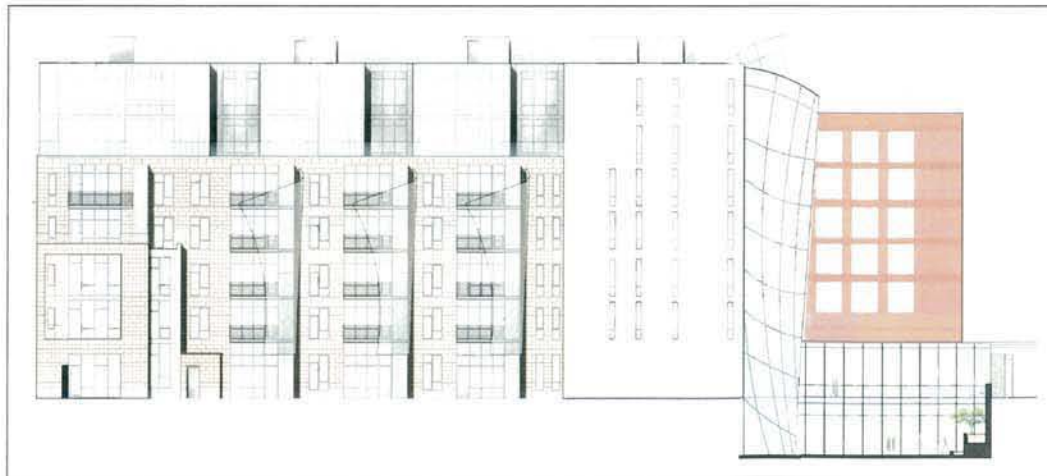


1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT  
APPLICATION



NORTH ELEVATION



EAST ELEVATION

DEVELOPER

COLUMBIA HEIGHTS VENTURES PARCEL 26, LLC  
7200 WISCONSIN AVENUE SUITE 310  
BETHESDA, MD 20814  
301.654.0700

ARCHITECT

HICKOK COLE ARCHITECTS  
1023 31st STREET, NW  
WASHINGTON, DC 20007  
202.667.9776

LANDSCAPE ARCHITECT

PARKER RODRIGUEZ, INC.  
101 NORTH UNION STREET SUITE 320  
ALEXANDRIA, VIRGINIA 22314-3231  
703.548.5010

CIVIL ENGINEER

AMT, INC.  
10 G STREET, NE SUITE 430  
WASHINGTON, DC 20002  
202.289.4545

MEP ENGINEERS

GHT  
1010 NORTH GLEBE ROAD SUITE 200  
ARLINGTON, VA 22201  
703.243.1200

LAND USE ATTORNEY

HOLLAND & KNIGHT, LLP  
2099 PENNSYLVANIA AVENUE, NW SUITE 100  
WASHINGTON, DC 20006  
202.955.3000

ZONING COMMISSION  
District of Columbia

CASE NO. 07-02

EXHIBIT NO. 39

MARCH 25, 2008

RECEIVED  
D.C. OFFICE OF ZONING  
2008 MAR 31 PM 2:44



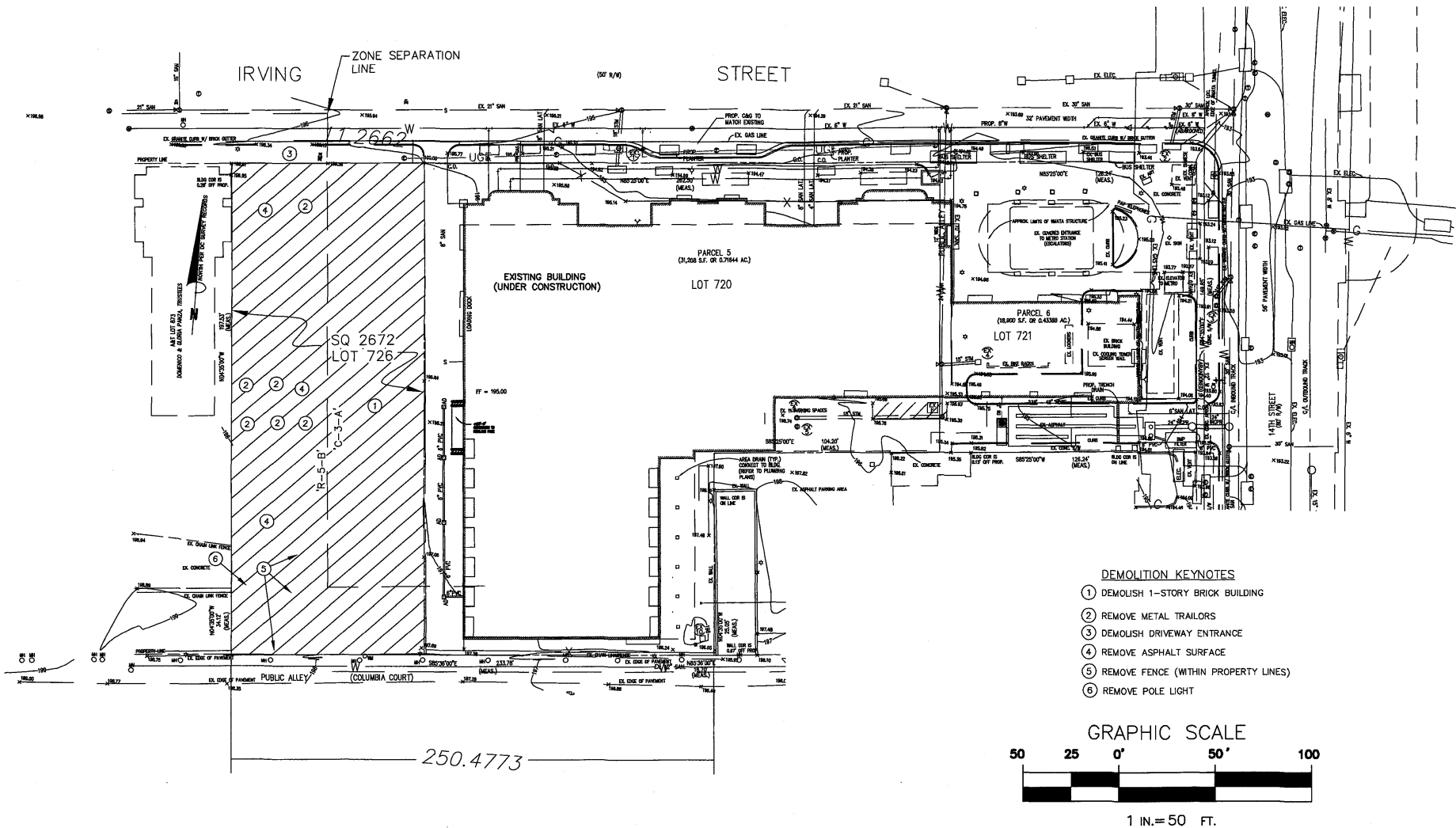
AERIAL PHOTO OF SITE

## TABLE OF CONTENTS

CONTENTS	SHEET #
COVER SHEET	00
TABLE OF CONTENTS WITH SITE MAP	01
EXISTING CONDITIONS & DEMOLITION PLAN - CIVIL	02
SITE IMPROVEMENTS CONCEPT PLAN - CIVIL	03
EROSION AND SEDIMENT CONTROL PLAN - CIVIL	04
SUBDIVISION PLAN AND EXISTING & PROPOSED ZONING PLANS	05
TABULATION OF DEVELOPMENT DATA	06
COURTYARD SETBACK DIAGRAMS	07
BUILDING SHADOW STUDY	08
BUILDING SHADOW STUDY	08A
PROPOSED SITE PLAN WITH LOADING BERTHS	09
LANDSCAPE PLAN	10
G-3 AND G-2 GARAGE PLANS	11
G-1 GARAGE PLAN	11A
FIRST FLOOR PLAN	12
SECOND AND FOURTH FLOOR PLANS	12A
SIXTH FLOOR PLAN	13
ROOF PLAN	14
BUILDINGS ELEVATIONS (NORTH COMBINED)	14A
BUILDING ELEVATIONS (EAST-WEST)	15
ELEVATIONS: WEST	15A
ELEVATIONS: EAST	15B
PARTIAL WEST ELEVATION	15C
PARTIAL WEST ELEVATION	15D
PARTIAL EAST ELEVATION	15E
BUILDING ELEVATIONS (NORTH-SOUTH)	16
DECORATIVE METAL FRAME DRAWINGS	16A
ELEVATIONS: NORTH	16B
PARTIAL NORTH ELEVATION	16C
PARTIAL NORTH ELEVATION	16D
WINDOW DETAILS	16D-1
ELEVATIONS: SOUTH AND WEST	16E
PARTIAL SOUTH ELEVATION	16F
BUILDING SECTIONS - MARKET RATE	17
BUILDING SECTIONS - CBRF	18
FINISH BOARD	19



LOCATION MAP



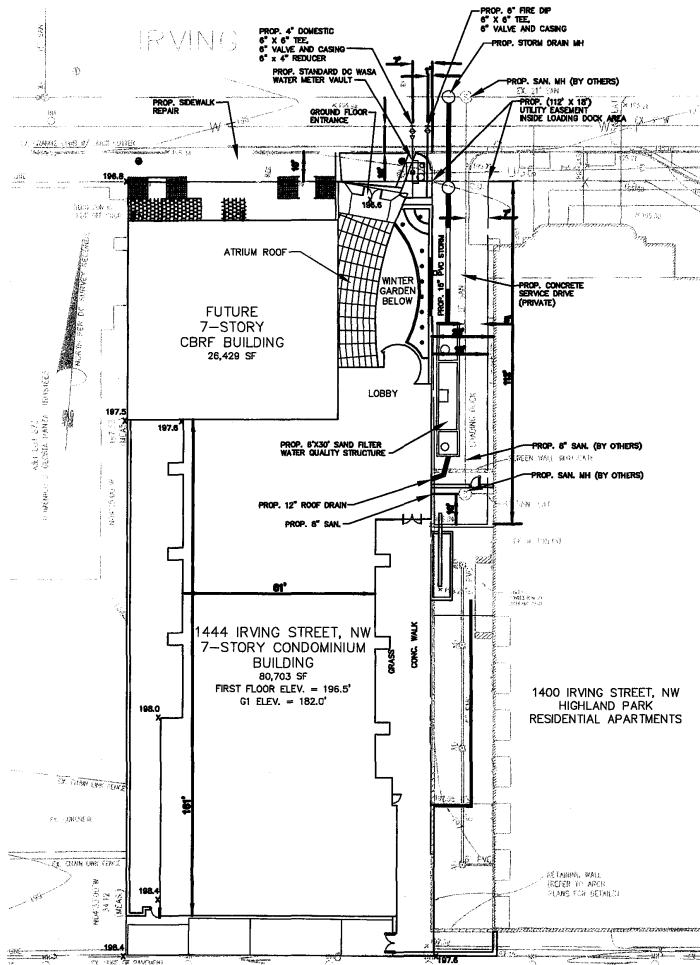
EXISTING CONDITIONS AND DEMOLITION PLAN

# 1444 IRVING STREET, NW CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION 25 March 2008



SHEET 02





## SITE TABULATION

1444 IRVING STREET, NW  
WASHINGTON, D.C. 20011  
SQUARE 2672, LOTS 6 AND 879

### PRESENT USE:

LOT 6 IS ZONED R-5-B AND IS COVERED BY AN ASPHALT LOT WITH TRAILERS AND LOT 879 IS ZONED C-3-A AND IS OCCUPIED BY A VACANT 1-STORY BUILDING.

### PROPOSED USE:

THIS PROJECT IS TO DEMOLISH THE EXISTING 1-STORY BUILDING AND REMOVE THE ASPHALT SURFACE AND CONSTRUCT A 7-STORY CONDOMINIUM BUILDING PARTIALLY ON LOT 726. THIS CONDOMINIUM BUILDING WILL CONTAIN 69 LIVING UNITS. THERE WILL BE AN UNDERGROUND PARKING GARAGE WHICH WILL EXTEND FROM PROPERTY LINE TO PROPERTY LINE. A FUTURE PROJECT WILL CONSTRUCT A 9-STORY COMMUNITY BASED RESIDENTIAL FACILITY AT THE NORTHWEST CORNER OF LOT 726. APPROXIMATELY 12,742.47 SQUARE FEET OF THE SITE IS ZONED R-5-B AND IS COVERED WITH ASPHALT. APPROXIMATELY 12,672.53 SQUARE FEET OF THE LOT IS ZONED C-3-A AND IS OCCUPIED BY A VACANT 1-STORY BUILDING.

### PROPOSED ZONING:

ZONE = C-3-A

FAR = 4.5

EXISTING SITE AREA (BY RECORD) = 25,415 SF

ALLOWABLE SQUARE FEET OF FLOOR AREA = 114,368.0 SF

PROPOSED SQUARE FEET OF FLOOR AREA = 109,337.0 SF

PARKING SPACES: APPROX. 84

PARKING SPACES REQUIRED = 69

### POTABLE WATER:

TOTAL DOMESTIC WATER FLOW PEAK DEMAND FROM WASA WORKSHEET BELOW

Total Fixture Value	=	680
Water Flow Demand from Figure 4.1 (gpm)	=	60
Pressure Factor from Table 4.4	X	1.22
Product of Water Flow Demand multiplied by Pressure Factor	=	72
Add Irrigation No. of Squares (100 SF)	X	1.16 or 0.40 <sup>1</sup>
Hose Bibbs	X	2.0
Subtotal of Domestic and Irrigation Demands (gpm)	=	80
Pressure Factor from Table 4.4	X	1.22
Product of domestic and Irrigation Flow Demand multiplied by Pressure Factor	=	97.6
Total Fixed Demands. If any (gpm)	=	30
Total Domestic/Mechanical/Irrigation Demands (gpm)	=	127.6
Fire Flow Demand as per NFPA Requirements	=	
Total Domestic/ Mechanical/Irrigation and Fire Flow Demands (gpm)	=	127.6

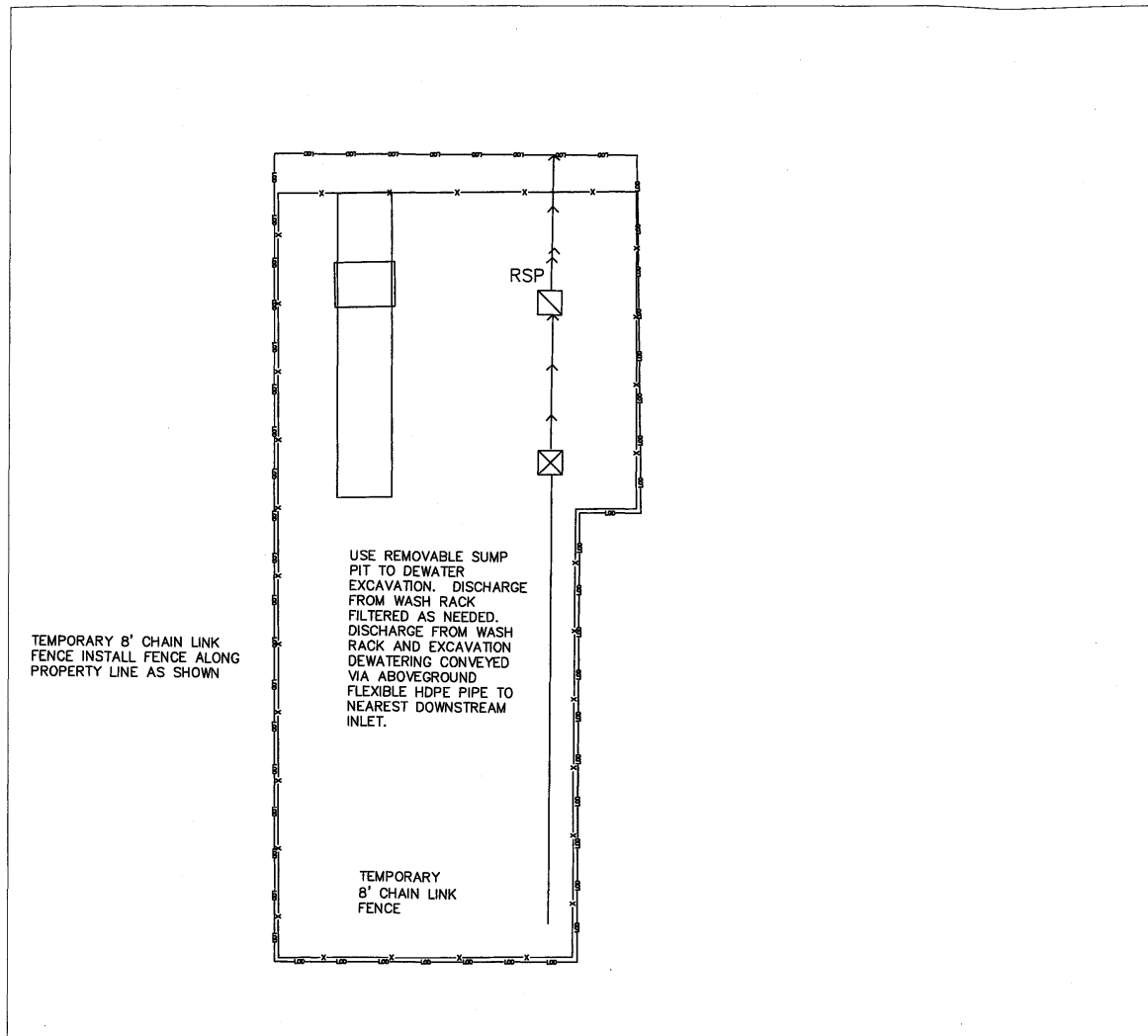
## PROPOSED LEGEND

PVC SD	PROP. STORM DRAIN
PVC	PROP. SANITARY LINE
DIP	PROP. FIRE SERVICE
COPPER	PROP. DOMESTIC WATER CONNECTION
---	PROPERTY LINE

## GRAPHIC SCALE



1 IN. = 50 FT.



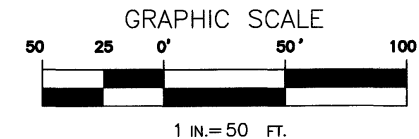
#### LEGEND

	STABILIZED CONSTRUCTION ENTRANCE (SCE)
	VEHICLE WASH RACK
PST	PORTABLE SEDIMENT TANK
RSP	REMOVABLE SUMP PIT
	FLEXIBLE HDPE PIPE
	LIMIT OF DISTURBANCE
	SILT FENCE
	6' TEMPORARY CHAIN LINK CONSTRUCTION FENCE
	PROPOSED BUILDING OUTLINE

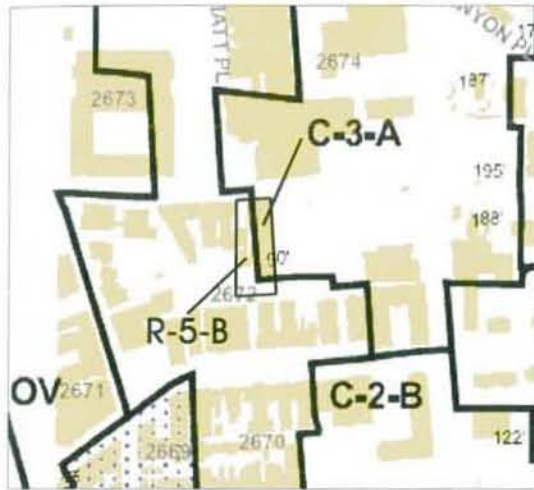
#### PROJECT NARRATIVE

THIS PROJECT IS LOCATED AT 1444 IRVING STREET, NW. THE PROPERTY IS ZONED C-3-A AND R-5-B. THIS PROJECT IS TO DEMOLISH THE EXISTING 1-STORY BUILDING AND ADJACENT ASPHALT PAVING AND CONSTRUCT A NEW 7-STORY CONDOMINIUM BUILDING WITH UNDERGROUND PARKING AND A 9-STORY CBRF BUILDING. THE CONSTRUCTION OF THE 7-STORY BUILDING AND THE UTILITY INSTALLATION WILL DISTURB 29,129 SQUARE FEET OF AREA.

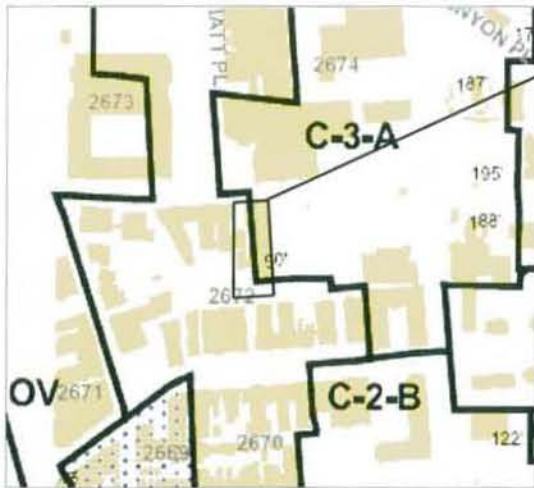
THIS PLAN IS FOR EROSION & SEDIMENT CONTROL PURPOSES ONLY. EROSION & SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.







1 EXISTING ZONING PLAN  
SCALE: N.T.S.



2 ZONING PLAN:  
PROPOSED CHANGE  
SCALE: N.T.S.



3 SUBDIVISION PLAT  
SCALE: 1" = 40'

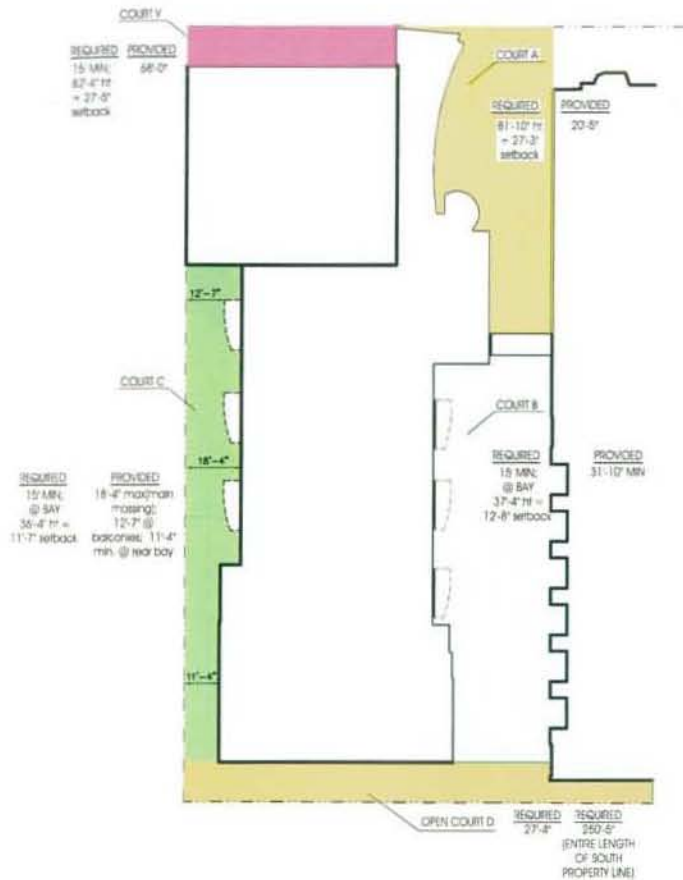
SUBDIVISION PLAT AND EXISTING & PROPOSED ZONING PLANS

SHEET 05

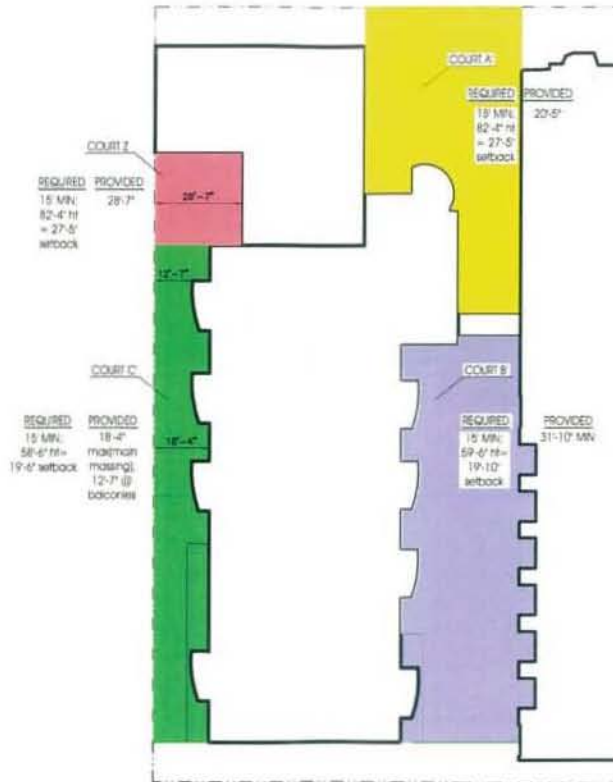
<b>1444 Irving Street, NW</b>				<b>COURTS</b>			
Zoned C3A				At Open <b>Court A</b> (north) Lower Terrace Level and First Floor Front	15' MIN; 4" per foot w/81'-10" Phase One Bldg adjacent = 27'-3"	20'-5" MIN	NC
DONATELLI & KLEIN, INC.				At Open <b>Court B</b> (east) Floors 1-3	15' MIN; @ BAY 37'-10" SETBACK = 151" OR 12'-7"	31'-10" MIN	C
<b>ZONING REVIEW</b>				At Open <b>Court C</b> (west) Floors 1-3	15' MIN; @ BAY 36'-4" SETBACK = 139" OR 11'-7"	18'-4" max(main massing); 12'-7" @ balconies; 11'-4" min @ rear bay	NC
<b>ISSUE</b>	<b>ALLOWED/ REQUIRED</b>	<b>PROVIDED</b>	<b>Req'mt Met</b>	At Open <b>Court Y</b> (north) at CBRF facing Irving Street	15' MIN; 4"/ft w/82'-4" CBRF adjacent = 27'-5"	68'-0"	C
<b>SITE AREA</b>	Mixed Income Portion	20,013 square feet		At Open <b>Court A'</b> (north) Floors 2-7	15' MIN; 4"/ft w/82'-4" CBRF adjacent = 27'-5"	20'-5" MIN	NC
	CBRF Portion	5,402 square feet		At Open <b>Court B'</b> (east) Floors 4-5	15' MIN; 59'-6" @setback = 238"=19'-10"	31'-10" MIN	C
	(Lots combined with alley)	101 square feet		At Open <b>Court C'</b> (west) Floors 4-5	15' MIN; 58'-6" @setback = 234"=19'-6"	18'-4" max(main massing); 12'-7" @ balconies	NC
	Phase 1	75,779 square feet		At Open <b>Court Z</b> (CBRF) Floors 2-9	15' MIN; 4"/ft w/82'-10" CBRF adjacent = 331" = 27'- 7"	28'-7"	C
	TOTAL	101,194 square feet		At Open <b>Court B''</b> (east) Floors 6-7	15' MIN; 82'-6" @setback =330"=27'-6"	31'-10" MIN	C
<b>FAR</b>	4.5 with PUD	4.0		At Open <b>Court C''</b> (west) Floors 6-7	15' MIN; 81'-6" @setback = 326"=27'-2"	26'-0" max(main massing); 22'-5" @ bays; 18'-8" @ rear bay	NC
	New portion	109,337		At Open <b>Court D</b>	15' MIN; 82'-0" max ht =27'- 4"	250'-5" (across south side of entire parcel)	C
	Phase 1	291,180		Court information for the existing Highland Park building has not been included here			
	Total	400,517	C	<b>LOADING BERTH</b>			
<b>HEIGHT</b>				Project Overall	One space at 55' deep with 200 SF loading platform	One space at 30' deep with 200 SF loading platform	C
Highpoint of roof or parapet	CBRF: (70')	70'-0"	C			One space at 55' deep with 200 SF loading platform	
Highpoint of roof or parapet	Mixed Income: (90')	86'-2"	C	<b>DELIVERY</b>			
Highpoint of roof or parapet	Phase 1 (85')	81'-10"	C	Project Overall	One space @ 20' deep	One space @ 20' deep One space @ 10' x 20' deep One space @ 20' deep	C
<b>REAR YARD</b>	17'-0" feet	none	NC				
<b>SIDE YARD</b>				<b>PARKING</b>			
Phase One	14'-1	14'-1"	C	Mixed Income	69 units	82	
<b>LOT OCCUPANCY</b>				Phase One	229 units	338	
New portion	19,097	18,253		Total Residential	298/2 = 149 spaces	420	C
Phase One	56,834	48,968		CBRF	1 for each 10 beds (Approx 82/10 = 9)	3	NC
	75,931	67,221					
Percentage	75%	66%	C				

<b>KEY</b>	
C	Conforming
NC	Non-conforming

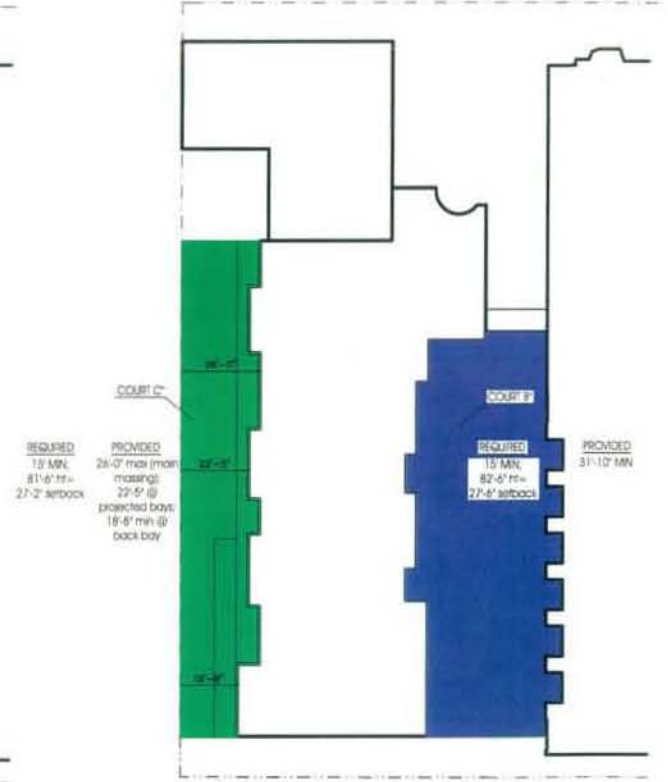
Per 11 DCMR Section 2201.2 Loading requirements are tabulated based on residential use because residential use accounts for more than 90% of the building's gross floor area



1 COURTS A, B, C, D AND Y SETBACKS  
 SCALE: N.T.S.

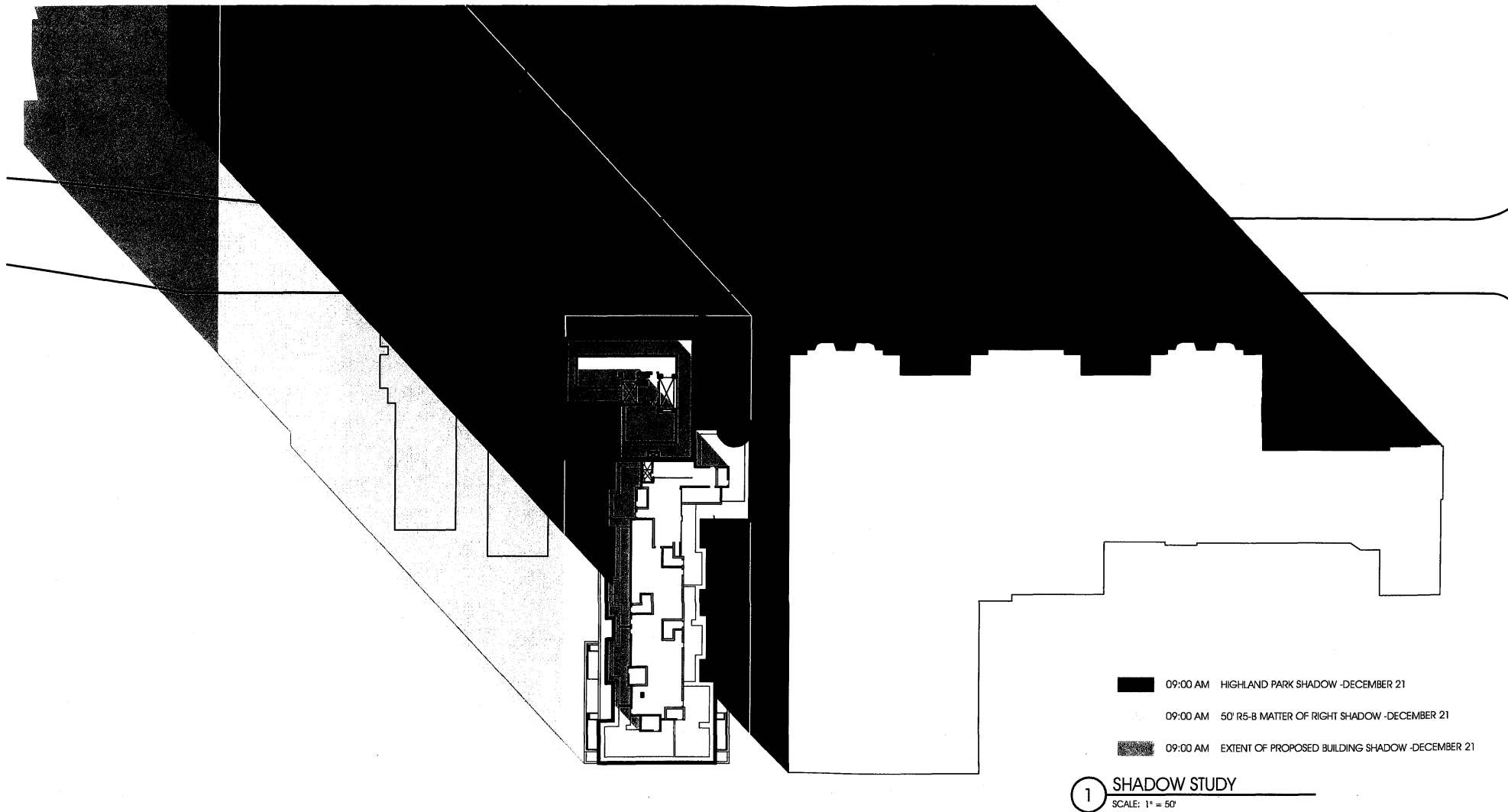


2 COURTS A', B', C' AND Z SETBACKS  
 SCALE: N.T.S.



3 COURTS B'' AND C'' SETBACKS  
 SCALE: N.T.S.





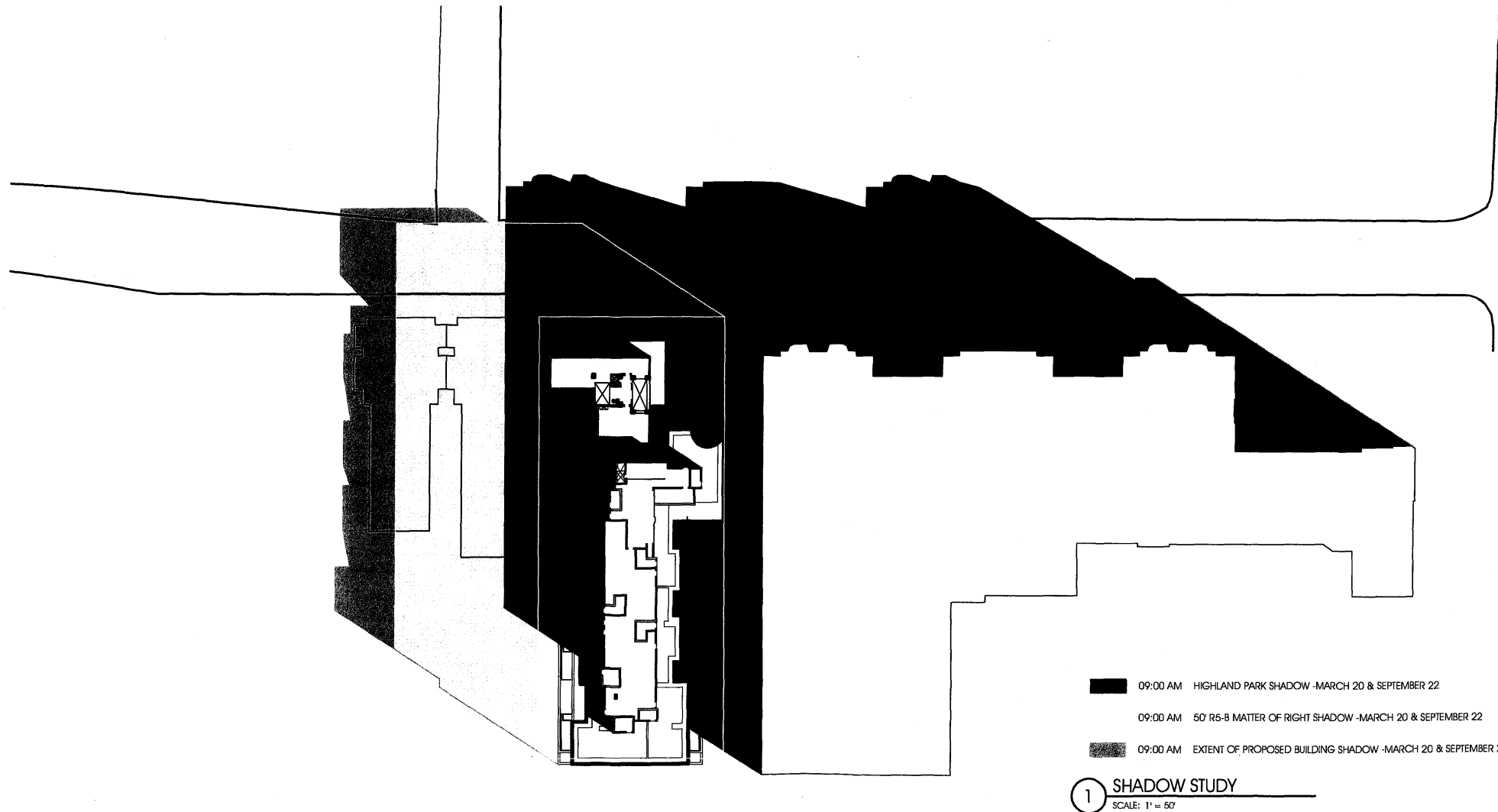
SHADOW STUDY

SHEET 08

**DONATELLI**  
DEVELOPMENT

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008





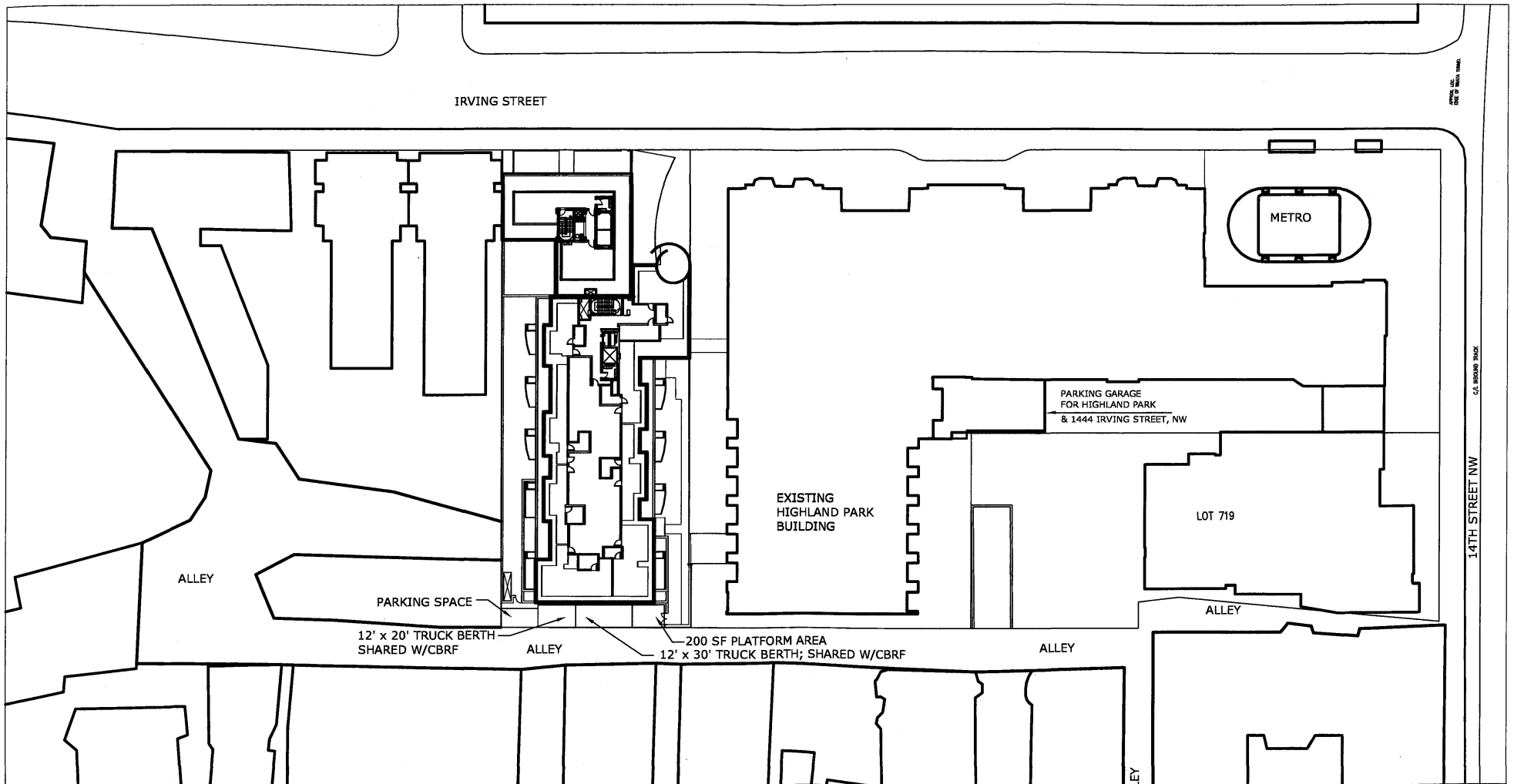
SHADOW STUDY



1444 IRVING STREET, NW  
 CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
 25 March 2008

SHEET 08A





1 PROPOSED SITE PLAN WITH LOADING BERTHS  
SCALE: 1" = 50'

PROPOSED SITE PLAN

SHEET 09

**DONATELLI**  
DEVELOPMENT

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008



HIGHLAND PARK  
PARCEL 26

SAND FILTER

WATER METER VAULT

STREET POLE LIGHT

SPECIAL PAVING

IRVING STREET N.W.

SPECIAL PAVING  
MATERIAL

WALL FOUNTAIN

BLACK RIVER ROCK

PLANTED AREA:  
BAMBOO, FERNS &  
FLOWERING PERENNIALS

TREE UPLIGHT

PLANTED AREA:  
CRAPE MYRTLE, LOW SHRUBS &  
GROUNDCOVERS

SPECIAL PAVING

1444 IRVING ST.

LAWN

OUTDOOR PATIO:  
SPECIAL PAVING MATERIAL

PLANTED AREA:  
SMALL TREES, LOW SHRUBS AND  
GROUNDCOVERS

COMMON SEATING:  
LOOSE CHAIRS

COMMON SEATING:  
LOOSE TABLES AND CHAIRS

SCREEN FENCE

PLANTED AREA:  
- CRAPE MYRTLE  
- HONEYLOCUST

ELECTRICAL VAULT  
(TYP.)

LANDSCAPE PLANS

SHEET 10

NEW PORTION OF DEVELOPMENT

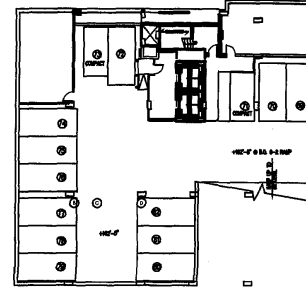
PARKING COUNT

MARKET RATE	
FULL SPACES	66
COMPACT SPACES	14
HANDICAP SPACES	4
VAN SPACES (H/C)	1
CBRF	
FULL SPACES	2
DELIVERY	1

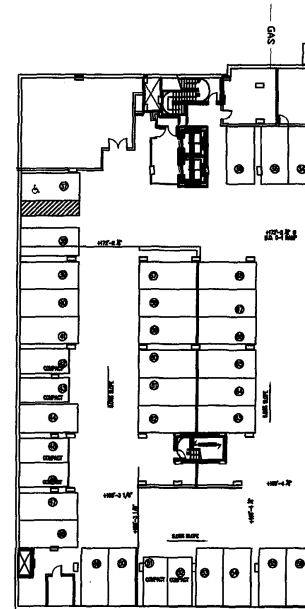
TOTAL 85

PARKING COUNT

G-1	33
G-2	35
G-3	14
<u>TOTAL</u>	82

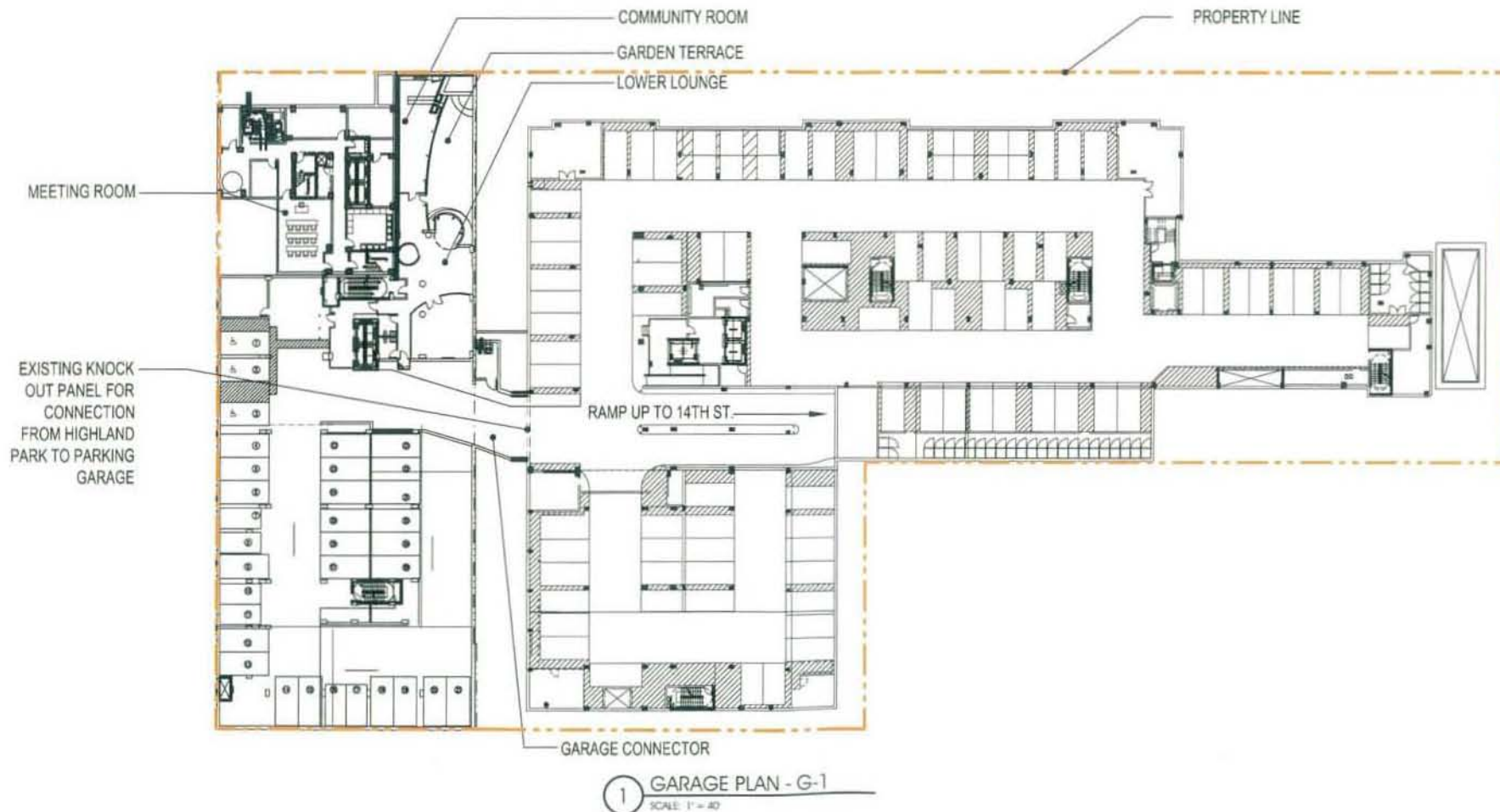


3 GARAGE PLAN - G-3  
SCALE: 1" = 40'



2 GARAGE PLAN - G-2  
SCALE: 1" = 40'





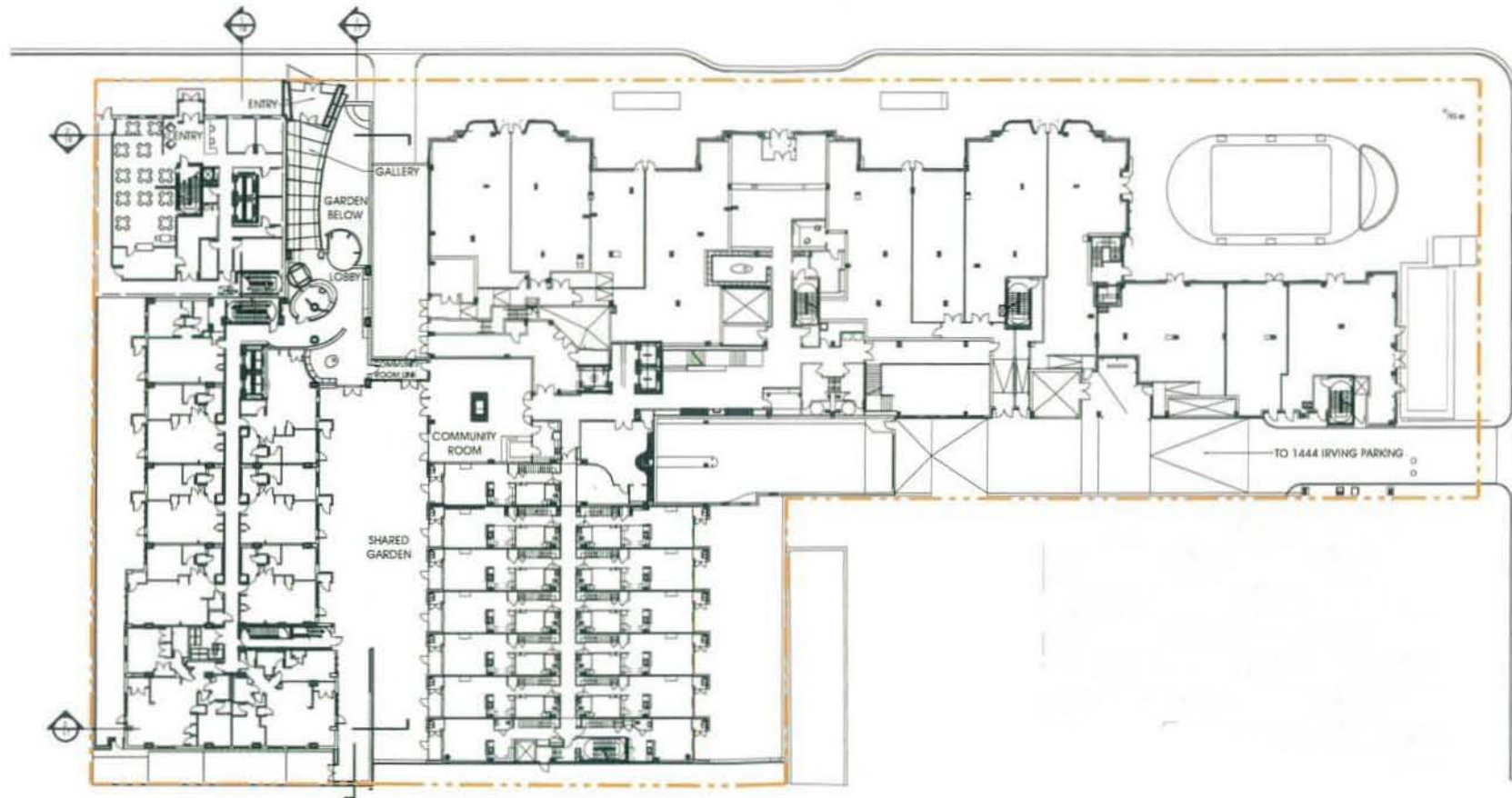
GARAGE PLAN

1444 IRVING STREET, NW  
 CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
 25 March 2008



SHEET 11A



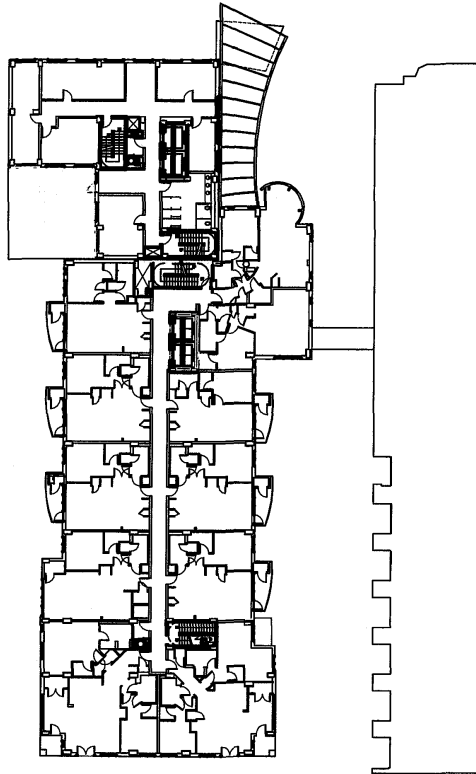


1 FIRST FLOOR PLAN  
SCALE: 1" = 40'

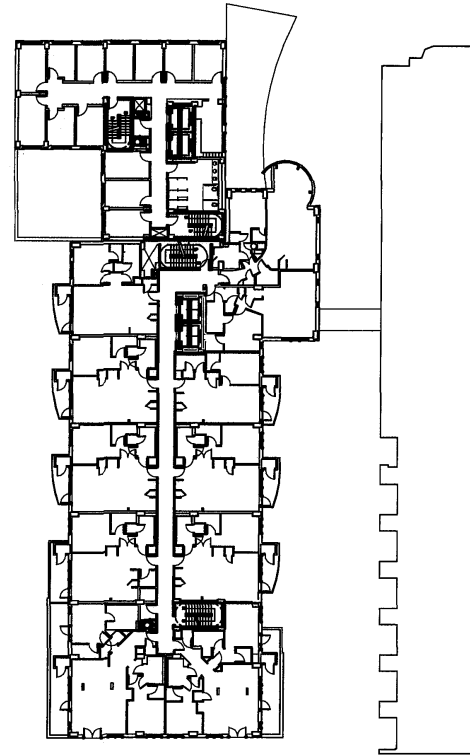
FLOOR PLANS; FIRST FLOOR

SHEET 12

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008



① SECOND AND THIRD FLOOR PLAN  
SCALE: 1" = 40'

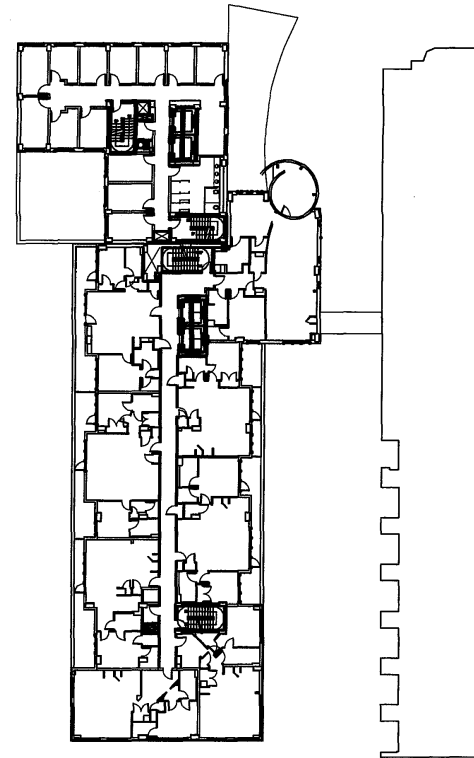


② FOURTH AND FIFTH FLOOR PLAN  
SCALE: 1" = 40'

FLOOR PLANS: SECOND AND FOURTH FLOOR

SHEET 12A

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008



1 SIXTH AND SEVENTH FLOOR PLAN  
SCALE: 1" = 40'

FLOOR PLANS: SIXTH AND SEVENTH FLOOR

SHEET 13

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008







1 NORTH ELEVATION - COMBINED  
SCALE: NOT TO SCALE

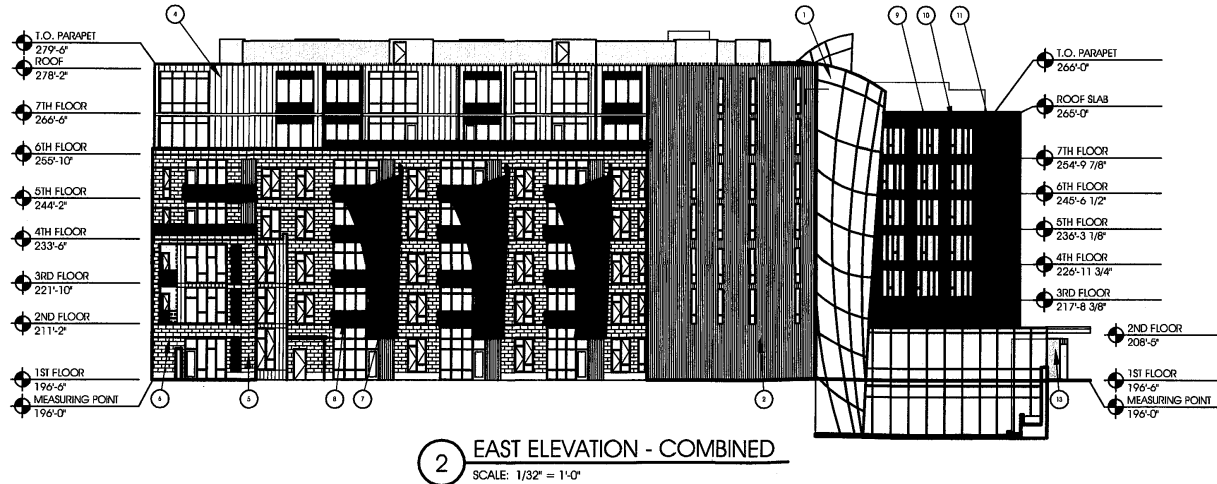
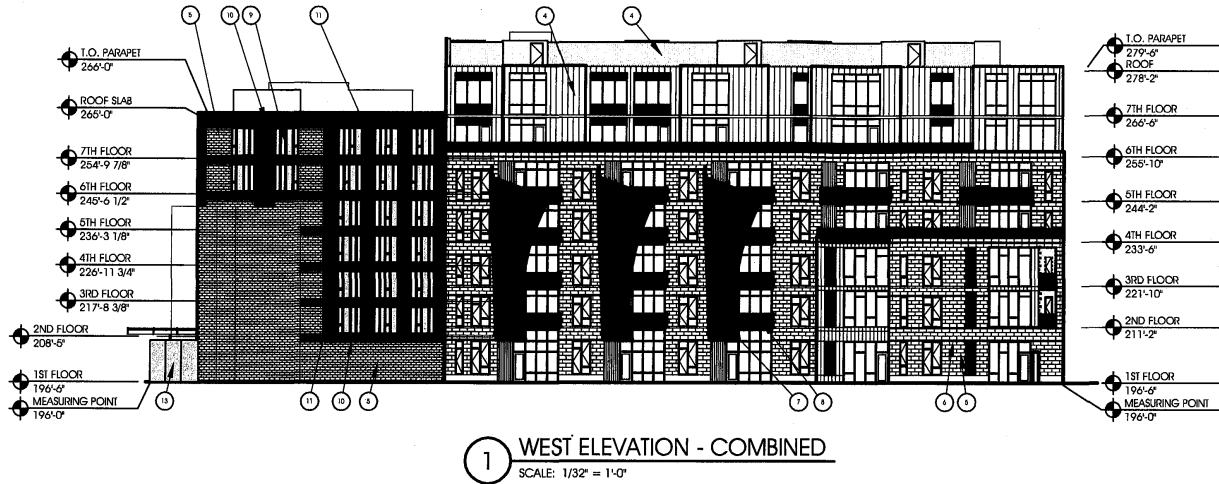
ELEVATIONS: NORTH COMBINED

SHEET 14A

**DONATELLI**  
DEVELOPMENT

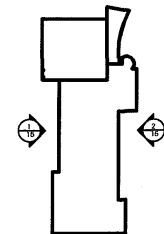
1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008





## ELEVATION FINISHES KEY

- 1 CUSTOM CURTAINWALL SYSTEM
- 2 STONE VENEER FACADE
- 3 NOT USED
- 4 METAL PANEL SYSTEM
- 5 OVERSIZE MASONRY UNITS
- 6 MASONRY ACCENT COURSE
- 7 METAL MESH BALCONY SCREENS
- 8 ALUMINUM BARSTOCK RAILING
- 9 WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING) W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)
- 10 RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX
- 11 STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX
- 12 STONE BASE
- 13 STONE PANEL
- 14 GLASS BLOCK
- 15 DECORATIVE METAL FRAME



SITE MAP

ELEVATIONS: EAST AND WEST

SHEET 15

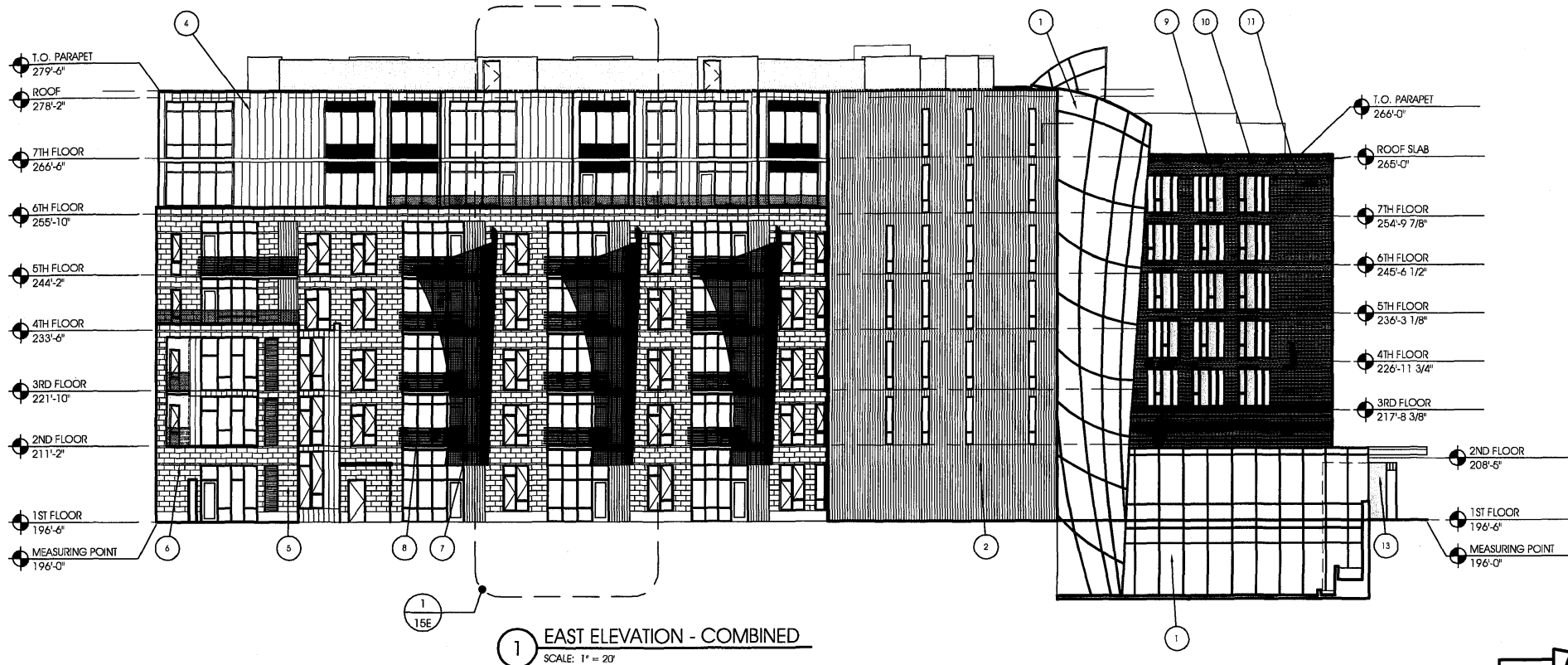
1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008



ELEVATIONS: WEST

SHEET 15A

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008

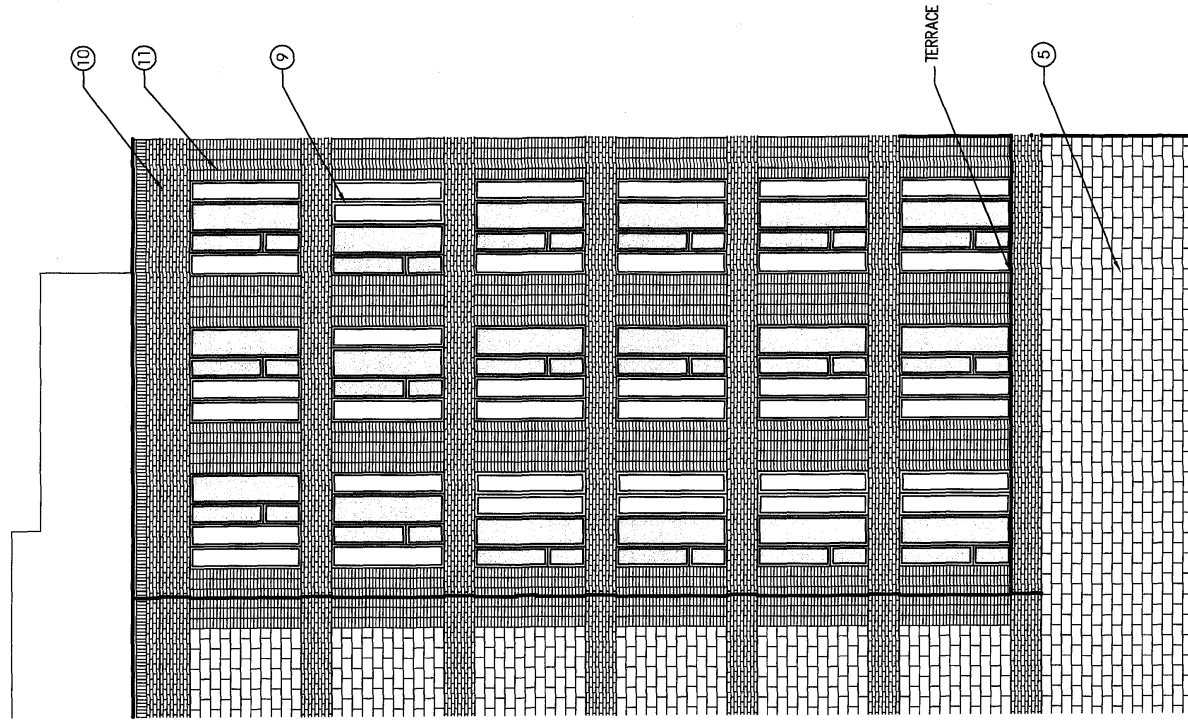


### ELEVATION FINISHES KEY

- |                             |                          |                              |  |  |  |                          |
|-----------------------------|--------------------------|------------------------------|--|--|--|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)    | ⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | ⑨ W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) |  | ⑫ STONE BASE   | ⑭ GLASS BLOCK            |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |  |  | ⑮ DECORATIVE METAL FRAME |

ELEVATIONS: EAST

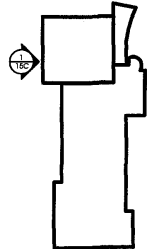
SHEET 15B



1 PARTIAL WEST ELEVATION - CBRF ONLY  
SCALE: 1/8" = 1'-0"

### ELEVATION FINISHES KEY

- |                             |                          |                              |  |   |   |                          |
|-----------------------------|--------------------------|------------------------------|--|---|---|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)  | ⑩ RUNNING BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) |   | ⑫ STONE BASE  | ⑭ GLASS BLOCK            |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |   |   | ⑮ DECORATIVE METAL FRAME |



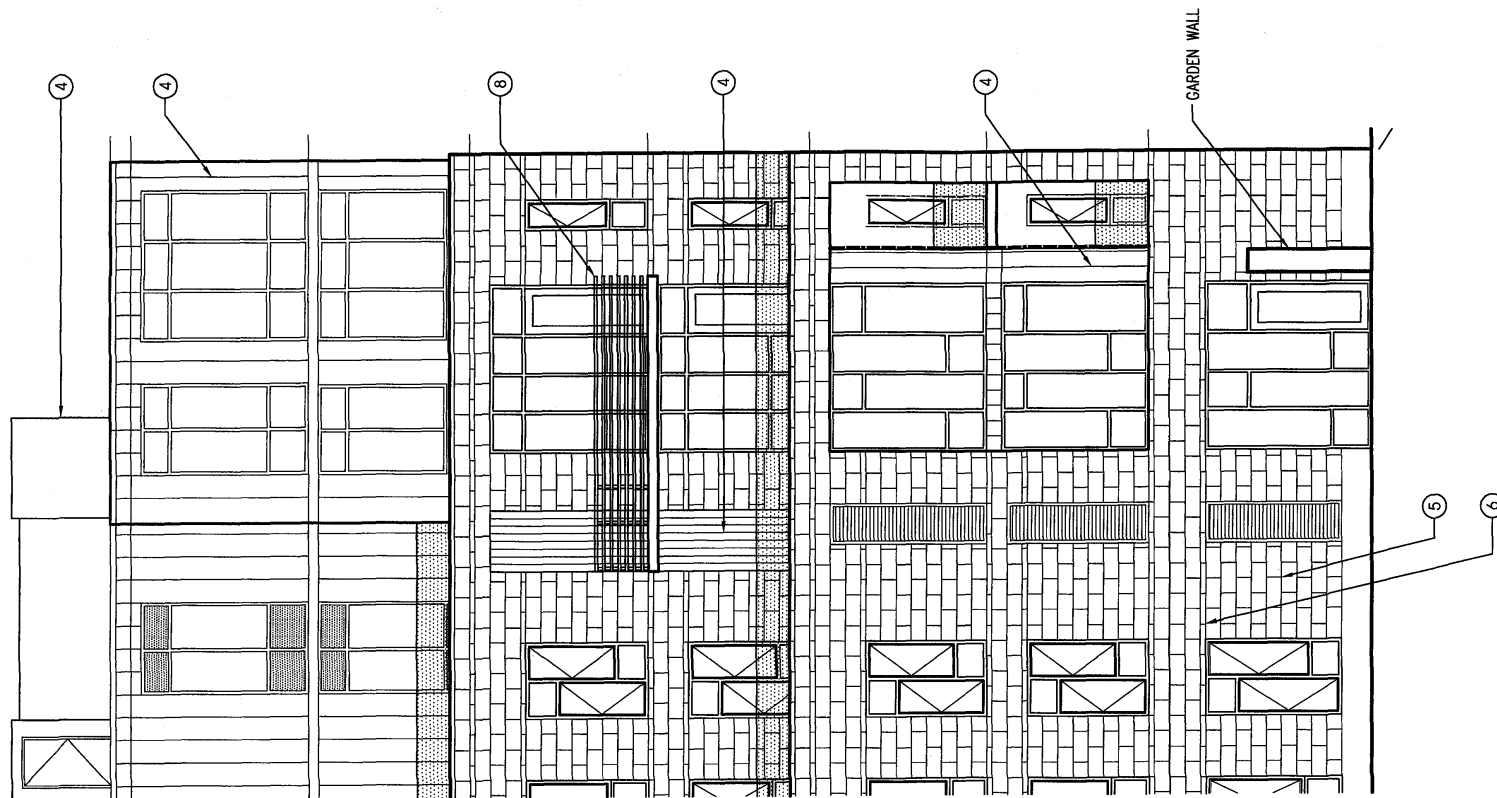
KEY PLAN

PARTIAL WEST ELEVATION

SHEET 15C

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008





1 PARTIAL WEST ELEVATION-MARKET ONLY  
SCALE: 1/8" = 1'-0"

### ELEVATION FINISHES KEY

- |                             |                          |                              |  |   |   |                          |
|-----------------------------|--------------------------|------------------------------|--|---|---|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)    | ⑩ RUNNING BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | ⑫ W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) |   |   | ⑭ GLASS BLOCK            |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |   | ⑫ STONE BASE  | ⑮ DECORATIVE METAL FRAME |



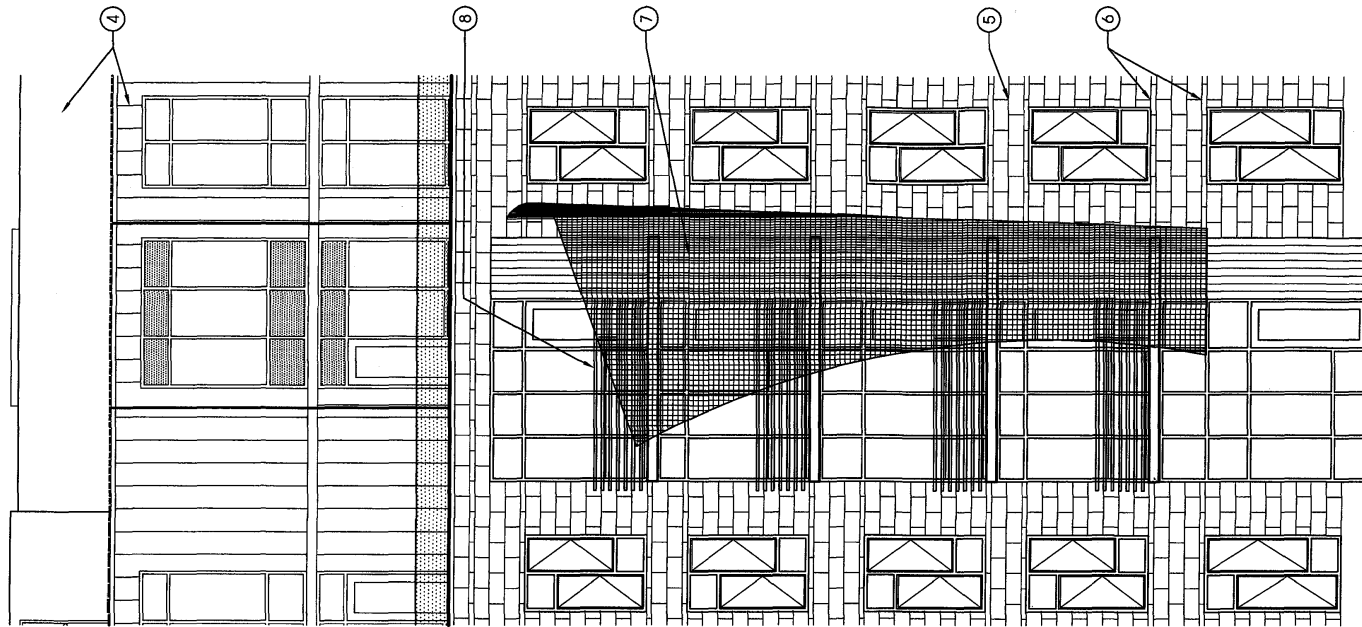
PARTIAL WEST ELEVATION

KEY PLAN  
SHEET 15D

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008

**DONATELLI**  
DEVELOPMENT

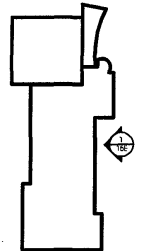




1 PARTIAL EAST ELEVATION - MARKET ONLY  
SCALE: 1/8" = 1'-0"

### ELEVATION FINISHES KEY

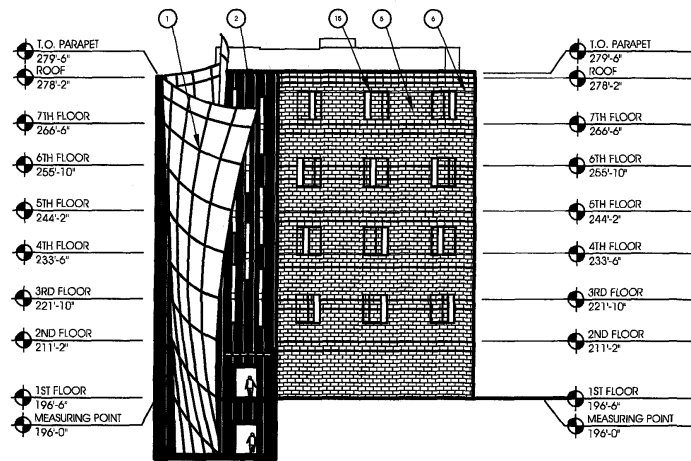
- |                             |                          |                              |  |   |   |                          |
|-----------------------------|--------------------------|------------------------------|--|---|---|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)    | ⑩ RUNNING BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | ⑫ W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) | ⑫ STONE BASE  | ⑭ GLASS BLOCK   | ⑮ DECORATIVE METAL FRAME |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |   |   |                          |



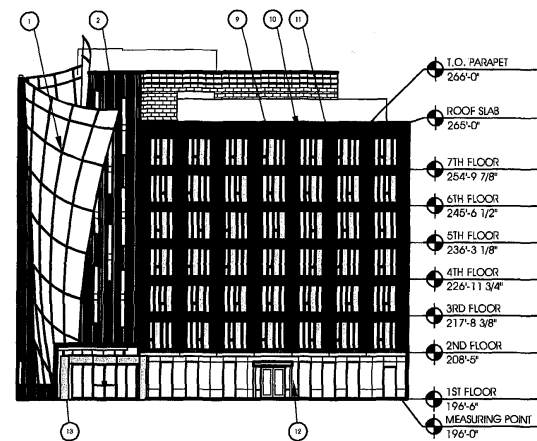
KEY PLAN

PARTIAL EAST ELEVATION

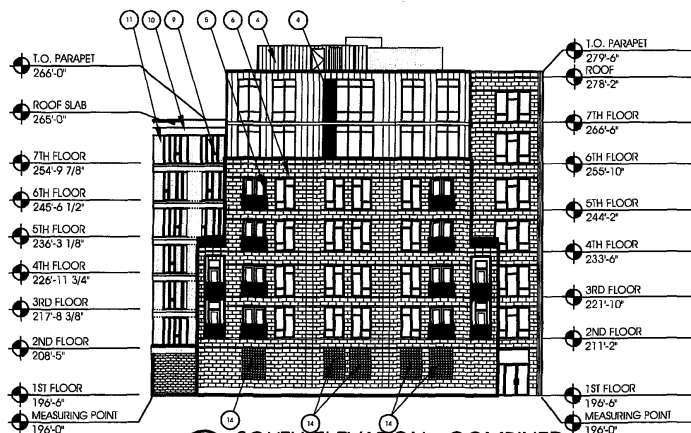
SHEET 15E



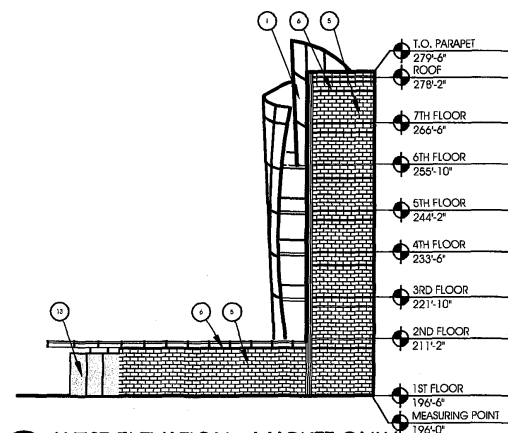
1 NORTH ELEVATION - MARKET ONLY  
SCALE: 1/32" = 1'-0"



2 NORTH ELEVATION - COMBINED  
SCALE: 1/32" = 1'-0"



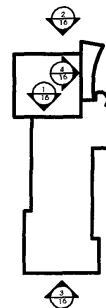
3 SOUTH ELEVATION - COMBINED  
SCALE: 1/32" = 1'-0"



4 WEST ELEVATION - MARKET ONLY  
SCALE: 1/32" = 1'-0"

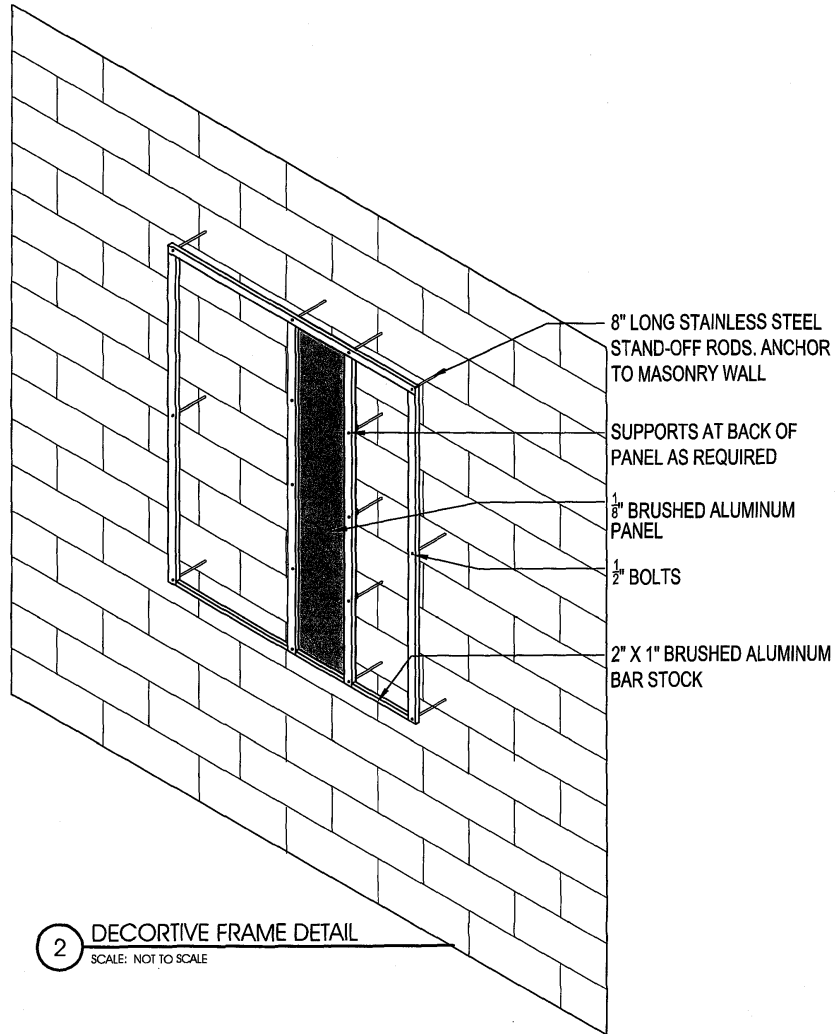
## ELEVATION FINISHES KEY

- 1 CUSTOM CURTAINWALL SYSTEM
- 2 STONE VENEER FACADE
- 3 NOT USED
- 4 METAL PANEL SYSTEM
- 5 OVERSIZE MASONRY UNITS
- 6 MASONRY ACCENT COURSE
- 7 METAL MESH BALCONY SCREENS
- 8 ALUMINUM BARSTOCK RAILING
- 9 WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING) W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)
- 10 RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX
- 11 STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX
- 12 STONE BASE
- 13 STONE PANEL
- 14 GLASS BLOCK
- 15 DECORATIVE METAL FRAME

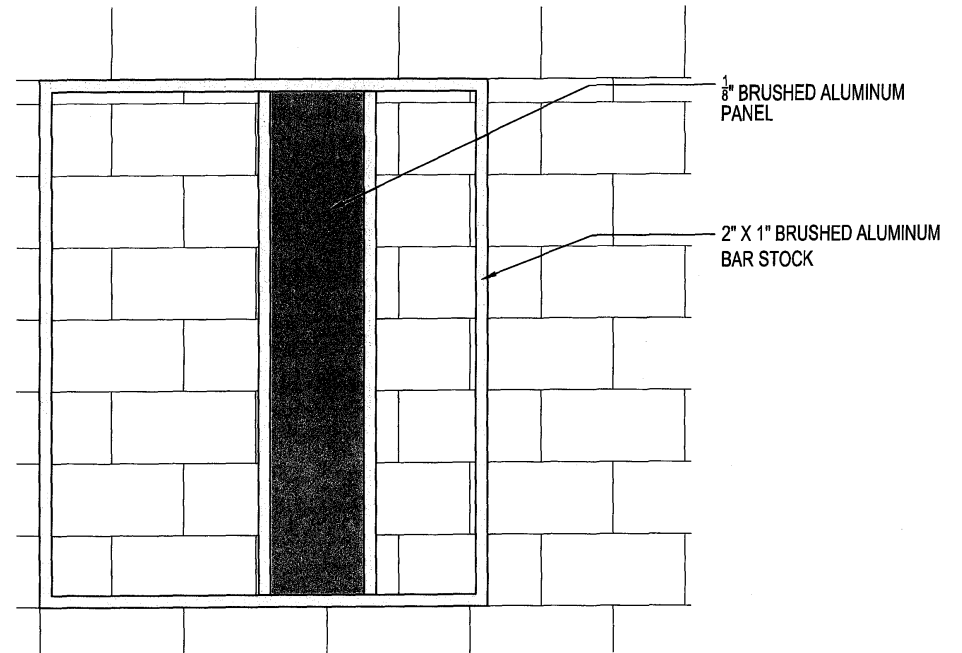


ELEVATIONS: NORTH AND SOUTH

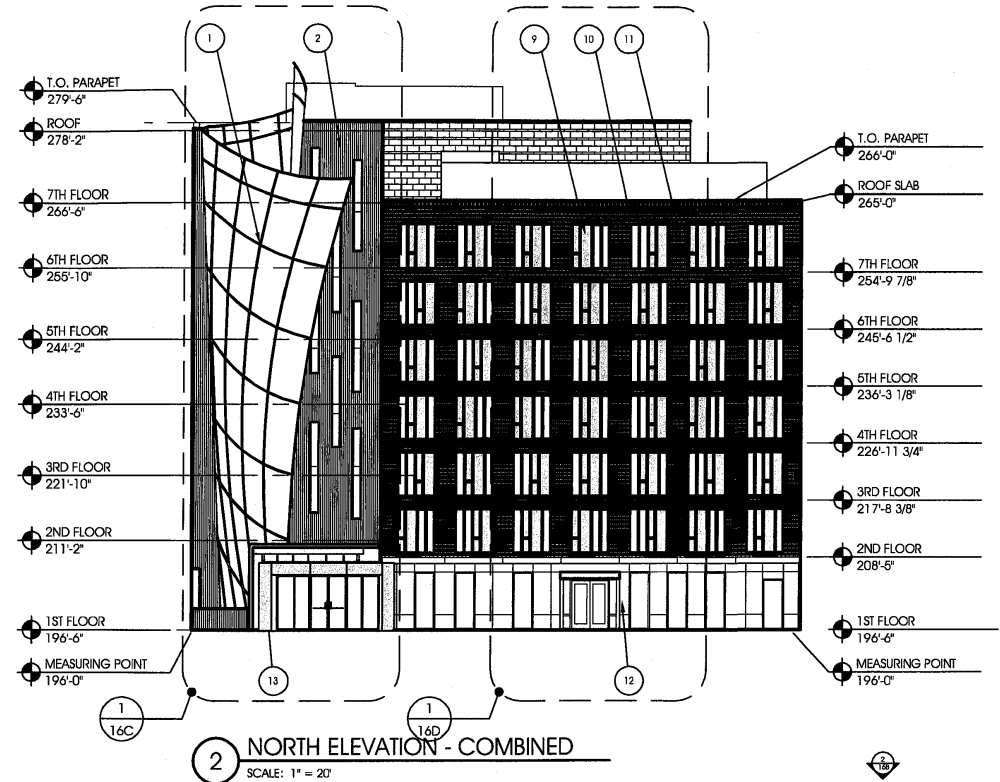
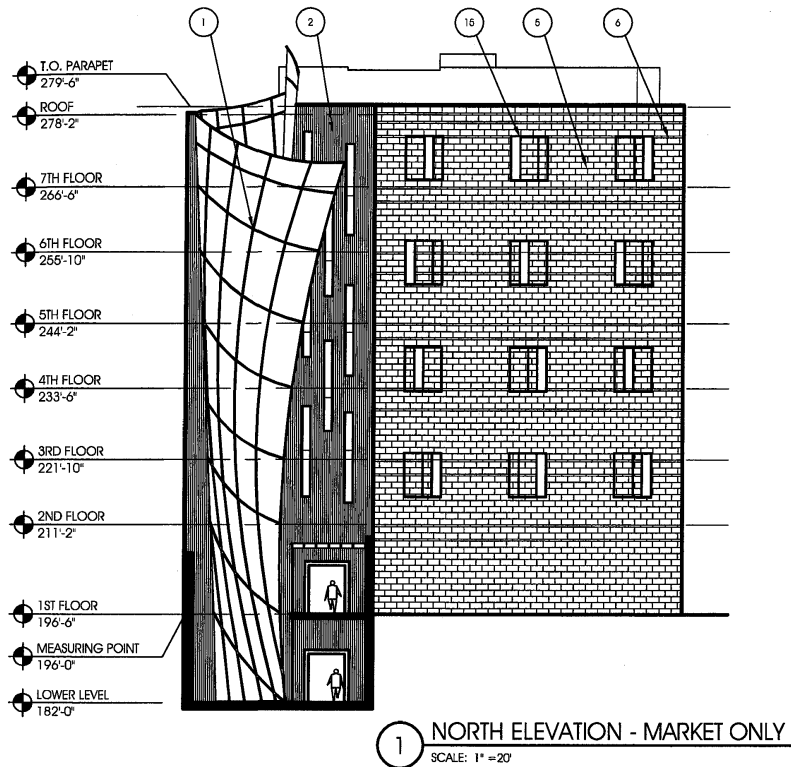
SHEET 16



2 DECORTIVE FRAME DETAIL  
SCALE: NOT TO SCALE

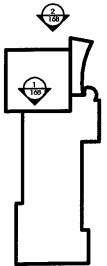


1 ELEVATION AT  
DECORTIVE FRAME  
SCALE: NOT TO SCALE



### ELEVATION FINISHES KEY

- |                             |                          |                              |  |  |  |                           |
|-----------------------------|--------------------------|------------------------------|--|--|--|---------------------------|
| 1 CUSTOM CURTAINWALL SYSTEM | 4 METAL PANEL SYSTEM     | 7 METAL MESH BALCONY SCREENS | 9 WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)  | 10 RUNNING BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | 11 STACK BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | 13 STONE PANEL            |
| 2 STONE VENEER FACADE       | 5 OVERSIZE MASONRY UNITS | 8 ALUMINUM BARSTOCK RAILING  | W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) | 12 STONE BASE  | 14 GLASS BLOCK   | 15 DECORATIVE METAL FRAME |
| 3 NOT USED                  | 6 MASONRY ACCENT COURSE  |                              |  |  |  |                           |



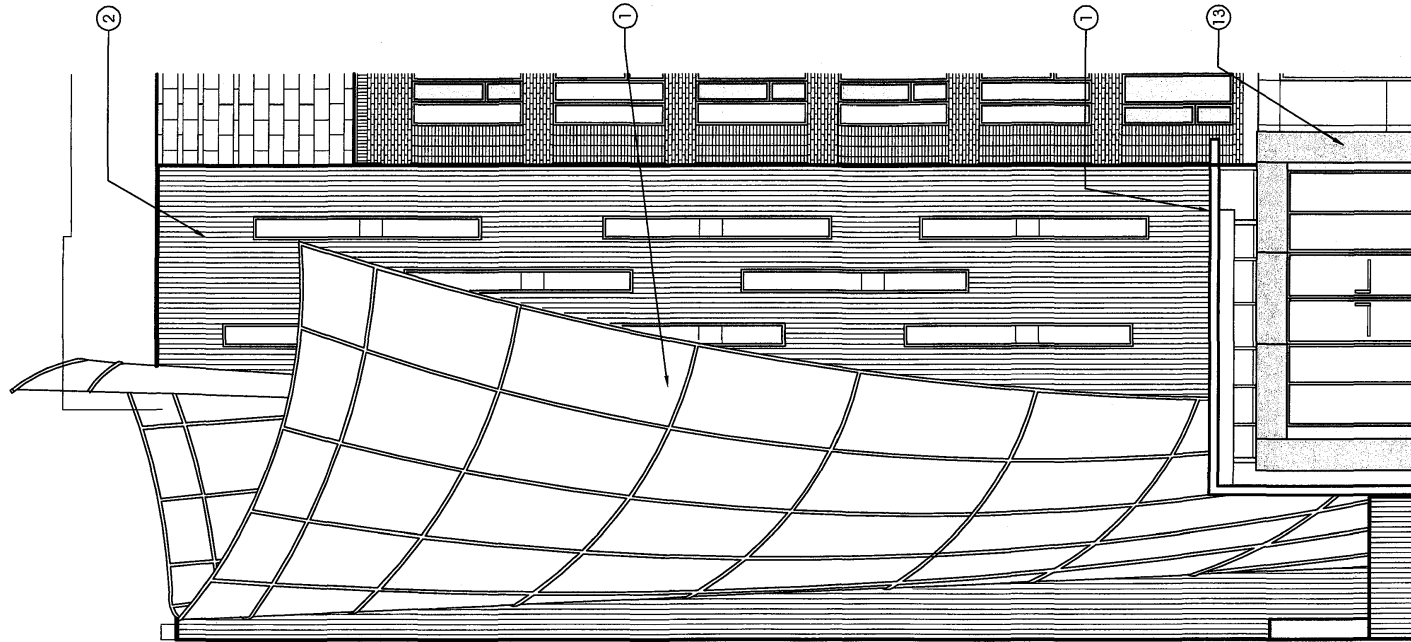
KEY PLAN

ELEVATIONS: NORTH

SHEET 16B

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008

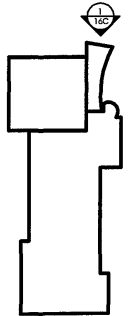




1 PARTIAL NORTH ELEVATION - MARKET ONLY  
SCALE: 1/8" = 1'-0"

### ELEVATION FINISHES KEY

- |                             |                          |                              |  |  |  |                          |
|-----------------------------|--------------------------|------------------------------|--|--|--|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)  | ⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING) W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) |  | ⑫ STONE BASE   | ⑭ GLASS BLOCK            |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |  |  | ⑮ DECORATIVE METAL FRAME |



KEY PLAN

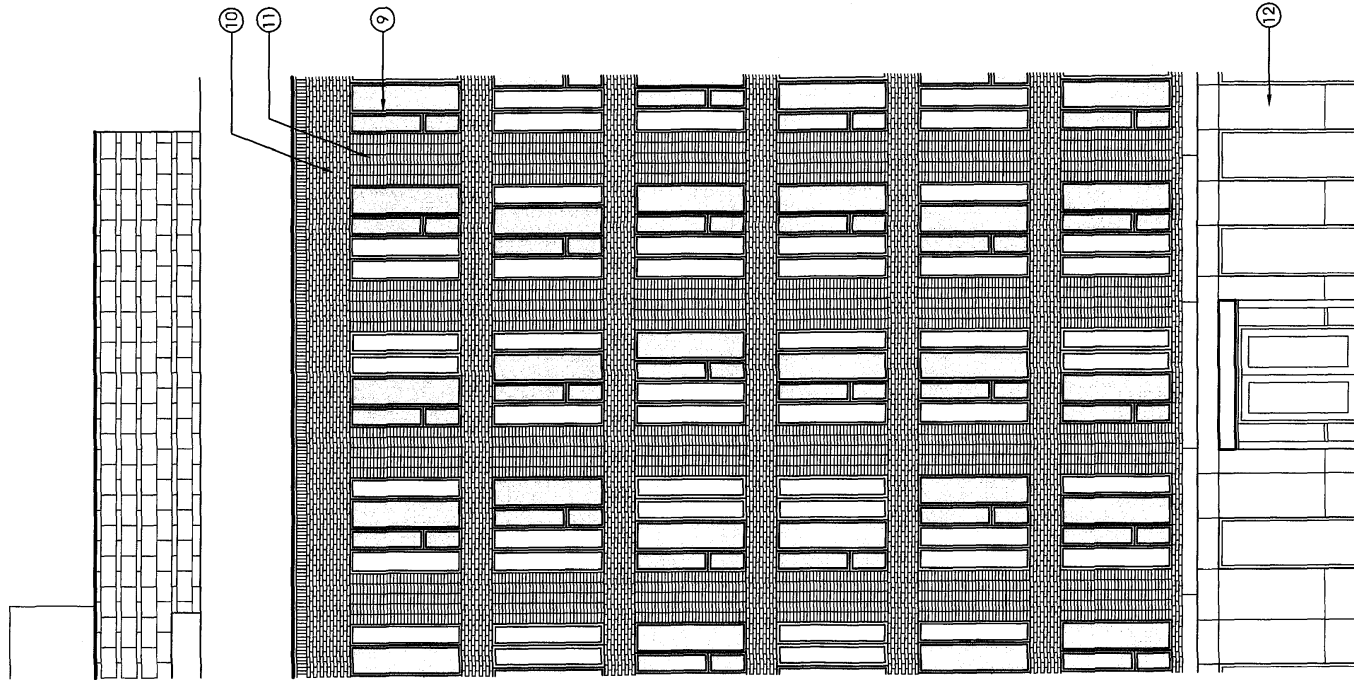
PARTIAL NORTH ELEVATION

SHEET 16C

**DONATELLI**  
DEVELOPMENT

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008

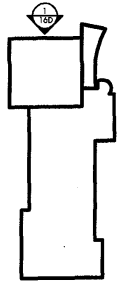




1 PARTIAL NORTH ELEVATION-CBRF ONLY  
SCALE: 1/8" = 1'-0"

### ELEVATION FINISHES KEY

- |                             |                          |                              |  |   |   |               |
|-----------------------------|--------------------------|------------------------------|--|---|---|---------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)  | ⑩ RUNNING BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING<br>FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | ⑫ COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) | ⑭ GLASS BLOCK   | ⑮ DECORATIVE METAL FRAME                                    |               |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |   |   |               |



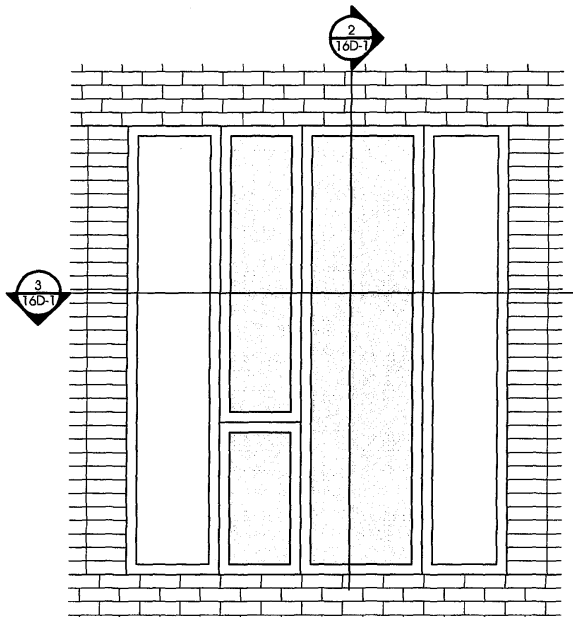
KEY PLAN

PARTIAL NORTH ELEVATION

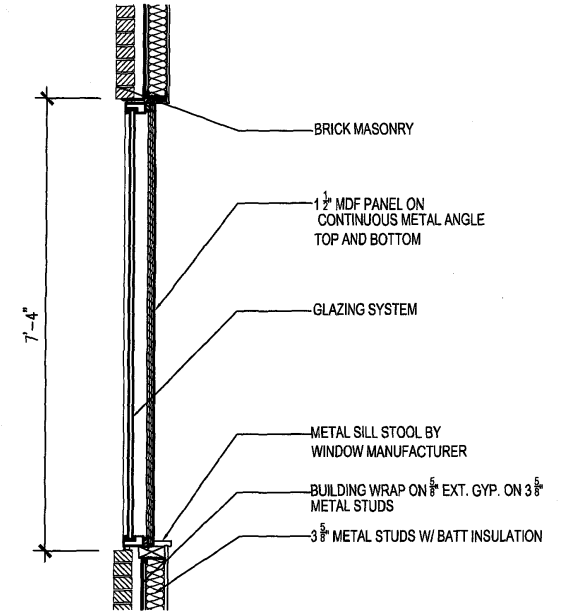
SHEET 16D

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008

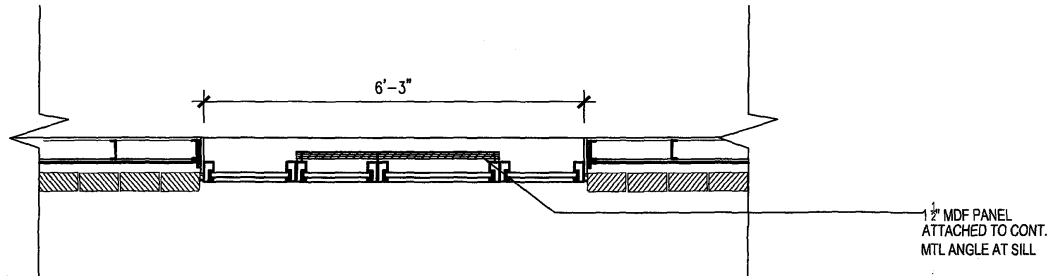




1 ENLARGED WINDOW ELEVATION  
SCALE: 1/2" = 1'-0"



2 SECTION AT WINDOW FRAME  
SCALE: 1/2" = 1'-0"

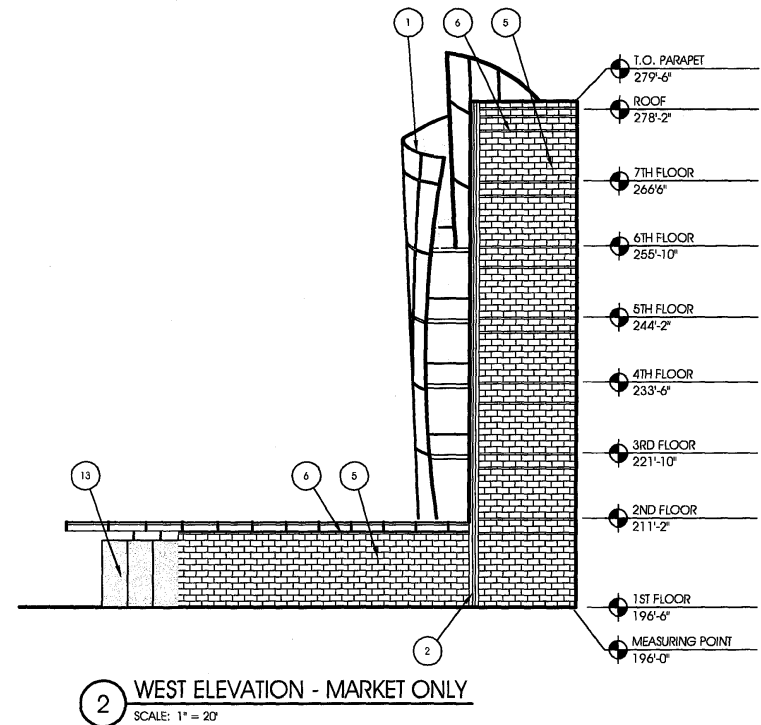
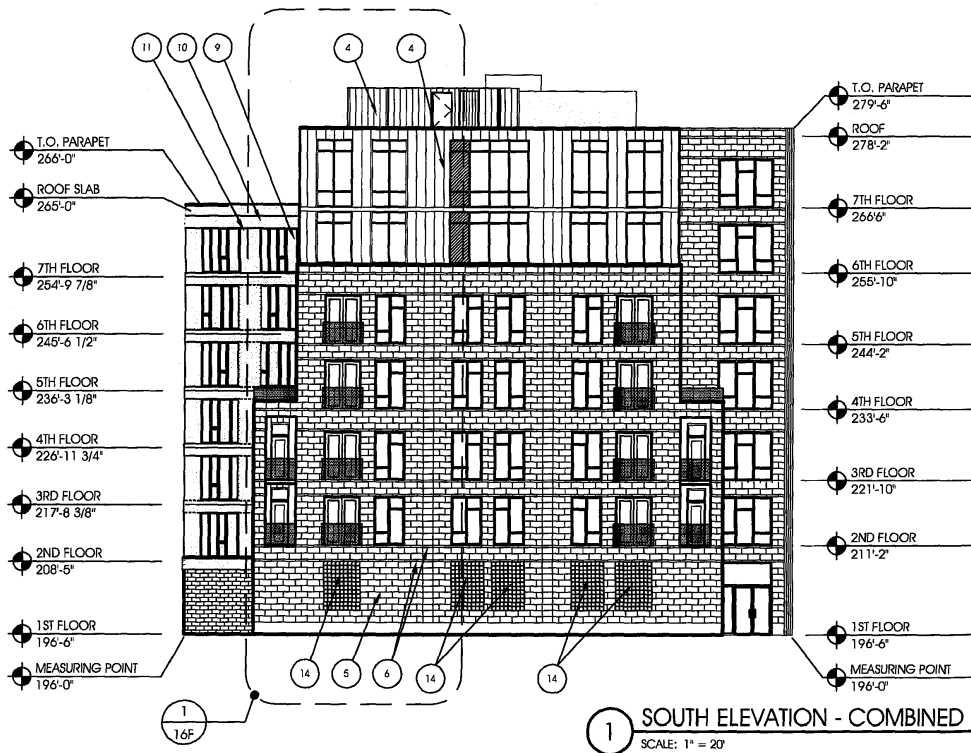


3 SECTION AT WINDOW SILL  
SCALE: 1/2" = 1'-0"

WINDOW DETAILS

SHEET 16D-1

1444 IRVING STREET, NW  
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION  
25 March 2008



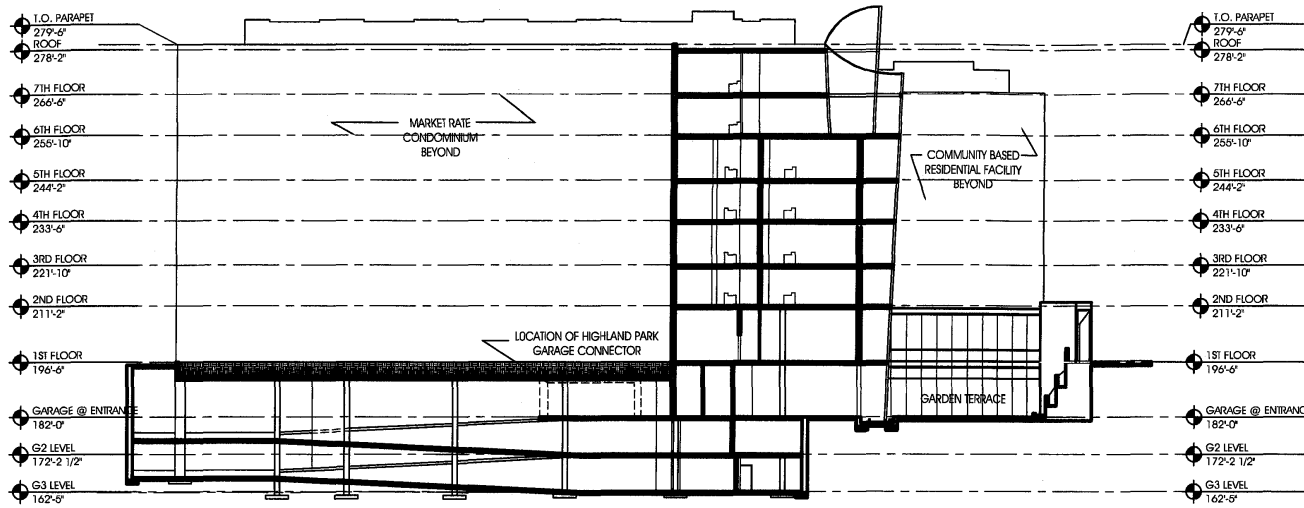
### ELEVATION FINISHES KEY

- |                             |                          |                              |  |  |  |                          |
|-----------------------------|--------------------------|------------------------------|--|--|--|--------------------------|
| ① CUSTOM CURTAINWALL SYSTEM | ④ METAL PANEL SYSTEM     | ⑦ METAL MESH BALCONY SCREENS | ⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)  | ⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX | ⑬ STONE PANEL            |
| ② STONE VENEER FACADE       | ⑤ OVERSIZE MASONRY UNITS | ⑧ ALUMINUM BARSTOCK RAILING  | W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING) | ⑫ STONE BASE   |  | ⑭ GLASS BLOCK            |
| ③ NOT USED                  | ⑥ MASONRY ACCENT COURSE  |                              |  |  |  | ⑮ DECORATIVE METAL FRAME |

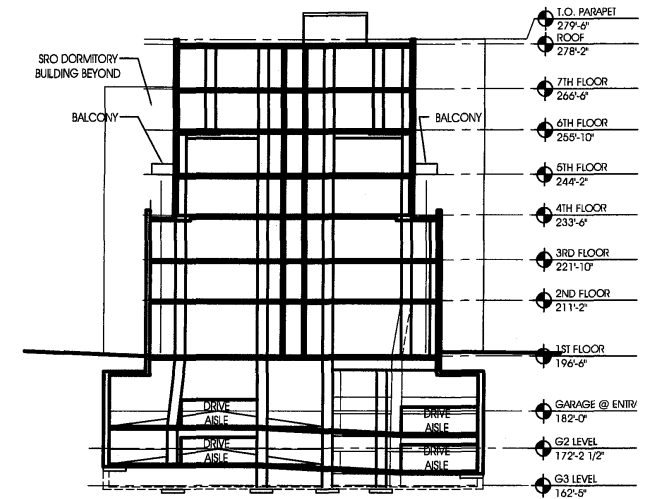


ELEVATIONS: SOUTH AND WEST

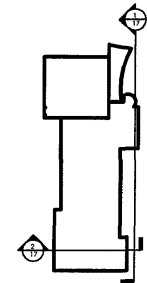
**1444 IRVING STREET, NW**  
**CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION**  
 25 March 2008



1 SECTION: NORTH-SOUTH THROUGH SITE  
SCALE: 1"= 32'



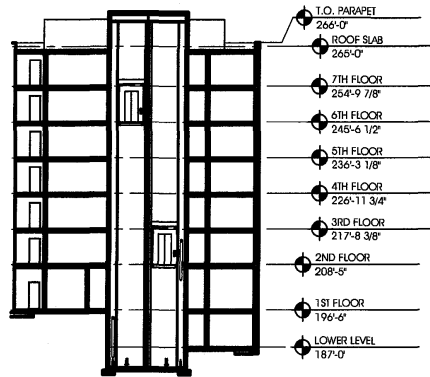
2 SECTION: EAST-WEST THROUGH SITE  
SCALE: 1"= 32'



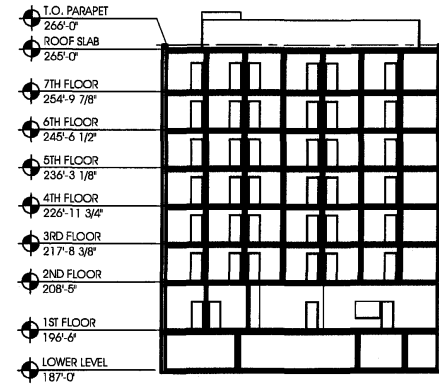
SITE MAP

BUILDING SECTIONS: MARKET RATE BUILDING

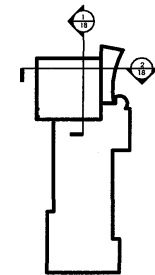
SHEET 17



SECTION: NORTH-SOUTH  
THROUGH CBRF SITE  
1  
SCALE: 1"= 32'



SECTION: EAST-WEST  
THROUGH CBRF SITE  
2  
SCALE: 1"=32'



SITE MAP

BUILDING SECTIONS: CBRF BUILDING

SHEET 18

