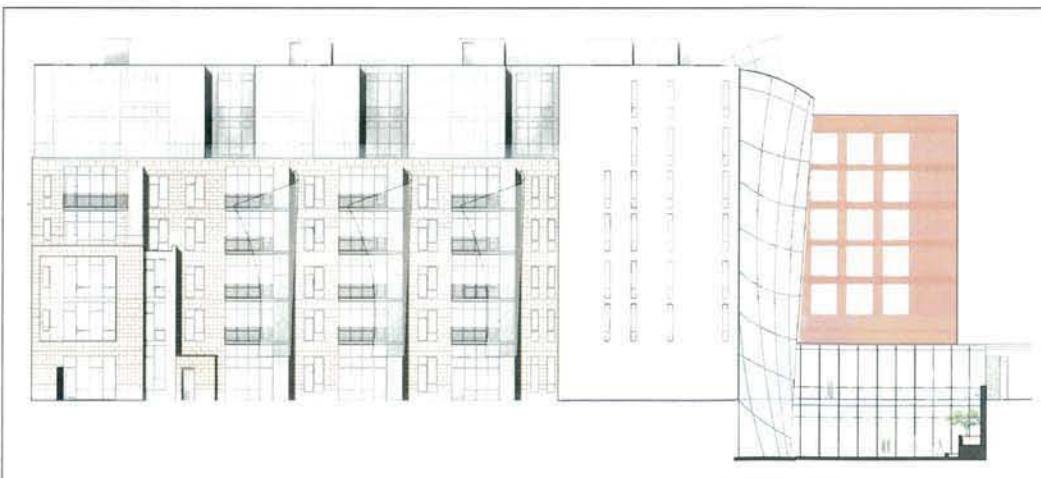


1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT
APPLICATION

DEVELOPER
COLUMBIA HEIGHTS VENTURES PARCEL 26, LLC
7200 WISCONSIN AVENUE SUITE 310
BETHESDA, MD 20814
301.654.0700



NORTH ELEVATION



EAST ELEVATION

ZONING COMMISSION
District of Columbia

CASE NO. 07C2
EXHIBIT NO. 39

MARCH 25, 2008

ARCHITECT
HICKOK COLE ARCHITECTS

1023 31ST STREET, NW
WASHINGTON, DC 20007
202.667.9776

LANDSCAPE ARCHITECT
PARKER RODRIGUEZ, INC.
101 NORTH UNION STREET SUITE 320
ALEXANDRIA, VIRGINIA 22314-3231
703.548.5010

RECEIVED
D.C. OFFICE OF ZONING
2008 MAR 31 PM 2:44

CIVIL ENGINEER
AMT, INC.
10 G STREET, NE SUITE 430
WASHINGTON, DC 20002
202.289.4545

MEP ENGINEERS
GHT
1010 NORTH GLEBE ROAD SUITE 200
ARLINGTON, VA 22201
703.243.1200

LAND USE ATTORNEY
HOLLAND & KNIGHT, LLP
2099 PENNSYLVANIA AVENUE, NW SUITE 100
WASHINGTON, DC 20006
202.955.3000



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LOCATION MAP

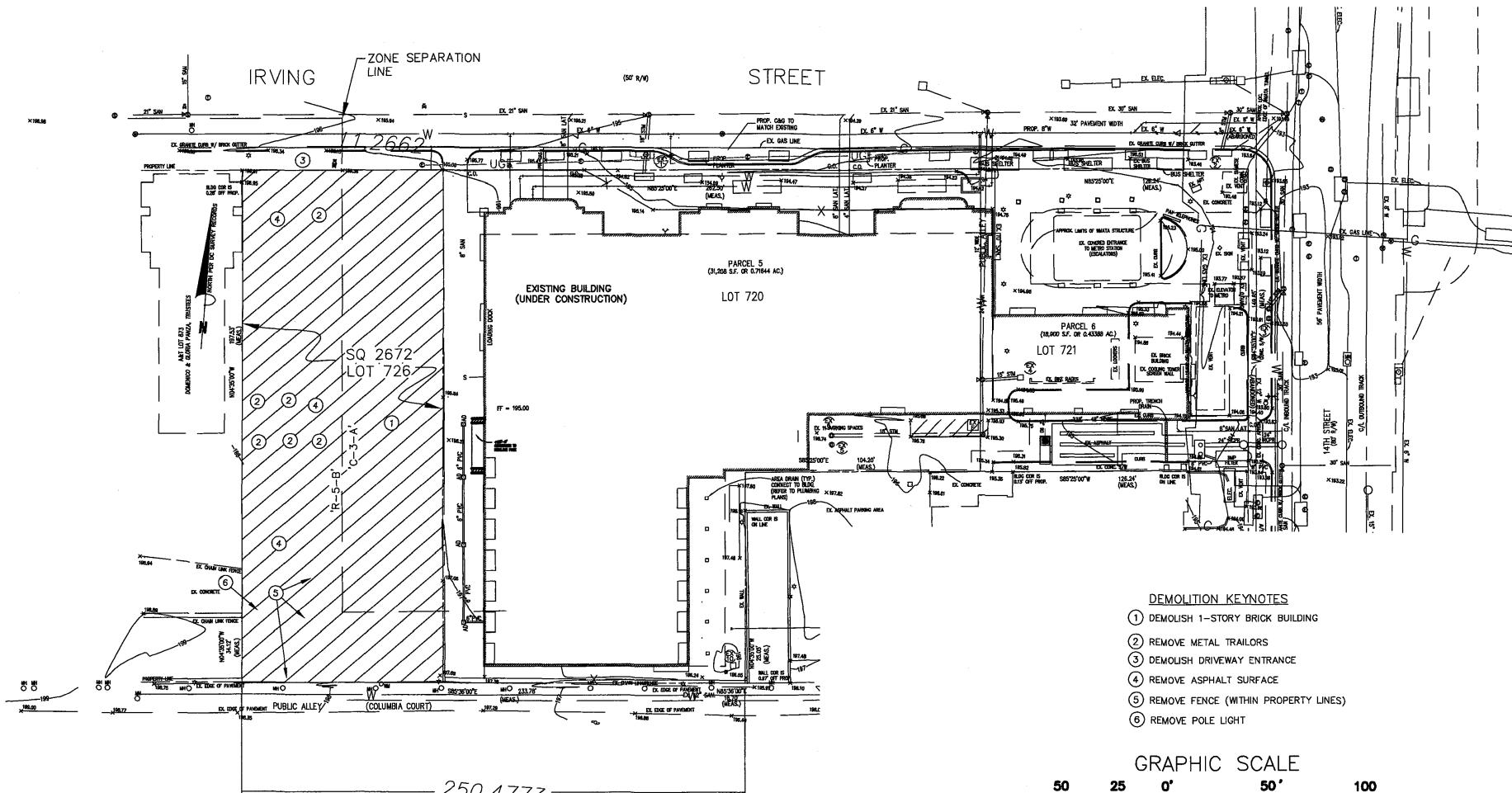
SHEET 01

TABLE OF CONTENTS AND LOCATION MAP

1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
25 March 2008

DONATELLI
DEVELOPMENT





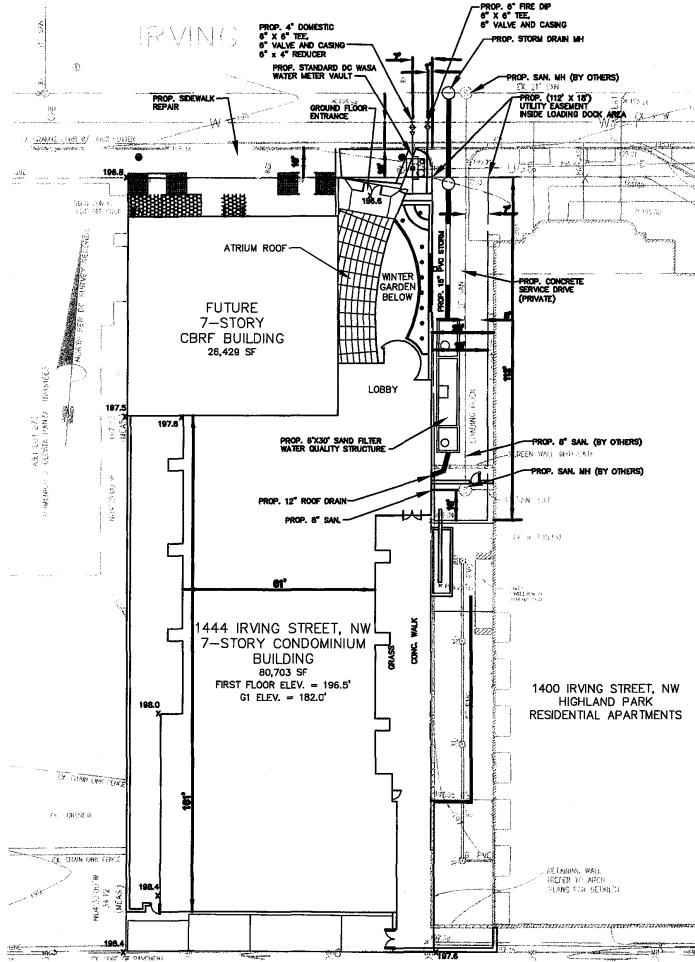
EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET 02

1444 IRVING STREET, NW
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SITE TABULATION

1444 IRVING STREET, NW
WASHINGTON, D.C. 20011
SQUARE 2672, LOTS 6 AND 879

PRESENT USE:
LOT 6 IS ZONED R-5-B AND IS COVERED BY AN ASPHALT LOT WITH TRAILERS AND LOT 879 IS ZONED C-3-A AND IS OCCUPIED BY A VACANT 1-STORY BUILDING.

PROPOSED USE:
THIS PROJECT IS TO DEMOLISH THE EXISTING 1-STORY BUILDING AND REMOVE THE ASPHALT SURFACE AND CONSTRUCT A 7-STORY CONDOMINIUM BUILDING PARTIALLY ON LOT 726. THIS CONDOMINIUM BUILDING WILL CONTAIN 69 LIVING UNITS. THERE WILL BE AN UNDERGROUND PARKING GARAGE WHICH WILL EXTEND FROM PROPERTY LINE TO PROPERTY LINE. A FUTURE PROJECT WILL CONSTRUCT A 9-STORY COMMUNITY BASED RESIDENTIAL FACILITY AT THE NORTHWEST CORNER OF LOT 726. APPROXIMATELY 12,742.47 SQUARE FEET OF THE SITE IS ZONED R-5-B AND IS COVERED WITH ASPHALT. APPROXIMATELY 12,672.53 SQUARE FEET OF THE LOT IS ZONED C-3-A AND IS OCCUPIED BY A VACANT 1-STORY BUILDING.

PROPOSED ZONING:

ZONE = C-3-A
FAR = 4.5

EXISTING SITE AREA (BY RECORD) = 25,415 SF
ALLOWABLE SQUARE FEET OF FLOOR AREA = 114,368.0 SF
PROPOSED SQUARE FEET OF FLOOR AREA = 109,337.0 SF

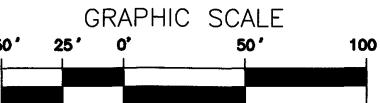
PARKING SPACES: APPROX. 84
PARKING SPACES REQUIRED = 69

POTABLE WATER:
TOTAL DOMESTIC WATER FLOW PEAK DEMAND FROM WASA WORKSHEET BELOW

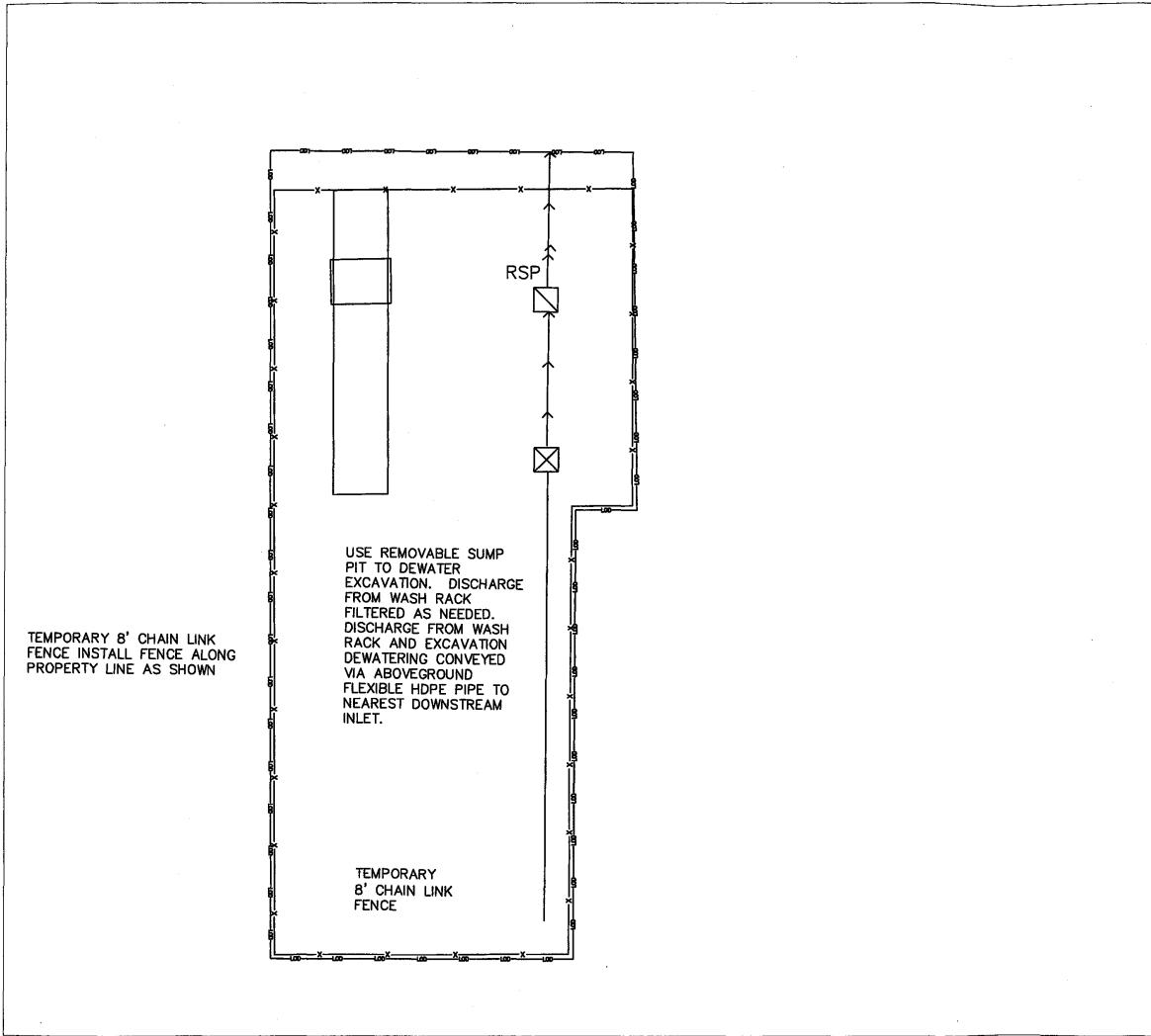
Total Fixture Value	=	680
Water Flow Demand from Figure 4.1 (gpm)	=	60
Pressure Factor from Table 4.4 X	=	1.22
Product of Water Flow Demand multiplied by Pressure Factor	=	72
Add Irrigation No. of Squares (100 SF) X 1.16 or 0.40 ¹	=	
Hose Bibbs 4 X 2.0	=	8
Subtotal of Domestic and Irrigation Demands (gpm)	=	80
Pressure Factor from Table 4.4 X	=	1.22
Product of domestic and Irrigation Flow Demand multiplied by Pressure Factor	=	97.6
Total Fixed Demands. If any (gpm)	=	30
Total Domestic/Mechanical/Irrigation Demands (gpm)	=	127.6
Fire Flow Demand as per NFPA Requirements	=	
Total Domestic/ Mechanical/Irrigation and Fire Flow Demands (gpm)	=	127.6

PROPOSED LEGEND

PVC SD	PROP. STORM DRAIN
PVC	PROP. SANITARY LINE
DIP	PROP. FIRE SERVICE
COPPER	PROP. DOMESTIC WATER CONNECTION
PROPERTY LINE	



1 IN.= 50 FT.



LEGEND

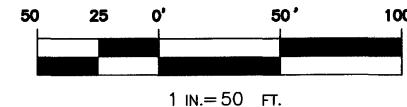
	STABILIZED CONSTRUCTION ENTRANCE (SCE)
	VEHICLE WASH RACK
	PST (PORTABLE SEDIMENT TANK)
	RSP (REMOVABLE SUMP PIT)
	FLEXIBLE HDPE PIPE
	LIMIT OF DISTURBANCE
	SILT FENCE
	6' TEMPORARY CHAIN LINK CONSTRUCTION FENCE
	PROPOSED BUILDING OUTLINE

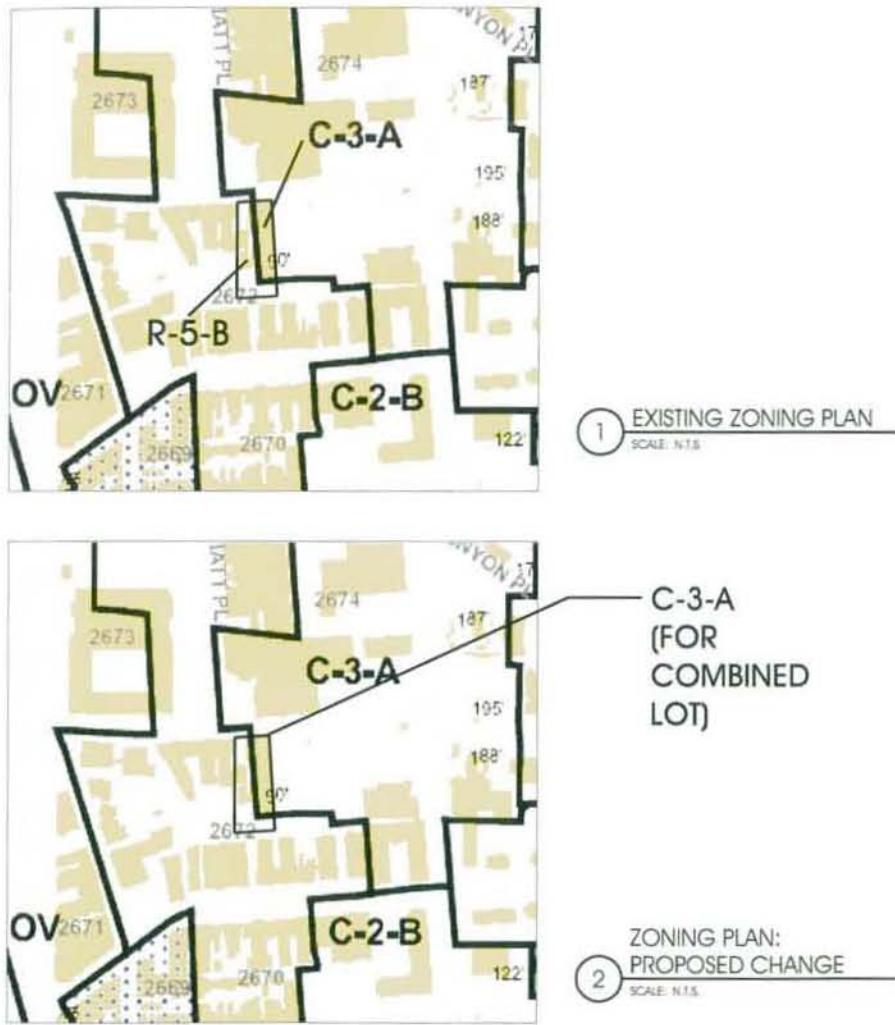
PROJECT NARRATIVE

THIS PROJECT IS LOCATED AT 1444 IRVING STREET, NW THE PROPERTY IS ZONED C-3-A AND R-5-B. THIS PROJECT IS TO DEMOLISH THE EXISTING 1-STORY BUILDING AND ADJACENT ASPHALT PAVING AND CONSTRUCT A NEW 7-STORY CONDOMINIUM BUILDING WITH UNDERGROUND PARKING AND A 9-STORY CBRF BUILDING. THE CONSTRUCTION OF THE 7-STORY BUILDING AND THE UTILITY INSTALLATION WILL DISTURB 29,129 SQUARE FEET OF AREA.

THIS PLAN IS FOR EROSION & SEDIMENT CONTROL PURPOSES ONLY.
EROSION & SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

GRAPHIC SCALE





SUBDIVISION PLAT AND EXISTING & PROPOSED ZONING PLANS

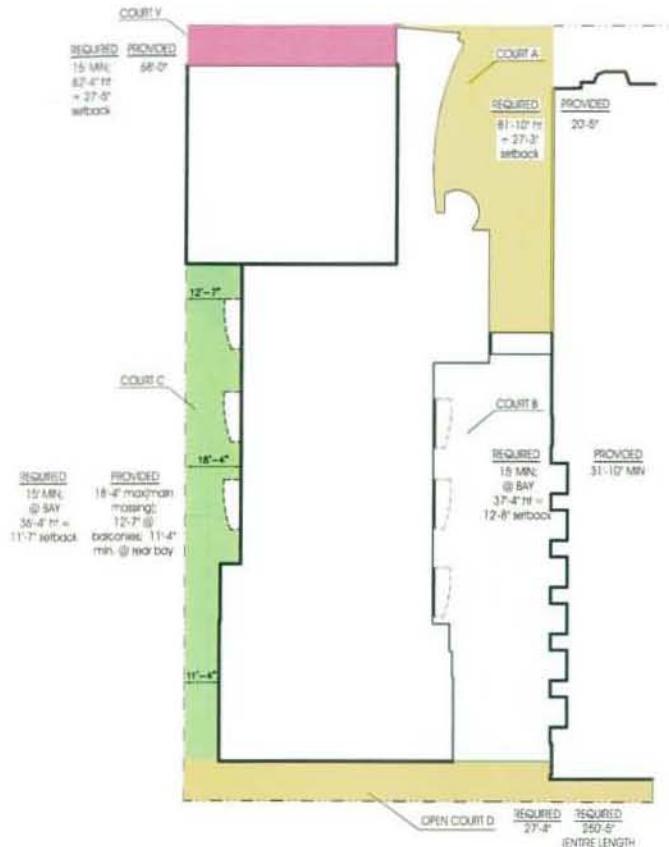
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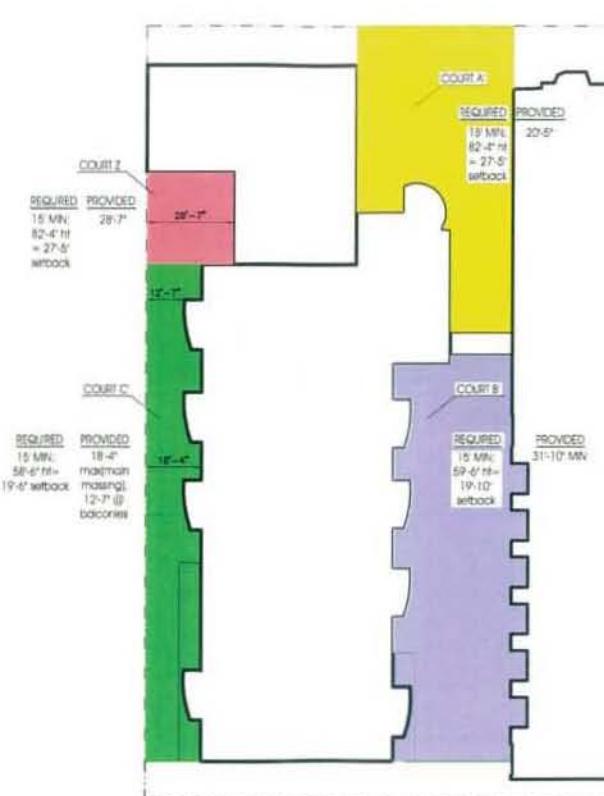
SHEET 05

1444 Irving Street, NW				
Zoned C3A				
DONATELLI & KLEIN, INC.				
ZONING REVIEW				
ISSUE	ALLOWED/ REQUIRED	PROVIDED	Req'mt Met	
SITE AREA				
Mixed Income Portion	20,013 square feet			
CBRF Portion	5,402 square feet			
(Lots combined with alley)	101 square feet			
Phase 1	75,779 square feet			
TOTAL	101,194 square feet			
FAR	4.5 with PUD	4.0		
	New portion	109,337		
	Phase 1	291,180		
	Total	400,517	C	
HEIGHT				
Highpoint of roof or parapet	CBRF: (70')	70'-0"	C	
Highpoint of roof or parapet	Mixed Income: (90')	86'-2"	C	
Highpoint of roof or parapet	Phase 1 (85')	81'-10"	C	
REAR YARD	17'-0" feet	none	NC	
SIDE YARD				
Phase One	14'-1	14'-1"	C	
LOT OCCUPANCY				
New portion	19,097	18,253		
Phase One	56,834	48,968		
	75,931	67,221		
Percentage	75%	66%	C	
COURTS				
At Open Court A (north)	15' MIN; 4" per foot w/81'-10"		20'-5" MIN	NC
Lower Terrace Level and First Floor Front	Phase One Bldg adjacent = 27'-3"			
At Open Court B (east)	15' MIN; @ BAY 37'-10"		31'-10" MIN	C
Floors 1-3	SETBACK = 151" OR 12'-7"			
At Open Court C (west)	15' MIN; @ BAY 36'-4"		18'-4" max(main massing); 12'-7" @ balconies; 11'-4" min @ rear bay	NC
Floors 1-3	SETBACK = 139" OR 11'-7"		68'-0"	C
At Open Court Y (north) at CBRF facing Irving Street	15' MIN; 4"/ft w/82'-4" CBRF adjacent = 27'-5"			
At Open Court A' (north)	15' MIN; 4"/ft w/82'-4" CBRF adjacent = 27'-5"		20'-5" MIN	NC
Floors 2-7				
At Open Court B' (east)	15' MIN; 59'-6" @setback = 238"=19'-10"		31'-10" MIN	C
Floors 4-5				
At Open Court C' (west)	15' MIN; 58'-6" @setback = 234"=19'-6"		18'-4" max(main massing); 12'-7" @ balconies	NC
Floors 4-5			28'-7"	C
At Open Court Z (CBRF)	15' MIN; 4"/ft w/82'-10" CBRF adjacent = 331" = 27'-7"			
Floors 2-9				
At Open Court B" (east)	15' MIN; 82'-6" @setback = 330"=27'-6"		31'-10" MIN	C
Floors 6-7				
At Open Court C" (west)	15' MIN; 81'-6" @setback = 326"=27'-2"		26'-0" max(main massing); 22'-5" @ bays; 18'-8" @ rear bay	NC
Floors 6-7				
At Open Court D	15' MIN; 82'-0" max ht = 27'-4"		250'-5" (across south side of entire parcel)	C
Court information for the existing Highland Park building has not been included here				
LOADING BERTH				
Project Overall	One space at 55' deep with 200 SF loading platform		One space at 30' deep with 200 SF loading platform	C
			One space at 55' deep with 200 SF loading platform	
DELIVERY				
Project Overall	One space @ 20' deep		One space @ 20' deep	C
			One space @ 10' x 20' deep	
			One space @ 20' deep	
PARKING				
Mixed Income	69 units		82	
Phase One	229 units		338	
Total Residential	298/2 = 149 spaces		420	C
CBRF	1 for each 10 beds (Approx 82/10 = 9)		3	NC

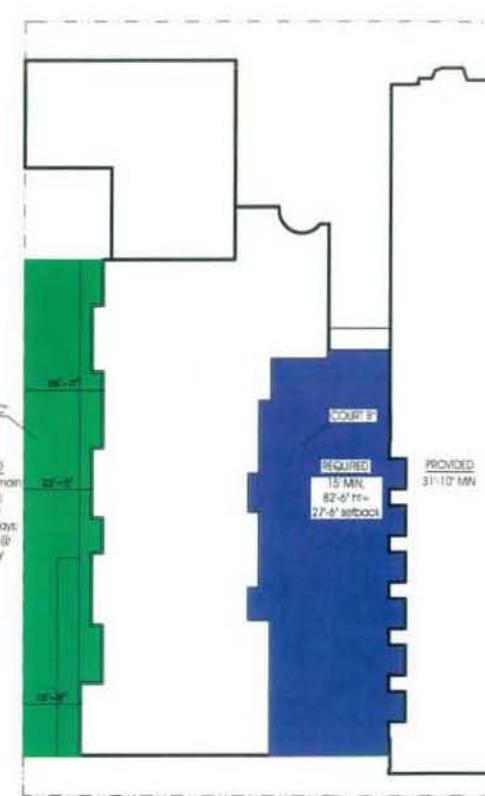
Per 11 DCMR Section 2201.2 Loading requirements are tabulated based on residential use because residential use accounts for more than 90% of the building's gross floor area



1 COURTS A, B, C, D
AND Y SETBACKS
SCALE: N.T.S.



2 COURTS A', B', C'
AND Z SETBACKS
SCALE: N.T.S.



3 COURTS B" AND C" SETBACKS
SCALE: N.T.S.

COURTYARD SETBACK DIAGRAMS

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SHEET 07





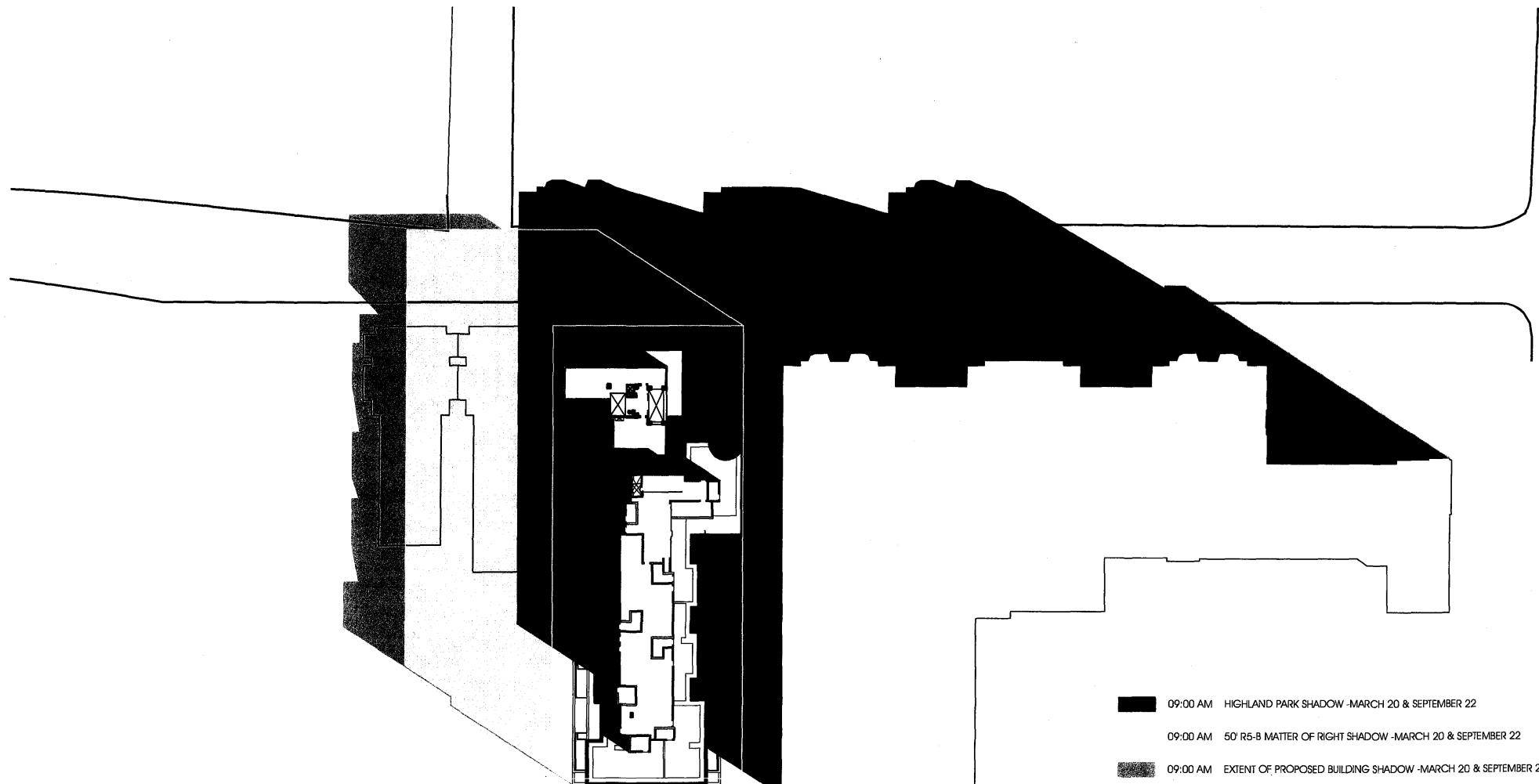
SHADOW STUDY

SHEET 08

DONATELLI
DEVELOPMENT

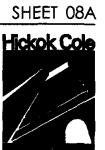
1444 IRVING STREET, NW
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25 March 2008

Hickok Cole



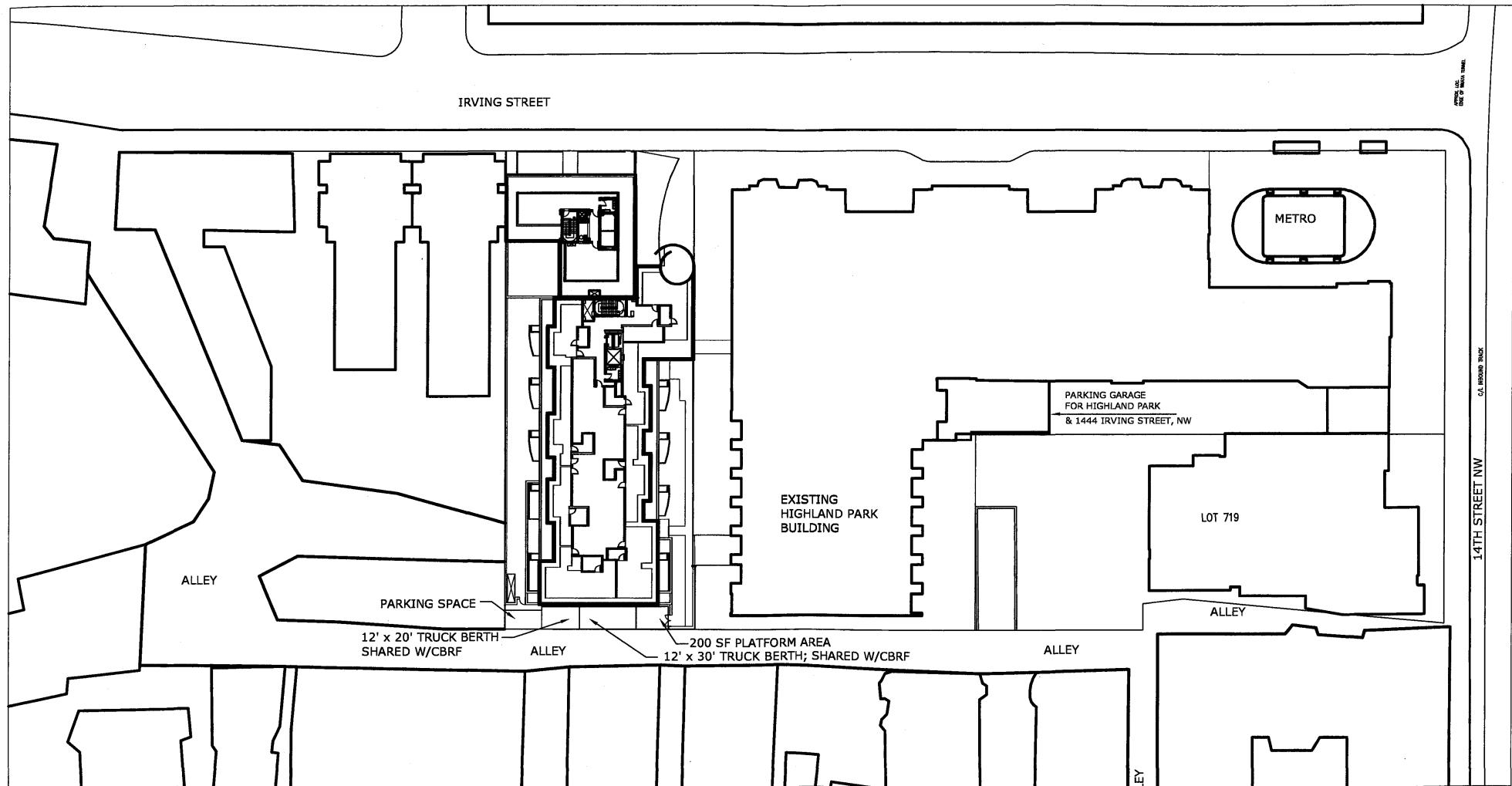
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1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
25 March 2008



Hickok Cole

SHEET 08A



PROPOSED SITE PLAN

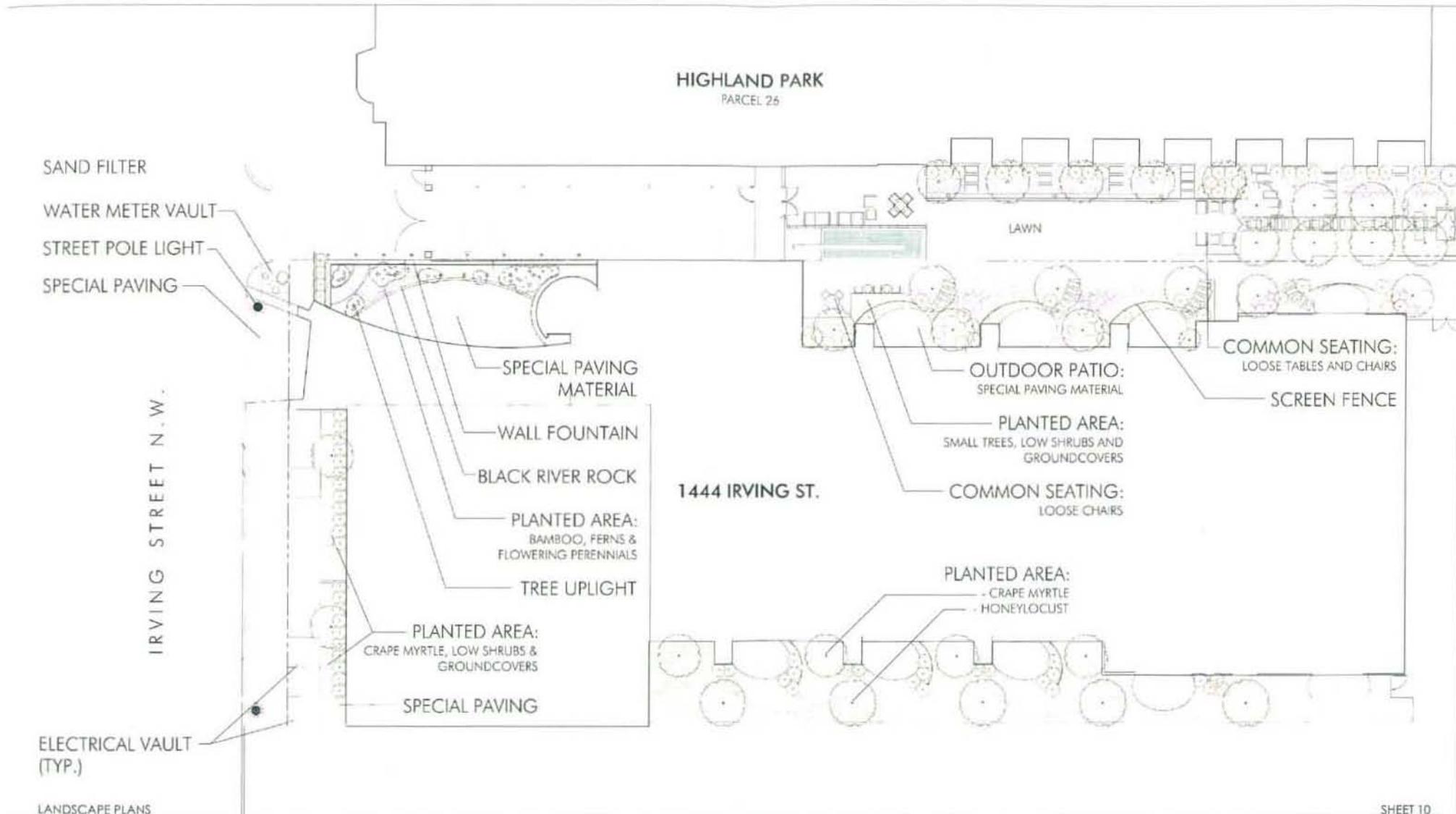
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1444 IRVING STREET, NW
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SHEET 09





1444 IRVING STREET, NW
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NEW PORTION OF DEVELOPMENT

PARKING COUNT

MARKET RATE
FULL SPACES 66

COMPACT SPACES 14

HANDICAP SPACES 4

VAN SPACES (H/C) 1

CBRF
FULL SPACES 2

DELIVERY 1

TOTAL 85

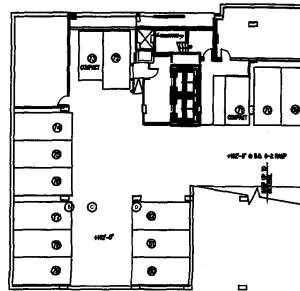
PARKING COUNT

G-1 33

G-2 35

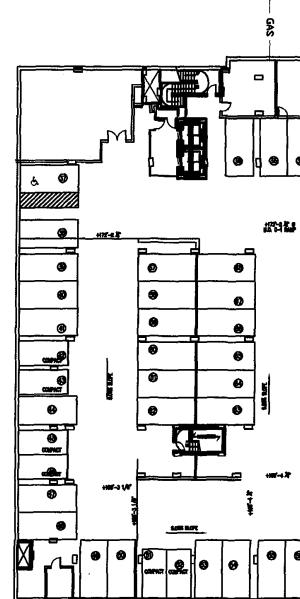
G-3 14

TOTAL 82



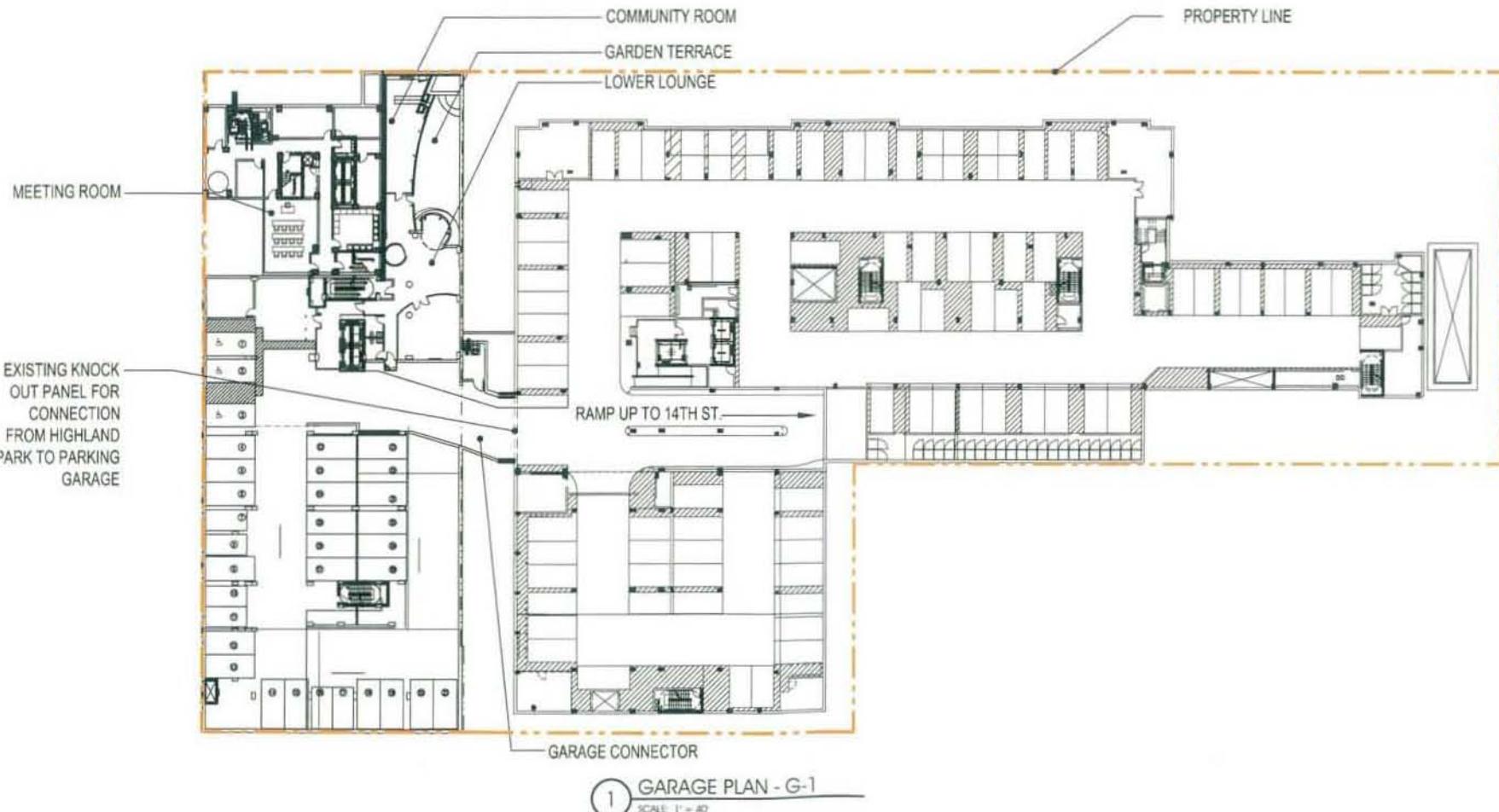
3 GARAGE PLAN - G-3

SCALE: 1' = 40'



2 GARAGE PLAN - G-2

SCALE: 1' = 40'



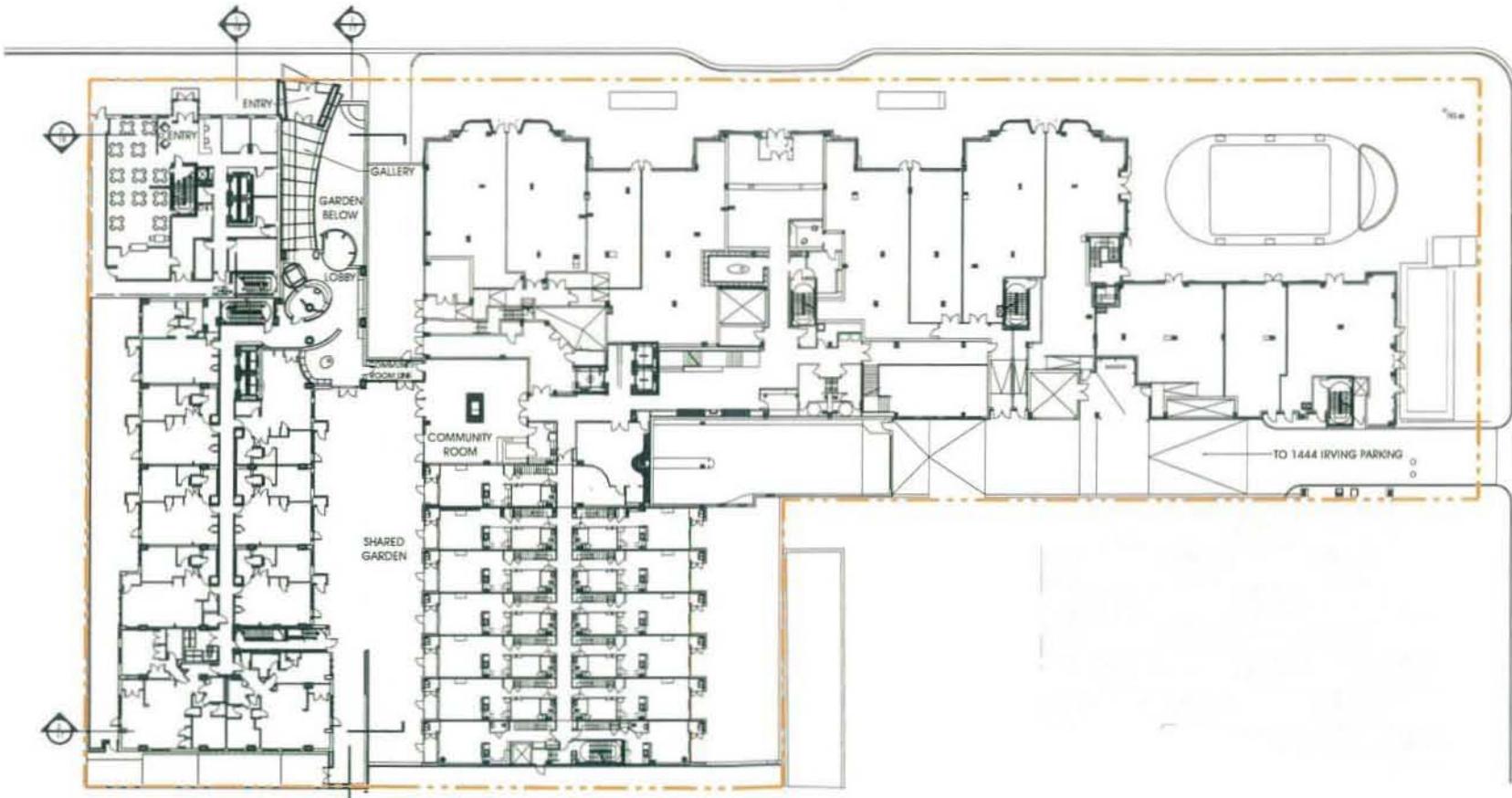
GARAGE PLAN

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SHEET 11A





1 FIRST FLOOR PLAN
SCALE: 1" = 40'

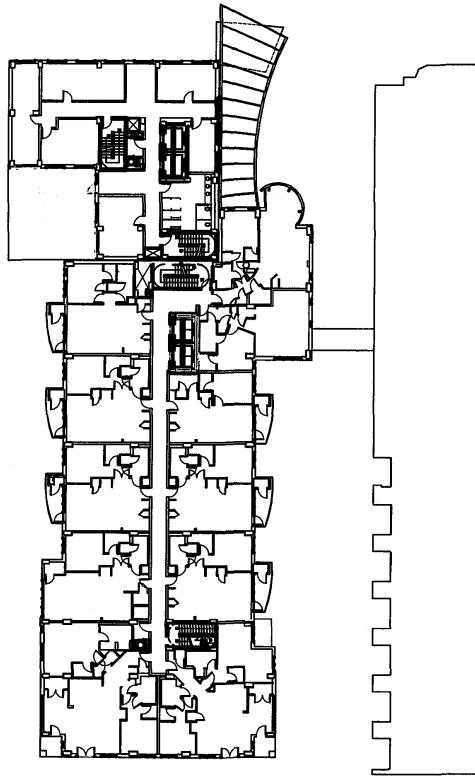
FLOOR PLANS: FIRST FLOOR

SHEET 12

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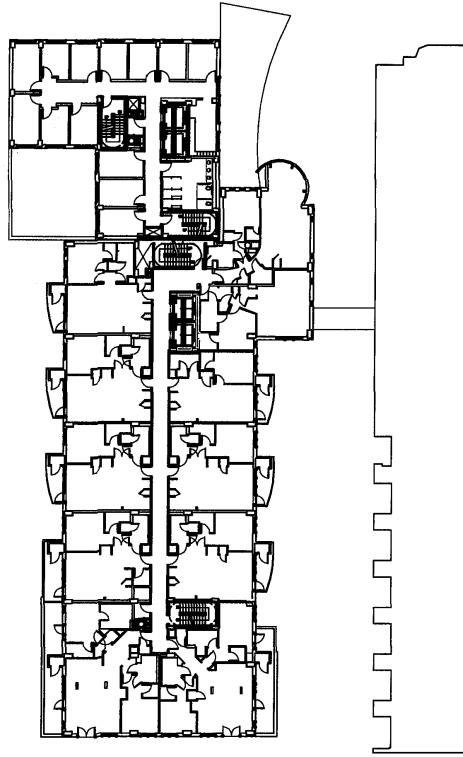




1 SECOND AND THIRD FLOOR PLAN
SCALE: 1" = 40'

FLOOR PLANS: SECOND AND FOURTH FLOOR

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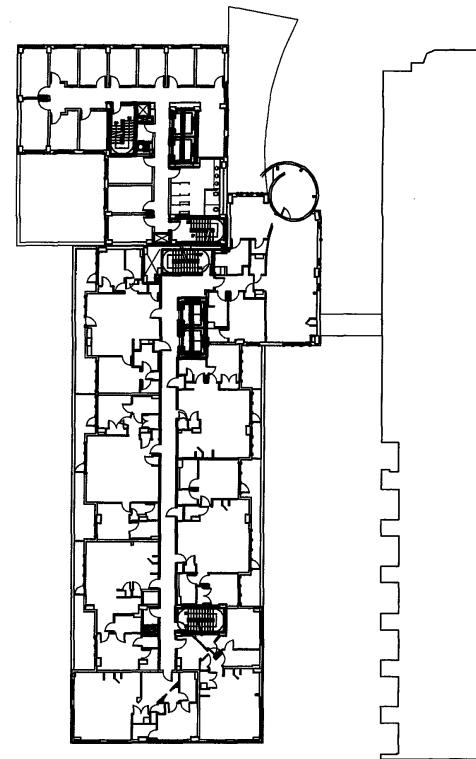


2 FOURTH AND FIFTH FLOOR PLAN
SCALE: 1" = 40'

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SHEET 12A



1

SIXTH AND SEVENTH FLOOR PLAN

SCALE: 1" = 40'

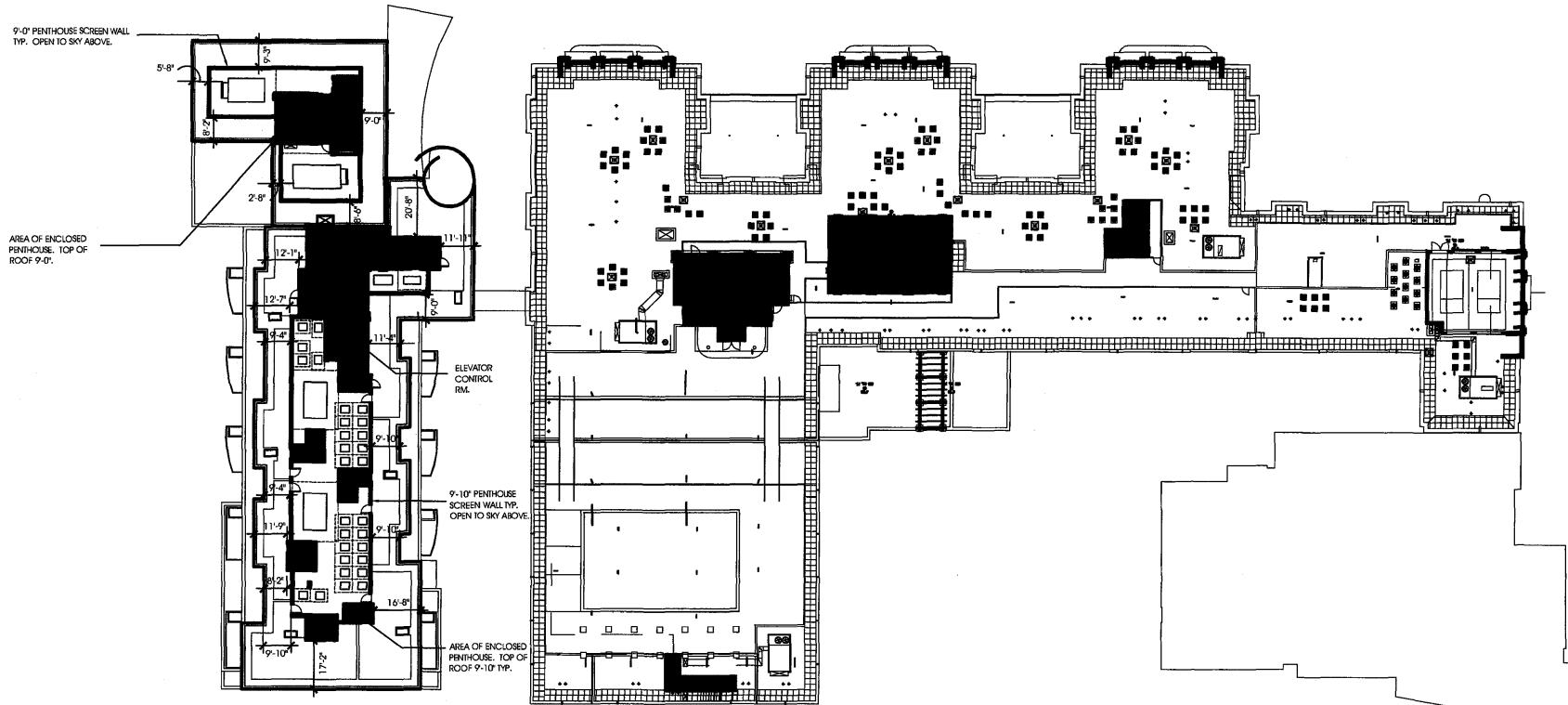
FLOOR PLANS: SIXTH AND SEVENTH FLOOR

SHEET 13

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1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
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1 ROOF PLAN
SCALE: 1" = 40'

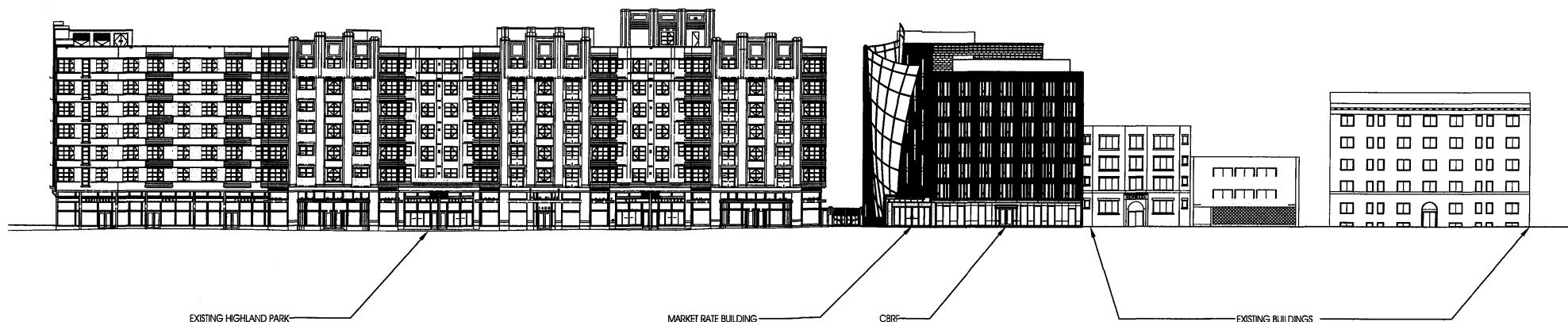
FLOOR PLAN: ROOF

SHEET 14

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1 NORTH ELEVATION - COMBINED
SCALE: NOT TO SCALE

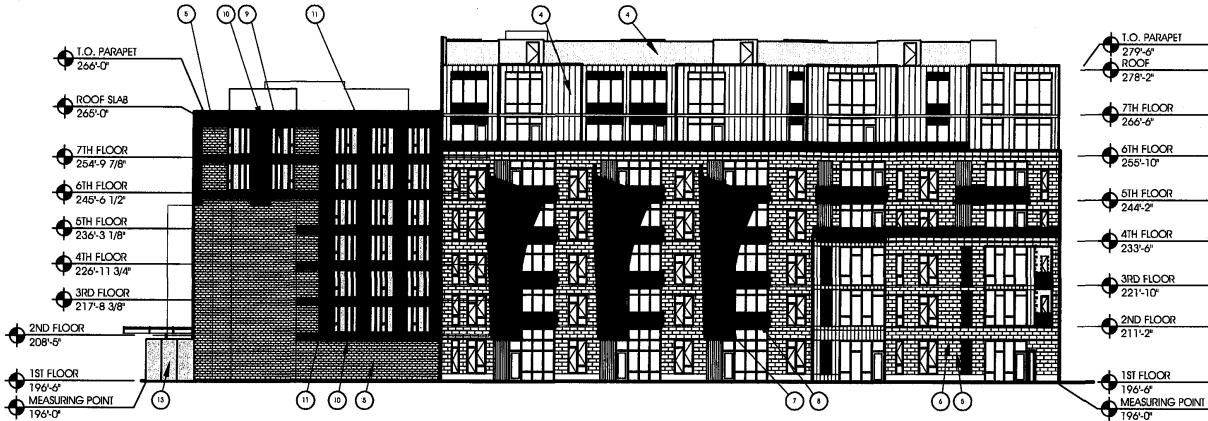
ELEVATIONS: NORTH COMBINED

SHEET 14A

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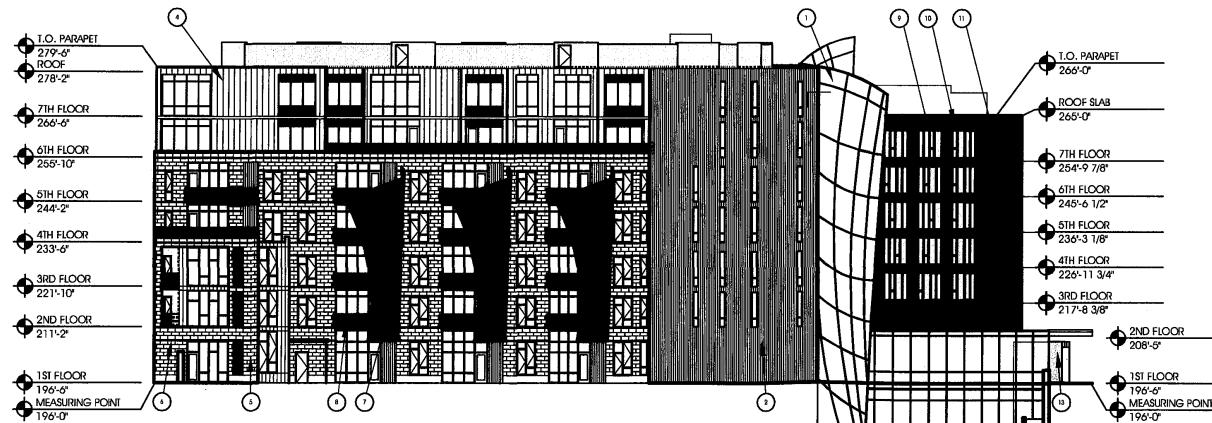
1444 IRVING STREET, NW
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1 WEST ELEVATION - COMBINED

SCALE: 1/32" = 1'-0"



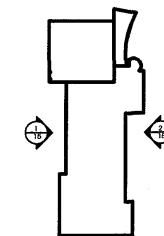
2 EAST ELEVATION - COMBINED

SCALE: 1/32" = 1'-0"

ELEVATIONS: EAST AND WEST

ELEVATION FINISHES KEY

- 1 CUSTOM CURTAINWALL SYSTEM
- 2 STONE VENEER FACADE
- 3 NOT USED
- 4 METAL PANEL SYSTEM
- 5 OVERSIZE MASONRY UNITS
- 6 MASONRY ACCENT COURSE
- 7 METAL MESH BALCONY SCREENS
- 8 ALUMINUM BARSTOCK RAILING
- 9 WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)
W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)
- 10 RUNNING BOND BRICK COURSING
FACE BRICK GRADE SW TYPE FBX
- 11 STACK BOND BRICK COURSING
FACE BRICK GRADE SW TYPE FBX
- 12 STONE BASE
- 13 STONE PANEL
- 14 GLASS BLOCK
- 15 DECORATIVE METAL FRAME



SITE MAP

SHEET 15

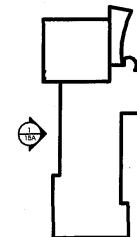


1 WEST ELEVATION - COMBINED

SCALE: 1" = 20'

ELEVATION FINISHES KEY

① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING	⑪ STACK BOND BRICK COURSING	⑬ STONE PANEL
② STONE VENEER FAÇADE	⑤ OVERTSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)	FACE BRICK GRADE SW TYPE FBX	FACE BRICK GRADE SW TYPE FBX	⑭ GLASS BLOCK
③ NOT USED	⑥ MASONRY ACCENT COURSE				⑫ STONE BASE	⑮ DECORATIVE METAL FRAME



KEY PLAN

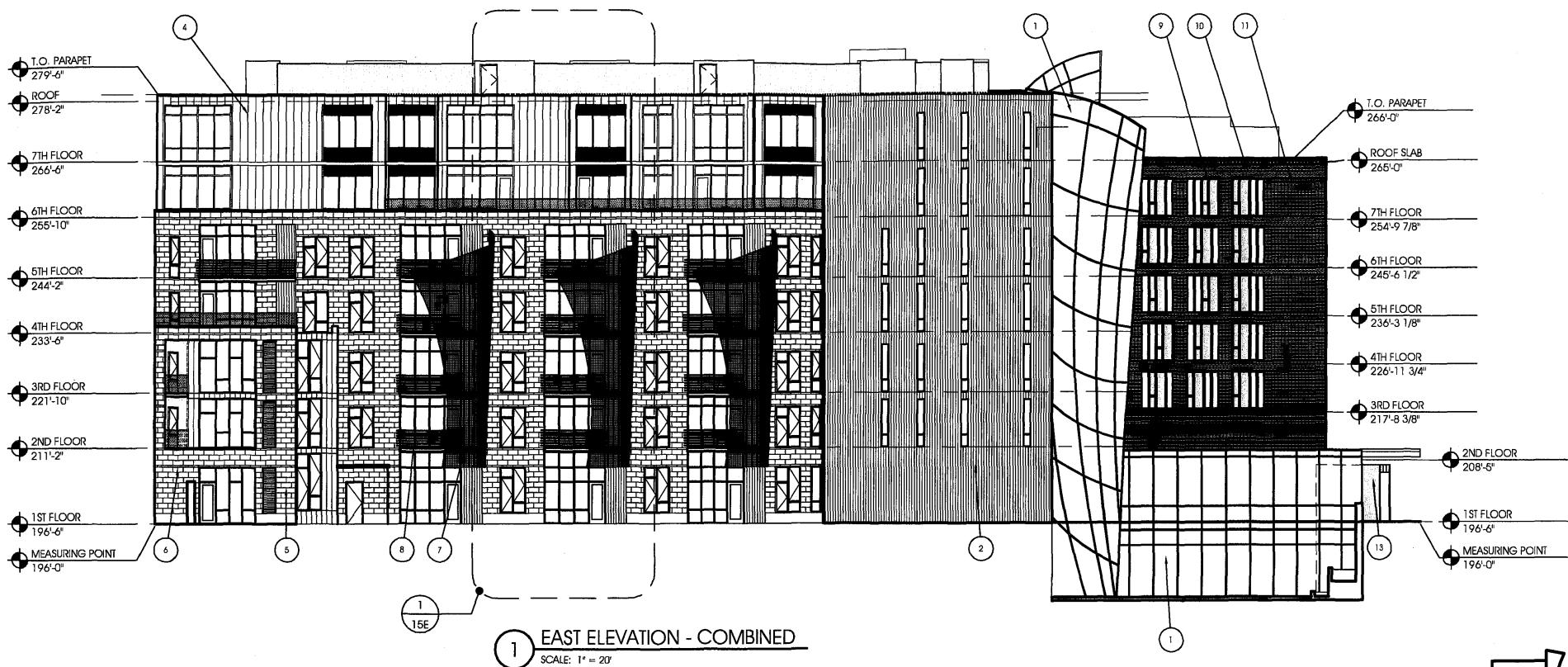
ELEVATIONS: WEST

SHEET 15A

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ELEVATION FINISHES KEY

① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5: FLUROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑬ STONE PANEL
② STONE VENEER FAÇADE	⑤ OVERTSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	W/COMPOSITE METAL PANELS (COIL-COATED FLUROPOLYMER COATING)			⑭ GLASS BLOCK
③ NOT USED	⑥ MASONRY ACCENT COURSE				⑫ STONE BASE	⑮ DECORATIVE METAL FRAME

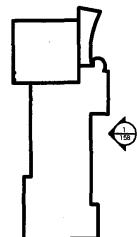
ELEVATIONS: EAST

SHEET 15B

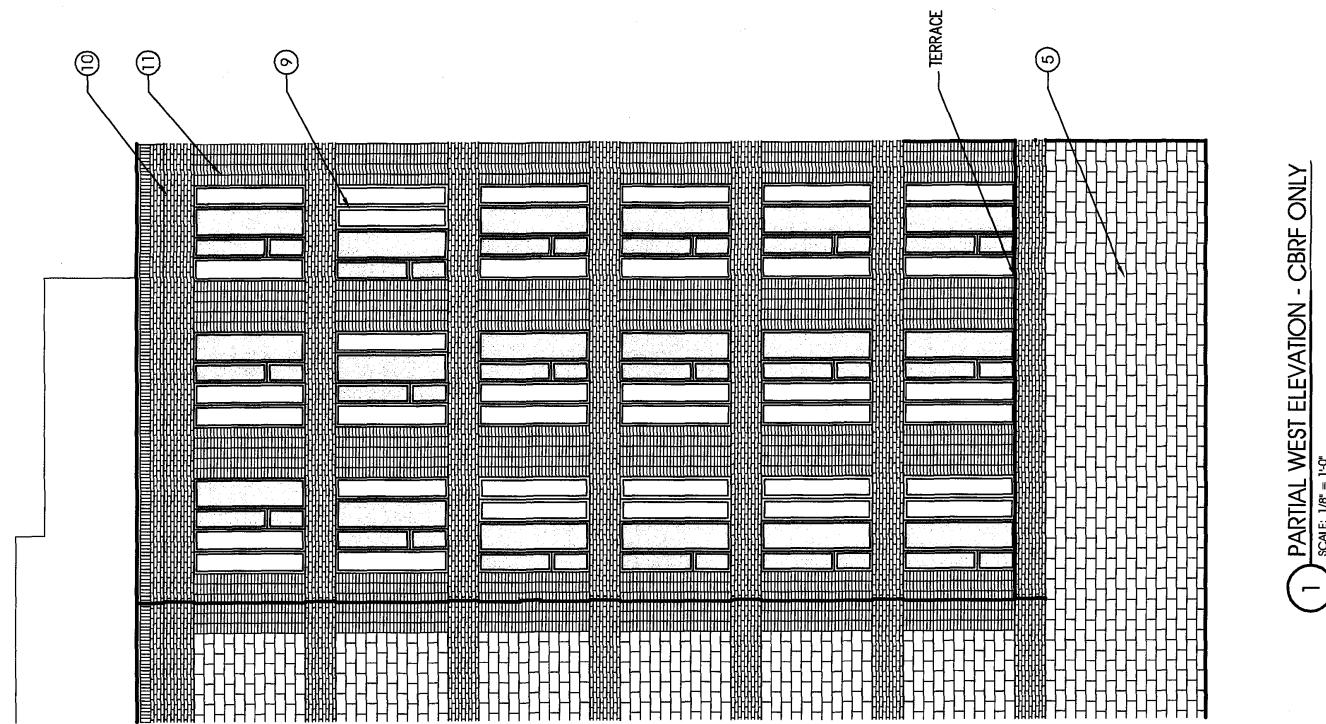
Hickok Cole

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DEVELOPMENT

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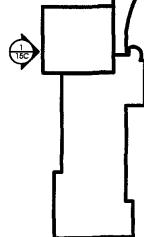
KEY PLAN



ELEVATION FINISHES KEY

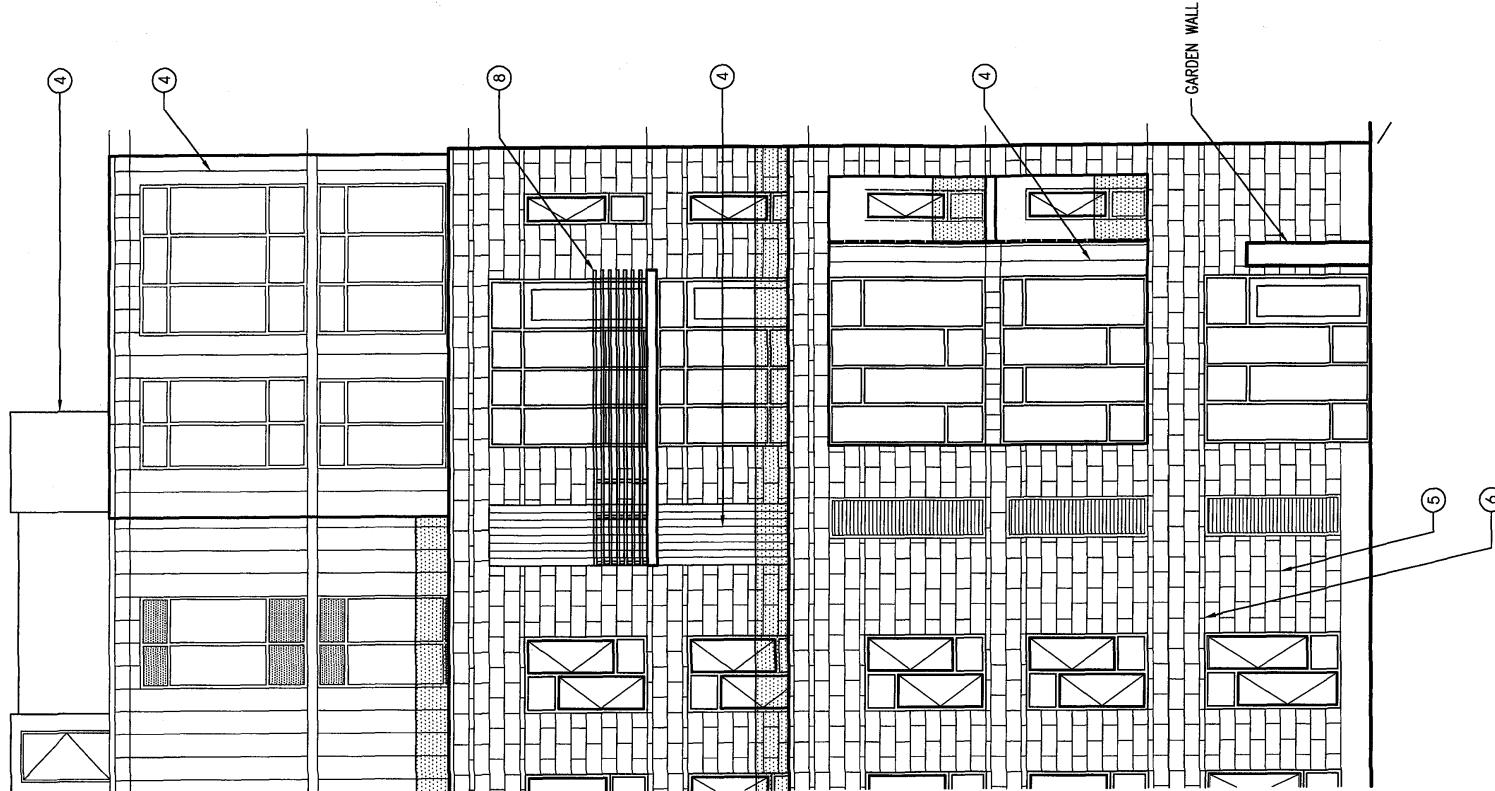
(1) CUSTOM CURTAINWALL SYSTEM	(4) METAL PANEL SYSTEM	(7) METAL MESH BALCONY SCREENS	(9) WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUROPOLYMER COATING)	(10) RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX w/COMPOSITE METAL PANELS (COIL-COATED FLUROPOLYMER COATING)	(11) STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	(13) STONE PANEL
(2) STONE VENEER FACADE	(5) OVERSIZE MASONRY UNITS	(8) ALUMINUM BARSTOCK RAILING			(12) STONE BASE	(14) GLASS BLOCK
(3) NOT USED	(6) MASONRY ACCENT COURSE					(15) DECORATIVE METAL FRAME

PARTIAL WEST ELEVATION



KEY PLAN

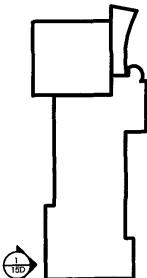
SHEET 15C



1 PARTIAL WEST ELEVATION-MARKET ONLY
SCALE: 1/8" = 1'-0"

ELEVATION FINISHES KEY

(1) CUSTOM CURTAINWALL SYSTEM	(4) METAL PANEL SYSTEM	(7) METAL MESH BALCONY SCREENS	(9) WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)	(10) RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	(11) STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	(13) STONE PANEL
(2) STONE VENEER FAÇADE	(5) OVERSIZE MASONRY UNITS	(8) ALUMINUM BARSTOCK RAILING	(12) STONE BASE	(14) GLASS BLOCK	(15) DECORATIVE METAL FRAME	
(3) NOT USED	(6) MASONRY ACCENT COURSE					



KEY PLAN

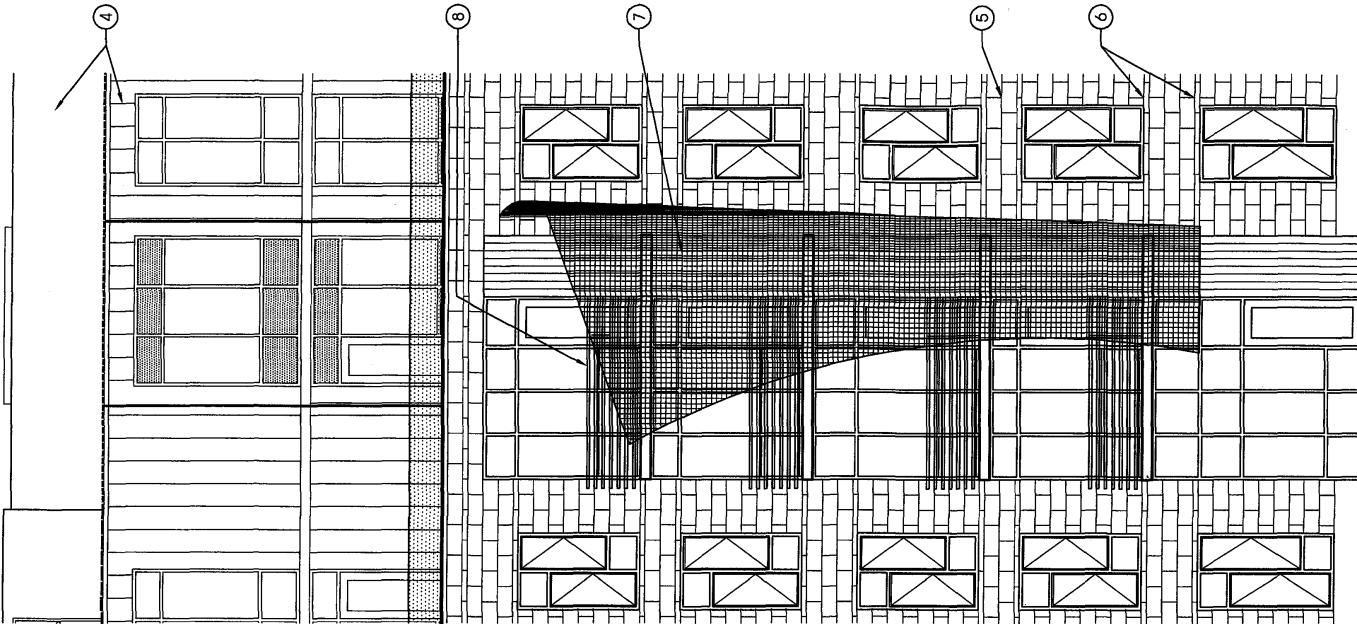
SHEET 15D



PARTIAL WEST ELEVATION

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1444 IRVING STREET, NW
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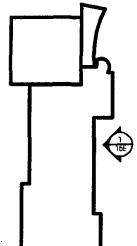


1 PARTIAL EAST ELEVATION - MARKET ONLY

SCALE: 1/8" = 1'-0"

ELEVATION FINISHES KEY

① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑬ STONE PANEL
② STONE VENEER FAÇADE	⑤ OVERSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)		⑫ STONE BASE	⑭ GLASS BLOCK
③ NOT USED	⑥ MASONRY ACCENT COURSE					⑮ DECORATIVE METAL FRAME



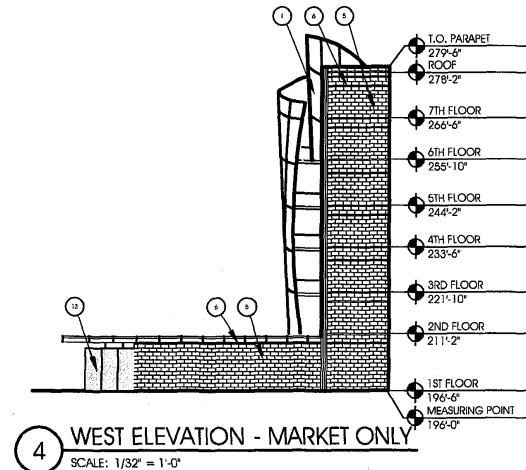
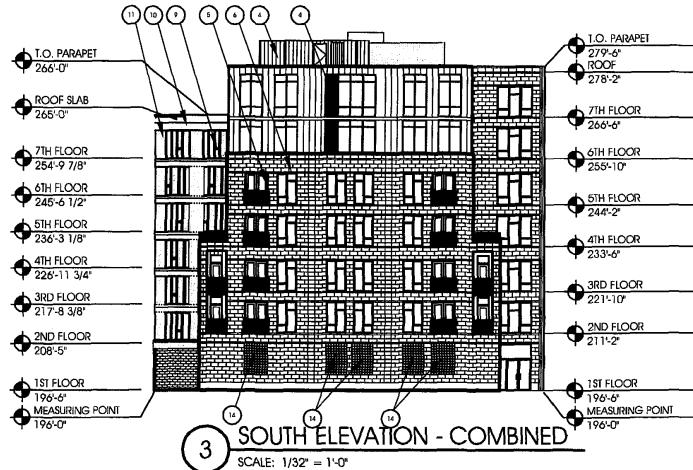
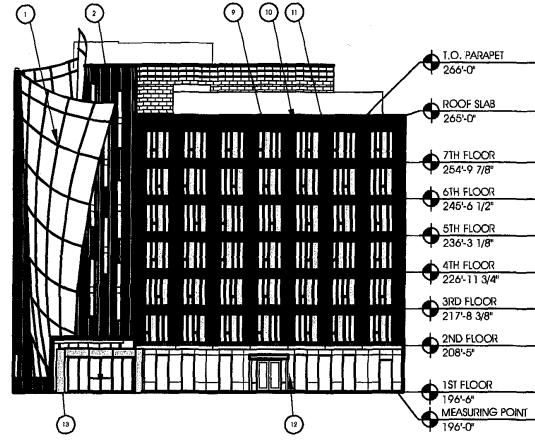
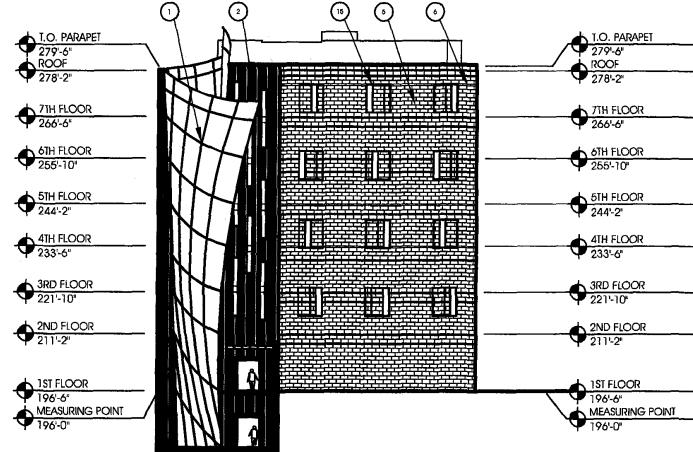
KEY PLAN

PARTIAL EAST ELEVATION

SHEET 15E

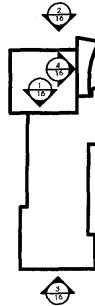
1444 IRVING STREET, NW

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ELEVATION FINISHES KEY

- 1 CUSTOM CURTAINWALL SYSTEM
- 2 STONE VENEER FAÇADE
- 3 NOT USED
- 4 METAL PANEL SYSTEM
- 5 OVERRSIZE MASONRY UNITS
- 6 MASONRY ACCENT COURSE
- 7 METAL MESH BALCONY SCREENS
- 8 ALUMINUM BARSTOCK RAILING
- 9 WINDOW WALL SYSTEM (ALLOY 6063 T5, FLUOROPOLYMER COATING)
W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)
- 10 RUNNING BOND BRICK COURSING
FACE BRICK GRADE SW TYPE FBX
- 11 STACK BOND BRICK COURSING
FACE BRICK GRADE SW TYPE FBX
- 12 STONE BASE
- 13 STONE PANEL
- 14 GLASS BLOCK
- 15 DECORATIVE METAL FRAME



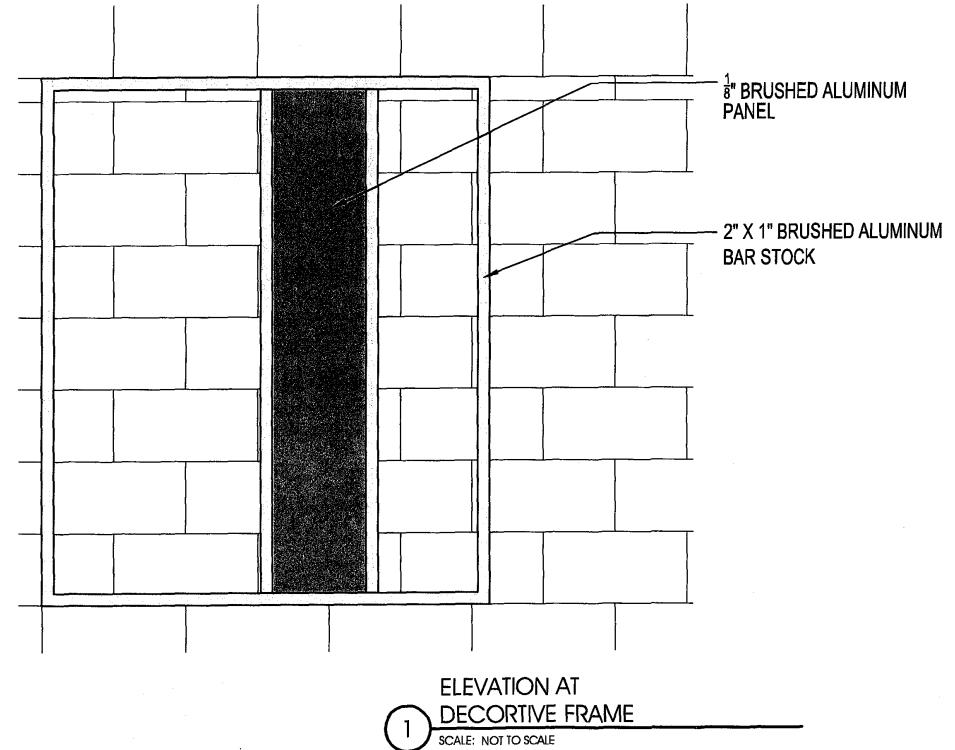
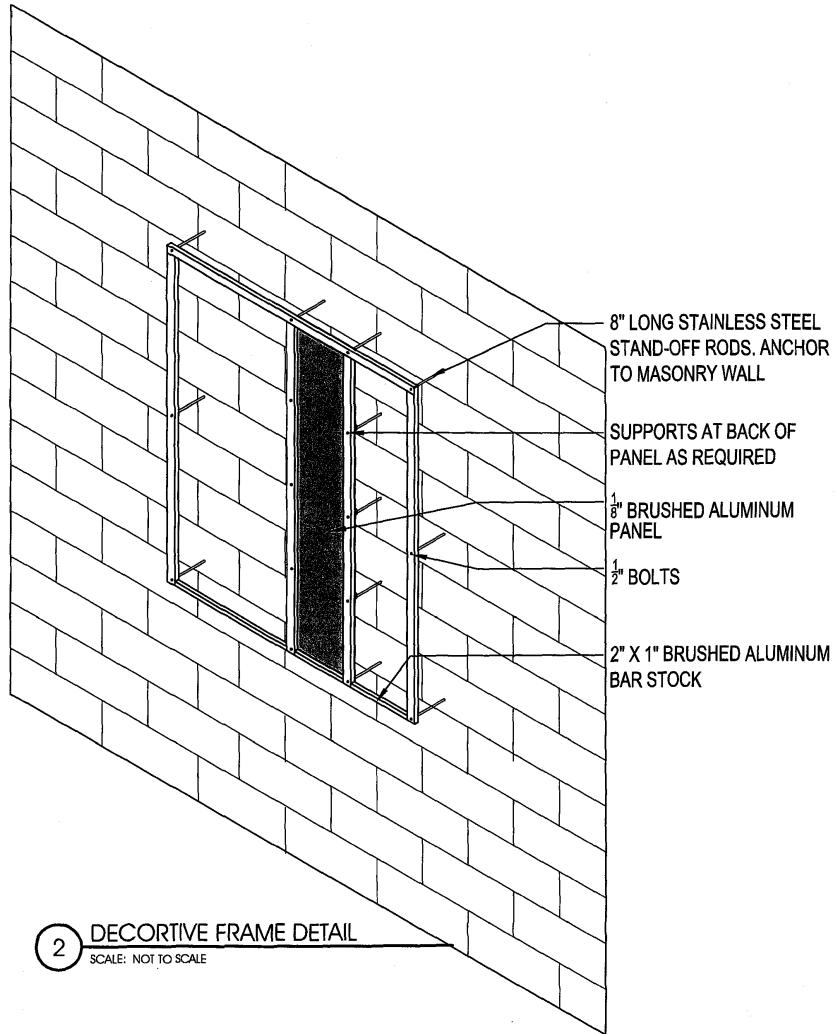
ELEVATIONS: NORTH AND SOUTH

SHEET 16

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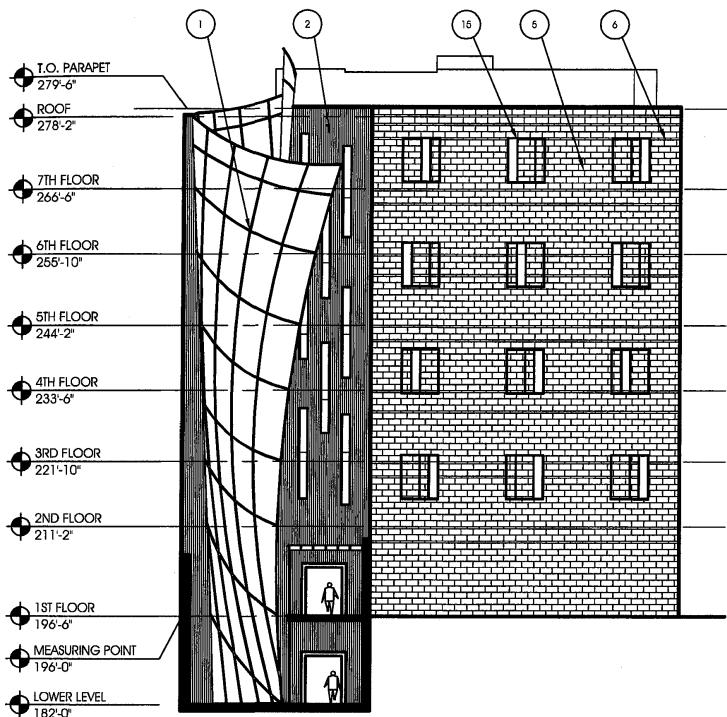
DECORTIVE FRAME DRAWINGS

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DEVELOPMENT

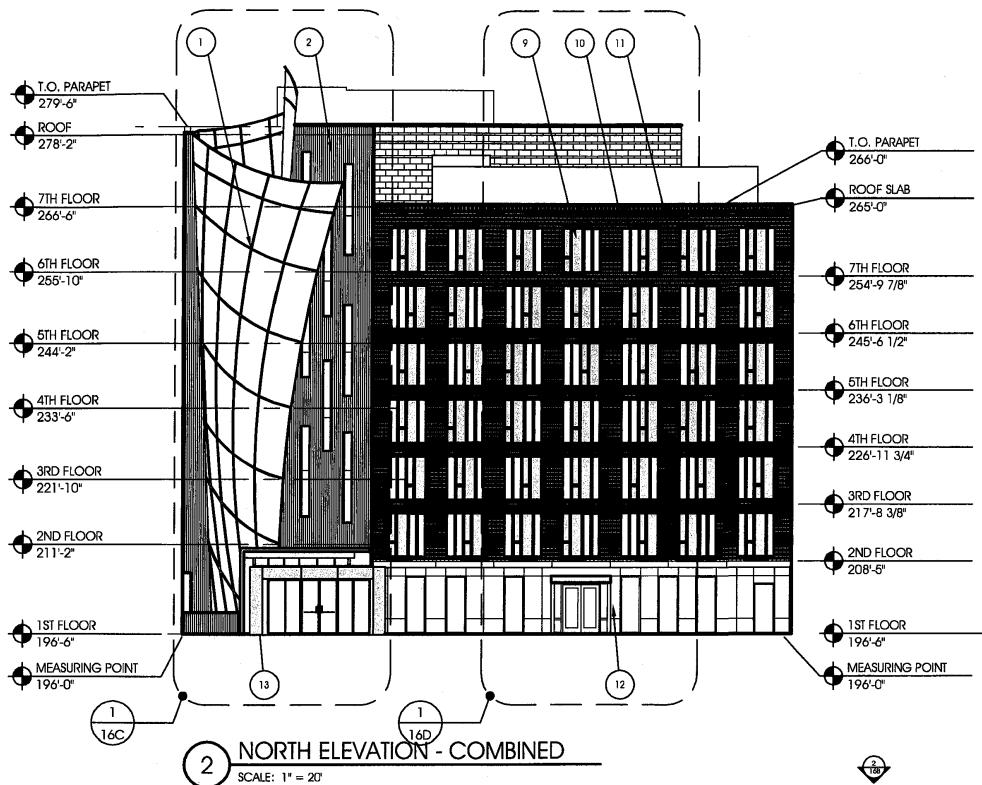
1444 IRVING STREET, NW
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SHEET 16A





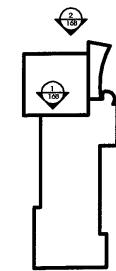
1 NORTH ELEVATION - MARKET ONLY
SCALE: 1" = 20'



2 NORTH ELEVATION - COMBINED
SCALE: 1" = 20'

ELEVATION FINISHES KEY

(1) CUSTOM CURTAINWALL SYSTEM	(4) METAL PANEL SYSTEM	(7) METAL MESH BALCONY SCREENS	(9) WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUROPOLYMER COATING)	(10) RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	(11) STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	(13) STONE PANEL
(2) STONE VENEER FAÇADE	(5) OVERTSIZE MASONRY UNITS	(8) ALUMINUM BARSTOCK RAILING	(W/COMPOSITE METAL PANELS (COIL-COATED FLUROPOLYMER COATING))		(12) STONE BASE	(14) GLASS BLOCK
(3) NOT USED	(6) MASONRY ACCENT COURSE					(15) DECORATIVE METAL FRAME



KEY PLAN

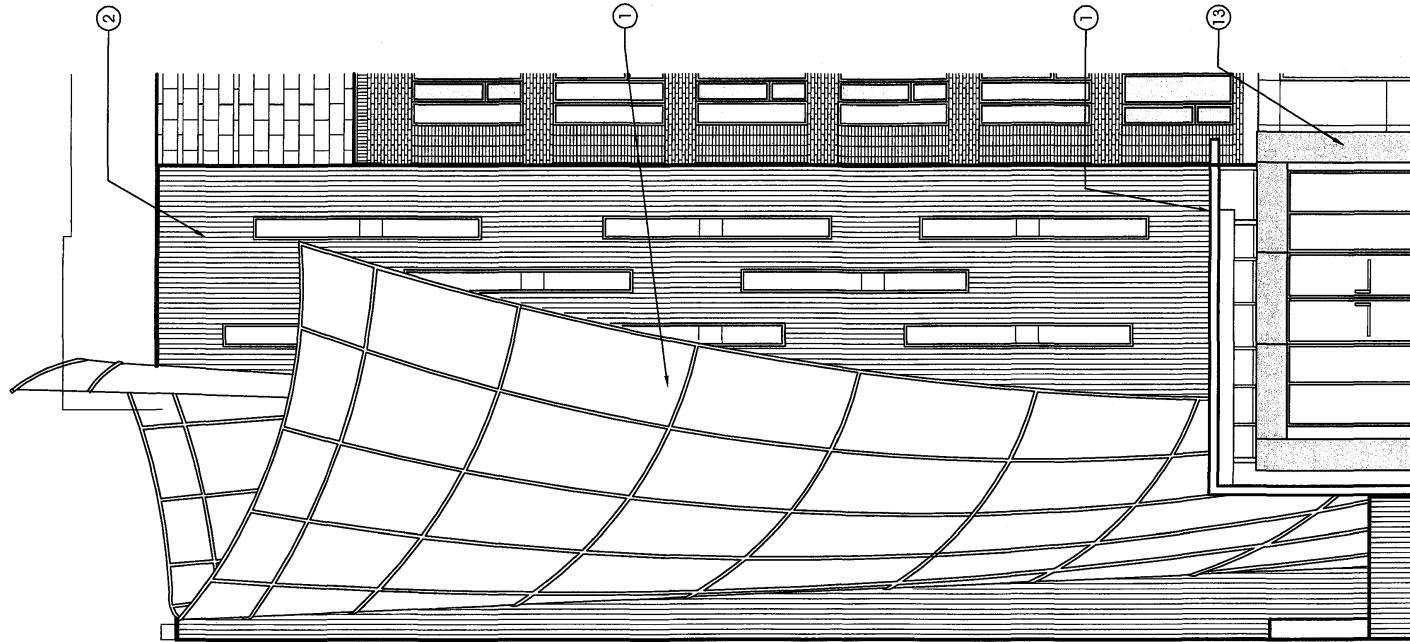
SHEET 16B

ELEVATIONS: NORTH

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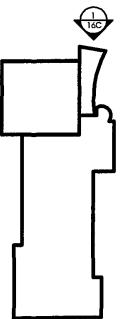


1 PARTIAL NORTH ELEVATION - MARKET ONLY
SCALE: 1/8" = 1'-0"

ELEVATION FINISHES KEY

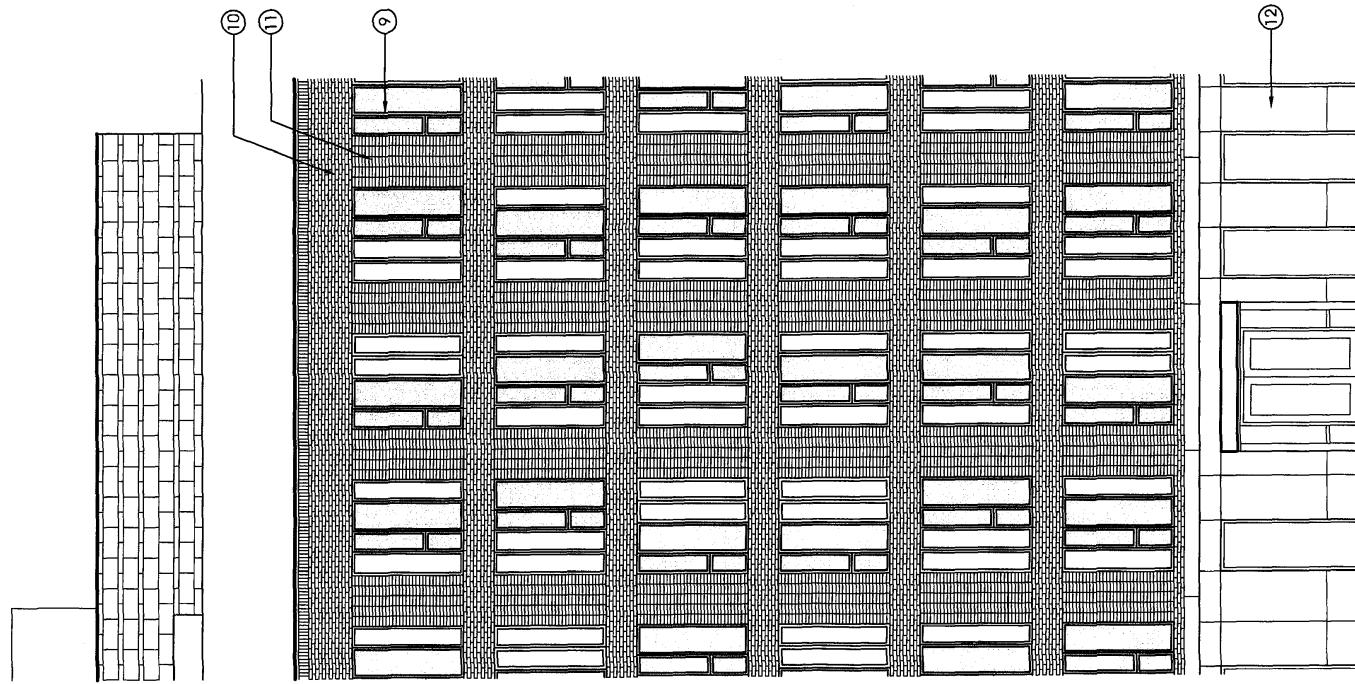
① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑬ STONE PANEL
② STONE VENEER FAÇADE	⑤ OVERSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	⑩ W/COMPOSITE METAL PANELS (COIL- COATED FLUOROPOLYMER COATING)	⑫ STONE BASE	⑭ GLASS BLOCK	⑮ DECORATIVE METAL FRAME
③ NOT USED	⑥ MASONRY ACCENT COURSE					

PARTIAL NORTH ELEVATION



KEY PLAN

SHEET 16C

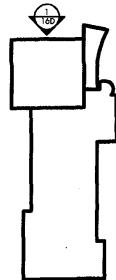


1 PARTIAL NORTH ELEVATION-CBRF ONLY

SCALE: 1/8" = 1'-0"

ELEVATION FINISHES KEY

① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5: FLUOROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑬ STONE PANEL
② STONE VENEER FACADE	⑤ OVERSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)		⑫ STONE BASE	⑭ GLASS BLOCK
③ NOT USED	⑥ MASONRY ACCENT COURSE				⑮ DECORATIVE METAL FRAME	



KEY PLAN

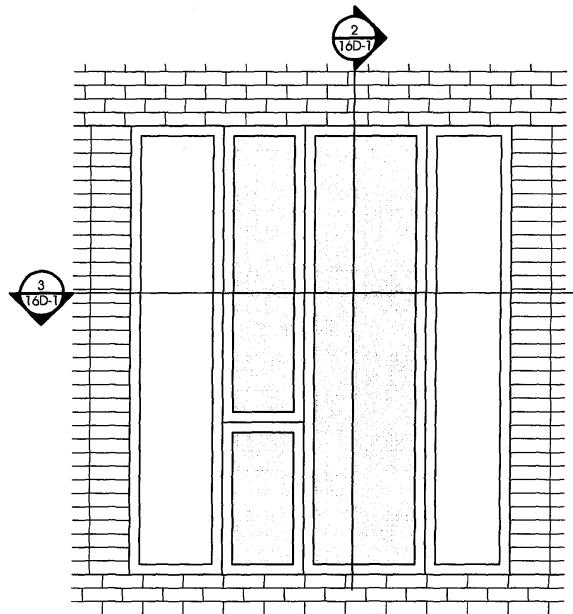
SHEET 16D

PARTIAL NORTH ELEVATION

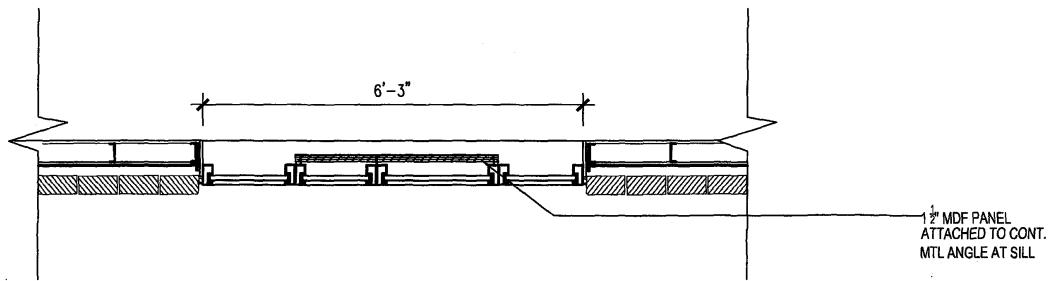
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1444 IRVING STREET, NW
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25 March 2008





1 ENLARGED WINDOW ELEVATION
SCALE: 1/2" = 1'-0"

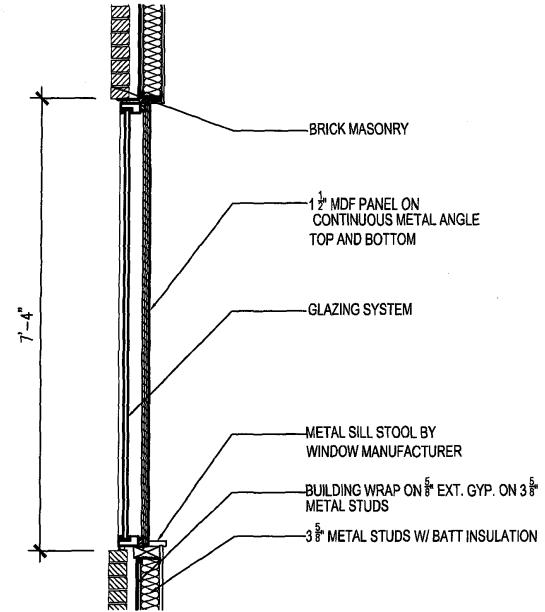


3 SECTION AT WINDOW SILL
SCALE: 1/2" = 1'-0"

WINDOW DETAILS

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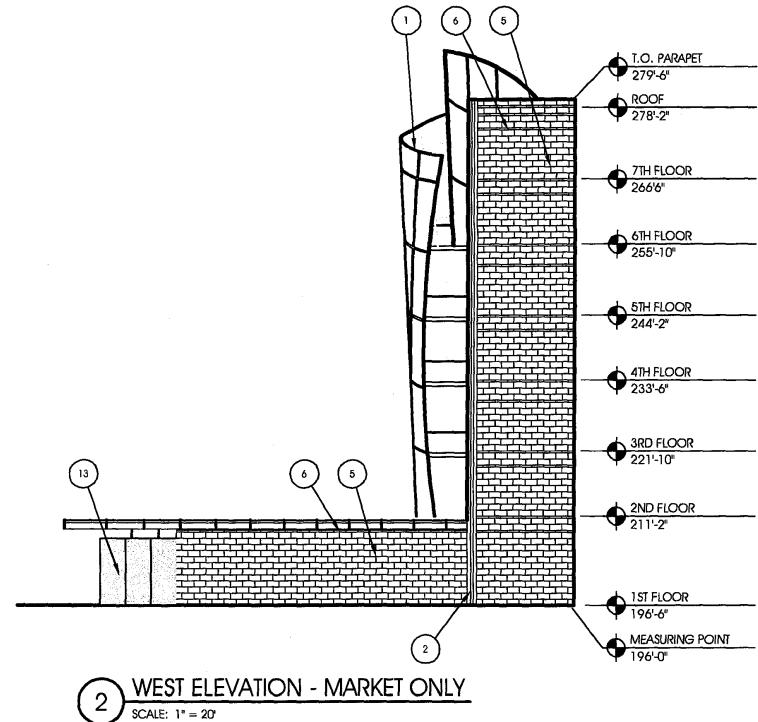
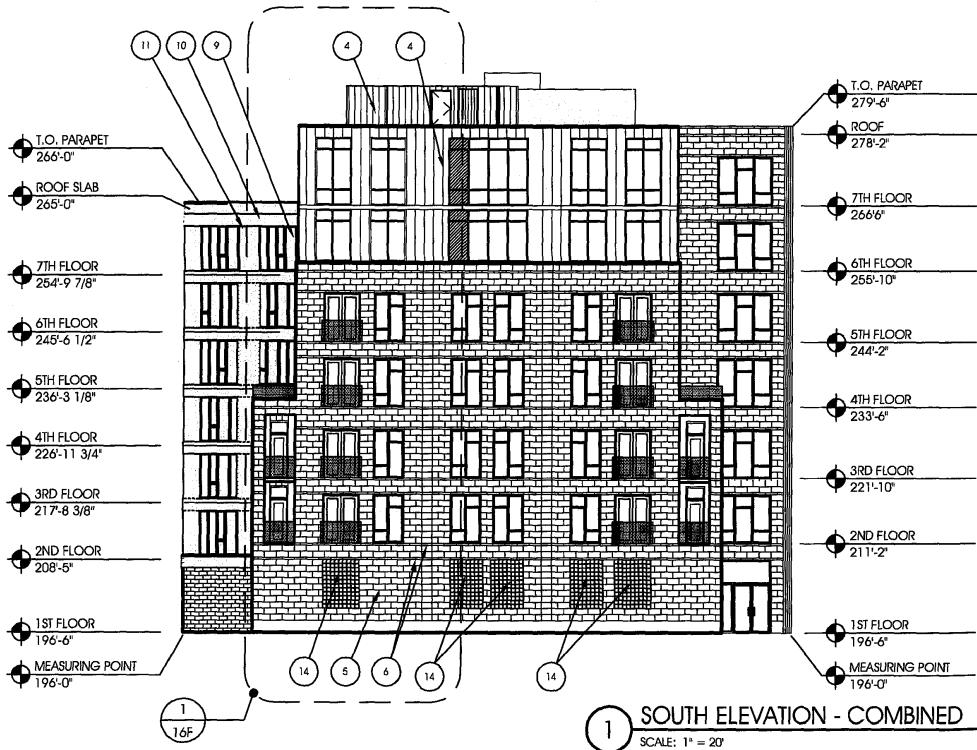
1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
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2 SECTION AT WINDOW FRAME
SCALE: 1/2" = 1'-0"

SHEET 16D-1

Hickok Cole



ELEVATION FINISHES KEY

① CUSTOM CURTAINWALL SYSTEM	④ METAL PANEL SYSTEM	⑦ METAL MESH BALCONY SCREENS	⑨ WINDOW WALL SYSTEM (ALLOY 6063 T5; FLUOROPOLYMER COATING)	⑩ RUNNING BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑪ STACK BOND BRICK COURSING FACE BRICK GRADE SW TYPE FBX	⑬ STONE PANEL
② STONE VENEER FAÇADE	⑤ OVERTSIZE MASONRY UNITS	⑧ ALUMINUM BARSTOCK RAILING	W/COMPOSITE METAL PANELS (COIL-COATED FLUOROPOLYMER COATING)		⑫ STONE BASE	⑭ GLASS BLOCK
③ NOT USED	⑥ MASONRY ACCENT COURSE					⑮ DECORATIVE METAL FRAME

ELEVATIONS: SOUTH AND WEST

1444 IRVING STREET, NW

CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION

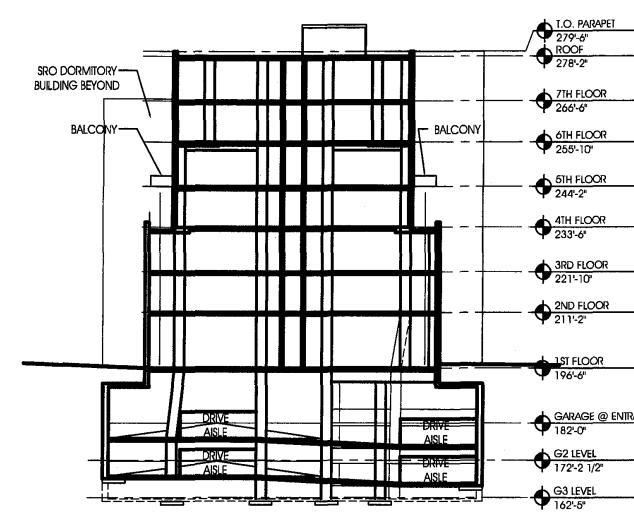
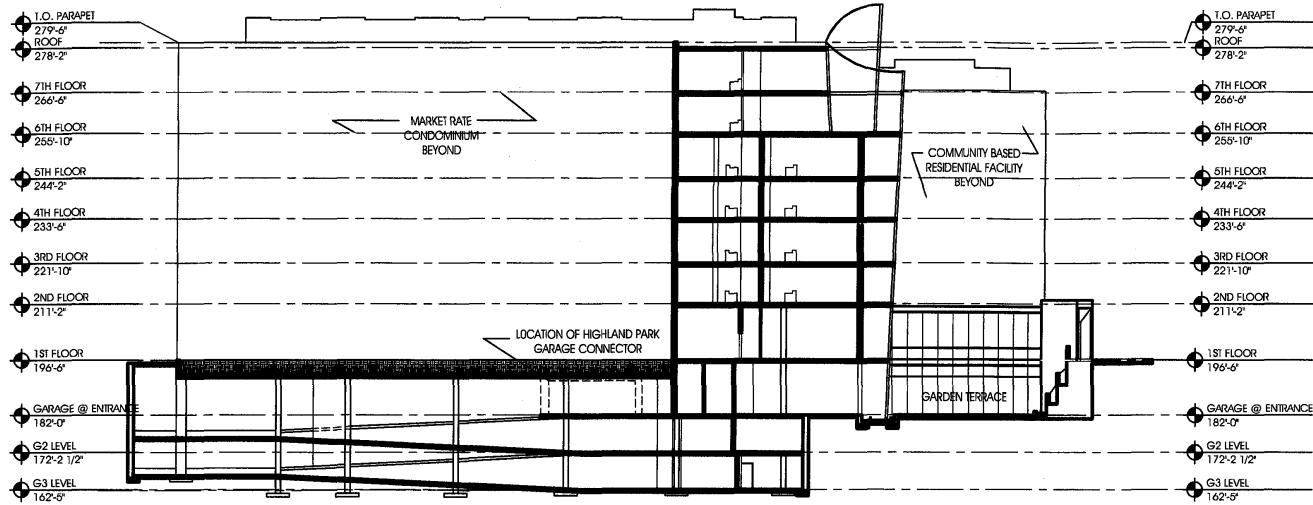
25 March 2008

DONATELLI DEVELOPMENT

SHEET 16E

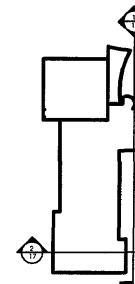
Hickok Cole





1 SECTION: NORTH-SOUTH THROUGH SITE
SCALE: 1'=32'

2 SECTION: EAST-WEST THROUGH SITE
SCALE: 1'=32'



SITE MAP

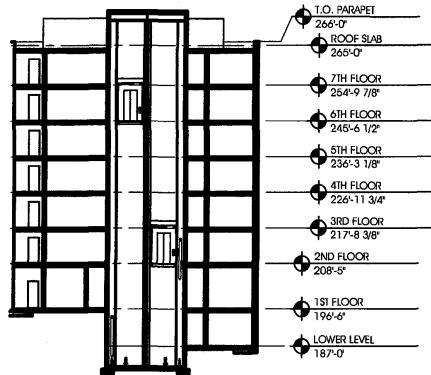
BUILDING SECTIONS: MARKET RATE BUILDING

SHEET 17

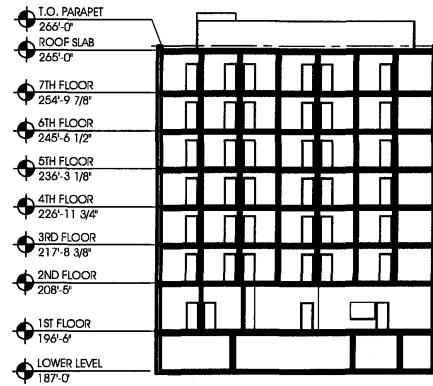
DONATELLI
DEVELOPMENT

1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
25 March 2008

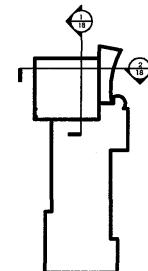




1 SECTION: NORTH-SOUTH
THROUGH CBRF SITE
SCALE: 1"=32'



2 SECTION: EAST-WEST
THROUGH CBRF SITE
SCALE: 1"=32'



SITE MAP

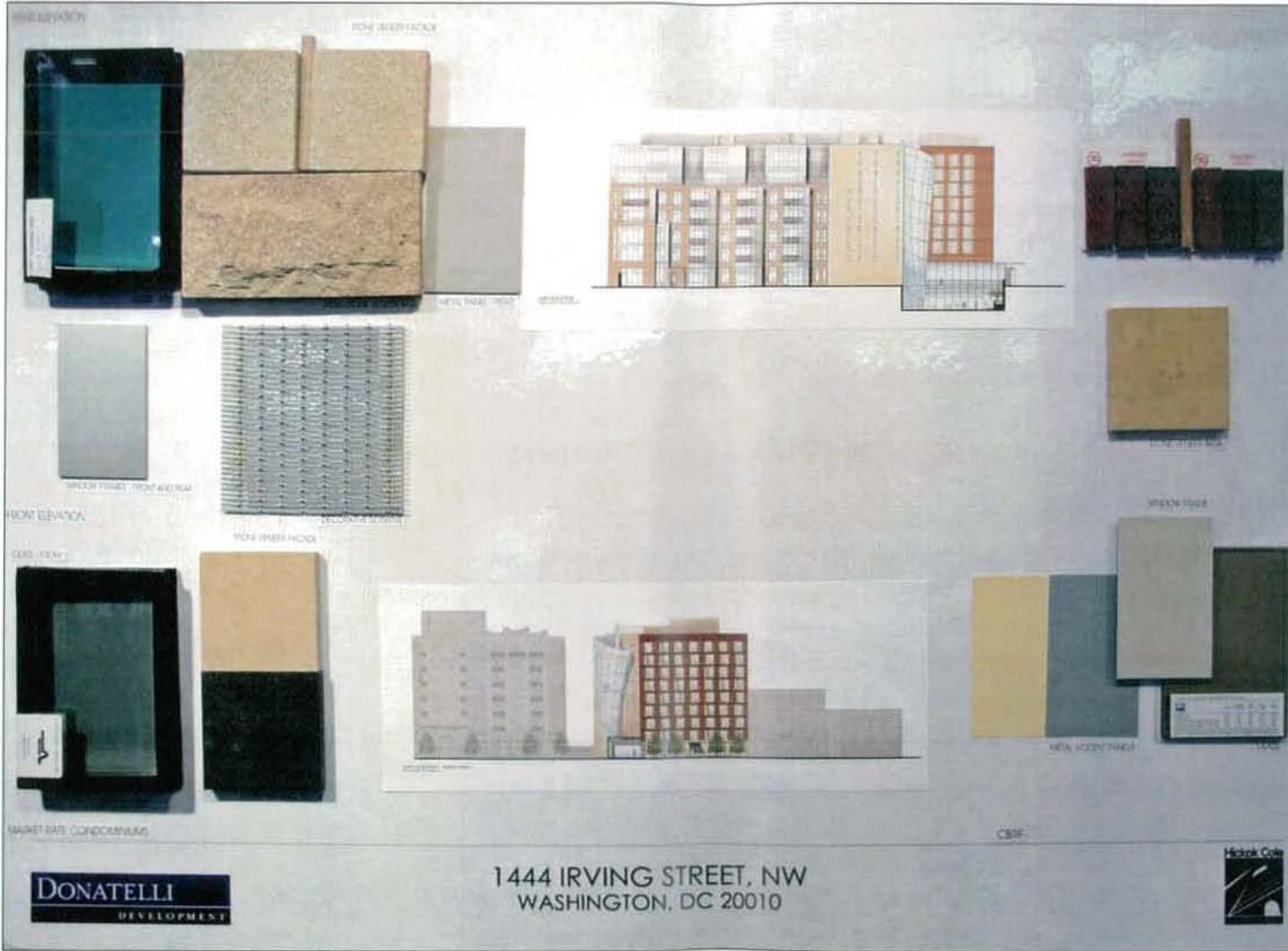
BUILDING SECTIONS: CBRF BUILDING

SHEET 18

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1444 IRVING STREET, NW
CONSOLIDATED PLANNED UNIT DEVELOPMENT APPLICATION
25 March 2008





FINISH BOARD

DONATELLI
DEVELOPMENT

1444 IRVING STREET, NW
WASHINGTON, DC 20010

SHEET 19

Hickok Cole


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