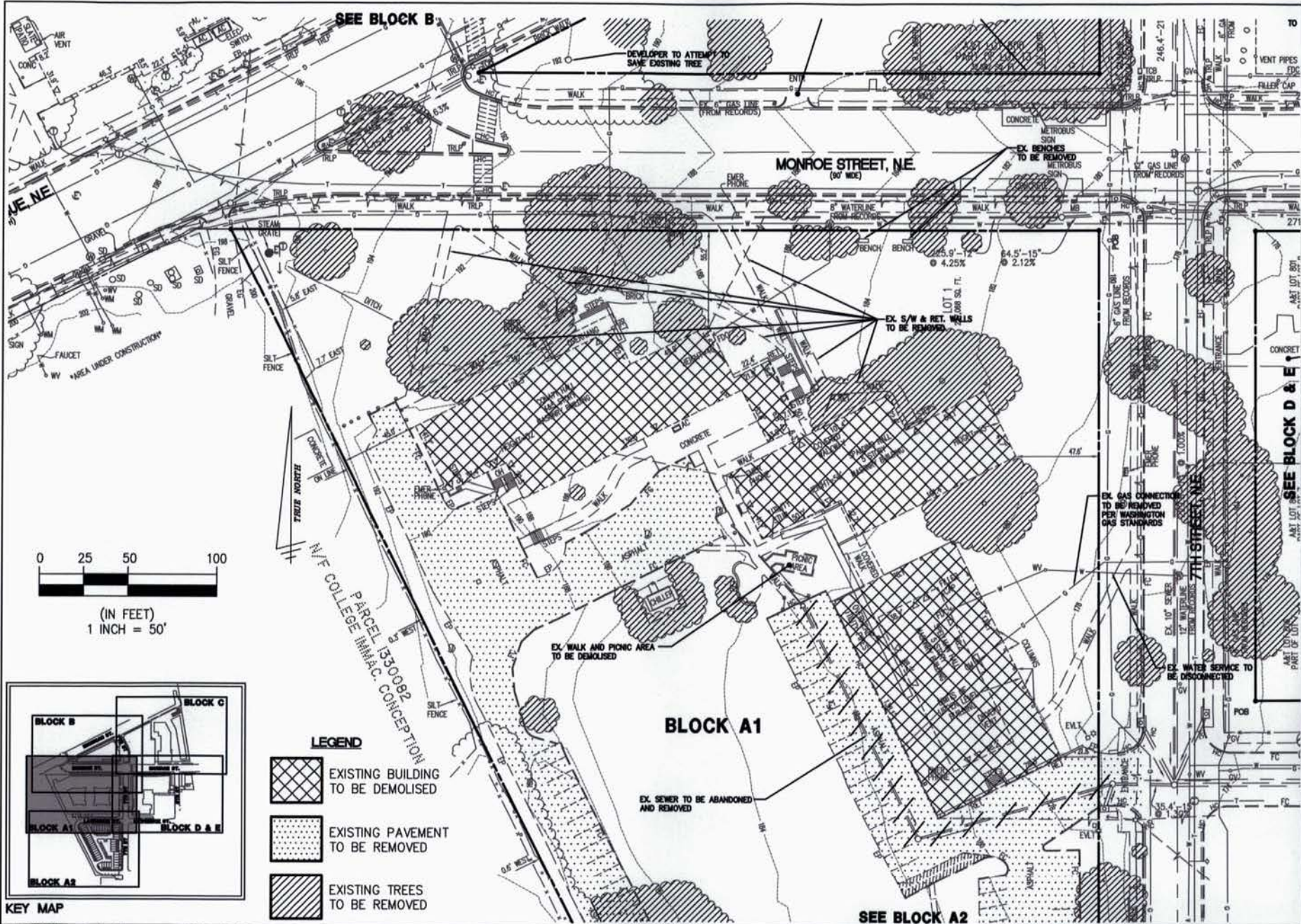
231. DATE: 9/5/08

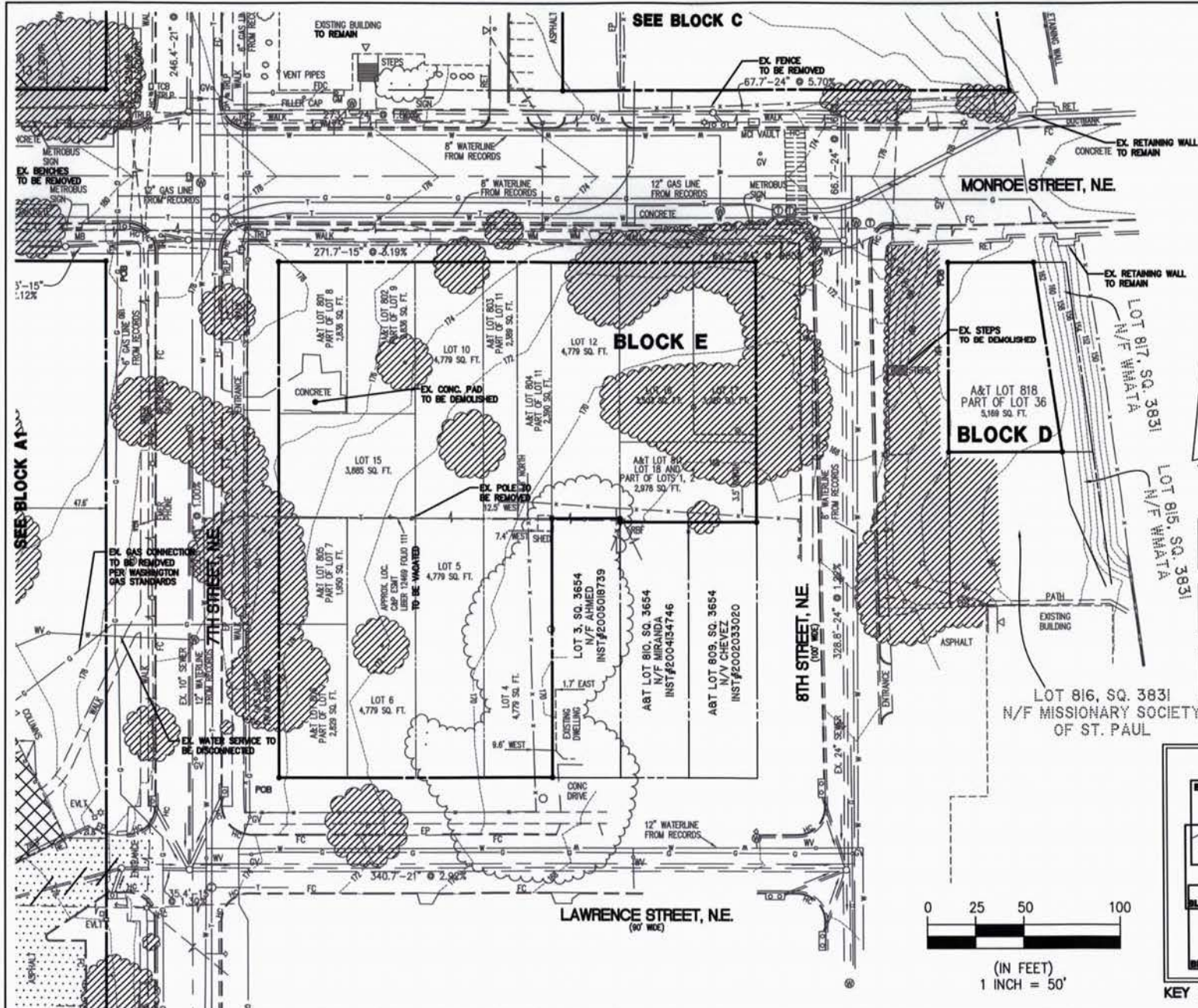
232. DATE: 9/5/08

233. DATE: 9/5/08

234. DATE: 9/5/08

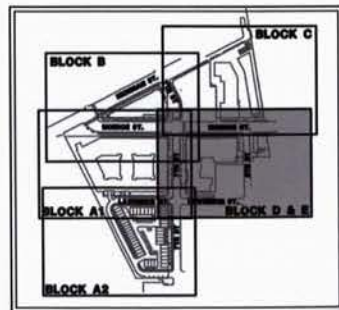
235. DATE: 9/5/08



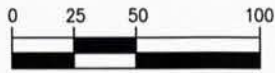


LEGEND

- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING TREES TO BE REMOVED



KEY MAP



(IN FEET)
1 INCH = 50'

EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK D & E

CATHOLIC UNIVERSITY OF AMERICA
WASHINGTON, DC

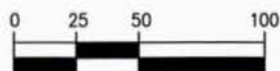
NO.	REVISION	DATE
1	DESCRIPTION	DATE 9/5/08



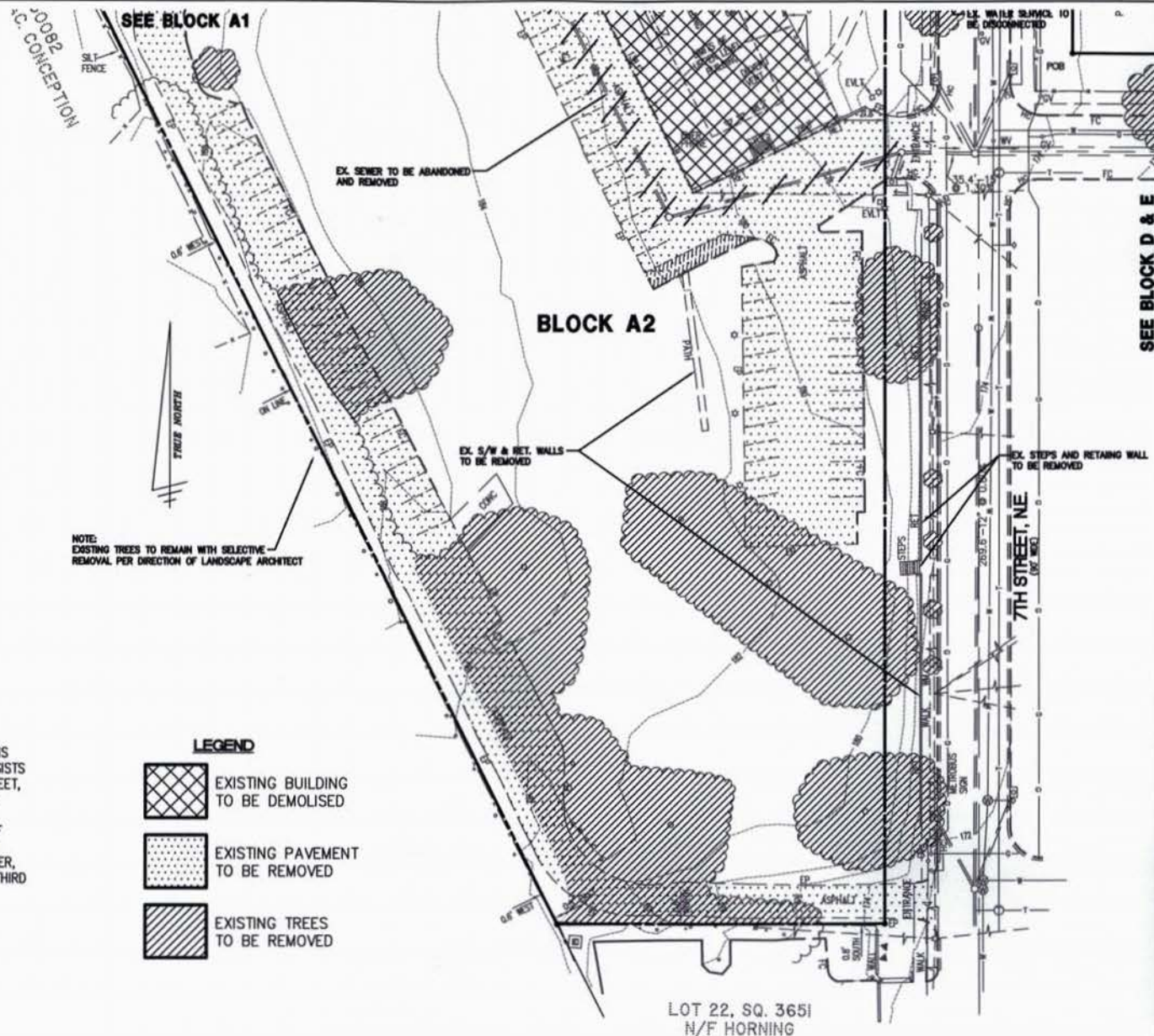
WALTER L. PHILLIPS
INCORPORATED
CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 FAX (703) 533-1301
WWW.WLPHINC.COM



THE CATHOLIC UNIVERSITY OF AMERICA (CUA) DEVELOPMENT IS LOCATED IN NORTHEAST WASHINGTON DC. THE PROJECT CONSISTS OF 5 BLOCKS BORDERED BY MICHIGAN AVENUE, MONROE STREET, 7TH STREET AND 8TH STREET. ONLY 1 OF THE 5 BLOCKS IS CURRENTLY DEVELOPED. THE TERRAIN OF THE PROJECT GENERALLY SLOPES TO THE NORTHEAST. THIS IS AN AREA OF COMBINED SEWER. THERE ARE 3 COMBINED SEWER OUTFALL SYSTEMS. ONE SYSTEM OUTFALLS TO THE NORTHEAST CORNER, ONE SYSTEM OUTFALLS SOUTH DOWN 7TH STREET AND THE THIRD OUTFALLS SOUTH DOWN 8TH STREET. THERE ARE EXISTING WATERLINES IN ALL STREETS RANGING FROM 8"-12".



(IN FEET)
1 INCH = 50'



EXISTING CONDITIONS AND DEMOLITION PLAN - BLOCK A2

**CATHOLIC UNIVERSITY
OF AMERICA**
WASHINGTON, DC

WALTER L. PHILLIPS
INCORPORATED
CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
2207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 FAX (703) 533-8301 WWW.WLPI.COM



REVISION		SCALE: 1" = 50'
NO.	DESCRIPTION	DATE:
		9/5/08
		DRAWN: MFW

3